

Wetlands Board Agenda

September 18, 2023



CITY OF
VIRGINIA
BEACH

VIRGINIA BEACH WETLANDS BOARD

PUBLIC HEARING PROCEDURES & AGENDA

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, September 18, 2023** at 10:00 a.m. in the New Council Chamber - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA.

An informal session will be held the same day at 9:00 a.m. in room 2034, City Manager's Conference Room - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA. During the informal session, Staff briefs the Board on agenda items. All interested persons are invited to attend. There is no opportunity for citizenry to speak at the briefing session; however, the public is invited to speak at the formal Wetlands Board Public Hearing that follows. For information or to examine copies of proposed plans, ordinances or amendments call (757) 385-4621 or go to virginiabeach.gov/wetlands or visit the Department of Planning and Community Development, 2875 Sabre Street, Suite 500, Virginia Beach, Virginia by appointment. Citizens may also submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vb.gov or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

The Staff reviews some or all of the items on the agenda and suggests that certain conditions be attached for deliberation by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City Ordinances. The administrative comments contained in the attached Staff reports constitutes Staff recommendations for each application and are advisory only. Final determination of the application is made by the Virginia Beach Wetlands Board at the public hearing.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

(If you have any questions, please contact Staff via email at waterfront@vb.gov or call The Department of Planning & Community Development at 757-385-4621)

- 1. WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.
 - a.** An applicant may WITHDRAW an application without the Boards' approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b.** In the case of DEFERRALS, the Board's policy is to defer the item FOR AT LEAST 60 DAYS. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. PLEASE confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.

- 2. REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:
- a. The applicant or applicant's representative will have 10 minutes to present the case.
 - b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
 - c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
 - d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
 - e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
 - f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available, and the time will be limited to 3 minutes.
 - g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.

The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

If you require reasonable accommodation for this meeting due to a disability, please call the Department of Planning and Community Development at (757) 385-4621. If hearing impaired, you may contact Virginia Relay at 711 for TDD services.



WETLANDS BOARD AGENDA

Public Hearing Date **September 18, 2023**

9:00 AM INFORMAL STAFF BRIEFING OF PUBLIC HEARING AGENDA ITEMS.

10:00 AM FORMAL REVIEW OF PUBLIC HEARING AGENDA ITEMS.

Please be advised that copies of the proposed plans, ordinances, amendments and/or resolutions associated with this public hearing are also on file and may be examined by appointment at the Department of Planning & Community Development located at 2875 Sabre St, Suite 500, Virginia Beach, VA 23452 or online at virginiabeach.gov/wetlands. For information call (757) 385-4621.

OLD BUSINESS - COASTAL PRIMARY SAND DUNE/BEACH

1. 2023-WTRA-00137

3548 Sandfiddler LLC

[Applicant & Owner]

3548 Sandfiddler Road

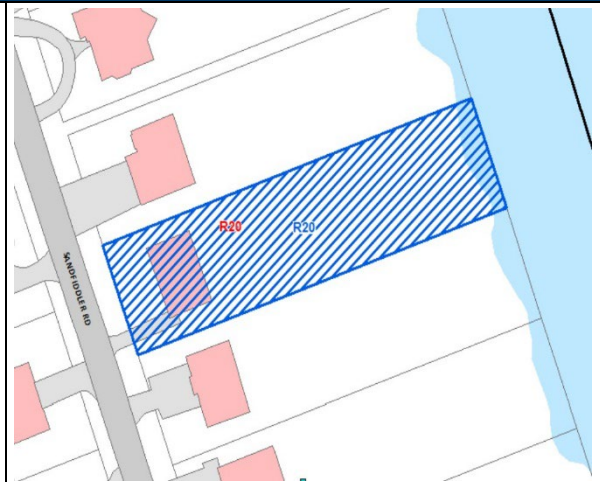
GPIN 2432-75-0908

City Council District: District 2

Waterway – Atlantic Ocean

Subdivision – South Sandbridge

Request: To construct a bulkhead, return walls, and excavate sand involving a Coastal Primary Sand Dune/Beach.



OLD BUSINESS - WETLANDS

2. 2022-WTRA-00233

JHS GST Trust

[Applicant & Owner]

781 and 809 Princess Anne Road

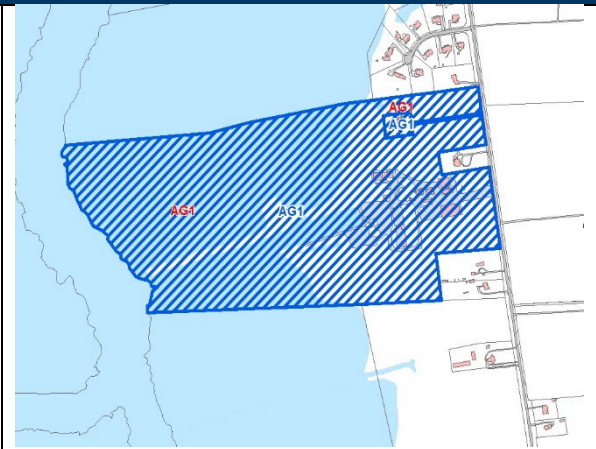
GPINs 2309-37-6009 and 2309-48-1216

City Council District: District 2

Waterway – Canal to North Landing River

Subdivision – Pungo

Request: To dredge involving wetlands.



OLD BUSINESS – WETLANDS (CONTINUED)

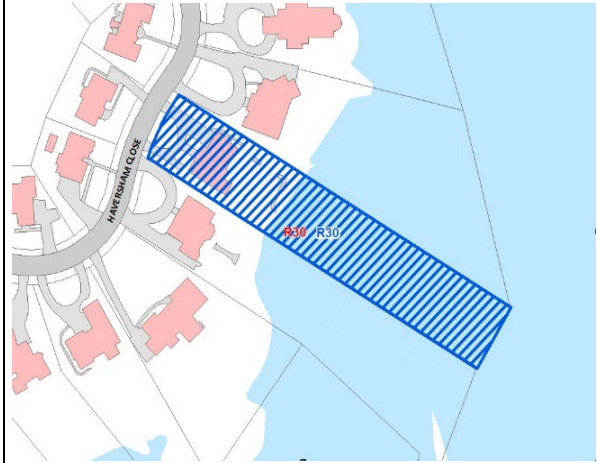
3. 2023-WTRA-00157

Allen M. & Barbara J. Larar
[Applicants & Owners]

2389 Haversham Close
GPIN 2409-14-7744
City Council District: District 8

Waterway – Broad Bay
Subdivision – Broad Bay Point Greens

Request: To construct a rip rap revetment involving wetlands.



NEW BUSINESS - COASTAL PRIMARY SAND DUNE/BEACH

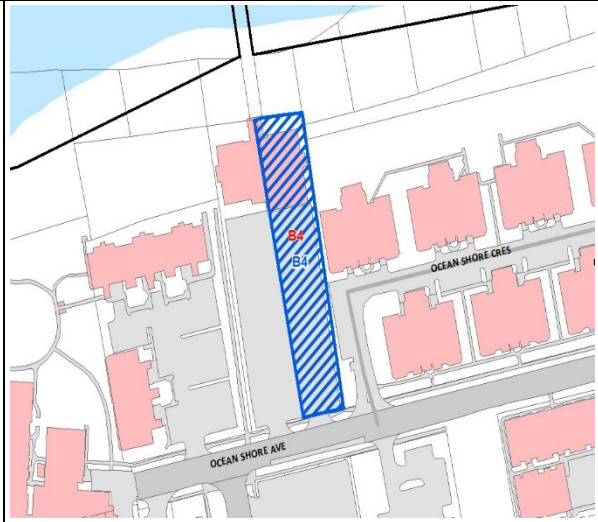
4. 2023-WTRA-00115

Westminster-Canterbury on Chesapeake Bay
[Applicant & Owner]

GPIN 1590-10-0956
City Council District: District 8

Waterway – Chesapeake Bay
Subdivision – Westminster-Canterbury on Chesapeake Bay

Request: To construct new public beach access walkway with handicap ramp to beach involving Coastal Primary Sand Dune/Beach.



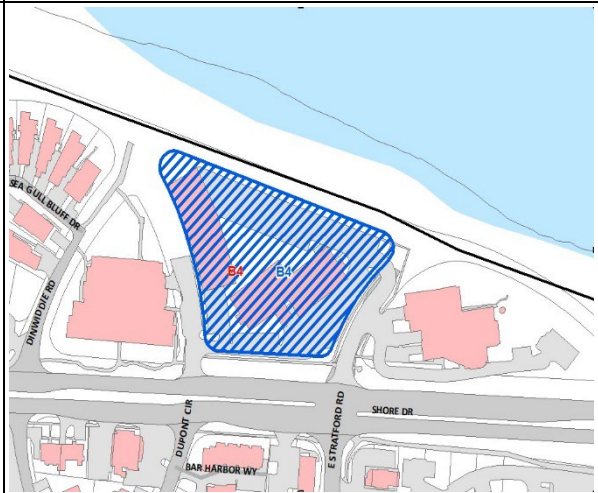
5. 2023-WTRA-00187

Chesapeake House on the Bay
[Applicant & Owner]

3558 Shore Drive
GPIN 1489-59-3185
City Council District: District 9

Waterway – Chesapeake Bay
Subdivision – Chesapeake House on the Bay

Request: To excavate sand involving Coastal Primary Sand Dune/Beach.



NEW BUSINESS – WETLANDS

6. 2023-WTRA-00178

Robert S. & Grace Y. Wall

[Applicants & Owners]

6508 Knotts Island Road

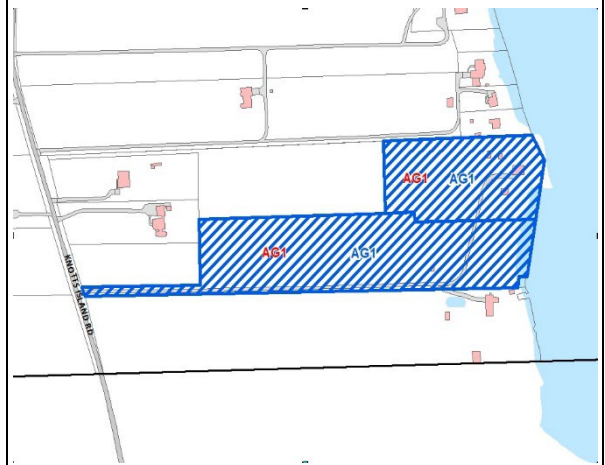
GPINs 2337-90-3613, 2337-90-7897

City Council District: District 2

Waterway – Back Bay

Subdivision – Knotts Island

Request: To construct a rip rap sill, breakwater, and rip rap revetments involving wetlands.



1. 2023-WTRA-00137
3548 Sandfiddler LLC
[Applicant & Owner]

3548 Sandfiddler Road
GPIN 2432-75-0908
City Council District: District 2

Waterway – Atlantic Ocean
Subdivision – South Sandbridge

Request: To construct a bulkhead, return walls, and excavate sand involving a Coastal Primary Sand Dune/Beach.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name 3548 Sandfiddler LLC

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Robert Simon - Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Michael J. Landy and Susan Landy

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.
None
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
None
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Agent - Robert Simon, Waterfront Consulting, Inc. Engineer - Sean E. Green, P.E. of Stone Green Consulting, LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:  DocuSigned by: 

Applicant Signature

3548 Sandfiddler LLC by Michael J. and Susan Landy

Print Name and Title

6/1/2023 6/1/2023

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 23-1280

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: Virginia Beach				
Waterway at project site: Atlantic Ocean				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
 3548 Sandfiddler LLC Home () _____
 3824 Ridgetop Lane Work () _____
 Plano, TX 75074 Fax () _____
 Cell (214) 708-9834
 e-mail sheplandy@hotmail.com

State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
 Waterfront Consulting, Inc. Home () _____
 2589 Quality Court, Ste. 323 Work (757) 425-8244
 Virginia Beach, VA 23454 Fax (757) 425-8244
 Cell (757) 619-7302
 e-mail bob@waterfrontconsulting.net

State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to grade approximately 9,600 SF of sand beach, spread approximately 7,215 SF of beach nourishment, and construct approximately 77 LF of vinyl bulkhead with (2) 60 LF return walls as shown in the permit drawings.

The bulkhead will use (31) Class B timber piles that will all be augered and driven in via an excavator on land.

Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address: _____

Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address: _____ Telephone number _____
 Virginian Pilot (757) 622-1455
 150 W. Brambleton Avenue
 Norfolk, VA 23510

- 7. Give the following project location information:
 Street Address (911 address if available) 3548 Sandfiddler Road
 Lot/Block/Parcel# Lot 25, Section 2, Tract D, Sandbridge Beach
 Subdivision Sandbridge
 City / County Virginia Beach ZIP Code 23456
 Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
 36.70373 / -75.92788 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary Purpose: Storm Protection

Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)
- Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

There will be no wetlands impacts associated with this project.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 200,000.00
Approximate cost of that portion of the project that is channelward of mean low water: \$ 0

13. Completion date of the proposed work: Approximately 1 year from permit date - _____

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Donna A. Mooney	3544 Sandfiddler Road	Virginia Beach, VA 23456
Kyser Living Trust	3254 Orchard Glen Court	Herndon, VA 20171

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

3548 Sandfiddler LLC

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:
Susan Landy

Applicant's Signature

(Use if more than one applicant)

6/1/2023

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), 3548 Sandfiddler LLC, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent’s Signature)

(Use if more than one agent)

6/1/2023

(Date)

DocuSigned by:

Susan Landy

70E02880B73473

(Applicant’s Signature)

(Use if more than one applicant)

6/1/2023

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), 3548 Sandfiddler LLC, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to grade approximately 9,600 SF of sand beach, spread approximately 7,215 SF of beach nourishment, and construct approximately 77 LF of vinyl bulkhead with (2) 60 LF return walls as shown in the permit drawings.

There will be no aquatic impact and no fill placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 0 feet.
 Channelward of mean low water? 0 feet.
 Channelward of the back edge of the dune or beach? 0 feet.

3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 0 square feet
 - Non-vegetated wetlands 0 square feet
 - Subaqueous bottom 0 square feet
 - Dune and/or beach 7,215 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes ✓ No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

Bulkhead - Vinyl Sheet Piles, Marine Grade timber piles and walers, H.D. galvanized hardware, Upland Fill

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 75-150 pounds per stone Class size 1 & A1
 Armor (outer layer) material 75-150 pounds per stone Class size 1 & A1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material

0	cubic yards channelward of mean low water
250	cubic yards landward of mean low water
0	cubic yards channelward of mean high water
250	cubic yards landward of mean high water

- Area to be covered

0	square feet channelward of mean low water
7,215	square feet landward of mean low water
0	square feet channelward of mean high water
7,215	square feet landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): 95% sand, 5% organics
- Method of transportation and placement: Skidsteer and machine grading
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 3548 Sandfiddler Road

APPLICANT'S NAME: 3548 Sandfiddler LLC

APPLICANT'S ADDRESS: 3824 Ridgetop Lane

Plano, TX 75074

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Bulkhead

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.


SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION _____ DATE _____

Sean E. Green, P.E.
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

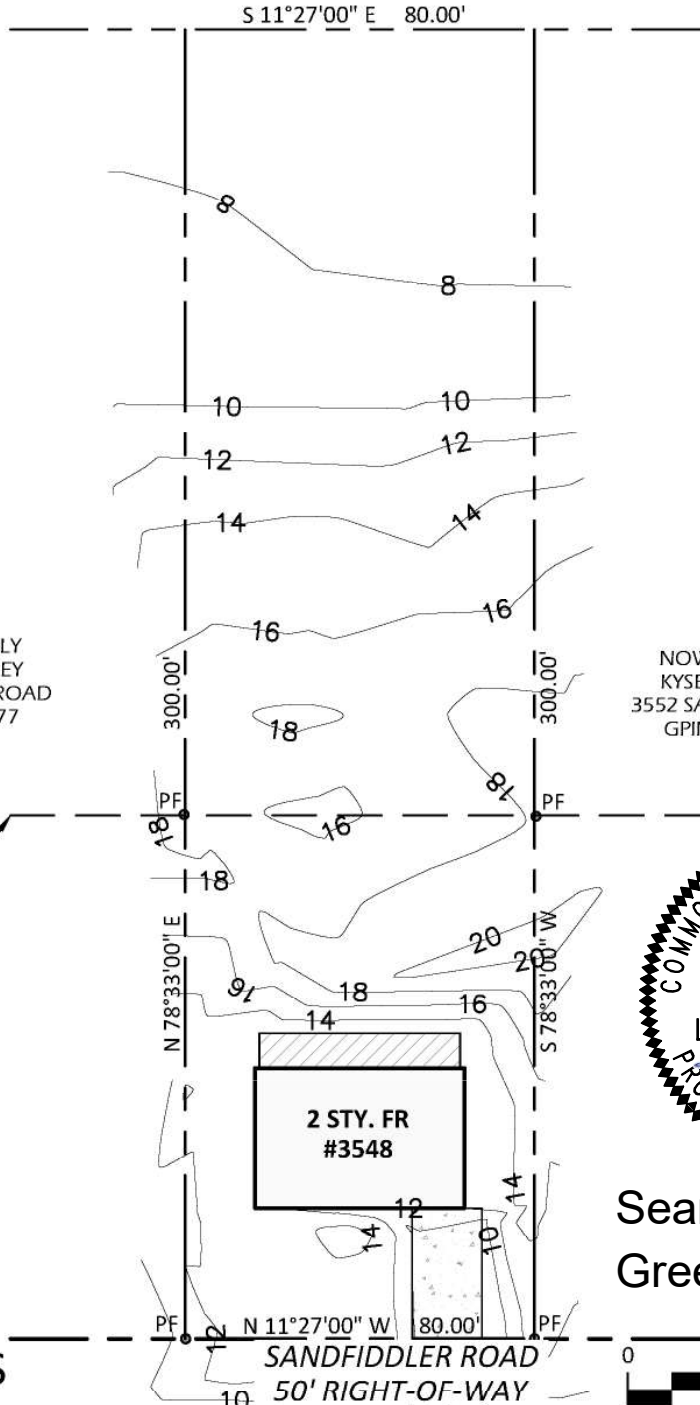
DocuSigned by:

SIGNATURE OF APPLICANT _____ DATE 6/1/2023

SIGNATURE OF COASTAL ZONE ADMINISTRATOR _____ DATE _____

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



APO #1
NOW OR FORMERLY
DONNA A. MOONEY
3544 SANDFIDDLER ROAD
GPIN: 2432-66-9077

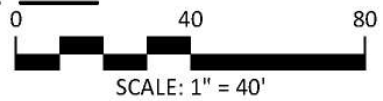
APO #2
NOW OR FORMERLY
KYSER LIVING TRUST
3552 SANDFIDDLER ROAD
GPIN: 2432-75-0993

PUBLIC BEACH
EASEMENT PER
M.B. 305, PG. 57



Sean E. Green
Digitally signed by:
Sean E. Green
Date: 2023.06.13
21:34:02 -05'00'

EXISTING
CONDITIONS



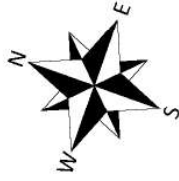
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PURPOSE: STORM PROTECTION
DATUM: NAVD 88
APOS:
1. DONNA A. MOONEY
2. KYSER LIVING TRUST

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
 ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
IN: ATLANTIC OCEAN
AT: 3548 SANDFIDDLER ROAD
VIRGINIA BEACH, VA 23456
APPLICATION BY:
3548 SANDFIDDLER LLC

SHEET: 1 OF 6
DATE: MAY 31, 2023



M.B. 67 PG. 50

ACCESSWAY = 24,000 SF
AREA IS APPROXIMATE

NOTE: NO SAND WILL BE
REMOVED FROM THE
PUBLIC BEACH EASEMENT

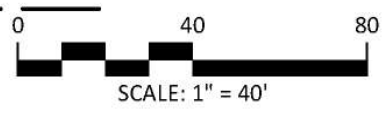
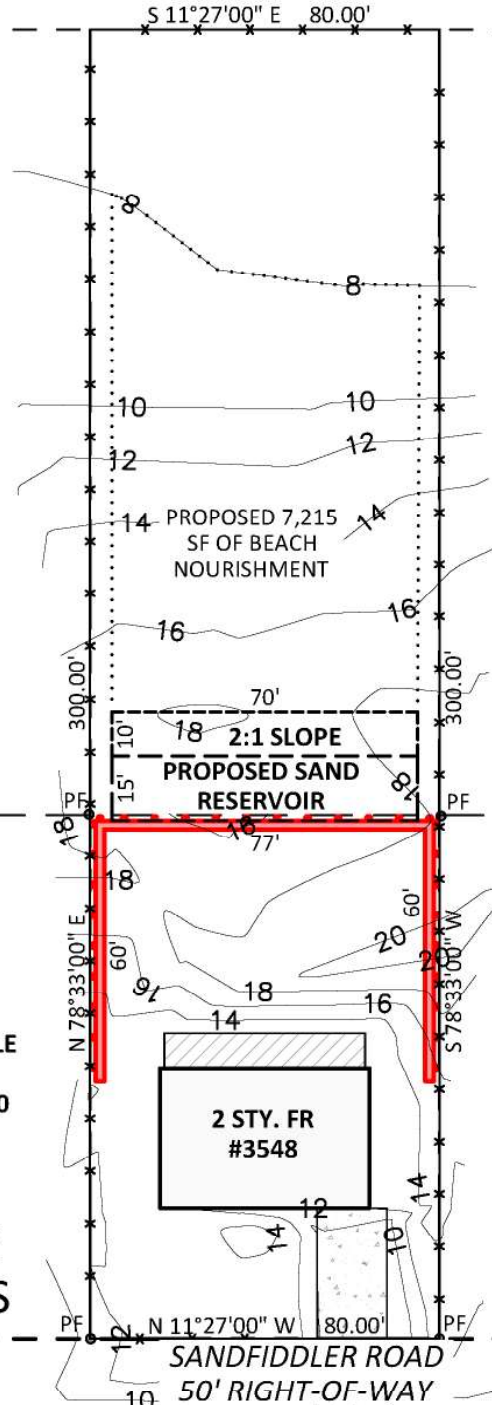
APO #1
NOW OR FORMERLY
DONNA A. MOONEY
3544 SANDFIDDLER ROAD
GPIN: 2432-66-9077

APO #2
NOW OR FORMERLY
KYSER LIVING TRUST
3552 SANDFIDDLER ROAD
GPIN: 2432-75-0993

PUBLIC BEACH
EASEMENT PER
M.B. 305, PG. 57

PROPOSED 77 LF OF PILE
SUPPORTED VINYL
BULKHEAD WITH (2) 60
LF RETURN WALLS

PROPOSED SITE
IMPROVEMENTS



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PURPOSE: STORM PROTECTION
DATUM: NAVD 88
APOS:
1. DONNA A. MOONEY
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WATERFRONT
CONSULTING, INC.

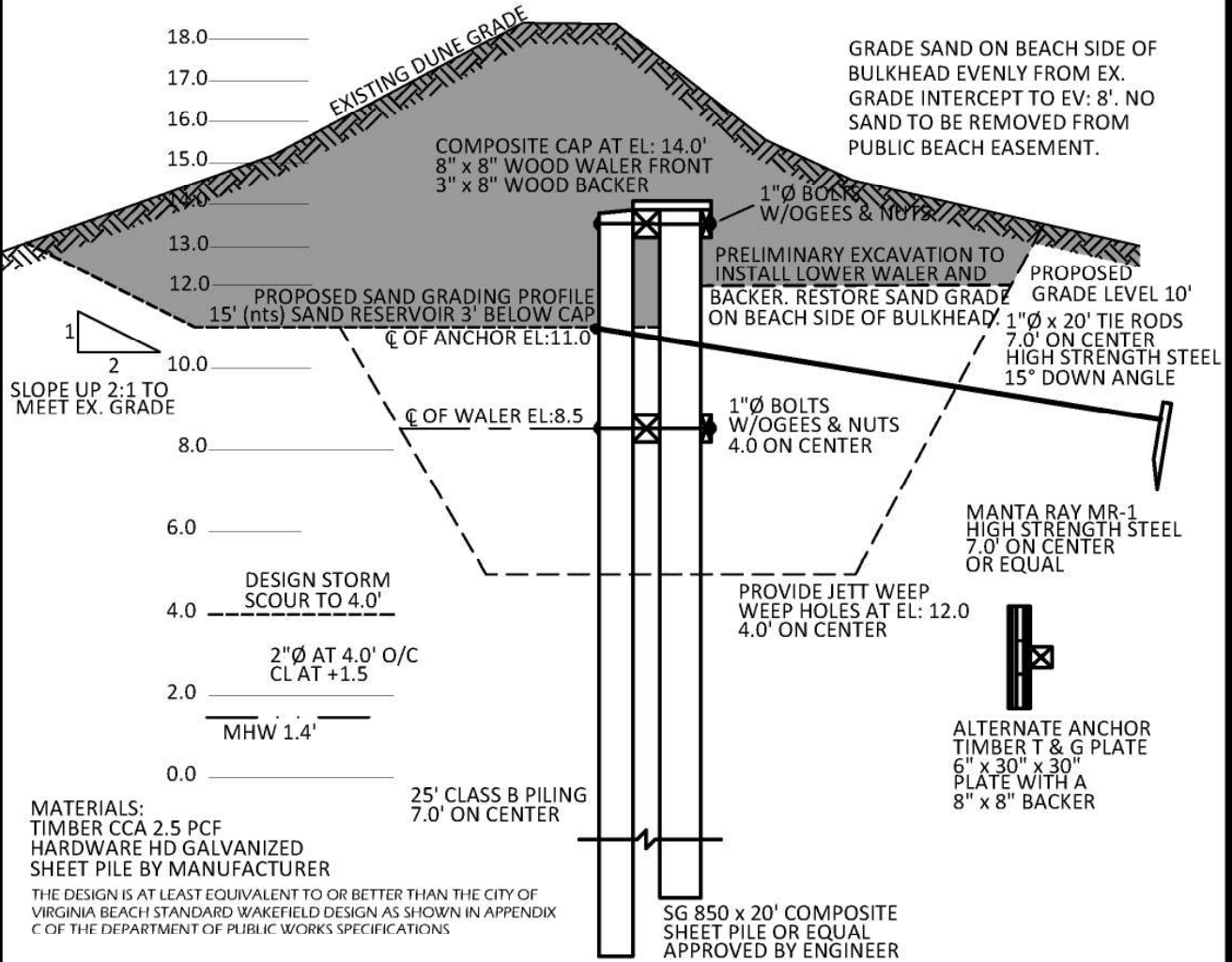
2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

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PROPOSED: BULKHEAD
IN: ATLANTIC OCEAN
AT: 3548 SANDFIDDLER ROAD
VIRGINIA BEACH, VA 23456
APPLICATION BY:
3548 SANDFIDDLER LLC

SHEET: 2 OF 6
DATE: MAY 31, 2023

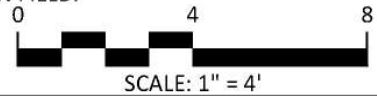
PROPOSED BULKHEAD CROSS SECTION



MATERIALS:
 TIMBER CCA 2.5 PCF
 HARDWARE HD GALVANIZED
 SHEET PILE BY MANUFACTURER

THE DESIGN IS AT LEAST EQUIVALENT TO OR BETTER THAN THE CITY OF VIRGINIA BEACH STANDARD WAKEFIELD DESIGN AS SHOWN IN APPENDIX C OF THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: STORM PROTECTION
 DATUM: NAVD 88
 APOS:
 1. DONNA A. MOONEY
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**WATERFRONT
 CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
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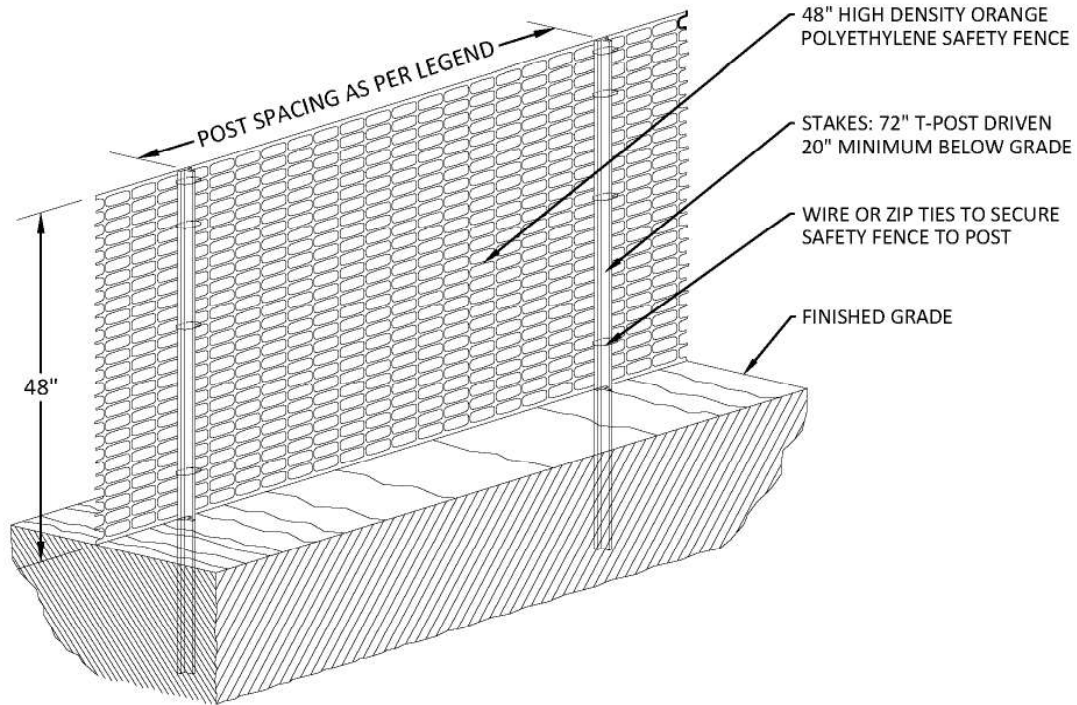
ENGINEERING SERVICES PROVIDED BY:
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PROPOSED: BULKHEAD
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 AT: 3548 SANDFIDDLER ROAD
 VIRGINIA BEACH, VA 23456
 APPLICATION BY:
 3548 SANDFIDDLER LLC

SHEET: 3 OF 6
 DATE: MAY 31, 2023

48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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PURPOSE: STORM PROTECTION
 DATUM: NAVD 88
 APOS:
 1. DONNA A. MOONEY
 2. KYSER LIVING TRUST



**WATERFRONT
 CONSULTING, INC.**

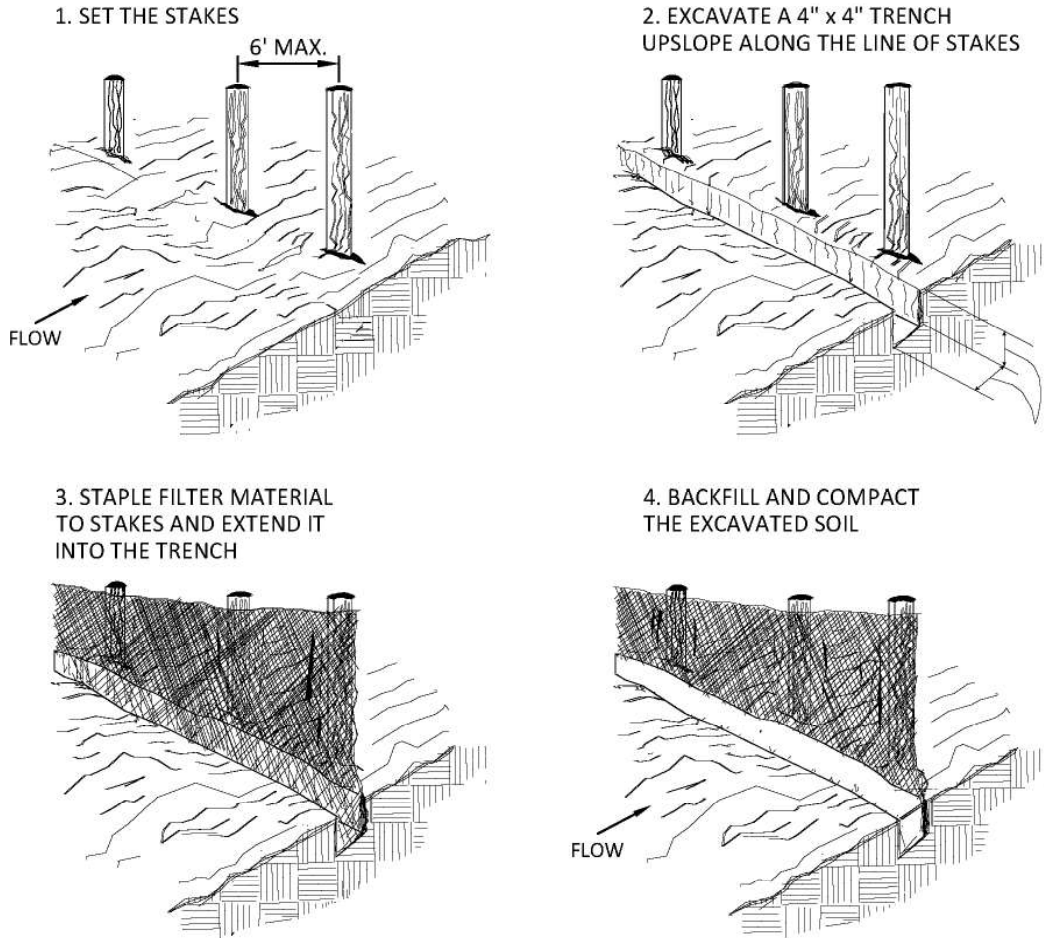
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: ATLANTIC OCEAN
 AT: 3548 SANDFIDDLER ROAD
 VIRGINIA BEACH, VA 23456
 APPLICATION BY:
 3548 SANDFIDDLER LLC

SHEET: 4 OF 6
 DATE: MAY 31, 2023

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SHEET PILE INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2

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PURPOSE: STORM PROTECTION
 DATUM: NAVD 88
 APOS:
 1. DONNA A. MOONEY
 2. KYSER LIVING TRUST



**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: ATLANTIC OCEAN
 AT: 3548 SANDFIDDLER ROAD
 VIRGINIA BEACH, VA 23456
 APPLICATION BY:
 3548 SANDFIDDLER LLC

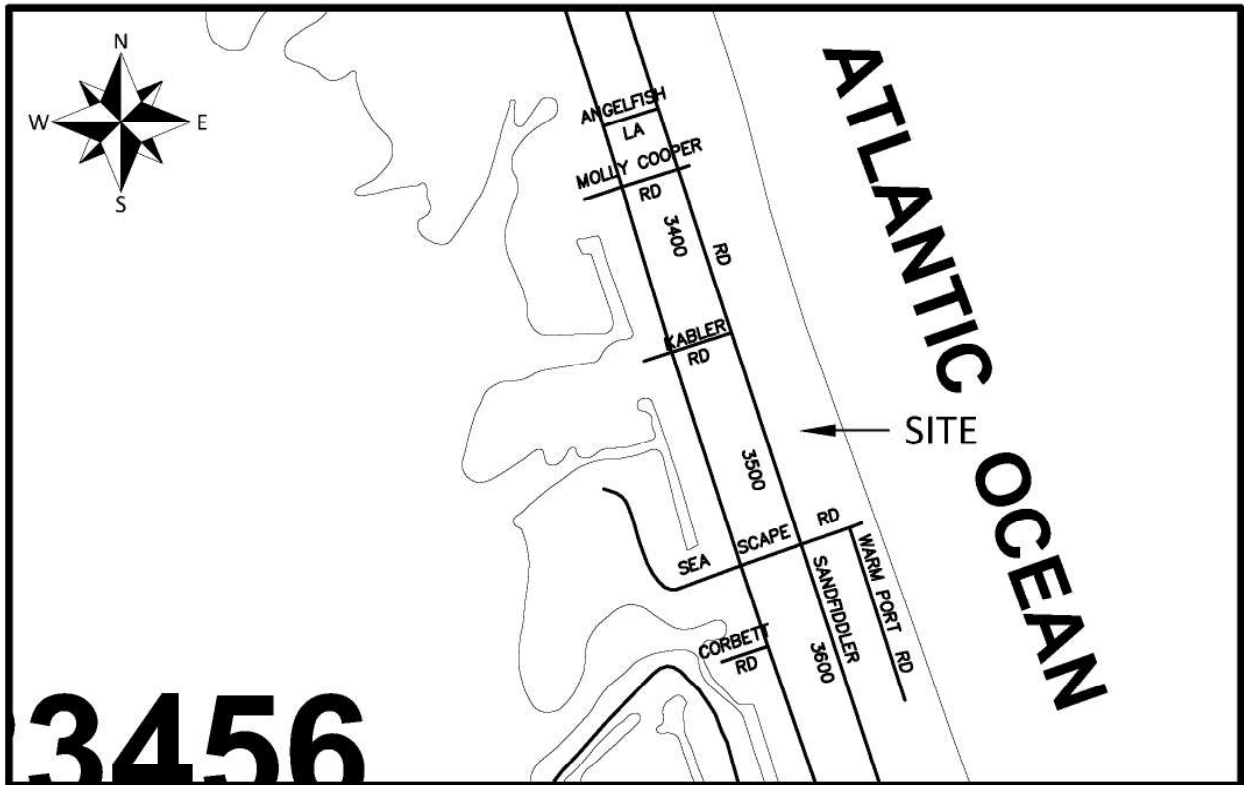
SHEET: 5 OF 6
 DATE: MAY 31, 2023

SITE INFORMATION

LEGAL DESCRIPTION: **LOT 25, SECTION 2, TRACT D, SANDBRIDGE BEACH**
 REFERENCE: **MAP BOOK 67, PAGE 50**, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: **2432-75-0908**
 ZONING: **R-20 RESIDENTIAL**

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

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PURPOSE: STORM PROTECTION
 DATUM: NAVD 88
 APOS:
 1. DONNA A. MOONEY
 2. KYSER LIVING TRUST



WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: ATLANTIC OCEAN
 AT: 3548 SANDFIDDLER ROAD
 VIRGINIA BEACH, VA 23456
 APPLICATION BY:
 3548 SANDFIDDLER LLC

SHEET: 6 OF 6
 DATE: MAY 31, 2023

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: _____ DSC Plan # : _____

Location: 3548 Sandfiddler Road GPIN: 2432-75-0908

Watershed: Albemarle HUC: 03010205

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

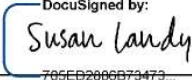
Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
x	Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: 3548 Sandfiddler LLC

Signature of Permittee: _____ Print Name: _____

Date: _____



WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Donna A. Mooney
3544 Sandfiddler Road
Virginia Beach, VA 23456

RE: Proposed Bulkhead
Located at: 3548 Sandfiddler Road, Virginia Beach, VA 23456

Dear Donna A. Mooney

This letter is to notify you that your neighbor(s), 3548 Sandfiddler LLC have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: 3548 Sandfiddler LLC , Applicant

Office: (757) 425-8244
2589 Quality Court, Ste. 323

Mobile: (757) 619-7302

bob@waterfrontconsulting.net
Virginia Beach, VA 23454

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Donna A. Mooney, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of 3548 Sandfiddler LLC.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated May 31, 2023
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

Kyser Living Trust
3254 Orchard Glen Court
Herndon, VA 20171

RE: Proposed Bulkhead
Located at: 3548 Sandfiddler Road, Virginia Beach, VA 23456

Dear Kyser Living Trust

This letter is to notify you that your neighbor(s), 3548 Sandfiddler LLC have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: 3548 Sandfiddler LLC , Applicant

Office: (757) 425-8244
2589 Quality Court, Ste. 323

Mobile: (757) 619-7302

bob@waterfrontconsulting.net
Virginia Beach, VA 23454

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Kyser Living Trust, own land next to (across the water
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of 3548 Sandfiddler LLC.
(Print applicant’s name(s))

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(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner’s signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

2. 2022-WTRA-00233

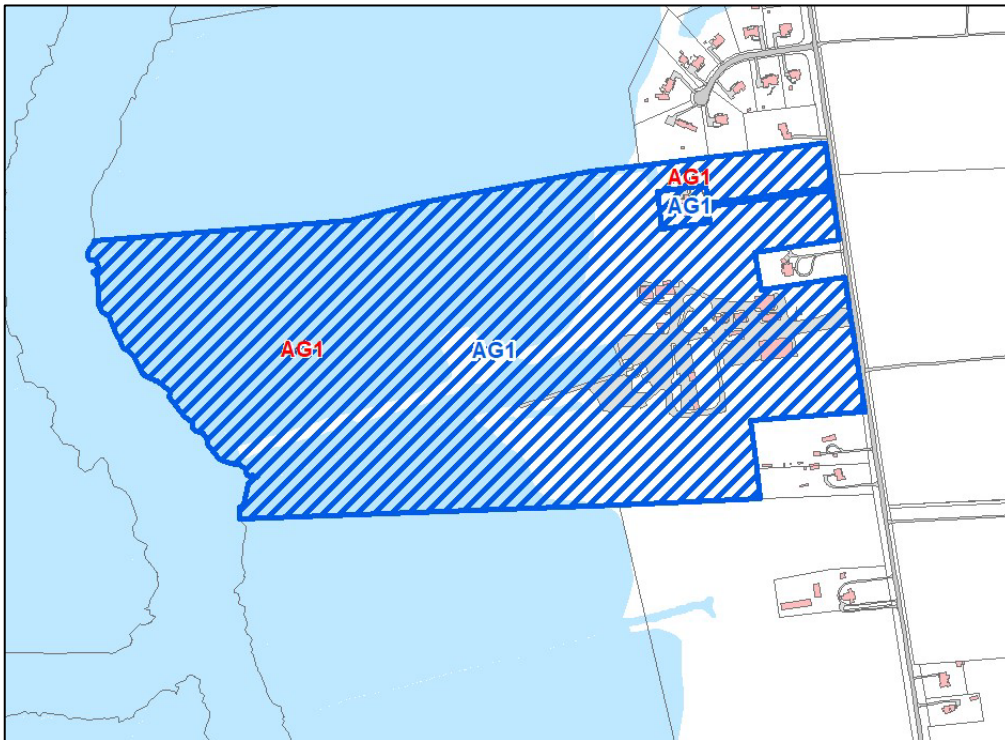
JHS GST Trust

[Applicant & Owner]

781 and 809 Princess Anne Road
GPINs 2309-37-6009 and 2309-48-1216
City Council District: District 2

Waterway – Canal to North Landing River
Subdivision – Pungo

Request: To dredge involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name JHS GST Trust

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Waterways

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Gail Salmons, Trustee

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the company and individual providing the service.

Salmons Dredging

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Grail E. Salmons

Applicant Signature

Grail E. Salmons

Print Name and Title

Nov. 18, 2022

Date

Is the applicant also the owner of the subject property? Yes No

- If yes, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

FOR AGENCY USE ONLY

	Notes:
JPA# 22-2438	

APPLICANTS

PLEASE PRINT OR TYPE ALL ANSWERS. If a question does not apply to your project, please print N/A (not applicable) in the space provided. **If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.**

Check all that apply			
Pre-Construction Notification (PCN) <input type="checkbox"/>	SPGP <input type="checkbox"/>	DEQ Reapplication <input type="checkbox"/> Existing permit number: _____	Receiving federal funds <input type="checkbox"/> Agency providing funding: _____
NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)			
Regional Permit 17 (RP-17) <input type="checkbox"/>			

PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits	Date of Action	If denied, give reason for denial
Private canal was dredged during the mid to late 1960s - prior to accessible permit records.				

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) James Howard Salmons				Agent (if applicable) Rebecca Francese, Waterway Surveys & Engineering			
Mailing address 809 Princess Anne Road				Mailing address 321 Cleveland Place			
City Virginia Beach		State VA	ZIP Code 23457	City Virginia Beach		State VA	ZIP Code 23462
Phone number w/area code 757-426-6824		Fax		Phone number w/area code (757) 490-1691		Fax (757) 490-1348	
Mobile 757-409-6824		E-mail crystal@salmonsinc.com		Mobile (757) 537-5401		E-mail beccaf@waterway.net	
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)			

Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: beccaf@waterway.net

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)

Property owner(s) legal name, if different from applicant JHS - GST Trust			Contractor, if known		
Mailing address 781 Princess Anne Road			Mailing address		
City Virginia Beach	State VA	ZIP code 23457	City	State	ZIP code
Phone number w/area code 757-426-6824	Fax		Phone number w/area code	Fax	
Mobile	E-mail crystal@salmonsinc.com		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

2. PROJECT LOCATION INFORMATION

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

Street Address (911 address if available) 809 Princess Anne Road		City/County/ZIP Code Virginia Beach, VA 23457	
Subdivision Pungo		Lot/Block/Parcel #	
Name of water body(ies) within project boundaries and drainage area (acres or square miles). Private Man-made Canal			
Tributary(ies) to: <u>North Landing River</u> Basin: <u>Albemarle</u> Sub-basin: <u>North Landing</u> (Example: Basin: <u>James River</u> Sub-basin: <u>Middle James River</u>)			
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): <u>N/A</u>			
Project type (check one) <input checked="" type="checkbox"/> Single user (private, non-commercial, residential) <input type="checkbox"/> Multi-user (community, commercial, industrial, government) <input type="checkbox"/> Surface water withdrawal			
Latitude and longitude at center of project site (decimal degrees): <u>36.630134</u> / <u>-76.047095</u> (Example: 37.33164/-77.68200)			
USGS topographic map name: <u>Pleasant Ridge</u>			
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See http://cfpub.epa.gov/surf/locate/index.cfm): <u>03010205</u> If known, indicate the 10-digit and 12-digit USGS HUCs (see http://dswcapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm): <u>0301020512 AS-C - North Landing River</u> <u>030102051205 AS16 Black Water Creek</u>			
Name of your project (Example: <i>Water Creek driveway crossing</i>) <u>Jim Salmons Private Maintenance Dredging</u>			
Is there an access road to the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input type="checkbox"/> public <input checked="" type="checkbox"/> private <input checked="" type="checkbox"/> improved <input type="checkbox"/> unimproved			
Total size of the project area (in acres): <u>2.27 Acres</u>			

2. PROJECT LOCATION INFORMATION (Continued)

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

The private residence is located on Princess Anne Road in the Pungo section of Virginia Beach. The address is marked on the mailbox.

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)? Yes No
 If so, name those localities:

3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in-stream flows, include the water supply issues that form the basis of the proposed project.

The Salmons Private Canal was excavated in the 1960's. The canal and basin are 3,150 ft long with canal widths of 50 ft to 100 ft (veg line to veg line). The canal connects to the North Landing River (non-tidal). The City of Va Beach and VMRC have established a MHW elevation of +1.5 ft NAVD and a MLW elevation of -1.3 ft NAVD for Back Bay. The Corps does not recognize tidal datums in this area, thus the OHW is the established MHW. The canal has not been maintained in more than forty years and has started to silt in hindering recreational navigation during periods of north/northeast winds. The proposed maintenance project is for a channel toe width ranging from 15 ft to 20 ft with a maximum depth of -6.5 ft NAVD. The volume is estimated at 10,000 cy with an area of impact of 2.27 acres in the 2x buffer. The material will be dredged mechanically, placed in barges, transferred to trucks and placed on private farm fields on Salmons property. The dredging will impact 820 sf of emergent vegetated wetlands and 1545 sf of land

between the assumed MHW and MLW +

Date of proposed commencement of work (MM/DD/YYYY) <u> immediat </u> Immediate	Date of proposed completion of work (MM/DD/YYYY) <u> one year after permits </u>
Are you submitting this application at the direction of any state, local, or federal agency? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Has any work commenced or has any portion of the project for which you are seeking a permit been completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Not Applicable

Are you aware of any unresolved violations of environmental law or litigation involving the property? Yes No
 (If yes, please explain)

Not Applicable

4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ 350,000
Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ 350,000

5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.

Failure to provide this information may result in a delay in the processing of your application by VMRC.

Property owner's name	Mailing address	City	State	ZIP code
Nature Conservancy	837 Princess Anne Road	Virginia Beach	VA	23457
JHS GST Trust	781 Princess Anne Road	Virginia Beach	VA	23457
Douglas H. Brown	2117 Blossom Hill Ct.	Virginia Beach	VA	23457

Name of newspaper having general circulation in the area of the project: Virginian Pilot
Address and phone number (including area code) of newspaper _____

Have adjacent property owners been notified with forms in Appendix A? ___ Yes No (attach copies of distributed forms)

6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

7. HISTORIC RESOURCES INFORMATION

Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.

Are any historic properties located within or adjacent to the project site? ___ Yes ___ No Uncertain
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site? ___ Yes ___ No Uncertain
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district? ___ Yes No ___ Uncertain

If Yes, please indicate which district: Not Applicable

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	Maintenance Dredging EX, NT, SB 96,520 sf EX, NT, VG 820 sf EX, NT, NV 1,545 sf				
Latitude / Longitude (in decimal degrees)	36.6301/76.0471				
Wetland/waters impact area (square feet / acres)	98,885 sf(2.27a)				
Dune/beach impact area (square feet)	0				
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)	non-tidal "wind tides" 50 to 100 ft				
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0 cy				

8. WETLANDS/WATERS IMPACT INFORMATION (Continued)

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>	UBL				
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)	wind driven				
Contributing drainage area in acres or square miles (VMRC cannot complete review without this information)	<1 mile				
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII http://leg1.state.va.us/cgi-bin/legp504.exe?000+reg+9	Non-tidal Waters Class III				
For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.					
For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.					

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS

READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

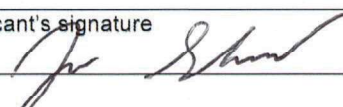
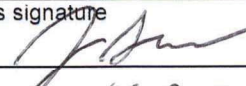
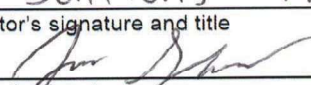
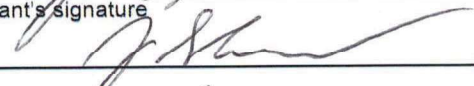
Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	Impacts for natural portion of North Landing River - possible new work <OHW EX, PE, SB, NT 4,530 sf				
Latitude / Longitude (in decimal degrees)	36.6298/76.0525				
Wetland/waters impact area (square feet / acres)	4,530 sf(0.10 a)				
Dune/beach impact area (square feet)	0				
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)	"wind tides" NLR ~ 650 ft Canal ~ 130 ft				
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0 cy				

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)		
Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Legal name & title of Applicant James Howard Salmons	Second applicant's legal name & title, if applicable	
Applicant's signature 	Second applicant's signature	
Date	Date	
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable	
Property owner's signature, if different from Applicant	Second property owner's signature	
Date 10/18/22	Date	
CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S) BEHALF (IF APPLICABLE)		
I (we), <u>James Howard Salmons</u> (and) _____, APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant		
hereby certify that I (we) have authorized <u>Rebecca Francese</u> (and) _____ AGENT'S NAME(S) – complete the second blank if more than one Agent		
to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.		
Applicant's signature 	Second applicant's signature, if applicable	
Date 10/18/22	Date	
Agent's signature and title Rebecca S. Francese	Second agent's signature and title, if applicable	
Date	Date	
Digitally signed by Rebecca S. Francese DN: cn=Rebecca S. Francese, o=Waterway Surveys & Engineering, pu,email=bsf@waterway.net, c=US Date: 2022.11.07 08:58:58 -05'00'		
CONTRACTOR'S KNOWLEDGE AND AGREEMENT (IF APPLICABLE)		
I (we), <u>James Salmons</u> (and) _____, APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant		
have contracted <u>Salmons Inc</u> (and) _____ CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor		
to perform the work described in this Joint Permit Application, signed and dated _____.		
I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.		
Contractor's name or name of firm (printed/typed) <u>Salmons Inc</u>	Contractor's or firm's mailing address <u>P.O. Box 57008</u>	
Contractor's signature and title  Vice Pres	Contractor's license number <u>2705-07942A</u>	Date <u>10/18/22</u>
Applicant's signature 	Second applicant's signature, if applicable	
Date <u>10/18/22</u>	Date <u>10/18/22</u>	

16. BEACH NOURISHMENT (Continued)

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

17. DREDGING, MINING, AND EXCAVATING

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands			0	0			10	820
Non-vegetated wetlands			0	0			60	1,545
Subaqueous land			0	0			9,930	96,520
Totals			0	0			10,000	98,885

Is this a one-time dredging event? Yes No If "no", how many dredging cycles are anticipated: 1 every 10 yrs
 (10 k initial cycle in cu. yds.) (10 k subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

silty sand - estimated 70% fines and 30% sand

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

Mechanically dredged, barged to private basin, transferred to trucks and placed on farmland.

Will the dredged material be used for any commercial purpose or beneficial use? Yes No
 If yes, please explain:

Will be placed on farmland as a beneficial use.

If this is a maintenance dredging project, what was the date that the dredging was last performed? 1960's
 Permit number of original permit: No permit required at the time (It is important that you attach a copy of the original permit.)

17. DREDGING, MINING, AND EXCAVATING (Continued)

For mining projects: On separate sheets of paper, explain the operation plans, including: 1) the frequency (e.g., every six weeks), duration (i.e., April through September), and volume (in cubic yards) to be removed per operation; 2) the temporary storage and handling methods of mined material, including the dimensions of the containment berm used for upland disposal of dredged material and the need (or no need) for a liner or impermeable material to prevent the leaching of any identified contaminants into ground water; 3) how equipment will access the mine site; and 4) verification that dredging: a) will not occur in water body segments that are currently on the effective Section 303(d) Total Maximum Daily Load (TMDL) priority list (available at <http://www.deq.virginia.gov/Programs/Water/WaterQualityInformationTMDLs/TMDL/TMDLDevelopment/TMDLProgramPriorities.aspx>) or that have an approved TMDL; b) will not exacerbate any impairment; and c) will be consistent with any waste load allocation/limit/conditions imposed by an approved TMDL (see, "What's in my backyard" or subsequent spatial files at <http://www.deq.virginia.gov/ConnectWithDEQ/VEGIS.aspx> to determine the extent of TMDL watersheds and impairment segments).

Have you applied for a permit from the Virginia Department of Mines, Minerals and Energy? ____ Yes No If Yes:
Existing permit number: _____ Date permit issued: _____

Contributing drainage area: <1 sq _____ square miles	Average stream flow at site (flow rate under normal rainfall conditions): <u>wind blown</u> _____ cfs
--	---

18. FILL (not associated with backfilled shoreline structures) AND OTHER STRUCTURES (other than piers and boathouses) IN WETLANDS OR WATERS, OR ON DUNES/BEACHES

Source and composition of fill material (percentage sand, silt, clay, rock):

Provide documentation (i.e., laboratory results or analytical reports) that fill material from off-site locations is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site). Documentation is not necessary for fill material obtained from on-site areas.

Explain the purpose of the filling activity and the type of structure to be constructed over the filled area (if any):

Describe any structure that will be placed in wetlands/waters or on a beach dune and its purpose:

Will the structure be placed on pilings? ____ Yes ____ No	Total area occupied by any structure. _____ Square Feet
How far will the structure be placed channelward from the back edge of the dune? _____ feet	How far will the structure be placed channelward from the back edge of the beach? _____ feet

19. NONTIDAL STREAM CHANNEL MODIFICATIONS FOR RESTORATION OR ENHANCMENT, or TEMPORARY OR PERMANENT RELOCATIONS

If proposed activities are being conducted for the purposes of compensatory mitigation, please attach separate sheets of paper providing all information required by the most recent version of the stream assessment methodology approved by the Norfolk District of the U.S. Army Corps of Engineers and the Virginia Department of Environmental Quality, in lieu of completing the questions below. Required information outlined by the methodology can be found at: <http://www.nao.usace.army.mil/Missions/Regulatory/UnifiedStreamMethodology.aspx> or <http://www.deq.virginia.gov/Programs/Water/WetlandsStreams/Mitigation.aspx>.

For all projects proposing stream restoration provide a completed Natural Channel Design Review Checklist and Selected Morphological Characteristics form. These forms and the associated manual can be located at: <https://www.fws.gov/chesapeakebay/StreamReports/NCD%20Review%20Checklist/Natural%20Channel%20Design%20Checklist%20Doc%20V2%20Final%2011-4-11.pdf>

Has the stream restoration project been designed by a local, state, or federal agency? ____ Yes ____ No. If yes, please include the name of the agency here: _____.

Is the agency also providing funding for this project? ____ Yes ____ No

Stream dimensions at impact site (length and average width in linear feet, and area in square feet):
L: _____ (feet) AW: _____ (feet) Area: _____ (square feet)

Contributing drainage area: _____ acres or _____ square miles

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: 781 & 809 Princess Anne Road, Pungo Subdivision

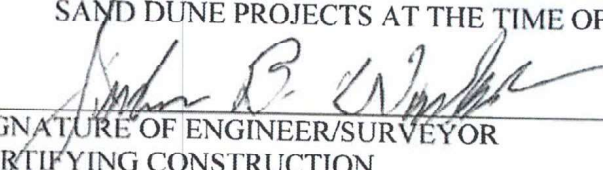
APPLICANT'S NAME: JHS GST Trust

APPLICANT'S ADDRESS: 809 Princess Anne Road

Virginia Beach, VA 23457

OWNER'S NAME
(IF DIFFERENT FROM APPLICANT): Same

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR
CERTIFYING CONSTRUCTION

07/06/2023

DATE

John B. Walsh, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

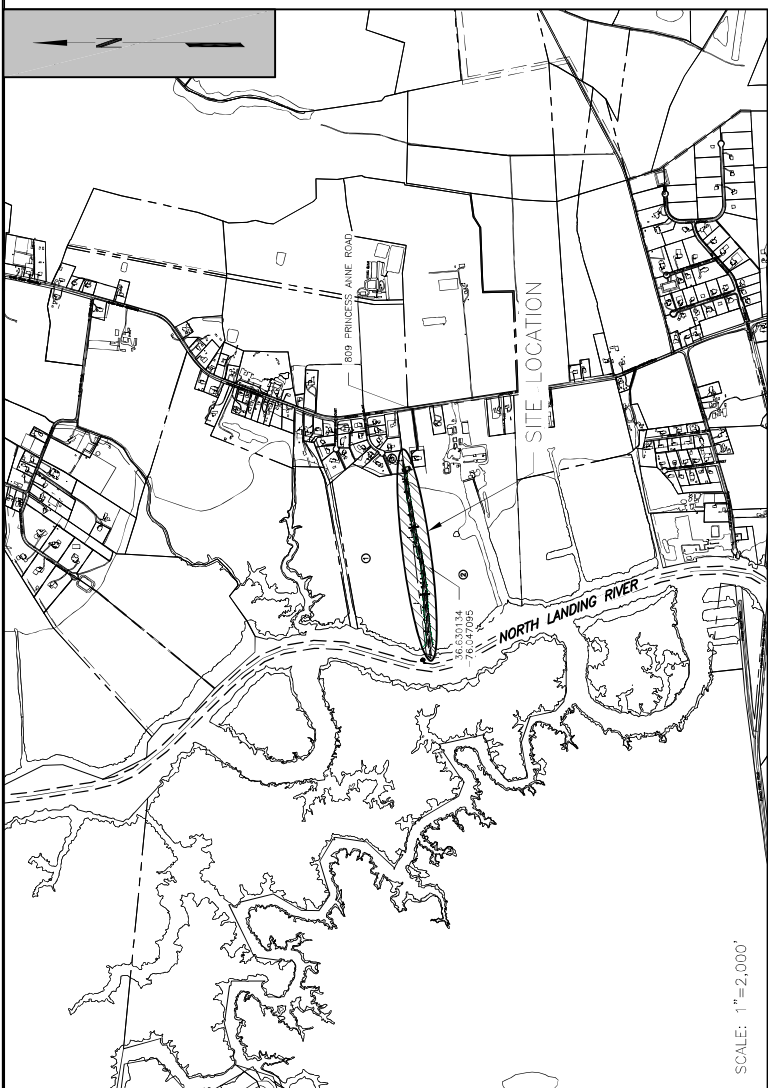


SIGNATURE OF OWNER

7.7.23

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.



DATE	BY	DESCRIPTION OF REVISION
06/14/23	AKB	AS NOTED

JIM SALMONS
 VIRGINIA BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 LOCATION, CROSS SECTIONS AND NOTES
 NORTH LANDING RIVER

Gurveys & Engineering, Ltd.
 10677 49th Street
 Virginia Beach, Virginia 23462
 Phone: (757) 490-1691

JIM SALMONS
 VIRGINIA BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 LOCATION, CROSS SECTIONS AND NOTES
 NORTH LANDING RIVER



REVISION	DATE	BY	DESCRIPTION
AS SHOWN	11/14/22	AS SHOWN	AS SHOWN

DATE: 5/19/22-02-22-01

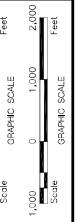
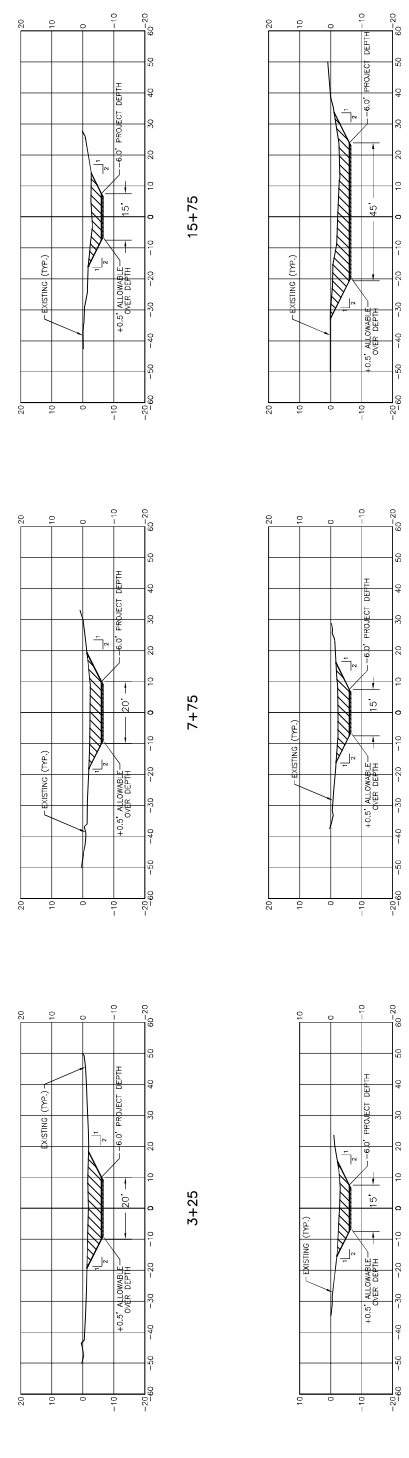
JPA-01
 SHEET 1 OF 2

- NOTES:**
- TOPOGRAPHIC FEATURES COMPILED FROM FIELD SURVEYS BY WATERWAY SURVEYS & ENGINEERING, LTD. ON JULY 2021.
 - COORDINATES ARE IN U.S. SURVEY FEET REFERRED TO THE VIRGINIA STATE GRID (SOUTH ZONE) BASED ON NAVD83.
 - ELEVATIONS ARE IN FEET AND ARE REFERRED NAVD83.
 - BENCHMARK IS A BRASS DISK SET IN CONCRETE ON THE NORTH SIDE OF PUNGO FERRY ROAD EAST OF THE CONCRETE BRIDGE. ELEVATION: 53.4' NAVD83.
 - THIS LINE WAS NOT SURVEYED BY WATERWAY SURVEYS AND ENGINEERING, LTD. IT IS THE PROPERTY LINE AS SHOWN ON THE 2019 DEED FOR BLOSSOM HILL ESTATES WESTWARD TO THE NORTH LANDING RIVER.

- ADJACENT PROPERTY OWNERS:**
- NATURE CONSERVANCY
 - JHS GST TRUST
 - DOUGLAS H BROWN, JR

SHEET INDEX:

JPA-01 LOCATION, CROSS SECTIONS AND NOTES
 JPA-02 PLAN VIEW

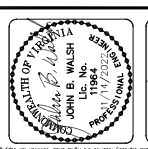


SCALE: 1" = 20'

NO.	DESCRIPTION OF REVISION	BY	DATE

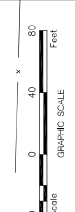
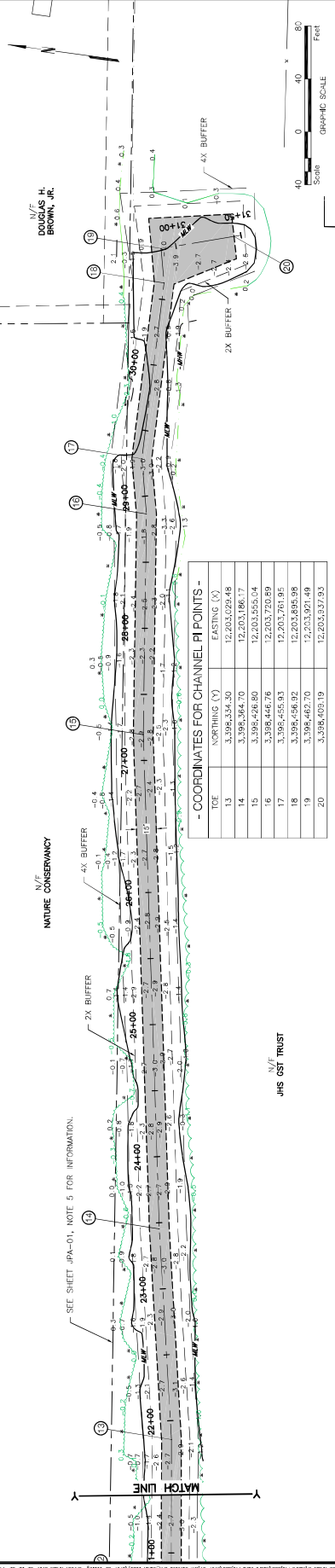
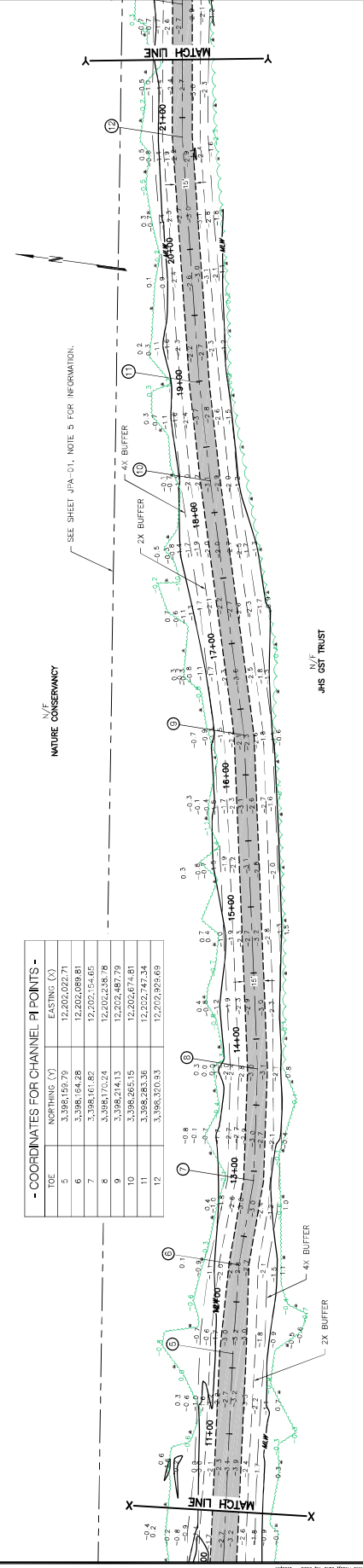
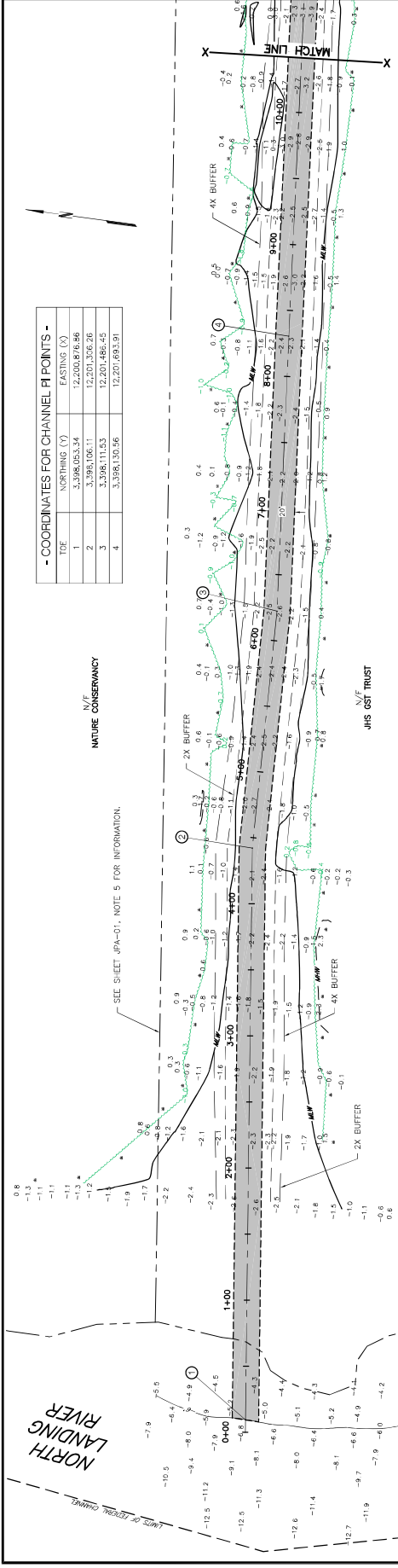
JIM SALMONS
 VIKING BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 NORTH LANDING RIVER

JIM SALMONS
 VIKING BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 NORTH LANDING RIVER



DESIGNED: N/A
 DRAWN: E.M.L./K.L.
 SCALE: 1"=40'
 DATE: 11/14/22
 DRAWING NO.: 5/197-00-27-02

JPA-02
 SHEET 2 OF 2





321 Cleveland Place, Virginia Beach, VA 23462
Phone (757) 490-1691 Fax (757) 490-1348

16 June 2023

RE: Salmons Farms North Boundary Location

To Whom it may concern:

The northern boundary of the Salmons Property (GPIN 2309 37 6009 0000) extending westerly beyond the southwest corner of Lot 5, Amended Subdivision Plat of Blossom Hill Estates (Map Book 216, Page 70-71) has not been surveyed by Waterway Surveys & Engineering, Ltd.

The current description of this line by the adjoining property on the North, The Nature Conservancy – Deed Book 3123, Page 1150, only describes its boundaries by reference to “Lot 21-A” as shown on “Subdivision of Lot 21, Blossom Hill Estates M.B. 216, Pg. 71” recorded in Map Book 221, Page 39. These plats do not depict or describe the extents of Lot 21-A, but it is shown only as a remainder parcel abutting the buildable lots (5, 6, 7, 13, and 14) of Blossom Hill Estates.

The previous description of this line in conveyance from William A. Cox, III, Sole Acting Trustee to Blossom Hill Estates, Ltd. reads: “Beginning at a cedar on the West side of a road now or formerly known as Pungo Road, a corner of property now or formerly owned by Batter and Guynn and running along a line of marked tree (sic) to North River;”.

Salmons deed (ex. Inst. 20200611000499600) describe this line only by “call for adjoiner”; “on the North by the lands now or formerly owned by W. J. Lawrence”.

Given the lack of accurate title descriptions and physical evidence to locate this boundary, Waterway Surveys & Engineering, Ltd. considers the property line (for the portion defined in first paragraph above) to be currently indeterminate.

In this Surveyor’s opinion, and presently lacking any evidence to the contrary, the boundary line would be best established as an extension of the recorded southern line of Blossom Hill Estates westward to the North Landing River.

Russell C. Sanderson, LS PLS
Waterway Surveys & Engineering, Ltd.



SALMONS PRIVATE DREDGING PROJECT OCTOBER, 2022

Project Location

The Salmons Private Dredging project is located at 809 Princess Anne Road in Virginia Beach. The man-made canal was excavated during the 1960's prior to formal permit requirements.

Purpose & Need

To restore navigational depths in the private canal. The attached sheets JPA-01, JPA-02, and JPA-02-Attachment accompany the JPA form and provide the project details and the project impacts.

Proposed Project

The proposed project includes the maintenance dredging of a 3,150 ft channel with toe widths ranging from 15 ft to 20 ft. The design depth is -6.5 ft NAVD, which matches ambient contours in the North Landing River. The estimated volume is 10,000 cy. This project will meet the purpose and need and minimize impacts to vegetated wetlands.

Avoidance and Minimization

The canal ranges in width from 50 ft to 100 ft between the PFO and EME wetland areas (Wetland Attachment). The design channel width was minimized to the most practicable extent possible and numerous PIs (bends) in the channel were added to reduce impacts to vegetated wetlands within the 4x buffer area. (There are no vegetated impacts in the 2x buffer.) The dredging will impact 820 sf of vegetated wetlands within the 4x buffer.

The North Landing River is non-tidal and water levels are driven by winds. The northerly winds blow the water out of Back Bay and lower the water level, while the southerly winds hold the water into Back Bay increasing the water level. The Virginia Marine Resources Commission (VMRC) and the Virginia Beach Wetlands Board established datums to represent tidal elevations in Back Bay. They use an elevation of +1.5 ft NAVD to represent MHW and -1.3 ft NAVD to represent MLW. The Corps does not recognize the established tidal datums and thus for federal regulatory purposes an elevation of +1.5 ft NAVD is used to represent OHW.

The JPA-02-Attachment includes the 2x and 4x buffers with the established impacts. The shaded green shows the impacts to vegetated wetlands within the 4x buffer and the light brown shade shows impacts to "non-vegetated" wetlands within the 2x buffer. The estimated impact to non-vegetated wetlands within the 2x buffer is 1,545 sf. Note that the Corps considers this area subaqueous since it is non-tidal and therefore is not considered a wetland environment.

Compensation and Mitigation

The Owner proposes to purchase credits for impacts to vegetated wetlands through the Virginia Beach Wetlands Board as part of their review or through an established bank. The Owner does not propose to mitigate for 1,545 sf of “non-vegetated” wetlands since the Corps considers the area to be subaqueous.

Environmental Justice

There are no environmental justice issues associated with this project. The private canal is located in a rural area of Virginia Beach that has been owned by the same family for more than a century.

Threatened and Endangered Species

The only listed species is the Northern Long Eared Bat. Note that there will not be any tree clearing associated with this project, therefore, there will not be any impacts to critical habitat.

Historical and Cultural Resources.

Attachment III provides the results from the VCRIS database search. Two resources were located within ~1/4 mile of the dredging area. Site 134-0367 is located about 1,500 ft south and site 134-0370 is located about 2,000 ft to the northeast. The dredging will not have any direct impact (dredging construction) or indirect impact (viewshed/noise) of these properties.

Dredging Plan

The material will be excavated (mechanically dredged) and placed in scow barges for transport to a transfer area at the shoreline. The transfer area will take place either in the private basin or at the Salmons yard south of the private basin. The material will then be hauled to selected farm fields for disposal.

Subaquatic Vegetation

There is no subaquatic vegetation in the dredging area.

Shellfish Leases

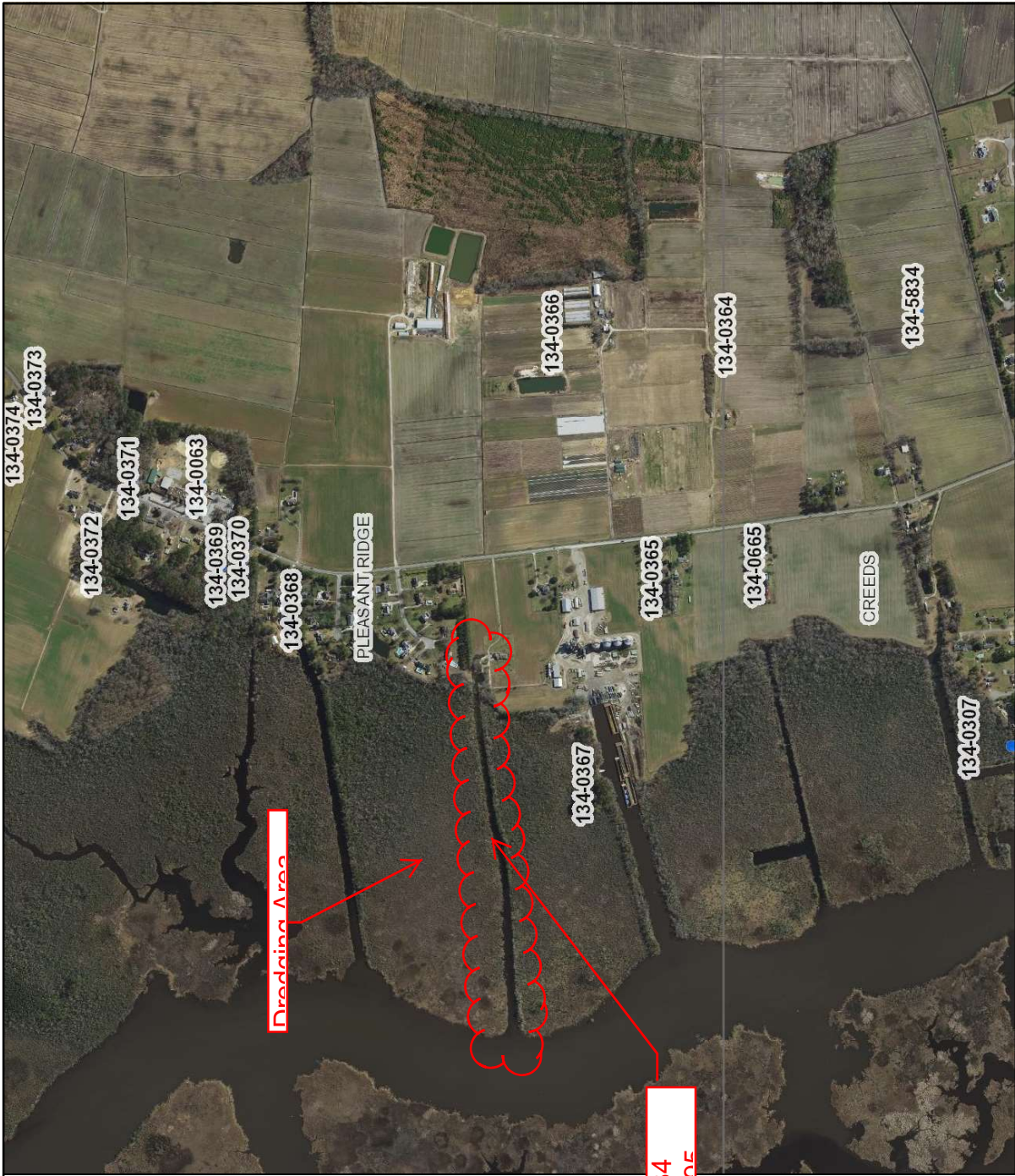
There are no shellfish leases in the dredging area.

Salmons Private Canal Dredging Project - National Wetlands Inventory



Legend

- Architecture Labels
- Public View Architecture Points
- Public View Historic Districts
- County Boundaries
- Topo Quad Grid



Title: Jim Salmons Private Dredging

Date: 10/10/2022

DISCLAIMER: Records of the Virginia Department of Historic Resources (DHR) have been gathered over many years from a variety of sources and the representation depicted is a cumulative view of field observations over time and may not reflect current ground conditions. The map is for general information purposes and is not intended for engineering, legal or other site-specific uses. Map may contain errors and is provided "as-is". More information is available in the DHR Archives located at DHR's Richmond office.

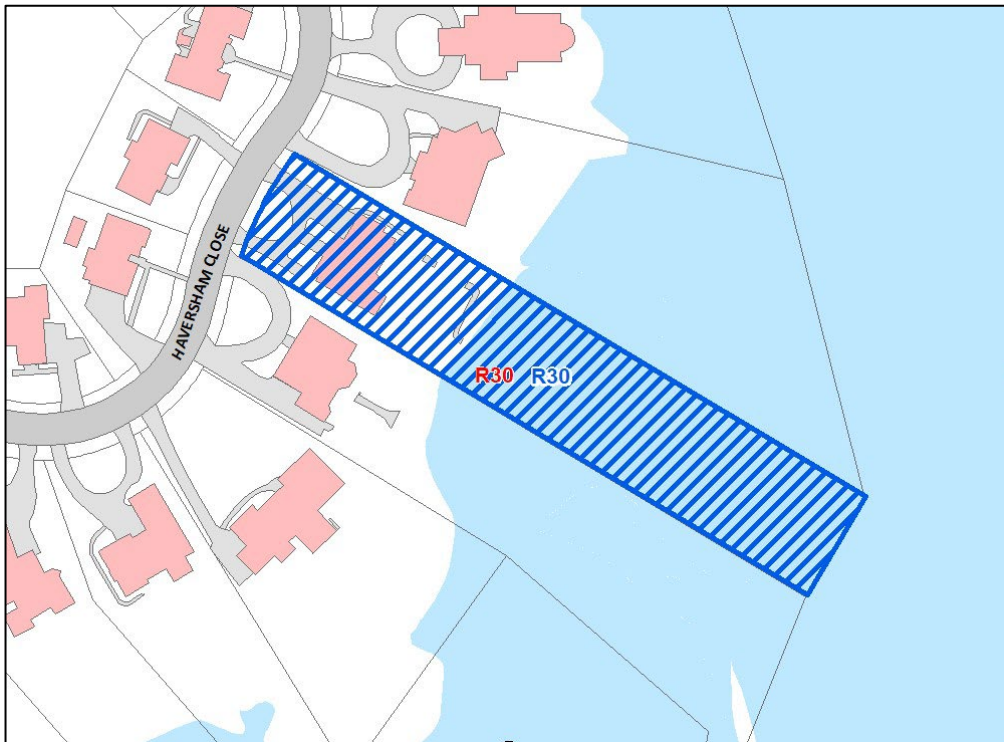
Notice if AE sites: Locations of archaeological sites may be sensitive the National Historic Preservation Act (NHPA), and the Archaeological Resources Protection Act (ARPA) and Code of Virginia §2.2-3705.7 (10). Release of precise locations may threaten archaeological sites and historic resources.

3. 2023-WTRA-00157
Allen M. & Barbara J. Larar
[Applicants & Owners]

2389 Haversham Close
GPIN 2409-14-7744
City Council District: District 8

Waterway – Broad Bay
Subdivision – Broad Bay Point Greens

Request: To construct a rip rap revetment involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Allen & Barbara Larar

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.
Robert Simon - Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Agent - Robert Simon, Waterfront Consulting, Inc. Engineer - Sean E. Green, P.E. Stone Green Consulting, LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am **responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

4F5C06678D3C438...

Applicant Signature
Allen & Barbara Larar

Print Name and Title

7/5/2023

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input checked="" type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Ferebee Cove</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Allen & Barbara Larar Home (757) 351-3440
2389 Haversham Close Work () _____
Virginia Beach, VA 23454 Fax () _____
Cell () _____
e-mail poqaml@gmail.com
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Waterfront Consulting, Inc. Home () _____
2589 Quality Court, Ste. 323 Work (757) 425-8244
Virginia Beach, VA 23454 Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove the existing boat lift, float, & pier, construct approximately 101 LF of granite quarry stone riprap with new timber sheeting lag bolted to the existing bulkhead, and construct a timber pier with a new four pile boat lift as shown in the permit drawings.

The pier will use (32) 8" timber piles and the boat lift will use (4) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on a barge.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 2389 Haversham Close

Lot/Block/Parcel# Lot 60, Phase 1, Broad Bay Point Greens

Subdivision Broad Bay Point Greens

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.89552 / -76.04224 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary Purpose: Shoreline Stabilization

Secondary Purpose: Boating Access

Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

A living shoreline was not considered at the site due to the height of the existing bulkhead, infrastructure behind the bulkhead, and dredged basin along the toe of the riprap adjacent to the groin wall. There are 811 SF of NVW rock on mud impacts that are self mitigating and 160 SF VW impacts that will be compensated for with an in-lieu fee.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ TBD

Approximate cost of that portion of the project that is channelward of mean low water:
\$ TBD

13. Completion date of the proposed work: Approximately 1 year from permit date - _____

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Barry A. Rudiger

2385 Haversham Close

Virginia Beach, VA 23454

Haversham LLC

2828 Shipps Corner Road

Virginia Beach, VA 23453

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

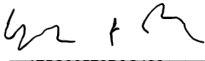
In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Allen & Barbara Larar

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:



Applicant's Signature

(Use if more than one applicant)

7/5/2023

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Allen & Barbara Larar, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

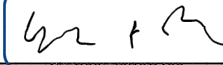
(Agent’s Signature)

(Use if more than one agent)

7/5/2023

(Date)

DocuSigned by:



(Applicant’s Signature)

(Use if more than one applicant)

7/5/2023

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Allen & Barbara Larar, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

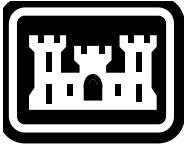
Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date



REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Robert E. Simon, V.P.

Proposed work to be located at:
2389 Haversham Close, Virginia Beach, VA 23454

Signature of Property Owner(s) or Agent

Date _____

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The project is to remove the existing boat lift and pier and construct a timber pier with a new four pile boat lift as shown in the permit drawings.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 40 feet.

Channelward of Mean High Water? 40 feet.

Channelward of Mean Low Water? 32 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 64 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 458 square feet.

What is the total size of any and all L- or T-head platforms? 0 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to construct approximately 101 LF of granite quarry stone riprap with new timber sheeting lag bolted to the existing bulkhead as shown in the permit drawings.

There will be no fill placed below the plane of MHW and approximately 0.025 acres of aquatic impact.

2. What is the maximum encroachment channelward of mean high water? 11 feet.
Channelward of mean low water? 3 feet.
Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 160 square feet
 - Non-vegetated wetlands 811 square feet
 - Subaqueous bottom 135 square feet
 - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

Rip Rap - Class 1 & A1 quarry stone, heavy duty filter cloth

Bulkhead - Timber Sheeting, H.D. Galvanized Hardware, heavy duty filter cloth

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 75-150 pounds per stone Class size 1 & A1
 Armor (outer layer) material 75-150 pounds per stone Class size 1 & A1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water
- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water
- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement:
- _____
 Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at
[http://www.vims.edu/about/search/index.php?q=planting+guidelines:](http://www.vims.edu/about/search/index.php?q=planting+guidelines)

ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2389 Haversham Close

APPLICANT'S NAME: Allen & Barbara Larar

APPLICANT'S ADDRESS: 2389 Haversham Close

Virginia Beach, VA 23454

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: Bulkhead Sheets, Riprap, Pier, & Boat Lift

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

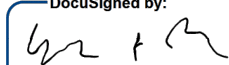
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Sean E. Green, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DocuSigned by:



7/5/2023

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

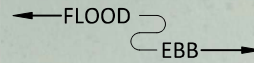


BROAD BAY

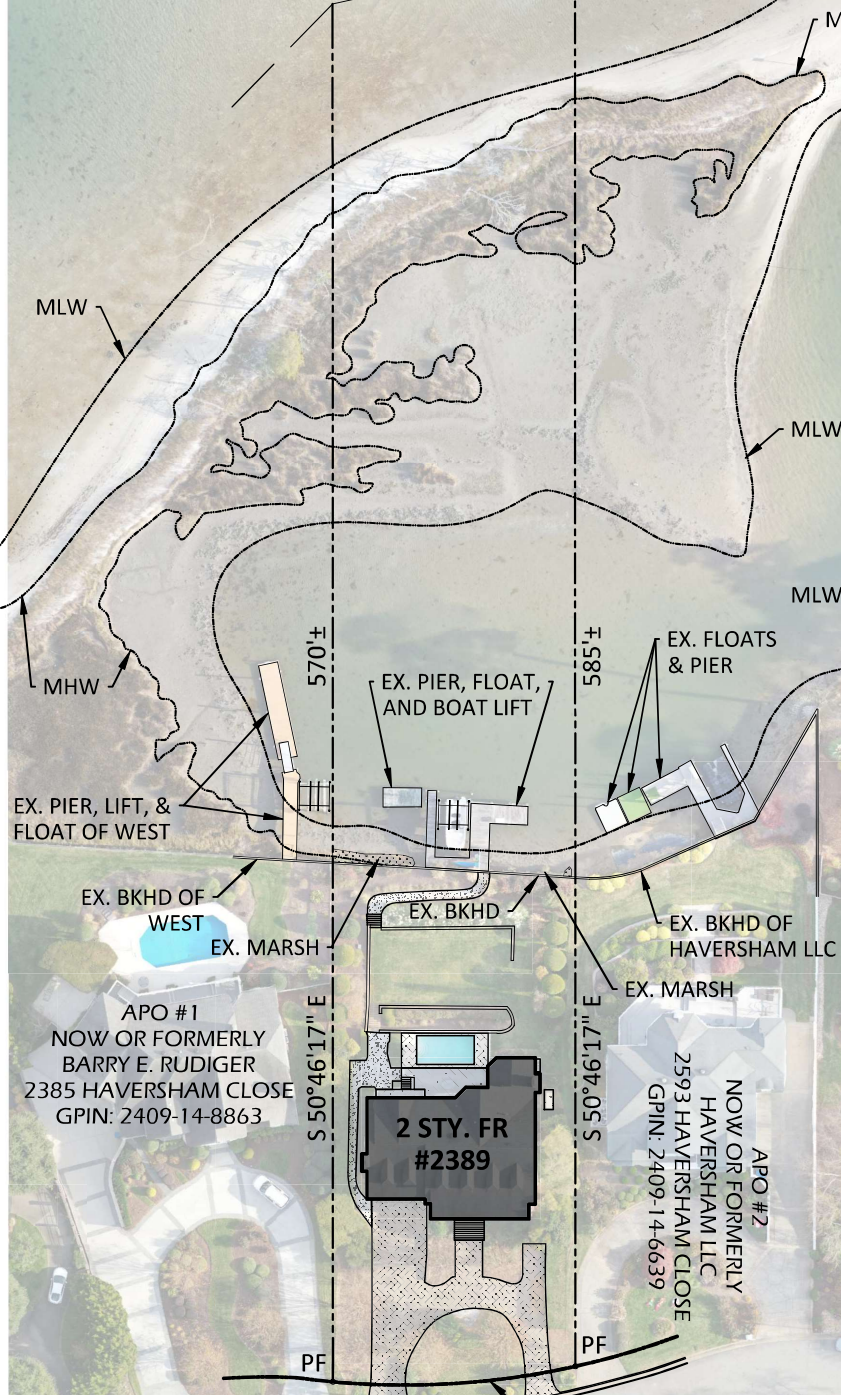
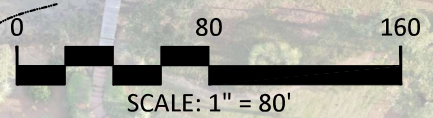


S 26°45'41" W
103.45'
(TIE LINE ONLY)

FEREBEE COVE



EXISTING
CONDITIONS



PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER

REV:



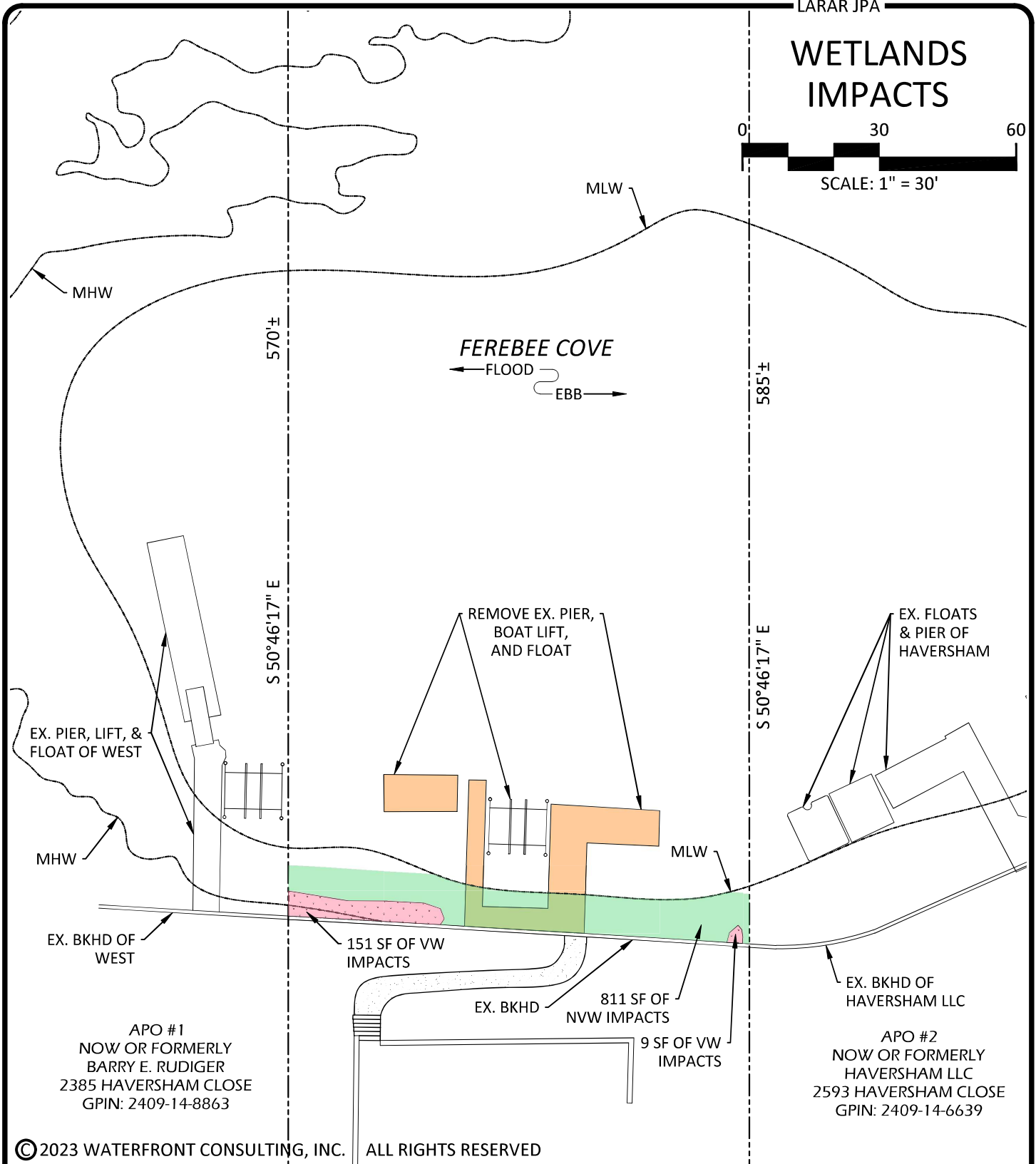
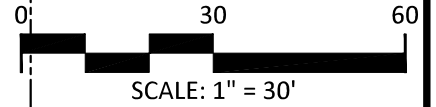
WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 1 OF 8
 DATE: AUGUST 29, 2023

WETLANDS IMPACTS



PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER

REV:



**WATERFRONT
CONSULTING, INC.**

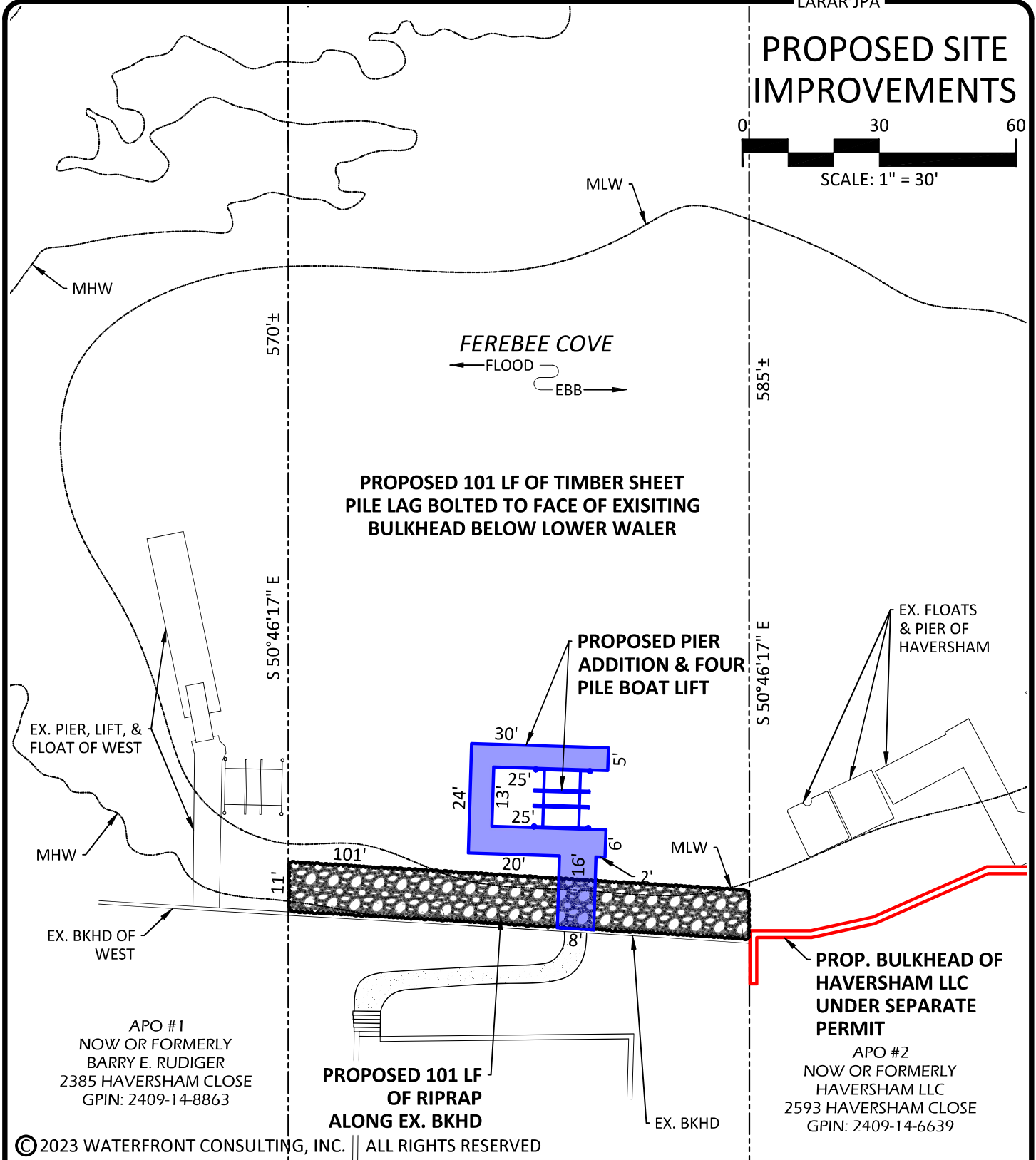
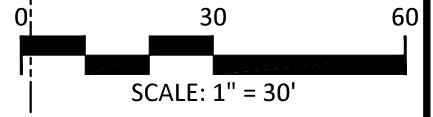
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 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 2 OF 8
 DATE: AUGUST 29, 2023

PROPOSED SITE IMPROVEMENTS



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER

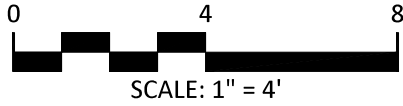
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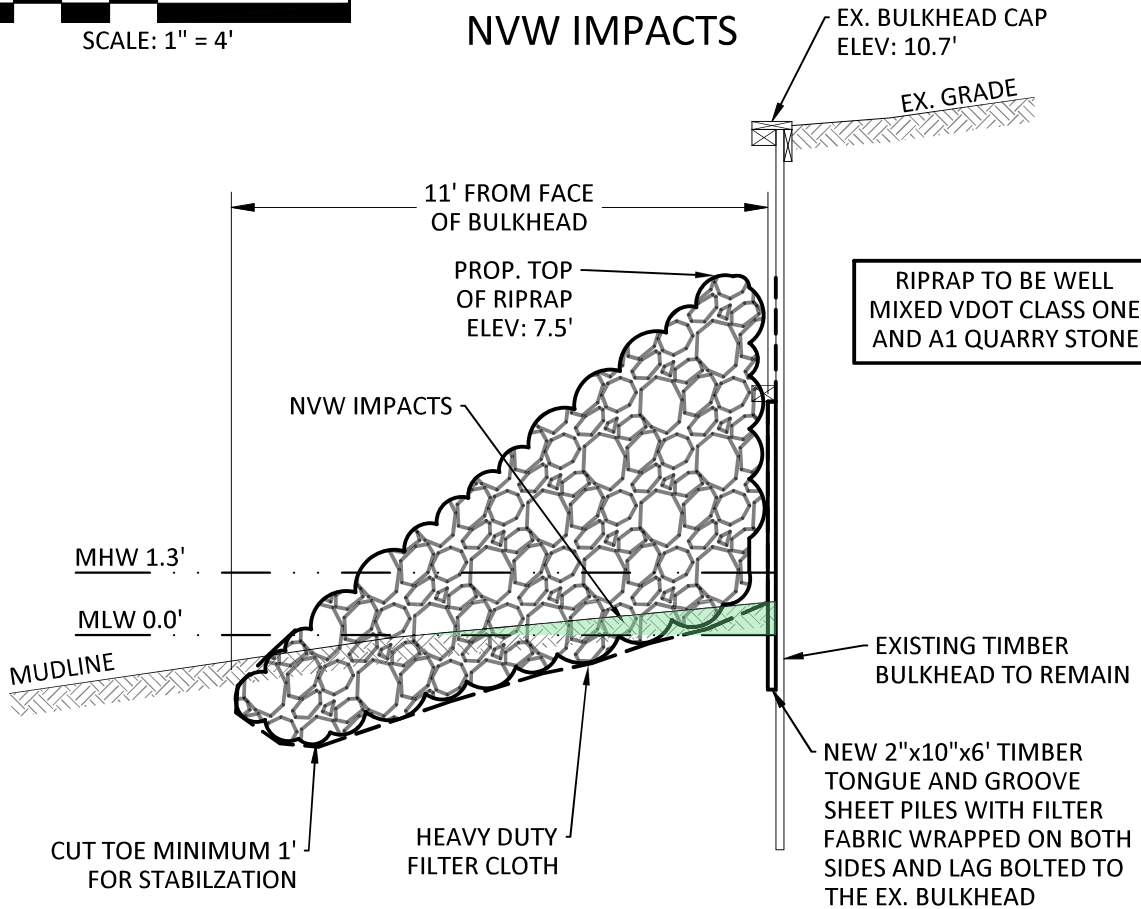
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 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 3 OF 8
 DATE: AUGUST 29, 2023



PROPOSED RIPRAP CROSS SECTION NVW IMPACTS



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.
4. ANY SHELLFISH IMPACTED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE STRUCTURE(S), PRESERVED IN THE WATER COLUMN, AND RETURNED/PLACED ON THE COMPLETED OR EXISTING RIP RAP ON SITE APPLICABLE AT A SIMILAR PLACE IN THE WATER COLUMN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER



**WATERFRONT
CONSULTING, INC.**

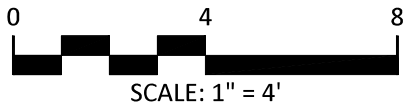
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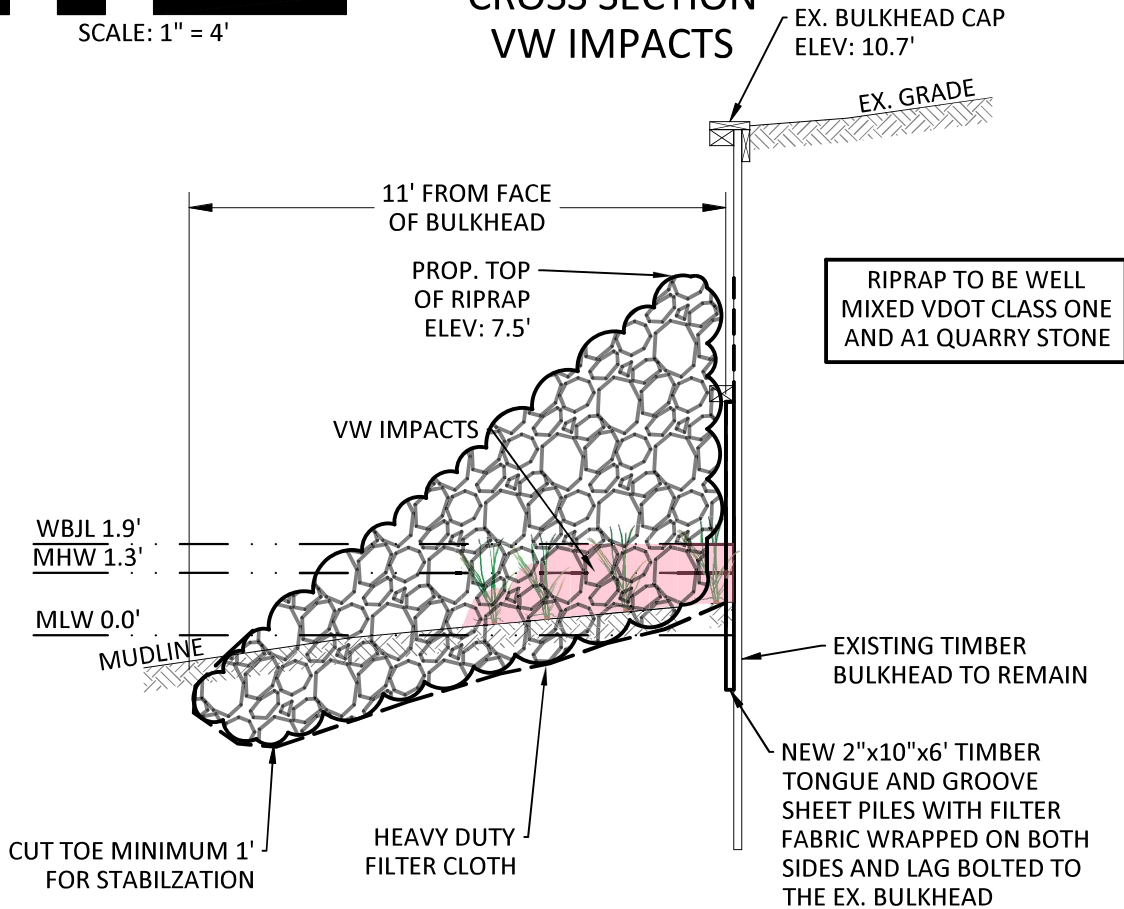
PROPOSED: RIPRAP, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 4 OF 8
 DATE: AUGUST 29, 2023

REV:



PROPOSED RIPRAP CROSS SECTION VW IMPACTS



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.
4. ANY SHELLFISH IMPACTED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE STRUCTURE(S), PRESERVED IN THE WATER COLUMN, AND RETURNED/PLACED ON THE COMPLETED OR EXISTING RIP RAP ON SITE APPLICABLE AT A SIMILAR PLACE IN THE WATER COLUMN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER



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CONSULTING, INC.**

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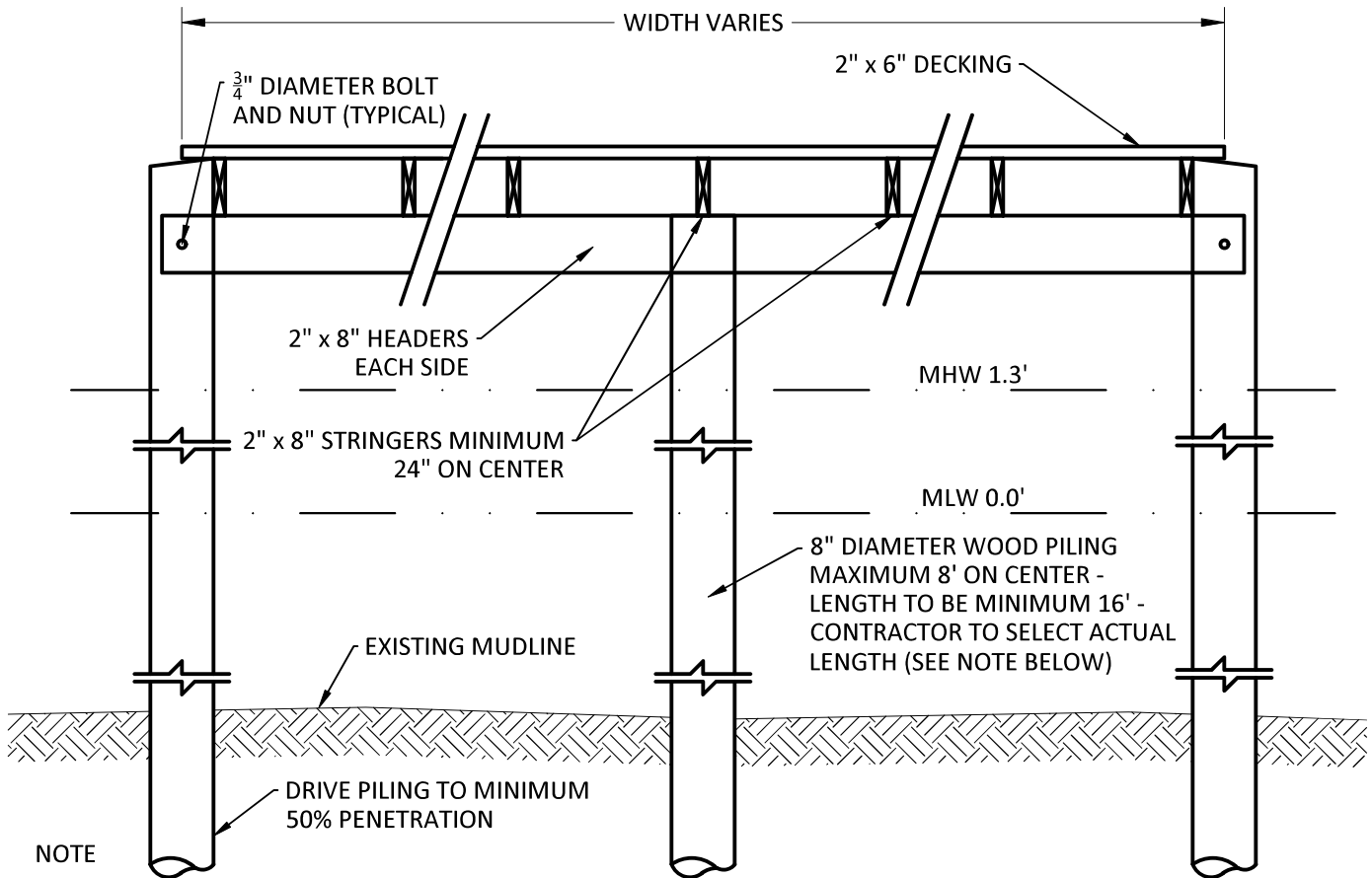
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 (330) 883-2117

PROPOSED: RIPRAP, PIER, & BOAT LIFT
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 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 5 OF 8
 DATE: AUGUST 29, 2023

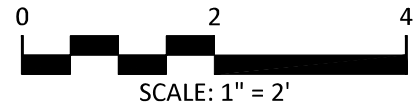
REV:

PROPOSED PIER CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER



**WATERFRONT
CONSULTING, INC.**

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ENGINEERING SERVICES PROVIDED BY:
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PROPOSED: RIPRAP, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 6 OF 8
 DATE: AUGUST 29, 2023

REV:

NLAA COMPLIANCE

ITEM	8"PILE	10" PILE	12" PILE		
PIER	32				
BOAT LIFT		4			

ALL NOTED PILES ARE CHANNELWARD OF MEAN HIGH WATER AND ARE TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER



**WATERFRONT
 CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 7 OF 8
 DATE: AUGUST 29, 2023

REV:

SITE INFORMATION

LEGAL DESCRIPTION: LOT 60, PHASE 1, BROAD BAY POINT GREENS

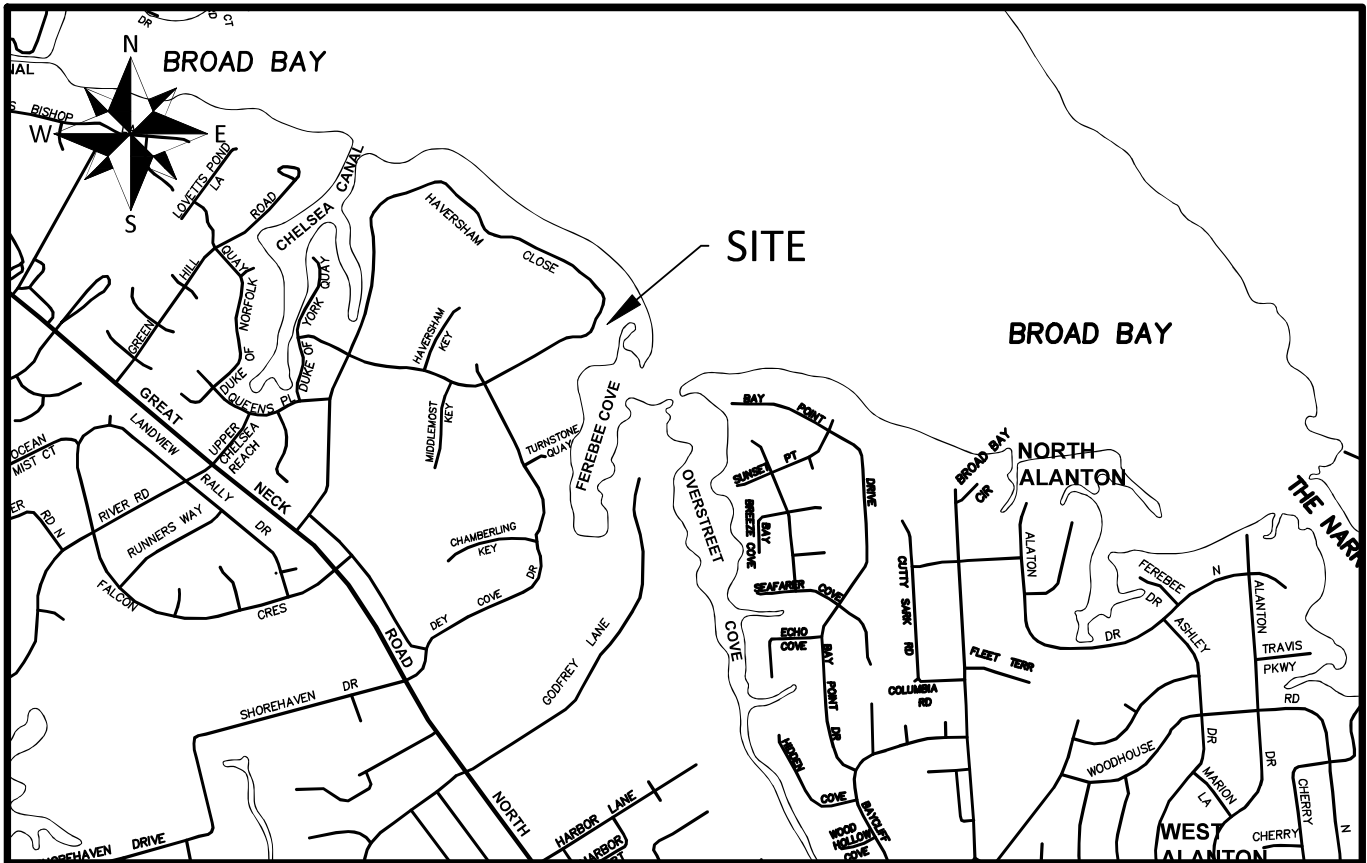
REFERENCE: MAP BOOK 188, PAGE 8, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA

GPIN: 2409-14-7744

ZONING: R-30 RESIDENTIAL

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

© 2023 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED

PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. BARRY E. RUDIGER

REV:



**WATERFRONT
 CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

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 APPLICATION BY:
 ALLEN & BARBARA LARAR

SHEET: 8 OF 8
 DATE: AUGUST 29, 2023



WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Barry A. Rudiger
2385 Haversham Close
Virginia Beach, VA 23454

**RE: Proposed Bulkhead Sheets, Riprap, Pier, & Boat Lift
Located at 2389 Haversham Close, Virginia Beach, VA 23454**

Dear Barry A. Rudiger

This letter is to notify you that your neighbor(s), Allen & Barbara Larar have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Allen & Barbara Larar , Applicant

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Barry A. Rudiger, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Allen & Barbara Larar.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated July 3, 2023, rev. August 29, 2023
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Haversham LLC
2828 Shipps Corner Road
Virginia Beach, VA 23453

**RE: Proposed Bulkhead Sheets, Riprap, Pier, & Boat Lift
Located at 2389 Haversham Close, Virginia Beach, VA 23454**

Dear Haversham LLC

This letter is to notify you that your neighbor(s), Allen & Barbara Larar have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Allen & Barbara Larar , Applicant

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Haversham LLC, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Allen & Barbara Larar.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated July 3, 2023, rev. August 29, 2023
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

4. 2023-WTRA-00115

Westminster-Canterbury on Chesapeake Bay

[Applicant & Owner]

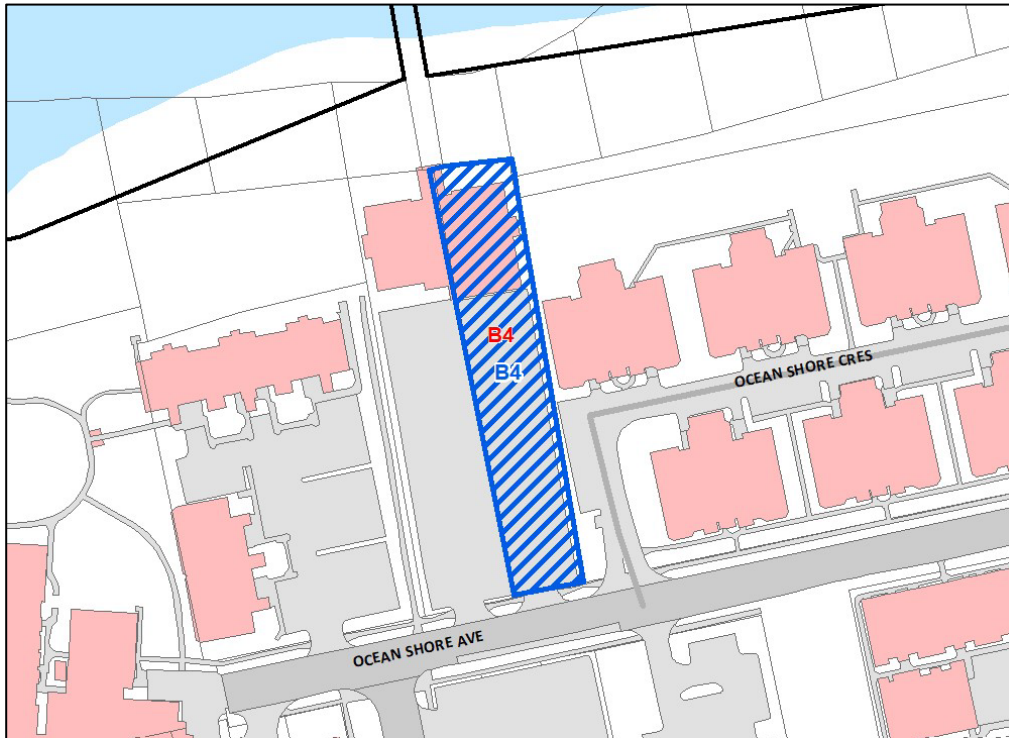
GPIN 1590-10-0956

City Council District: District 8

Waterway – Chesapeake Bay

Subdivision – Westminster-Canterbury on Chesapeake Bay

Request: To construct new public beach access walkway with handicap ramp to beach involving Coastal Primary Sand Dune/Beach.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Westminster-Canterbury on Chesapeake Bay

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Mark Borst

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Attached

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



BOARD OF TRUSTEES

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John D. Cavanaugh, Vice Chair
Bernie Boone, Secretary
Katherine Willis, Treasurer

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Ex-Officio

The Rt. Rev. Susan Haynes
The Rev. Liza Hendricks, General Presbyter

3100 Shore Drive, Virginia Beach, VA 23451

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property? Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

CLA

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

HKS, Inc., WPL Site Design

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the company and individual providing the service.

The Whiting-Turner Contracting Company

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm and individual providing the service.

Kimley-Horn and Associates, Inc., WPL Site Design

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm and individual providing the service.

RJN LAW LLC

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

J. Benjamin Unkle, Jr., President & CEO

Print Name and Title

6/9/2023

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	



Environmental Support Document

Project: Westminster-Canterbury Chesapeake Bay Beach Access Plan
To: Virginia Beach Local Wetlands Board
From: Victoria Holmes, WPIT, Kimley-Horn
Karl Mertig, CPWD, Kimley-Horn
Date: August 15, 2023
Subject: Environmental Support Document for Joint Permit Application
JPA 2023-WTRA-00115 (VMRC #23-1120)

Please accept the following information as a Joint Permit Application (JPA) to the Virginia Beach Local Wetlands Board (LWB) for the construction of a beach access path (timber stairs) for the proposed expansion of the Westminster-Canterbury Chesapeake Bay (WCCB) campus located at 2428 Ocean Shore Crescent, Virginia Beach, VA 23451. We believe the proposed activity qualifies for coverage under Article 16 of the Virginia Beach Code of Ordinances.

The following information is being submitted by Kimley-Horn (agent) on behalf of Westminster-Canterbury on Chesapeake Bay (applicant) in accordance with §28.2-1408 of the Code of Virginia and guidelines promulgated pursuant to §28.2-1401 of the Code of Virginia. The JPA form is provided in **Attachment A**.

1. Applicant & Agent

1.1. Applicant

Westminster-Canterbury on Chesapeake Bay
c/o Mark Borst
3100 Shore Drive
Virginia Beach, Virginia 23451
(Office) 757.496.1149

1.2. Agent

Kimley-Horn & Associates
Attn: Victoria Holmes, WPIT
4525 Main Street, Suite 1000
Virginia Beach, VA 23462
(Office) 757.350.6669

2. Project Background

The Applicant submitted a JPA on May 10, 2023, for a proposed 6-foot-wide timber and composite deck walkway and stairs extending from an existing concrete headwall and over existing sand dunes at an elevation of 12.09-feet (**Attachment D**). The proposed location for the beach access walkway was east of the former Lynnhaven Inlet Fishing Pier building (herein referred to as the Fish House) and immediately west of the existing Ocean Shores Condominiums. This design proposed removal of the easternmost bay of parking stalls and a bay window of the existing Fish House to make way for the new beach access.

The previous design for the proposed timber walkway would be horizontally constructed over existing vegetated sand dunes for 50-feet before tying in with another set of timber stairs leading down to elevation 0.0-feet. It was anticipated approximately 4.63-feet of the timber stairs will be buried in sand. The previous design for the proposed beach access walkway would lie within a 20-foot-wide public access easement and would vary between 4.5 and 5.8 feet in height above the dune to minimize impacts to existing vegetation on the dune.

Discussions between the City of Virginia Beach and WCCB after the original JPA submission indicated the proposed beach access walkway needs to be compliant with the American with Disabilities Act (ADA). Therefore, the design was revised to include a 6-foot-wide timber and composite deck walkway, ramps with switchbacks, and stairs, further discussed below.

3. Project Location

The proposed beach access path for the new Westminster Canterbury Tower is located at 2350 Ocean Shore Crescent, Virginia Beach, Virginia, on Virginia Beach GPIN 1590-10-0956. The proposed beach access path will be located within the parking lot and building footprint of the existing Fish House. The Fish House is constructed on a timber deck with timber pilings. The walkway will start at an existing headwall south of the Fish House (elevation 11.11-feet) and ramp down into the beach underneath the Fish House to elevation 0.0-feet. The approximate elevation of the beach beneath the Fish House varies from 4.2-feet to 7.4-feet. The proposed beach access path will lie within a variable width access easement and will be built on property owned by WCCB until the completion of construction when the access easement will be granted to the City of Virginia Beach.

This area will be herein referred to as the "Project Area" and project figures including topographic and aerial vicinity maps of the Project Area are provided in **Attachment B**.

3. Project Description

Westminster-Canterbury on Chesapeake Bay is proposing to construct a 6-foot-wide timber walkway with switchbacks and a set of stairs off an existing headwall and into beach underneath the Fish House. After coming off the existing headwall (elevation 11.11-feet), a timber walkway will ramp down to elevation 7.63-feet. At elevation 7.63-feet, the walkway will terminate and tie in with a timber platform/switchback containing a stairway leading to the beach. At the platform, there will be another timber walkway ramping down to the beach (elevation 2.29-feet). It is anticipated approximately 48 inches of the stairs would be buried in sand, or approximately 550 square feet. Forty-nine (49) timber pilings are proposed underneath the timber walkway and stairs and will be installed with a John Deere 85G with a compacting hammer attachment. Each pile location will be excavated to roughly 6-feet below existing elevation, then the pile will be set by hand and driven into place with the excavator. A similar piece of equipment will be used to dig down the existing piles. If they are not too deep, they will be pulled out of the sand using this equipment. If they prove to be too deep, the contractor will either need to dig down and cut them off at a level below the new construction or use larger equipment to remove the piles.

The minimum clearance between the walkway and the beach varies between 0-feet and 4-feet. At certain points, the ramp will be below grade. 2-inch diameter galvanized pipe handrails are proposed for the walkway and 6x6 wood rail posts are proposed for the stairs. An architectural depiction of the proposed access pathway and stairs is provided in **Attachment C**. The full site plan and a detailed exhibit are provided in **Attachment D**.

The improvements for the beach access are relatively straightforward. A portion of the existing Fish House parking lot will be removed (the easternmost bay of parking stalls) to make way for the new beach access path. Additionally, approximately 20-feet of the existing Fish House structure and associated pilings are proposed for removal for construction of the project. The remaining portion of the Fish House will be closed off after construction. The Project Area will be accessed from the Fish House parking lot and Ocean Shore Avenue during construction.

It should be noted, the entirety of the Fish House is proposed for demolition for a future project. WCCB plans to construct a pavilion with private gathering space for WCCB residents within the

remaining footprint of the Fish House. The remainder of Fish House demolition and redevelopment will not occur until the design for the pavilion has been finalized. Authorization for impacts resulting from the construction of the pavilion will be submitted under separate cover.

3.1. Purpose and Need

The purpose of the project is to provide necessary public beach access during the expansion of the Westminster-Canterbury on the Chesapeake Bay campus. Westminster-Canterbury on the Chesapeake Bay is expanding its facility beginning in late 2023 and is constructing an additional independent living tower on Virginia Beach GPINs 1590-00-9705 and 1590-00-9984. During the construction of the independent living tower, the existing beach access walkway on parcel 1590-00-9705 will be inaccessible to the public. Therefore, a new beach access walkway is needed within proximity to the existing beach access. A width of 6-feet was chosen for the stairs and walkway to match that of the existing beach access on parcel 1590-00-9705.

4. Anticipated Agency Authorizations

No tidal or non-tidal wetlands exist within the Project Area. Therefore, it is anticipated that permits are not required from the United States Army Corps of Engineers or the Virginia Department of Environmental Quality. Further, the proposed project will not encroach below mean low water in tidal waters, or within a non-tidal water feature with a contributing drainage area of five square miles or greater. Therefore, it is not anticipated the proposed project will require a permit from the Virginia Marine Resource Commission.

Since the project involves private development on private land and proposes use of a beach, authorization from the Virginia Beach Local Wetlands Board is anticipated.

List of Attachments:

- Attachment A – JPA Form
- Attachment B – Background Figures
- Attachment C – Architectural Plan
- Attachment D – Revised JPA Figures
- Attachment E – JPA Figures submitted on May 10, 2023

Attachment A
JPA Form

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Chesapeake Bay</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Westminster-Canterbury on Chesapeake Bay Home () _____
c/o Mark Borst Work (757) 496-1149
3100 Shore Drive Fax () _____
Virginia Beach, VA 23451 Cell () _____
e-mail mark.borst@wcbay.com
State Corporation Commission Name and ID Number (if applicable) WCCB, 01705540
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
N/A Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Victoria Holmes, WPIT Home () _____
Kimley-Horn & Associates Work (757) 350-6669
4525 Main Street Fax () _____
Suite 1000 Cell () _____
Virginia Beach, VA 23462 e-mail victoria.holmes@kimley-horn.com
State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Please see environmental support document.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address:

N/A

Contact Information:

Home () N/A _____

Work () N/A _____

Fax () N/A _____

Cell () N/A _____

email N/A _____

State Corporation Commission Name and ID Number (if applicable) N/A _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot
703 Mariners Row
Newport News, VA 23606

Telephone number

(800) 446-2005 _____

7. Give the following project location information:

Street Address (911 address if available) 2350 Ocean Shore Crescent _____

Lot/Block/Parcel# 1590-10-0956 _____

Subdivision Shore Drive _____

City / County Virginia Beach _____ ZIP Code 23451 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.9129691 / -76.0775456 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

From Interstate-64

Take exit 282 for Northampton Boulevard

Travel straight on Northampton Boulevard for 4.5 miles

Use the right lane to take the US-60 E/Shore Drive ramp to Beaches for 0.02 miles

Keep right at the fork and merge onto US-60 E/Shore Drive for 2.8 miles

Turn left onto Starfish Road for 0.1 mile and then turn right onto Ocean Shore Avenue

Destination is on the left

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Please see environmental support document.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

Please see environmental support document.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 150,000 _____
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 0 _____
13. Completion date of the proposed work: Spring 2024 _____ - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

To the east

Ocean Shores Condominiums
2420 Ocean Shore Crescent
Virginia Beach, VA 23451

To the west

Lynnhaven Beach Condominiums
2320 Beach Haven Drive
Virginia Beach, VA 23451

To the south

Vacant lot
2325 Sea Shell Rd
Virginia Beach, VA 23451

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS


PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Westminster-Canterbury on Chesapeake Bay c/o Mark Borst

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)



Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date


Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

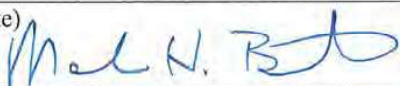
I (we), Westminster/Canterbury on Chesapeake Bay c/o Mark Bursi, hereby certify that I (we) have authorized Kimley-Horn and Associates, Inc. c/o Victoria Holmes and Karl Mertig _____
(Applicant's legal name(s)) (Agent's name(s))
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.



(Agent's Signature)
August 8, 2023

(Use if more than one agent)

(Date)


(Applicant's Signature)

(Use if more than one applicant)

5.3.23

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 3 – Appendices (continued)

Appendix C: Crossings in, on, over, or under, waters, submerged lands, tidal wetlands and/or dunes and beaches, including but not limited to, bridges, walkways, pipelines and utility lines.

1. What is the purpose and method of installation of the crossing?

Please see environmental support document.

2. What is the width of the waterway and/or wetlands to be crossed

from mean high water to mean high water (tidal waters)? N/A feet.

from mean low water to mean low water (tidal waters)? N/A feet.

from ordinary high water to ordinary high water (non-tidal waters)? N/A feet.

3. For bridges (footbridges, golf cart bridges, roadway bridges, etc.), what is the width of the structure over the tidal wetlands, dunes/beaches and/or submerged lands? 1,167 square feet.

4. For overhead crossings:

a. What will be the height above mean high water? N/A feet.

b. If there are other overhead crossings in the area, what is the minimum height? N/A feet.

c. If the proposed crossing is an electrical line, please confirm the total number of electrical circuits: N/A

5. For buried crossings, what will be the depth below the substrate? N/A feet. Will the proposed utility provide empty conduits for any additional utilities that may propose to co-locate at a later date? N/A Yes N/A No.

6. Will there be any excavation or fill required for placement of abutments, piers, towers, or other permanent structures on State-owned submerged lands, tidal wetlands, and dunes/beaches? X Yes No.

If yes, please provide the following:

a. Amount of excavation in wetlands 0 cubic yards
 0 square feet

b. Amount of excavation in submerged land 0 cubic yards
 0 square feet

c. Amount of excavation in dune/beach cubic yards
 550 square feet

d. Amount of fill in wetlands 0 cubic yards
 0 square feet

e. Amount of fill in submerged lands 0 cubic yards
 0 square feet

f. Amount of fill in dune/beach 0 cubic yards
 0 square feet

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: Ocean Shore Avenue

APPLICANT'S NAME: Westminster-Canterbury on Chesapeake Bay c/o Mark Borst

APPLICANT'S ADDRESS: 3100 Shore Drive

Virginia Beach, VA 23451

OWNER'S NAME
(IF DIFFERENT FROM APPLICANT): _____

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

Laurence Benson _____ 06-01-2023
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION DATE

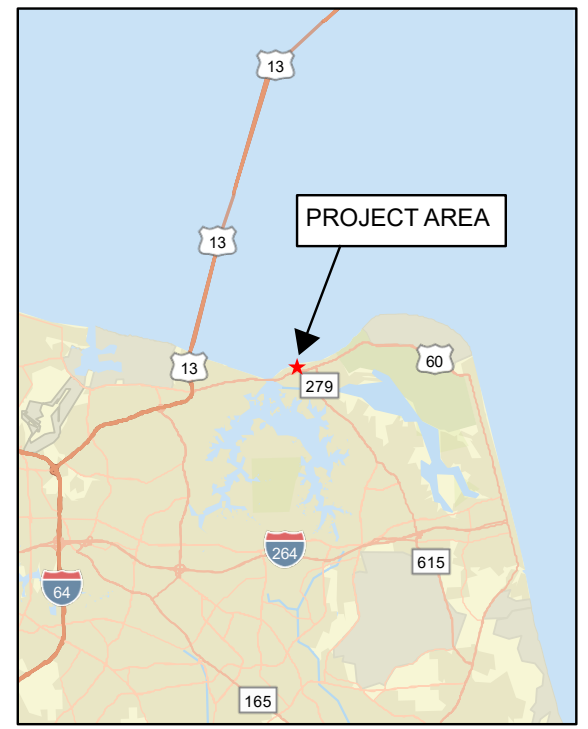


Laurence Benson, P.E. _____
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

Mark H. Borst _____ 6.9.2023
SIGNATURE OF OWNER DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.

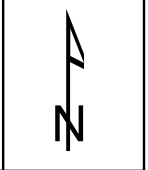
Attachment B
Background Figures



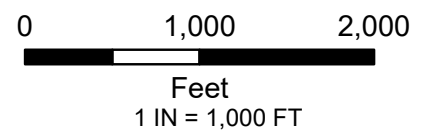
- ACCESS EASEMENT (20-FEET WIDE)
- BEACH ACCESS TIMBER WALKWAY (6-FEET WIDE)

WESTMINSTER-CANTERBURY
CHESAPEAKE BAY
BEACH ACCESS PLAN
VIRGINIA BEACH, VA

TOPOGRAPHIC VICINITY

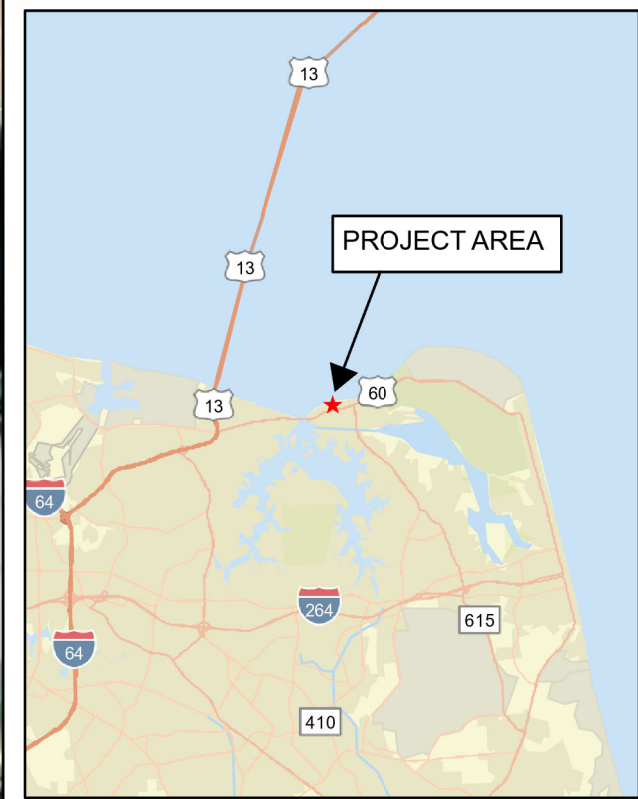


BASEMAP SOURCE:
USGS 7.5 MINUTE TOPOGRAPHIC MAP
(CAPE HENRY, VA QUAD)



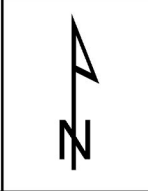
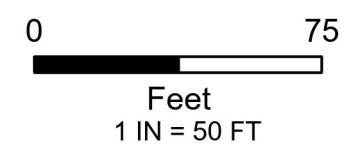
DATE:
08-08-2023

FIGURE:
1

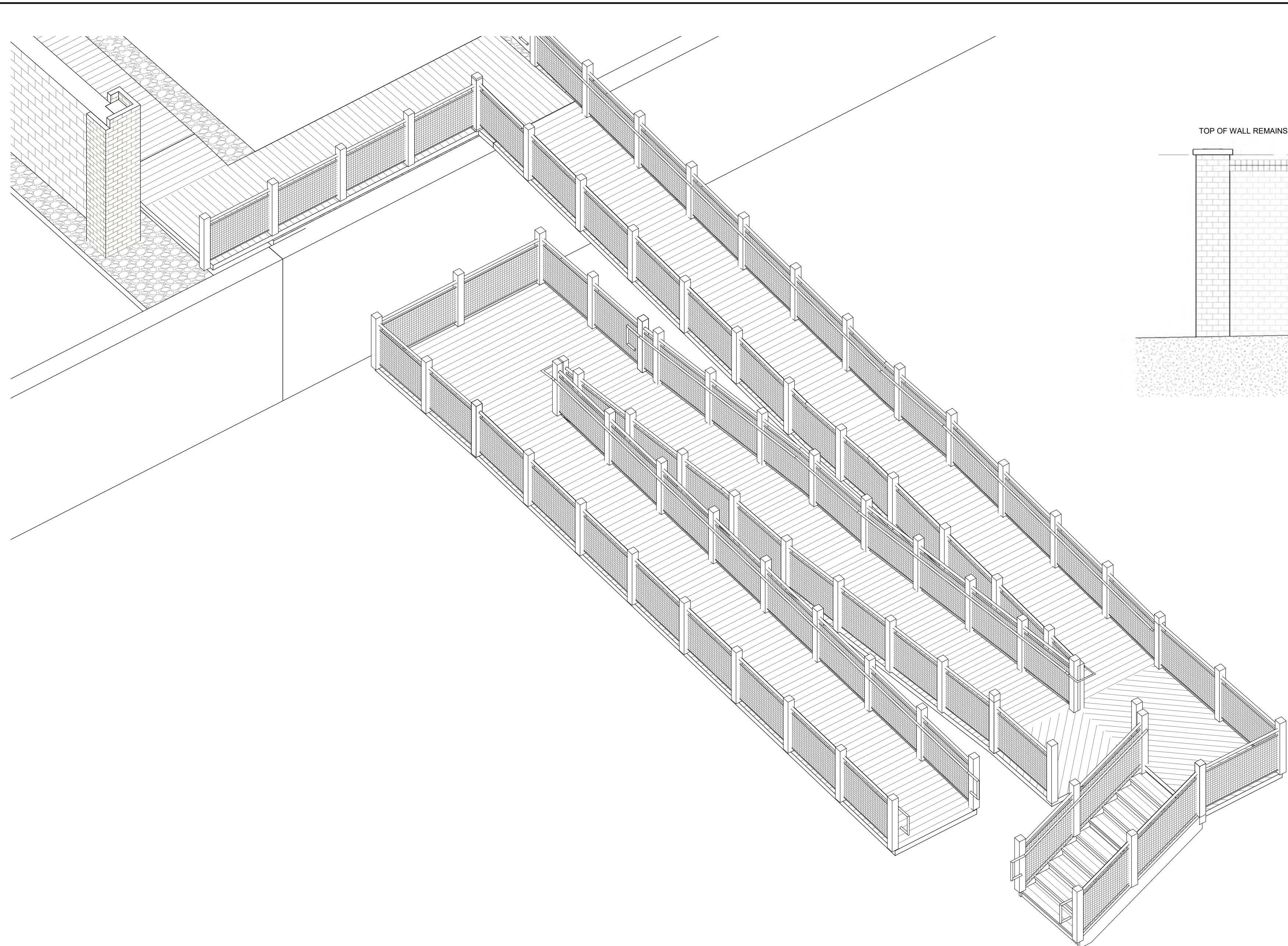


- BEACH ACCESS TIMBER WALKWAY (6-FEET WIDE)
- ACCESS EASEMENT (20-FEET WIDE)
- VIRGINIA BEACH PARCELS

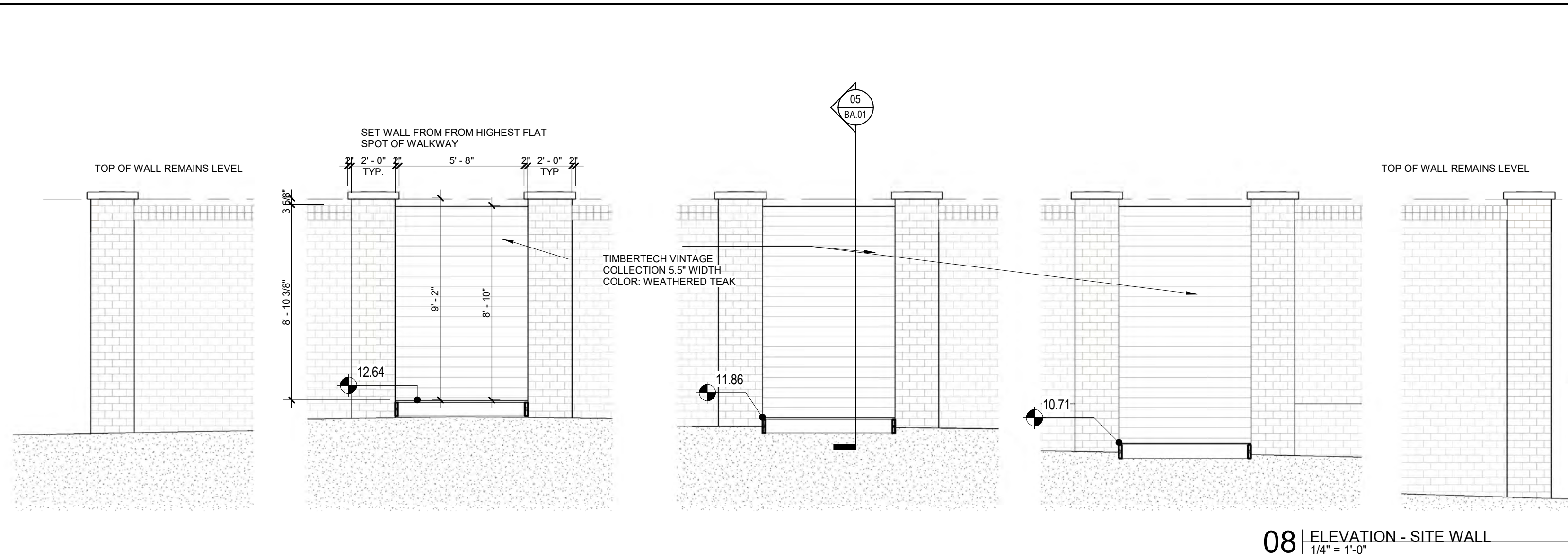
BASEMAP SOURCE:
ESRI 2022 AERIAL IMAGE



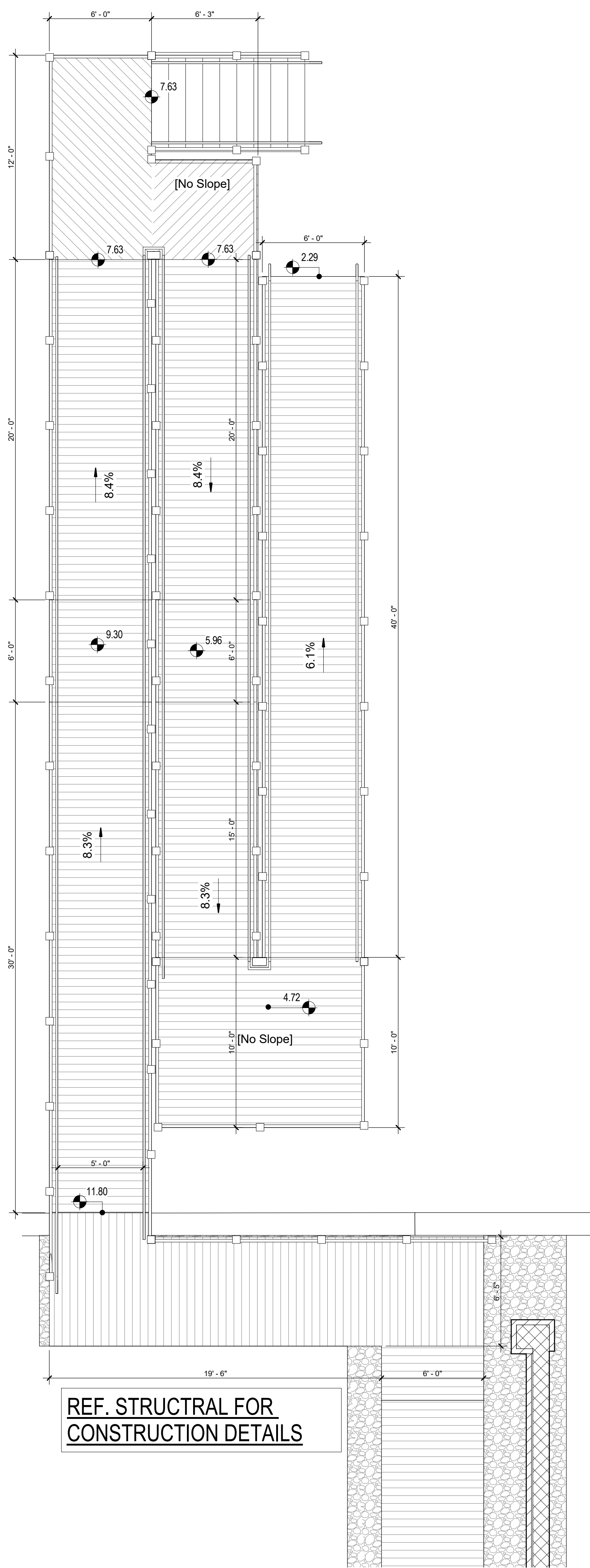
Attachment C
Architectural Plan



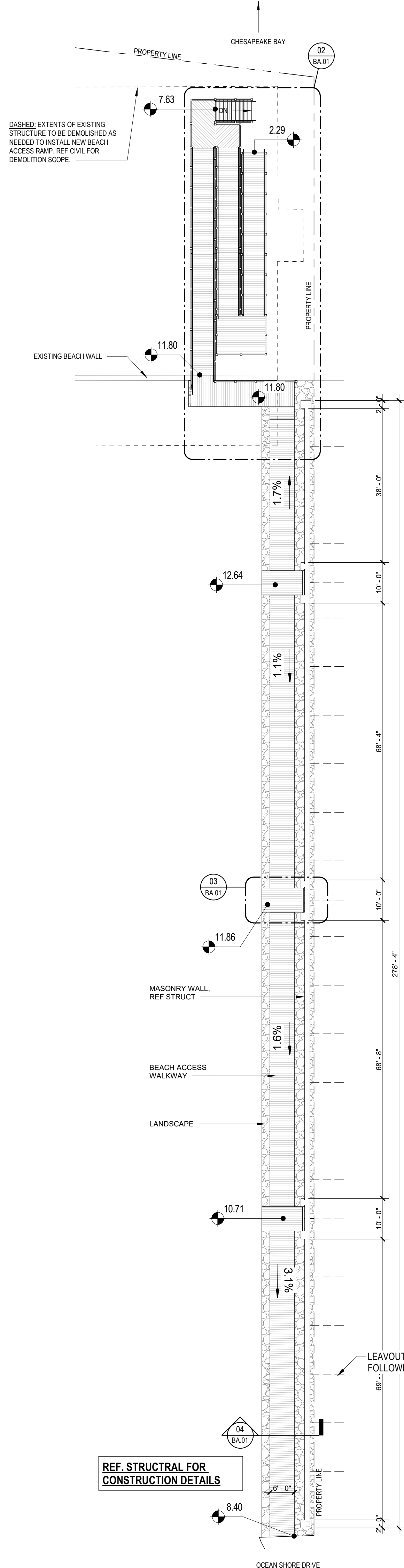
09 | BEACH ACCESS RAMP - ISOMETRIC



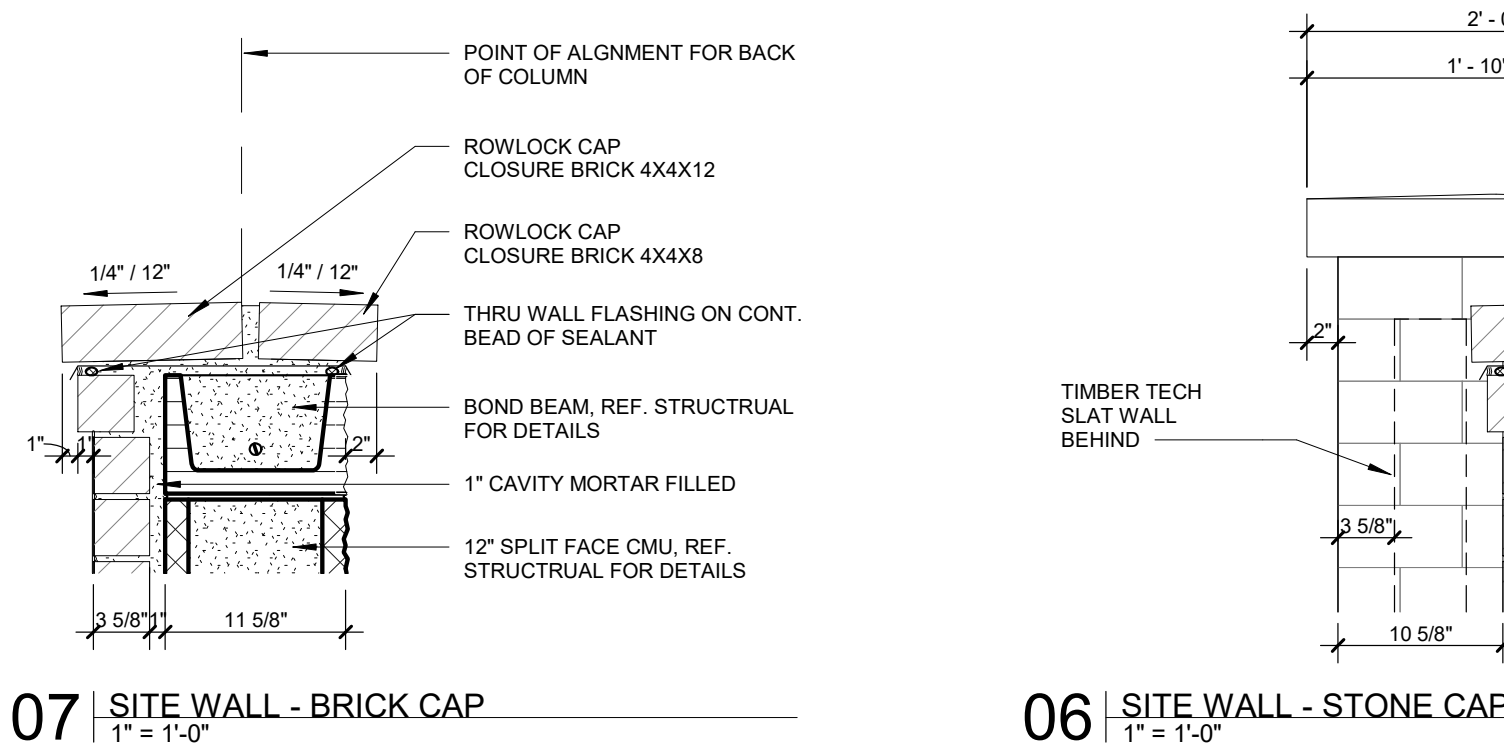
08 | ELEVATION - SITE WALL
1/4" = 1'-0"



02 | ENLARGED PLAN - ACCESSIBLE RAMP
1/4" = 1'-0"

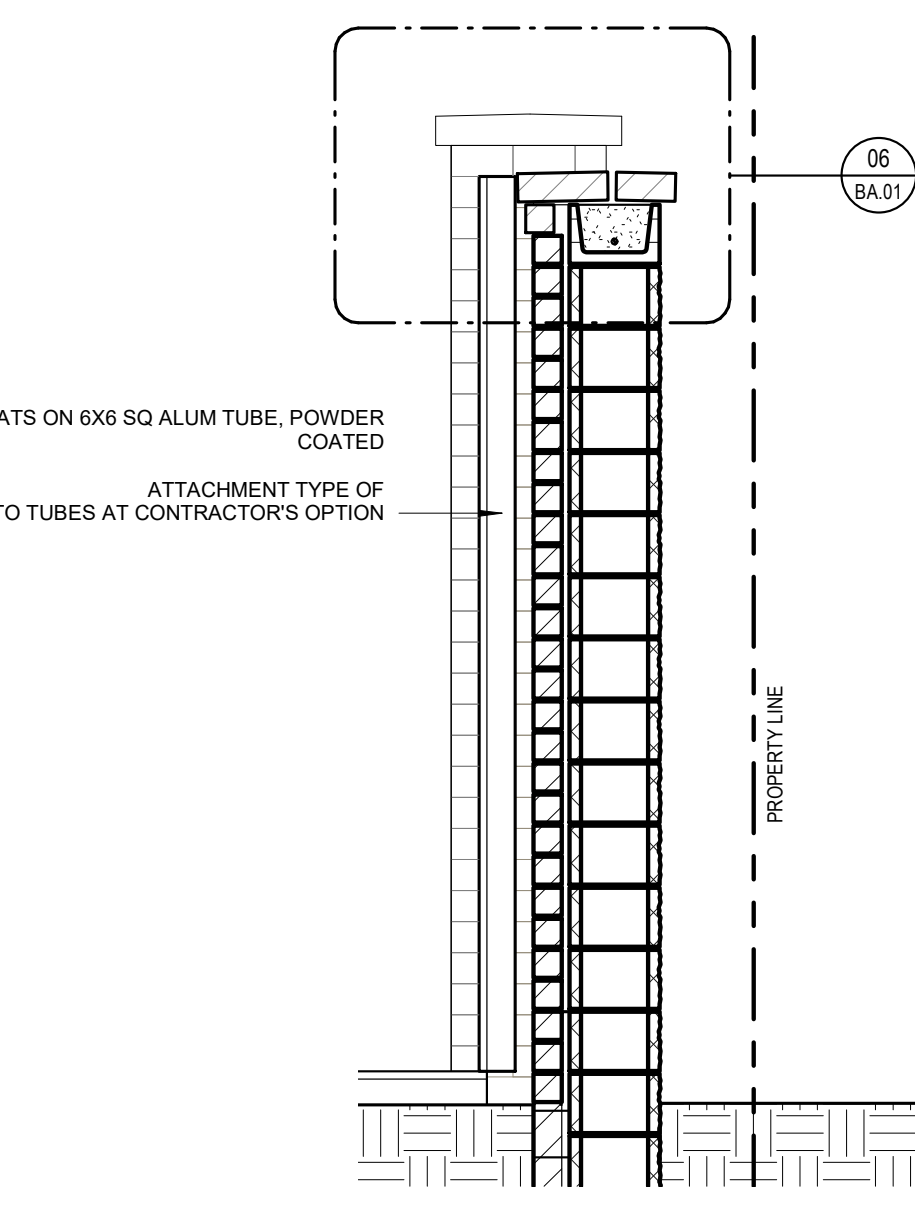


01 | NEW PEDESTRIAN BEACH ACCESS
1/16" = 1'-0"

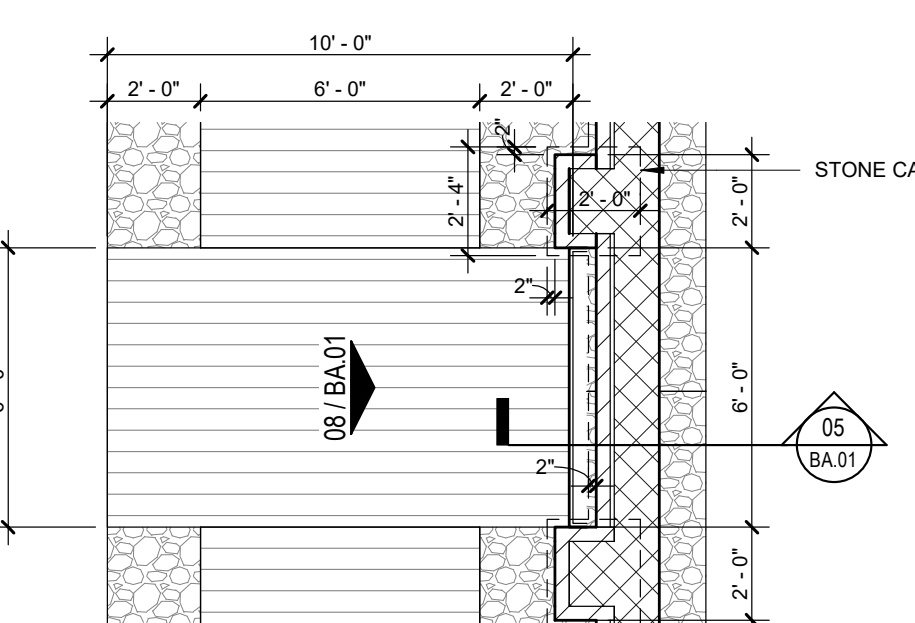


07 | SITE WALL - BRICK CAP
1" = 1'-0"

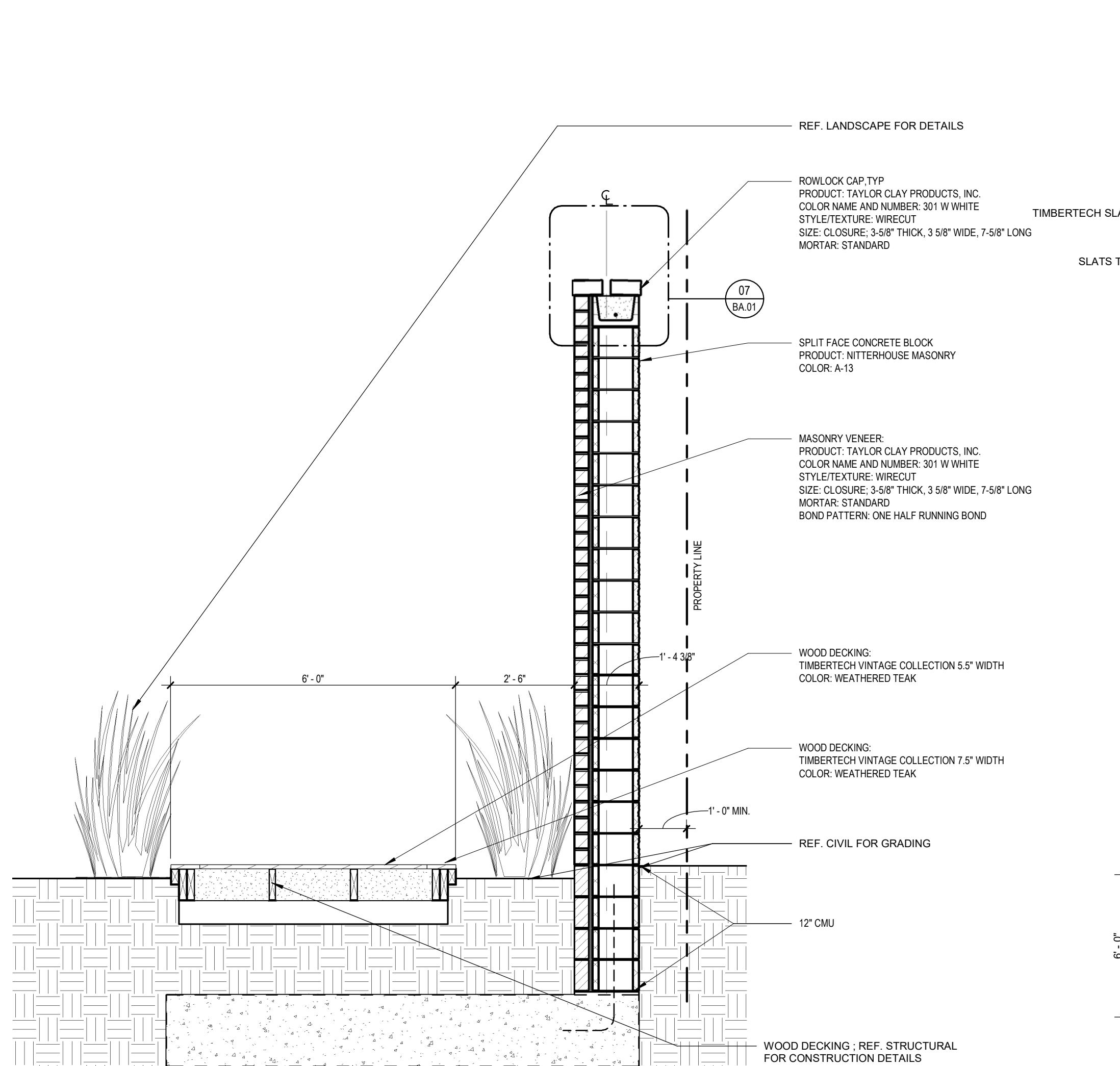
06 | SITE WALL - STONE CAP
1" = 1'-0"



05 | SECTION - SITE WALL PASSING AREA TYPICAL
1/2" = 1'-0"



03 | PEDESTRIAN PATH PASSING AREA TYPICAL
1/4" = 1'-0"



04 | SECTION - SITE WALL TYPICAL
1/2" = 1'-0"

GENERAL NOTES

1. EACH CONTRACTOR OR SUBCONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES REQUIRED FOR PROPER EXECUTION OF THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH OUT OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
4. GENERAL CONTRACTOR TO INSTALL RAMP AND SIGNAGE FOR ACCESSIBILITY PER CITY, STATE, AND FEDERAL A.D.A. REQUIREMENTS.
5. EACH CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF ALL APPLICABLE LAWS AND ORDERS OF PUBLIC OFFICIALS WITH JURISDICTION FOR SAFETY OF PERSONS AND PROPERTY.
10. KEEP ENTRANCES CLEAR AT ALL TIMES. EACH SUBCONTRACTOR SHALL REMOVE RUBBISH AT THE COMPLETION OF HIS WORK. PROMPTLY REPAIR ANY DAMAGE DONE TO ADJACENT PROPERTY AT NO COST TO OWNER AND/OR ADJACENT OWNER.
6. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS PERTAINING TO THIS PROJECT PRIOR TO SUBMISSION OF BIDS. ANY DISCREPANCIES FOUND DURING SITE INVESTIGATION SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO BID SUBMISSION AND NO ADJUSTMENT TO BID PRICE SHALL BE MADE. SUBMISSION OF BID SHALL BE UNDERSTOOD AND CONTROLLED AS CONTRACTOR HAVING VERIFIED ALL EXISTING CONDITIONS WHETHER OR NOT SHOWN ON DRAWINGS AND HAVING TAKEN INTO ACCOUNT ANY ADJUSTMENT NECESSARY TO FULFILL THE DESIGN INTENT FULLY AND COMPLETELY.
7. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS AND IN CONFORMANCE WITH ALL NATIONAL, STATE, COUNTY, AND LOCAL CODES.
8. TEMPORARY BARRICADES PERTAINING TO PREVENT POSSIBLE INJURY TO PERSONS IN AND AROUND DEMOLITION AND CONSTRUCTION AREAS IN ACCORDANCE WITH OSHA REQUIREMENTS.

SHEET NOTES

1. REF. LANDSCAPE FOR ALL SITE INFORMATION, INCLUDING BUT NOT LIMITED TO SURFACE PARKING COUNTS AND LOCATION, FLATWORK, TREES, LANDSCAPING, GRADING ADJACENT TO BUILDING, IRRIGATION, AND SITE AMENITIES AROUND BEACH ACCESS PATH.
2. REF. STRUCTURAL FOR ALL CONSTRUCTION DETAILS INCLUDING BUT NOT LIMITED TO SITE WALL, WALL FOUNDATIONS, WOOD DECKING, RAMP AND STAIRS.
3. REF. CIVIL FOR ALL UTILITY CONNECTIONS, SITE INFORMATION INCLUDING BUT NOT LIMITED TO DEMOLITION WORK, SITE GRADING, AND BEACH ACCESS DETAILS.
4. REF. SPECIFICATIONS FOR ACCESSIBILITY REQUIREMENTS.

HKS

ARCHITECT
HKS, INC.
310 N. SAKAT PAUL ST.
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4025 MAIN ST., SUITE 1000
VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
WFL SITE DESIGN
242 MUSTANG TRAIL, SUITE 8
VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P.C.
1228 PERMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

MEP ENGINEER
PACZ COLLABORATIVE PC
1277 PERMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORRS ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 100
SPRINGFIELD, PA 19064

INTERIOR DESIGNER
STUDIO SIX S
811 BARTON SPRINGS RD., SUITE 800
AUSTIN, TX 78704

**BAY TOWER -
INDEPENDENT LIVING**

*Westminster
Canterbury*
ON CHESAPEAKE BAY

WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24349.000

DATE
07/28/2023

ISSUE
BEACH ACCESS

SHEET TITLE
WCCB - BEACH ACCESS

SHEET NO.
BA.01

SECTION 01040 ARCHITECTURAL SPECIFICATIONS

PART 1 - GENERAL

1.1 DELEGATED ENGINEERING REQUIREMENTS

- Contract Documents Design Intent: Drawings and Specifications indicate design intent for products and systems and do not necessarily indicate or specify total Work required. Contract Documents shall not be construed as an engineered design; furnish and install all Work required for a complete installation.
Delegated Engineering Responsibility: Contractor shall employ a qualified professional engineer to provide engineering for products and systems including attachment to building structure required to meet design intent of Contract Documents.
ACTION SUBMITTALS
Product Data: Manufacturer's technical literature for each product and system indicated.
Shop Drawings: Show details of fabrication and installation, including plans, elevations, sections, details of components and attachments to other work.
Samples for Verification Purposes: In manufacturer's standard size, sample of each different color and pattern, showing the full range of variations expected in these characteristics. Label each sample with manufacturer's name, material description, color, pattern, and designation indicated on Drawings and in Schedules.
INFORMATIONAL SUBMITTALS
Manufacturer's Project Acceptance Document: Certification by the manufacturer that its product(s) are approved, acceptable, suitable for use in specific locations, for specific details, and for applications indicated, specified, or required, and that a warranty will be issued.
QUALITY ASSURANCE
Installer Qualifications:
Experience: Installer's personnel with not less than 5 years of experience in the successful performance of Work similar to scope of this Project.
Supervision: Installer shall maintain a competent supervisor at Project while the Work is in progress, and who has not less than 5 years of experience installing products and systems similar to scope of this Project.
Accessibility Requirements: Comply with applicable provisions in the U.S. Architectural & Transportation Barriers Compliance Board's ADA-ABA Accessibility Guidelines and ICC/ANSI A117.1.
Mock-ups: Prior to fabrication and installation, build mock-up for each form of construction and finish required to verify selections made under sample Submittals and to demonstrate aesthetic effects and qualities of materials and execution. Build mock-up using materials indicated for the completed Work.

- Pre-Installation Conference: Before Work begins, conduct conference at Project site.
PROJECT CONDITIONS
Field Measurements: Where products and systems are indicated to fit walls and other construction, verify dimensions by field measurements before fabrication.
COORDINATION
Coordinate installation of products and systems with interfacing and adjoining construction to provide a successful installation without failure.

PART 2 - SPECIFICATIONS

2.1 MANUFACTURERS AND PRODUCTS

- General: In the interests of brevity, often only one manufacturer and/or product may be listed in specifications. In subsequent design phases, a list of manufacturers and products will be included in each specification section.
Basis of Design: Contract Documents are based on products and systems specified to establish a standard of quality. Other manufacturers offering products having equivalent characteristics may be considered, provided deviations are minor and comply with requirements of Contract Documents as judged by the Architect.
DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS
00 3100 - AVAILABLE PROJECT INFORMATION
Property Survey: Available from Owner.
Geotechnical Investigation: Available from Owner.
00 5200 - AGREEMENT FORM
Available from Owner.
00 7200 - GENERAL CONDITIONS
Available from Owner.
The General Conditions of this Contract are that which is referenced in the Owner-Contractor Agreement and hereinafter is referred to as the "General Conditions" and shall apply to each Section of the Work as though written in full therein and are made a part of the Contract Documents by reference.
00 7300 - SUPPLEMENTARY CONDITIONS
Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations.
Abbreviated Language: Language used in Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be interpolated as the sense requires. Singular words will be interpreted as plural and plural words interpreted as singular where applicable as the context of the Contract Documents indicates.
Sections of Division 01 - General Requirements govern the execution of all sections of the specifications.

- The Relation of Specifications and Drawings shall be equal authority and priority. Should they disagree in themselves, or with each other, bids shall be based on the most expensive combination of quality and quantity of work indicated. The appropriate Work, in the event of disagreements, shall be determined by the Architect.
Should the Drawings disagree themselves, figures shall govern over scaled measurements, large scaled Drawings shall govern over small scale Drawings, the greater quantity of work or materials shall be furnished and performed; the descriptive writings shall govern over legends indicating material or conditions and the Agreement takes precedence over all other Contract Documents.
Should there be a conflict in the Contract Documents, the Contractor shall proceed in the more expensive manner unless determined otherwise by the Architect.

2.3 DIVISION 01 - GENERAL REQUIREMENTS

- 01 2500 - SUBSTITUTION PROCEDURES
Substitutions: Requests for changes in products, materials, equipment, and methods of construction required by Contract Documents proposed by Contractor after award of Contract.
01 2600 - CONTRACT MODIFICATION PROCEDURES
Owner-Initiated Proposal Requests: Architect will issue a detailed description of proposed changes in the Work that may require adjustment to the Contract Sum or the Contract Time.
Contractor-Initiated Proposals: If latent or unforeseen conditions require modifications to the Contract, Contractor may propose changes by submitting a request for a change to Architect.
Construction Change Directive: Instruct Contractor to proceed with a change in the Work, for subsequent inclusion in a Change Order.
Minor Changes in Work: Architect will issue supplemental instructions.
01 2900 - PAYMENT PROCEDURES
Schedule of Values: Use the Project Manual table of contents as a guide to establish line items for the Schedule of Values. Provide at least one line item for each Specification Section. In addition to the Schedule of Values, submit an Itemized Cost Data Report.
Payment Application Forms: Use AIA Document G702 and AIA Document G703 Continuation Sheets as form for Applications for Payment.
01 3100 - PROJECT MANAGEMENT AND COORDINATION
Contractor to coordinate construction operations included in various Sections of the Specifications to ensure efficient and orderly installation of each part of the Work.
Preconstruction Conference: Architect will schedule a preconstruction conference before starting construction, at a time and location convenient to Owner, Contractor and Architect, but no later than 15 days after date of Notice to Proceed.
Preinstallation Conferences: Contractor to conduct a preinstallation conference at Project site before each construction activity that requires coordination with other construction.
Progress Meetings: Contractor to conduct progress meetings at regular intervals. Coordinate dates of meetings with preparation of payment requests.
Coordination Meetings: Contractor to conduct Project coordination meetings on an as-needed basis. Project coordination meetings are in addition to specific meetings held for other purposes, such as progress meetings and preinstallation conferences.
Letters, Memoranda, and Fax Communications: Submit in formats acceptable to the Architect.
E-Mail Communications / Internet Communications / Project Management Software Communications: Submit in formats acceptable to the Architect.

- RFI (Request for Information - Contractor): Submit in forms and formats acceptable to Architect.
RFI-A (Request for Information - Architect), will be submitted by Architect to Contractor on Architect's standard form.
Architect's Project Management Software:
Newforma, Inc.; Newforma Project Cloud.
01 3200 - CONSTRUCTION PROGRESS DOCUMENTATION
Construction Photographs: Five color photographs each month.
Construction Schedule: Gantt Chart Schedule with monthly updates.
01 3300 - SUBMITTAL PROCEDURES
Shop Drawings: Of each fabricated assembly.
Product Data: Of each manufactured product.
Samples: Of each finish material.
01 4300 - QUALITY ASSURANCE
Quality-Assurance Services: Activities, actions, and procedures performed before and during execution of the Work to guard against defects and deficiencies and ensure that proposed construction complies with requirements.
Meet industry standards and manufacturers recommendations.
01 4323 - SPECIAL INSPECTIONS
Special Inspections required by Authorities Having Jurisdiction including supplementary work necessary to complete inspections.
Contractor shall cooperate with and assist Special Inspector in performing Special Inspections. Special Inspector shall have access to the project without restriction.
Cost of employing the Special Inspector shall be the responsibility of the Owner.
01 4339 - VISUAL MOCK-UP REQUIREMENTS
This Section specifies mock-up requirements of building components to verify material selections, demonstrate aesthetic effects and review construction and workmanship.
Approved mock-up shall establish the standard by which the Work will be judged.
Retain mock-ups during construction and maintain in an undisturbed condition. Do not demolish alter or remove mock-up until approved by Architect.
Mock-up shall be used to demonstrate quality of materials, finish and workmanship as well as to show compliance with visual criteria.
Provide visual mock-ups of the following:
Typical building enclosure cladding systems as indicated on Drawings.

- 01 4500 - QUALITY CONTROL
Quality-Control Services: Tests, inspections, procedures, and related actions during and after execution of the Work to evaluate that completed construction comply with requirements. Services do not include contract enforcement activities performed by Architect.
Testing Laboratory Services: By Owner.
01 5000 - TEMPORARY FACILITIES AND CONTROLS
Construction Facilities: Field Offices, Storage Sheds, Sanitary Facilities
Temporary Controls: Pest, Erosion and Sediment Control

- Temporary Construction: Access Roads and Parking
Construction Aids: Hoist, Cranes, Elevators, Staging
Temporary Utilities: Water, Electricity, Telephone, Sewer, Heating, Fire Protection
Temporary Barriers and Enclosures: Fences, Walkways, Barricades, Security
01 6000 - PRODUCT REQUIREMENTS
Provide products that comply with the Contract Documents, that are undamaged, and unless otherwise indicated, that are new at time of installation.
Owner-Furnished, Owner-Installed (OFOI): Not in contract. Rough-in for OFOI Product is provided by applicable Sections governing the type of work. Obtain rough-in requirements from Owner.
Owner-Furnished, Contractor-Installed (OFCI): Provide labor, transportation, materials, tools, appliances and utilities necessary to relocate and install owner furnished products.

- 01 7000 - EXECUTION REQUIREMENTS
Field Engineering: By Registered Surveyor or Professional Engineer
Cutting: Removal of existing construction necessary to permit installation or performance of other Work.
Patching: Fitting and repair work required to restore surfaces to original conditions after installation of other Work.
01 7700 - CLOSEOUT PROCEDURES
Closeout Procedures: Final Inspection by Owner and Architect
Project Record Documents: Marked-up drawings and specifications during construction
Warranties: Standard and special product warranties from date of substantial completion
Operation and Maintenance Data: Bound manual for Owner's use.
Final Cleaning: By experienced workers or professional cleaners.

2.4 DIVISION 04 - MASONRY

- 04 2100 - MASONRY VENEER
Quality Standards: In addition to specified requirements, comply with TMS 602 and local building code, whichever is more stringent.
Cavity: Mortar-filled cavity.
Sample Panels: Prior to installing masonry, build as many sample panels as required to verify selections made under submittals and to demonstrate aesthetic effects using specified materials.
Material/Finish Selection: Refer to Design Selections; Match Architects approved sample.
Face Brick: ASTM C 216 or ASTM C 652, Grade SW, Type FBS
Decorative CMU: ASTM C 90
Cast Stone Masonry Units: ASTM C 1364
Pre-blended, Dry Mortar Mix: Packaged blend of Portland cement and hydrated lime, containing no other ingredients.
ASTM C 270, Proportion Specification for Portland cement-lime mortars, Type N.
Colored Pre-blended, Dry Mortar Mix: Packaged blend made from Portland cement and hydrated lime and mortar pigments, all complying with specified requirements, containing no other ingredients.
ASTM C 270, Proportion Specification for Portland cement-lime mortars, Type N.
Masonry Joint Reinforcement, General: ASTM A 951/A 951M.
Masonry Joint Reinforcement for Multi-wythe Masonry: Adjustable (two-piece) type, with solder or trust design, with one side not at each face shell of backing wythe and with separate ties that extend into facing veneer wythe.
Ties shall have two hooks that engage eyes or slots in reinforcement and resist movement perpendicular to wall.
Ties shall extend at least halfway through facing veneer wythe but with at least 5/8 in (15 mm) cover on outside face.
Ties shall have hooks or clips to engage a continuous horizontal wire in the facing veneer wythe.
Sheet Metal Flashing: Metal flashing to comply with SMACNA's Architectural Sheet Metal Manual and as follows:
Quality Standard: ASTM A 240 / A 240M or A 566, Type 304.
Description: Stainless steel, 2D annealed finish, not less than 0.0250 in (24 ga) (0.64 mm) thick, unless noted otherwise.
Weeps and Vents: One-piece flexible extrusion made from ultraviolet light resistant polypropylene copolymer, consisting of honeycomb matrix of multiple cells, designed to fill head joint with outside face held back 1/8 in (3 mm) from exterior face of masonry veneer.
Cavity Drainage Material: Composed of either reticulated, nonabsorbent mesh made from polyethylene strands, or polymer core geometric composed of woven nylon strands, molded and shaped in open weave configuration to maintain drainage at weeps without being clogged by mortar droppings, size as required to extend across entire width of cavity.
Commercial Cleaning Compounds: Products as recommended and approved by masonry veneer and mortar manufacturers.
04 2200 - CONCRETE UNIT MASONRY
Refer to Structural Documents for structural performance criteria.
Product Quality Standard: ASTM C 90, with following minimum physical properties:
Unit Compressive Strength: Refer to Structural
Weight Classification: Medium weight.
Integral Water Repellent: Provide units made with integral water repellent.
Description: Liquid polymeric, integral water-repellent admixture that does not reduce flexural bond strength. Units made with integral water repellent, when tested as a wall assembly made with mortar containing integral water-repellent manufacturer's mortar additive according to ASTM E 514, with test period extended to 24 hours, show no visible water or leaks on back of test specimen.
Manufacturers and Products:
Addmix Inc.; Block Plus W-10.
Grace Construction Products; Dry-Block.
Basis of Design: As scheduled or as indicated in Design Selections.
Special Shapes: In addition to standard shapes, provide special shapes, such as corners, edge corners, and end edge corners, as required by conditions.

2.5 DIVISION 05 - METALS

- 05 7300 - ORNAMENTAL HANDRAILS AND RAILINGS
Delegated Engineering: Licensed professional engineer employed by Contractor/Subcontractor.
Metal Surfaces, General: Provide materials with smooth surfaces, without seam marks, roller marks, rolled trade names, stains, discolorations, or blemishes.
Brackets, Flanges, and Anchors: Same metal and finish as supported rails unless otherwise indicated.
Galvanized Railings for Exterior Installations:
General:
Hot-dip galvanized steel and iron railings, including hardware, after fabrication.
Comply with ASTM A 123/A 123M for hot-dip galvanized railings.
Comply with ASTM A 153/A 153M for hot-dip galvanized hardware.
Do not quench or apply post galvanizing treatments that might interfere with paint adhesion.
Fill vent and drain holes that are exposed in the finished Work, unless indicated to remain as weep holes, by plugging with zinc solder and filling off smooth.
For galvanized railings, provide hot-dip galvanized fittings, brackets, fasteners, sleeves, and other ferrous components.
Preparing Galvanized Railings for Shop Priming: After galvanizing, thoroughly clean railings of grease, dirt, oil, flux, and other foreign matter, and treat with etching cleaner and as follows:
Comply with SSPC-SP 16.

2.6 DIVISION 06 - WOOD, PLASTICS AND COMPOSITES

- 06 1500 - WOOD DECKING
Decking Standard: ICC-ES AC174.
Composite Decking: Solid capped four-sided shapes made from a mixture of cellulose fiber and polyethylene or polypropylene.
Deck Fastening System:
Concealed Decking Clips: Black oxide coated, stainless steel clips designed to secure decking material and provide uniform spacing of decking material.
Fasteners: Stainless steel screws, minimum #7 size, in sufficient length to penetrate not less than 1 1/4-inches into wood framing substrate.

PART 3 - EXECUTION

3.1 EXAMINATION

- Acceptance of Surfaces and Conditions: Examine substrates to receive products and systems and associated work for compliance with requirements and other conditions affecting performance. Proceed only when unsatisfactory conditions have been corrected in a manner complying with Contract Documents. Starting work in a particular area will be construed as acceptance of surface conditions.

3.2 INSTALLATION, GENERAL

- Installation Quality Standards: In addition to standards listed elsewhere, perform Work according to following, unless otherwise specified:
Respective manufacturer written installation instructions.
Accepted submittals.
Contract Documents.
Control of Corrosion: Prevent galvanic action and other forms of corrosion by isolating metals and other materials from direct contact with incompatible materials.

END OF SPECIFICATIONS



ARCHITECT
HKS, INC.
3501 SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4525 MAIN ST, SUITE 1000
VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
WFL SITE DESIGN
242 MUSTANG TRAIL, SUITE B
VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
SPREIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

MEP ENGINEER
PACE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORSI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19084

INTERIOR DESIGNER
STUDIO SIX 5
811 BAYTON SPRINGS RD, SUITE 600
AUSTIN, TX 78704

BAY TOWER - INDEPENDENT LIVING



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

Table with 3 columns: REVISION NO., DESCRIPTION, DATE. Contains multiple empty rows for revisions.

HKS PROJECT NUMBER
24349.000
DATE:
07/28/2023
ISSUE

BEACH ACCESS
SHEET TITLE
BEACH ACCESS - SHEET SPECS

SHEET NO.
BA.02

Attachment D
Revised JPA Figures

ARCHITECT

HKS, INC.
 350 N SAINT PAUL ST
 SUITE 101
 DALLAS, TX 75201

CIVIL ENGINEER

KIMLEY-HORN
 4525 MAIN ST, SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER

WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE 8
 VIRGINIA BEACH, VA 23462

STRUCTURAL ENGINEER

SPRIGG MARSHALL FRANCIS P.C.
 1228 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

MEP ENGINEER

PAGE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER

CORSI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19084

N/F
 CITY OF VIRGINIA BEACH
 (D.B. 1521, PG. 789)
 GPIN: 1590-11-1071
 PARCEL E-E
 (M.B. 111, PG. 48)



**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**

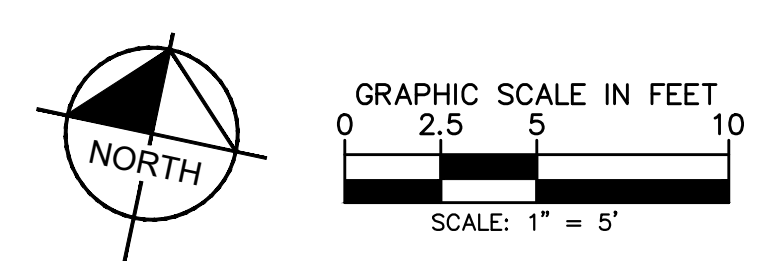
REFER TO SHEET CBA4.0A FOR PUBLIC BEACH ACCESS WALKWAY PROFILE

WESTMINSTER CANTERBURY

AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24349.000
 DATE
08/30/2023
 ISSUE
SITE PLAN



ARCHITECT

HKS, INC.
 350 N SAINT PAUL ST
 SUITE 101
 DALLAS, TX 75201

CIVIL ENGINEER

KIMLEY-HORN
 4525 MAIN ST, SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER

WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE 8
 VIRGINIA BEACH, VA 23462

STRUCTURAL ENGINEER

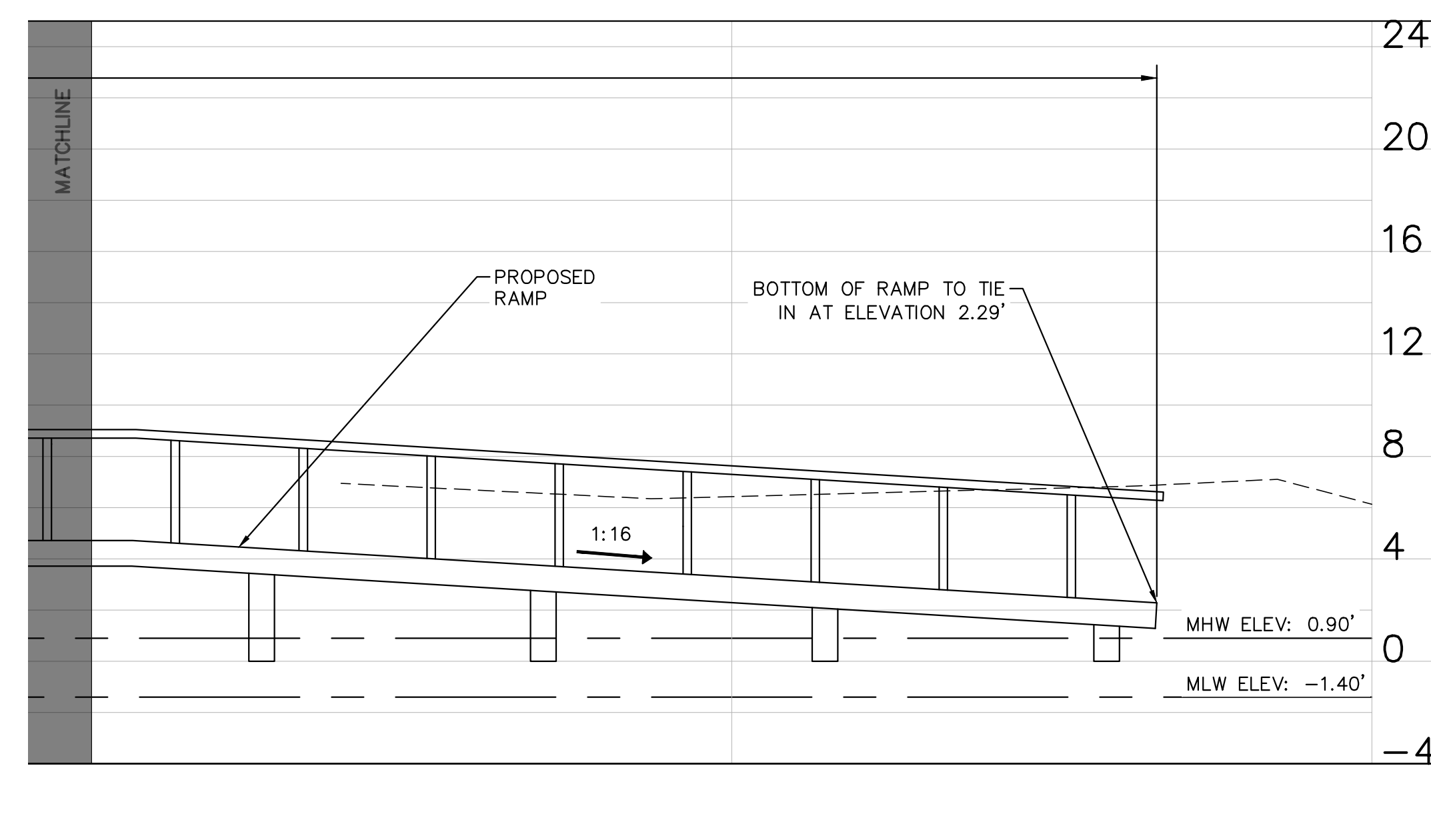
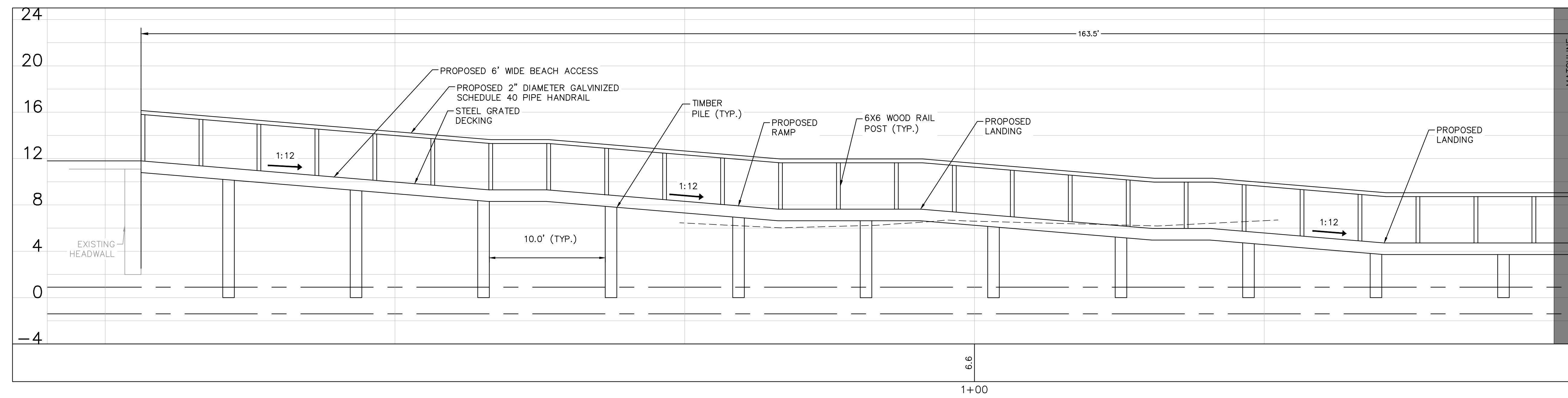
SPRIGG MARSHALL FRANCIS P.C.
 1228 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

MEP ENGINEER

PAGE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER

CORSI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19084



CONCEPTUAL PUBLIC BEACH ACCESS WALKWAY PROFILE A - A
 1" = 5'

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**

WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000
 DATE
07/19/2023
 ISSUE
DESIGN DEVELOPMENT

SHEET TITLE
BEACH ACCESS PROFILE

SHEET NO.

CBA4.0A

ARCHITECT
HKS, INC.
300 N SHAWT PAUL ST
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4528 MAIN ST, SUITE 1000
VIRGINIA BEACH, VA 23462

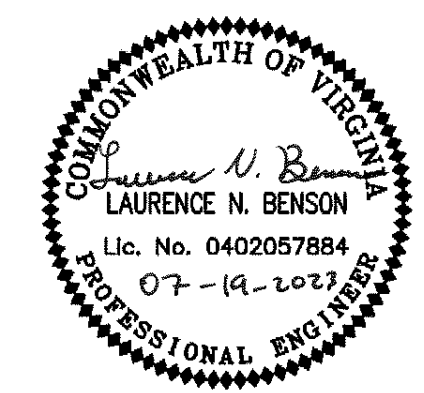
LANDSCAPE DESIGNER
WIL SITE DESIGN
242 WASTINGS TRAIL, SUITE B
VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23504

MEP ENGINEER
PACE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
COBBI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, VA 19064

BAY TOWER PUBLIC IMPROVEMENTS AND BEACH ACCESS PLAN



WESTMINSTER CANTERBURY
AT CHEESAPEAKE BAY
3100 BROAD DRIVE
VIRGINIA BEACH, VA 23451

ASPHALT PAVEMENT NOTES:

- 1. EXCAVATE TO DESIGN SUBGRADE INDICATED AND PROOF-ROLL IN ONE DIRECTION AND REPEAT PROOF-ROLLING PERPENDICULAR TO FIRST DIRECTION USING A LOADED 10-WHEEL, TRAILER-AE TRAMP TRUCK...
2. EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS, AND AREAS OF EXCESSIVE PONDING OR RUTTING AND REPLACE WITH COMPACTED BACKFILL OR FILL AS DIRECTED BY GEOTECHNICAL ENGINEER...
3. INSTALL BASE COURSE MATERIAL TO DEPTH INDICATED, COMPACT TO 98% MAX. DRY DENSITY, AND APPLY HERBICIDE TO SURFACE OF DRY COMPACTED AGGREGATE BASE BEFORE APPLYING ASPHALT PAVING MATERIAL...

EROSION AND SEDIMENT CONTROL NOTES:

- 1. MAINTAIN A HARD COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), INCLUDING CORRESPONDING RECORDS, ON-SITE AT ALL TIMES...
2. INSTALL ALL TEMPORARY EROSION CONTROL AND TREE PROTECTION DEVICES AS INDICATED AND, THE PHASES INDICATED...
3. DO NOT SURFACE DISCHARGE ITEMS AND ARE NOT ALLOWED AS PART OF THE GENERAL VDES PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRUCTION ACTIVITIES...
4. CONSTRUCT AND MAINTAIN SUFFICIENT DEVICES TO PREVENT SOIL FROM BEING ERODED ONTO ADJACENT STREETS, DRAINAGE SYSTEMS, AND WATER COURSES...

- E. APPLY STABILIZATION MEASURES TO EARTHEN STRUCTURES SUCH AS DAMS, DIVERSIONS, AND DITCH OR WATERCOURSE BEDS AND BANKS IMMEDIATELY AFTER INSTALLATION...
F. RESEED ALL AREAS WHICH, IN THE OPINION OF THE OWNER OR ENGINEER, HAVE NOT DEVELOPED AN EVEN, SATISFACTORY STAND OF GRASS, FREE OF BARE SPOTS...
G. MAINTAIN ALL LAWN AREAS INCLUDING WATERING, MOWING AND PEST CONTROL UNTIL FINAL APPROVAL AND ACCEPTANCE BY THE OWNER/DEVELOPER...
H. MOW ALL LAWN AREAS AT LEAST ONCE BUT NO MORE THAN TWO WEEKS PRIOR TO FINAL ACCEPTANCE...
I. REPAIR AND RESEED AREAS WHICH MAY BE ERODED BY RAIN DURING THE PROCESS OF WORK. CLEAR AND REMOVE ANY SUCH ERODED MATERIAL FROM ADJACENT AREA...

GRADING AND EARTHMOVING NOTES:

- 1. ALL EARTHWORK OPERATIONS SHALL BE CONDUCTED AS RECOMMENDED IN THE GEOTECHNICAL INVESTIGATION REPORT NOTED IN 'EXISTING CONDITIONS NOTES' OR AS MODIFIED BASED ON FIELD TESTING AND OBSERVATIONS...
2. BACKFILL MATERIAL, SOL COMPACTED, OR CONTROLLED LOW-STRENGTH MATERIAL USED TO FILL AN EXCAVATION PLACED IN LOOSE LIFTS NOT TO EXCEED 6" THICK AND THOROUGHLY FILLING...
3. BASE COURSE: AGGREGATE LAYER PLACED BETWEEN THE SUBGRADE COURSE AND HOT-MIX ASPHALT PAVING OR PORTLAND CEMENT CAST-IN-PLACE CONCRETE PAVING...
4. BASE COURSE MATERIAL: MIXTURE OF NATURAL GRAVEL, OR CRUSHED GRAVEL, OR CRUSHED STONE HAVING A MAX. LIQUID LIMIT OF 25, MAX. PLASTICITY INDEX OF 6.0, 30% MAXIMUM FLAT AND ELONGATED RATIO OF 5:1 (ASTM D4791), WITHIN +/-2% OF OPTIMAL MOISTURE CONTENT, AND THE FOLLOWING GRADATION MEASURED IN % PASSING, BY WEIGHT (+/- % TOLERANCE), AS INDICATED:

Table with 4 columns: Sieve Size, Z1, Z2, Z3. Rows include 2.5, 25, 26, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22.

- THE SUBGRADE AND A CEMENT CONC. PAVEMENT OR A CEMENT CONC. OR HOT-MIX ASPHALT PAV.
23. SUBBASE MATERIAL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST-90% PASSING A 1-1/2-INCH SIEVE AND NOT MORE THAN 12% PASSING A NO. 200 SIEVE...
24. SUBGRADE: UPPERMOST SURFACE OF AN EXCAVATION OR THE TOP SURFACE OF A FILL OR BACKFILL IMMEDIATELY BELOW SUBBASE, DRAINAGE FILL, DRAINAGE COURSE, OR TOPSOIL MATERIALS...
25. SEPARATION GEOTEXTILE: NONWEN GEOTEXTILE FABRIC WITH ELONGATION GREATER THAN 50% (ASTM D 288), SURVIVABILITY CLASS 2, MIN. GRAB TENSILE STRENGTH OF 247 LBF AND SEMI SEAM STRENGTH OF 222 LBF (ASTM D 4632), MIN. TEAR STRENGTH OF 90 LBF (ASTM D 4533), MIN. PUNCTURE STRENGTH OF 90 LBF (ASTM D 4833), MAX. APPARENT OPENING SIZE NO. 60 SIEVE (ASTM D 4751), MIN. PERMEABILITY OF 0.2 PER SECOND (ASTM D 4491), AND A MIN. UV STABILITY OF 50% AFTER 500 HOURS' EXPOSURE (ASTM D 4355)...

REVISION NO. DESCRIPTION DATE

HKS PROJECT NUMBER 24282.000
DATE 07/19/2023
ISSUE DESIGN DEVELOPMENT
SHEET TITLE GENERAL NOTES

SHEET NO. CBA1.2



City of Virginia Beach

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
 Phone (757) 385-4621
 Fax (757) 385-5667
 VA Relay Number: TTY: 711

VIRGINIA
 2875 SABRE STREET, SUITE 600
 VIRGINIA BEACH, VA 23452-7385

September 24, 2020

R.J. Nutter
 Troutman Pepper
 222 Central Park Avenue, Suite 2000
 Virginia Beach, VA 23462

RE: Westminster Canterbury on Chesapeake Bay/Accela Record #2019-PCCC-00234

Modification of Conditions (Home for the Aged, Disabled and Handicapped)
 3103 Shore Drive
 GPINs - 1590004510, 1590100553, 1590101535, 1590102542, 1590009984,
 1590009705, 1590100956, Council District: Lynnhaven

Dear Mr. Nutter,

At its formal session on September 22, 2020, the Virginia Beach City Council considered the application referenced above and voted to APPROVE the request.

The approval of this application shall be subject to the following condition(s):

- All conditions except for Number 1 attached to the Conditional Use Permit for the Home for the Aged, Disabled, and Handicapped dated June 9, 1998, shall remain in effect.
- The Property shall be developed in substantial conformance with the conceptual site plan entitled "SITE PLAN - CUP", dated November 8, 2019, and prepared by D2 Architecture (the "Site Plan"), a copy of which has been exhibited to the Virginia Beach City Council and is on file with the Virginia Beach Department of Planning.
- The quality of architectural design and materials of the buildings to be constructed on the Property, when developed, shall be in substantial conformance with the exhibit prepared by D2 Architecture, entitled "ELEVATIONS - CUP", and dated

June 15, 2020 (the "Elevations"), a copy of which is on file with the Department of Planning and has been exhibit to the Virginia Beach City Council.

- Landscaping installed on the Property, when developed, shall be in substantial conformance with that shown on the exhibit prepared by WPL, entitled "CONCEPTUAL LANDSCAPE MASTER PLAN", and dated July 21, 2020 (the "Landscape Plan"), a copy of which is on file with the Department of Planning and has been exhibit to the Virginia Beach City Council. The exact species of the various types of landscaping shall be determined at final site plan review.
- The Property, when developed, shall not exceed a total of 674 Independent Living units, 75 Assisted Living units, 48 Memory Support units, and 108 Skilled Nursing units. Total parking provided will be 1,096 parking spaces.
- Prior to the approval of the construction plans, the applicant shall obtain City Council's approval for the encroachment of the proposed pedestrian bridges over Starfish Road and Ocean Shore Avenue.
- Prior to the approval of the construction plans, the applicant shall have obtained the approval of City Council to relocate the existing public beach access easement from its current location at the eastern terminus of Starfish Road to the proposed new location along the applicant's northeastern property line.
- The applicant shall be responsible for any access improvements deemed necessary by Public Works/Traffic Engineering Staff, upon completion of the review of the submitted traffic impact study.
- The independent living building, when constructed, shall have a dock area and trash bays which are fully enclosed with doors and include heavy duty sound attenuation panels lining the walls and ceilings inside the dock area. In addition, an eight (8) foot tall masonry wall lined with brick and supplemented with additional landscaping shall be installed opposite the dock area, along the length of the eastern property line. The exact species of the various types of landscaping along the wall shall be determined at final site plan review.

Further conditions may be required during the administration of applicable City Ordinances and Standards. Any site plan submitted with this application may require revision during detailed site plan review (if such review is required) to meet all applicable City Codes and Standards. All applicable permits required by the City Code, including those administered by the Department of Planning / Development Services Center and Department of Planning / Permits and Inspections Division, and the issuance of a Certificate of Occupancy and a Business License (if applicable), are required before any use of the property as proposed with the application or the Conditional Use Permit (if applicable) is valid.

In accordance with Section 108 of the City Zoning Ordinance, please remove the public notice sign(s) posted on the referenced property within five (5) days of the date of City Council's decision.

Should you have any questions concerning this notification, please contact me at 757.385.4621.

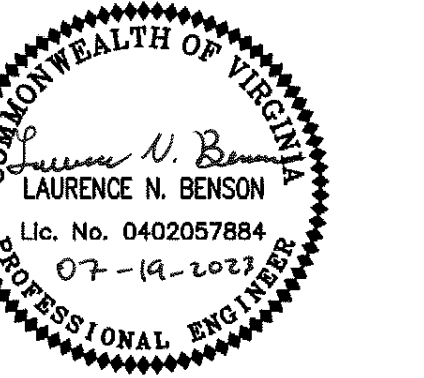
Sincerely,

William R. Landfair
 William R. Landfair
 Planning Evaluation Coordinator

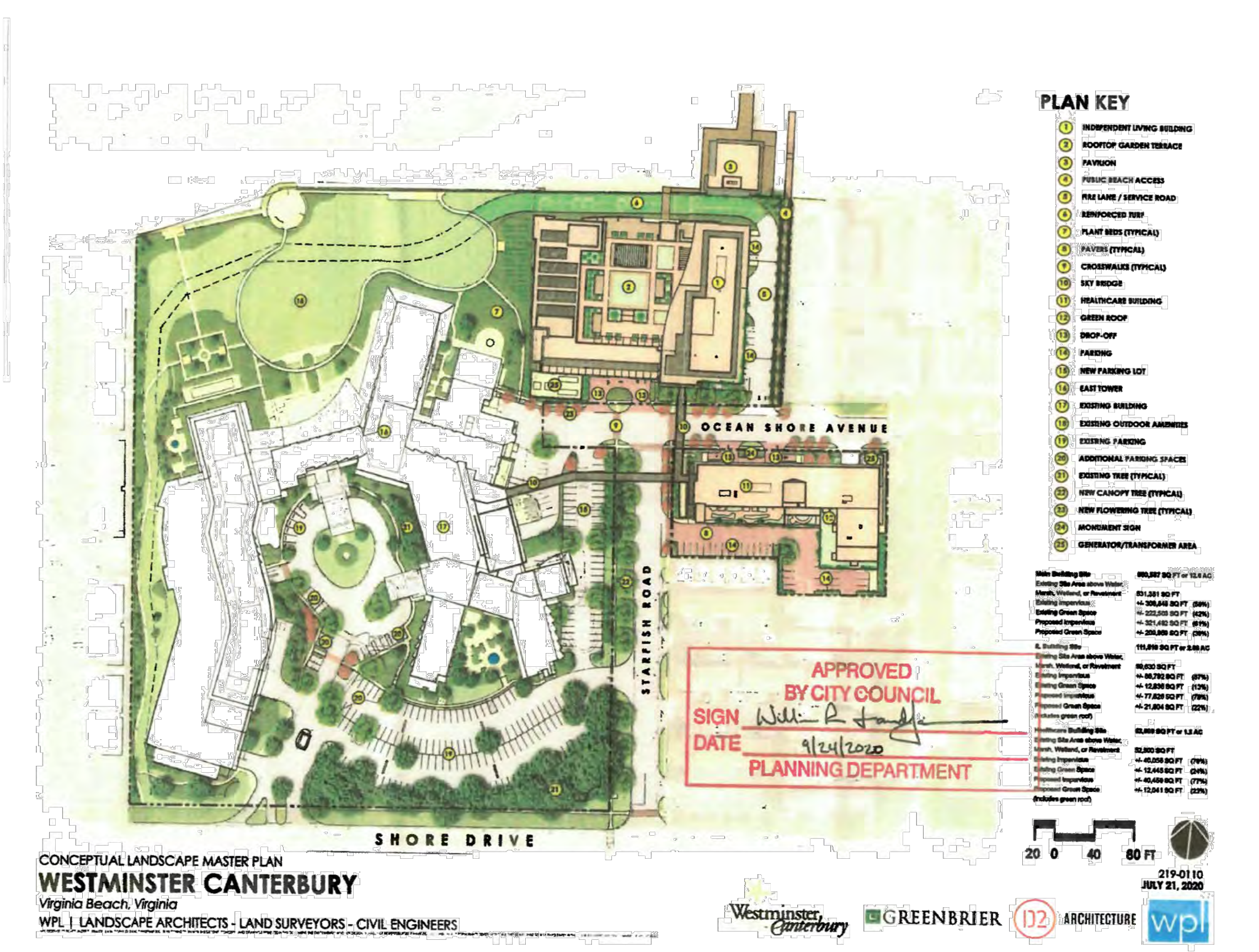
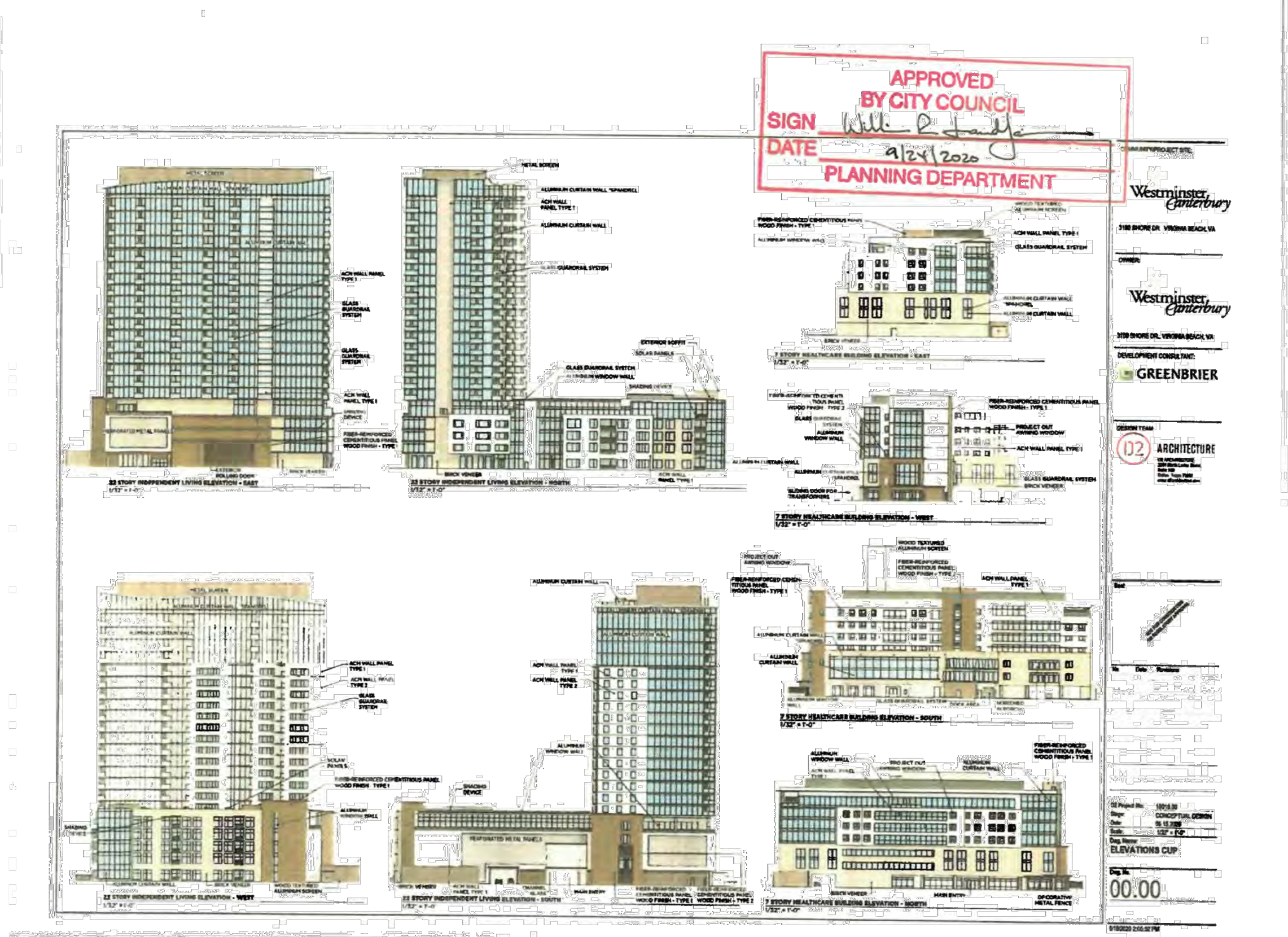
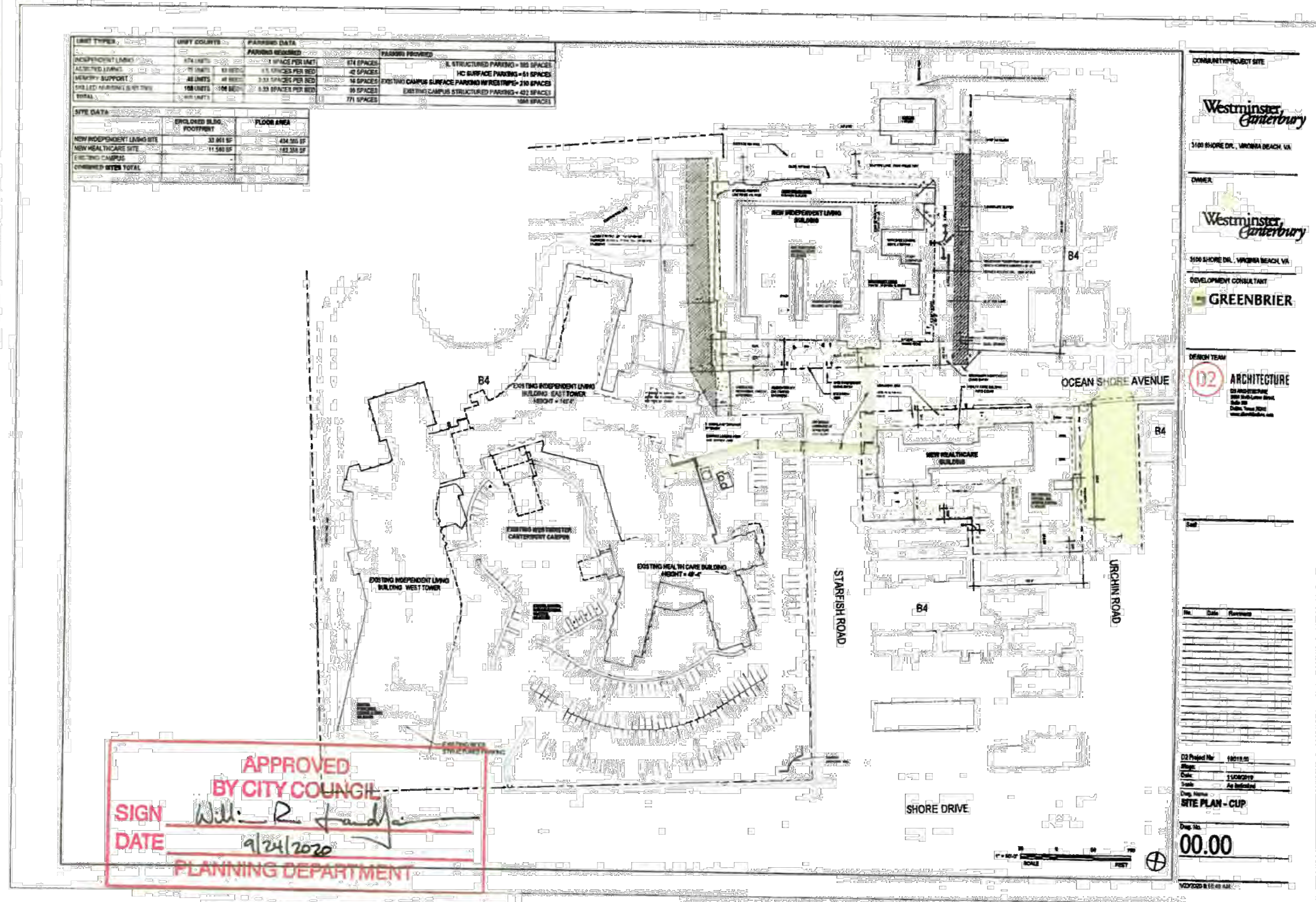
cc: Westminster Canterbury on Chesapeake Bay c/o Mark Borst

- ARCHITECT**
 HKS, INC.
 3055 SAINT PAUL ST
 SUITE 100
 DALLAS, TX 75201
- CIVIL ENGINEER**
 KIMLEY-HORN
 4525 MAIN ST, SUITE 1000
 VIRGINIA BEACH, VA 23462
- LANDSCAPE DESIGNER**
 WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE B
 VIRGINIA BEACH, VA 23452
- STRUCTURAL ENGINEER**
 SPEIGHT MARSHALL FRANCIS P.C.
 1228 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454
- MEP ENGINEER**
 PAGE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454
- FOOD SERVICE DESIGNER**
 COBRI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19064

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3103 SHORE DRIVE
 VIRGINIA BEACH, VA 23451



REVISION NO.	DESCRIPTION	DATE

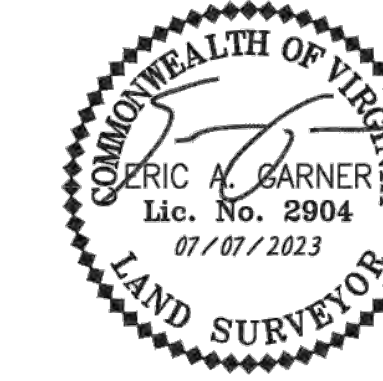
HKS PROJECT NUMBER
24282.000

DATE
07/19/2023

ISSUE
DESIGN DEVELOPMENT

SHEET TITLE
APPROVED CONDITIONS

SHEET NO.
CBA1.4



HKS

ARCHITECT
HKS, INC.
3601 SAINT PAUL ST.
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4625 MAN ST., SUITE 1000
VIRGINIA BEACH, VA 23462

LANDSCAPE ARCHITECT
WPA SITE DESIGN
242 MUSTANG TRAIL, SUITE B
VIRGINIA BEACH, VA 23462

STRUCTURAL ENGINEER
BRIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23462

MEP ENGINEER
PAGE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23464

FOOD SERVICE DESIGNER
CORNS ASSOCIATES, LLC
148 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19084

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

BAY TOWER INDEPENDENT LIVING BUILDING



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Architect:
Auth. Reg. No.:
Date:

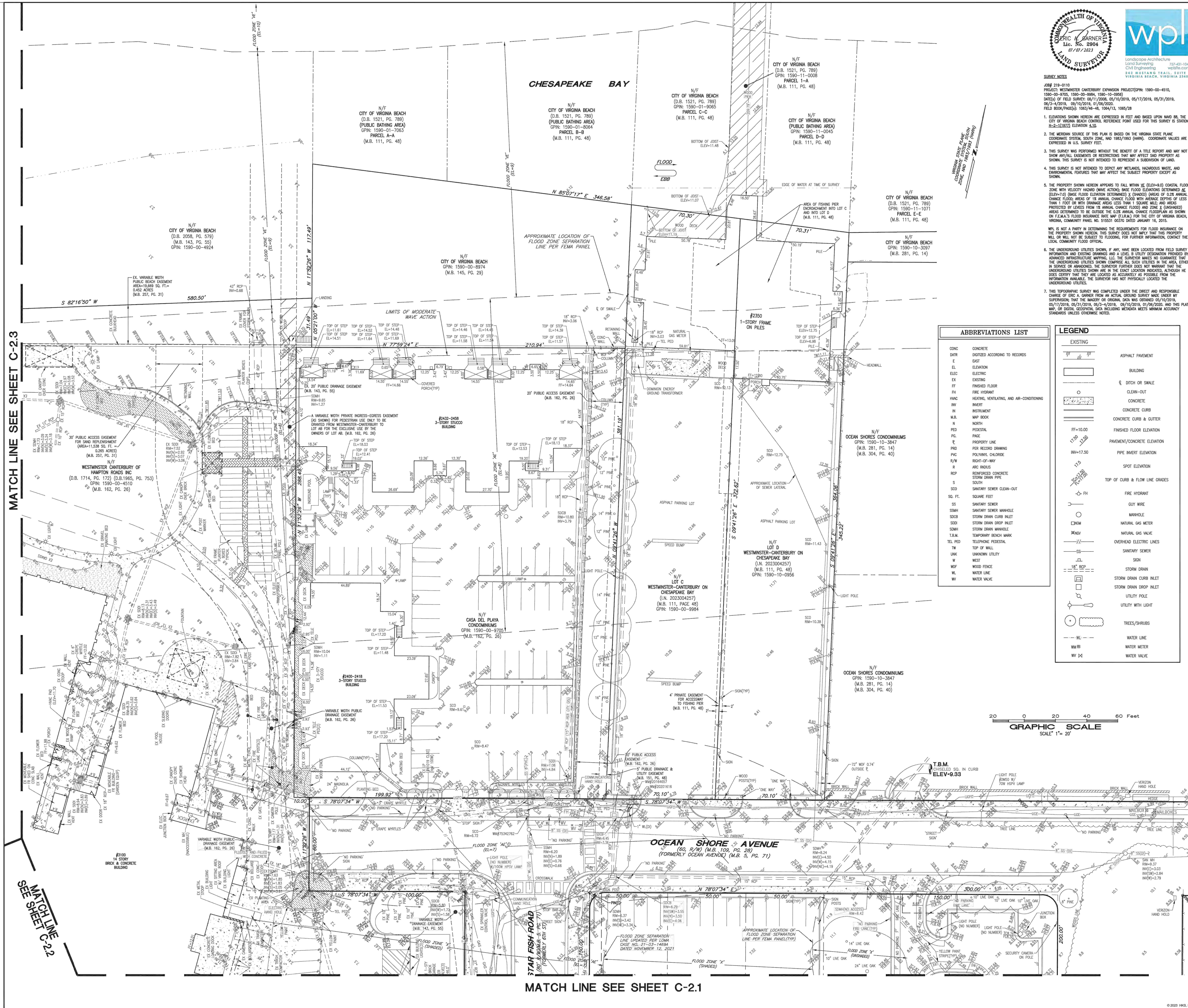
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
24282.000
DATE
06/14/2023
ISSUE
DSC SITE PLAN

SHEET TITLE

SHEET NO.
C-2.0



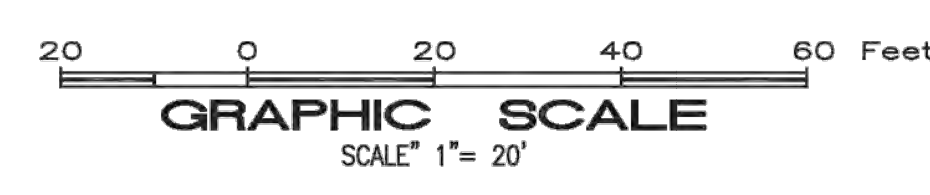
SURVEY NOTES

JOB# 219-0110
PROJECT: WESTMINSTER CANTERBURY EXPANSION PROJECT (PG. 1990-00-4010, 1990-00-3705, 1990-00-3804, 1990-10-0056)
DATE(S) OF FIELD SURVEY: 06/11/2023, 05/10/2019, 05/17/2019, 05/21/2019, 06/24/2019, 09/10/2019, 01/09/2020.
FIELD BOOK(S): 1065/A-4L, 1064/13, 1065/28

- ELEVATIONS SHOWN HEREON ARE EXPRESSED IN FEET AND BASED UPON NAVD 83. THE CITY OF VIRGINIA BEACH CONTROL REFERENCE POINT USED FOR THIS SURVEY IS STATION: 1812-110222 ELEVATION 4.15.
- THE MERIDIAN SOURCE OF THE PLAN IS BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983/1993 (NAD93). COORDINATE VALUES ARE EXPRESSED IN U.S. SURVEY FEET.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ANY/all EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN. THIS SURVEY IS NOT INTENDED TO REPRESENT A SUBDIVISION OF LAND.
- THIS SURVEY IS NOT INTENDED TO IDENTIFY ANY WETLANDS, HAZARDOUS WASTE, AND ENVIRONMENTAL FEATURES THAT MAY AFFECT THE SUBJECT PROPERTY EXCEPT AS SHOWN.
- THE PROPERTY SHOWN HEREON APPEARS TO FALL WITHIN VE (ELEV+0.0) COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION), BASE FLOOD ELEVATIONS DETERMINED AS (ELEV+7.0) (BASE FLOOD ELEVATION DETERMINED) & (SHADED) AREAS OF 0.2% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH WAVE HEIGHTS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY ELEVATED FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF VIRGINIA BEACH, VIRGINIA, COMMUNITY PANEL NO. 519531 03/31/2016 DATED JANUARY 16, 2015.
- WE, AS NOT A PARTY IN DETERMINING THE REQUIREMENTS FOR FLOOD INSURANCE ON THE PROPERTY SHOWN HEREON. THE SURVEY DOES NOT MEAN THAT THIS PROPERTY WILL OR WILL NOT BE SUBJECT TO FLOODING. FOR FURTHER INFORMATION, CONTACT THE LOCAL COMMUNITY FLOOD OFFICE.
- THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS AND A LEVEL 3 UTILITY DESIGNATION PROVIDED BY AN ADVANCED INFRASTRUCTURE MAPPING, LLC. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF ERIC A. GARNER FROM AN ACTUAL ORAL SURVEY MADE UNDER MY SUPERVISION. THAT THE MAPPING OR ORIGINAL DATA WAS OBTAINED 05/10/2019, 05/17/2019, 05/21/2019, 06/24/2019, 09/10/2019, 01/09/2020, AND THIS PLAN, MAP, OR DIGITAL, GEOGRAPHIC DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

ABBREVIATIONS LIST	
CONC	CONCRETE
DAIR	DIGITIZED ACCORDING TO RECORDS
E	ELEVATION
ELEC	ELECTRIC
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
HVAC	HEATING, VENTILATING, AND AIR-CONDITIONING
INV	INVERT
IN	INSTRUMENT
M.B.	MAP BOOK
N	NORTH
PED	PEDESTAL
PG	PAGE
PL	PROPERTY LINE
PRD	PER RECORD DRAWING
S	SOUTH
SCD	SANITARY SEWER CLEAN-OUT
SO, FT.	SQUARE FEET
SS	SANITARY SEWER
SMH	SANITARY SEWER MANHOLE
SOCB	STORM DRAIN CURB INLET
SODI	STORM DRAIN DROPP INLET
SMH	STORM DRAIN MANHOLE
T.B.M.	TEMPORARY BENCH MARK
TEL PED	TELEPHONE PEDESTAL
TW	TOP OF WALL
UNK	UNKNOWN UTILITY
W	WEST
WDF	WOOD FENCE
WL	WATER LINE
WV	WATER VALVE

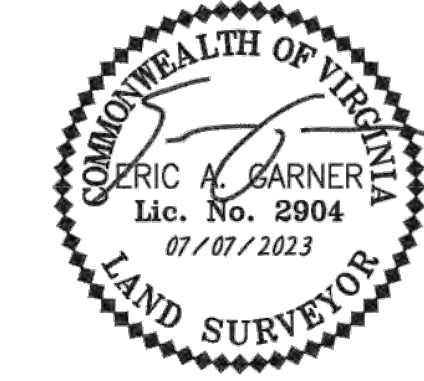
LEGEND	
	ASPHALT PAVEMENT
	BUILDING
	DITCH OR SWALE
	CLEAN-OUT
	CONCRETE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	FINISHED FLOOR ELEVATION
	PAVEMENT/CONCRETE ELEVATION
	PIPE INVERT ELEVATION
	SPOT ELEVATION
	TOP OF CURB & FLOW LINE GRADES
	FIRE HYDRANT
	GLY WIRE
	MANHOLE
	NATURAL GAS METER
	NATURAL GAS VALVE
	OVERHEAD ELECTRIC LINES
	SANITARY SEWER
	SIGN
	STORM DRAIN
	STORM DRAIN CURB INLET
	STORM DRAIN DROPP INLET
	UTILITY POLE
	UTILITY WITH LIGHT
	TREES/SHRUBS
	WATER LINE
	WATER METER
	WATER VALVE



MATCH LINE SEE SHEET C-2.3

MATCH LINE SEE SHEET C-2.2

MATCH LINE SEE SHEET C-2.1



ARCHITECT
HKS, INC.
3801 SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
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4625 MAN ST, SUITE 1000
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WPI SITE DESIGN
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PAGE COLLABORATIVE PC
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FOOD SERVICE DESIGNER
CORSI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19084

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

**BAY TOWER
INDEPENDENT LIVING
BUILDING**



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Architect: _____
Arch. Reg. No.: _____
Date: _____

KEY PLAN

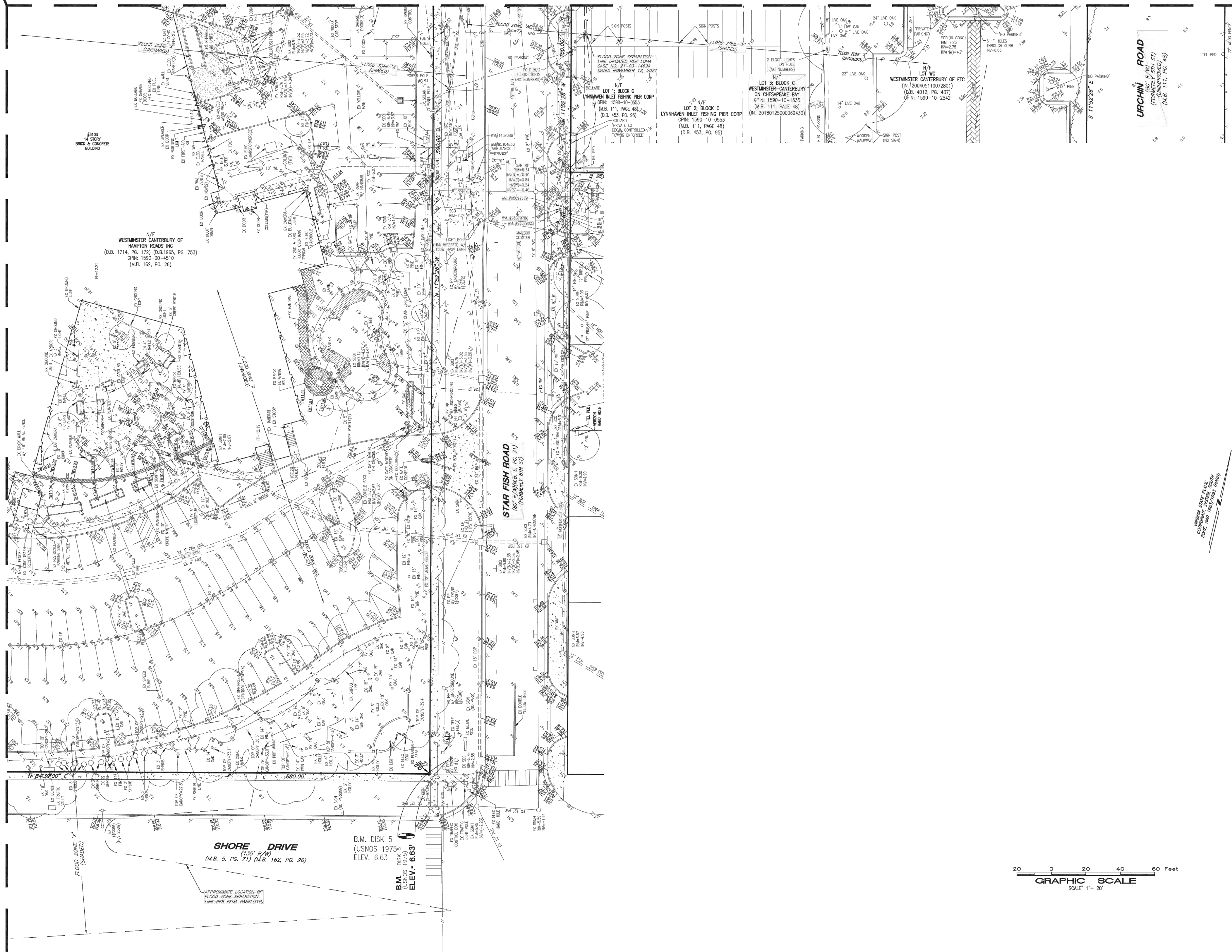
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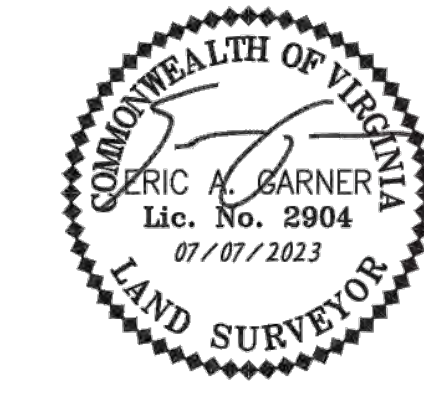
PROJECT NUMBER
24282.000
DATE
06/14/2023
ISSUE
DSC SITE PLAN

SHEET TITLE
C-2.1

MATCH LINE SEE SHEET C-2.0

MATCH LINE SEE SHEET C-2.2





ARCHITECT
HKS, INC.
380 N BARK PAUL ST
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DALLAS, TX 75201

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PACI COLLABORATIVE PC
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VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORNS ASSOCIATES, LLC
1488 BALTIMORE PIKE, SUITE 100
SPRINGFIELD, PA 19964

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

BAY TOWER INDEPENDENT LIVING BUILDING



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
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Date: _____

KEY PLAN

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
24282.000
DATE
06/14/2023
ISSUE
DSC SITE PLAN

SHEET TITLE
C-2.2

MATCH LINE SEE SHEET C-2.3

MATCH LINE SEE SHEET C-2.3

MATCH LINE SEE SHEET C-2.0

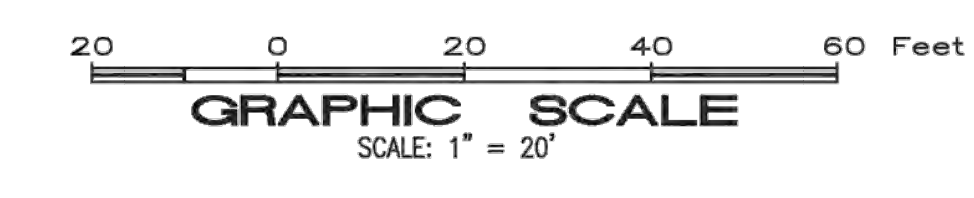
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LYNNHAVEN BEACH CONDOMINIUMS
(D.B. 1714, PG. 172) (D.B. 1965, PG. 753)
CPN: 1560-00-1444
(M.B. 111, PG. 48) (M.B. 208, PG. 20A)
(M.B. 217, PG. 10)

N/F
WESTMINSTER CANTERBURY OF
HAMPTON ROADS INC
(D.B. 1714, PG. 172) (D.B. 1965, PG. 753)
CPN: 1590-00-4510
(M.B. 162, PG. 26)

F3100
44 STORY
BRICK & CONCRETE
BUILDING

APPROXIMATE LOCATION OF
FLOOD ZONE SEPARATION
LINE PER FEMA PANEL (TYP)

SHORE DRIVE
(M.B. 5, PG. 71) (M.B. 162, PG. 26)



N/T
CITY OF VIRGINIA BEACH
EPL-2-A
(M.B. 111, PG. 48)
OPN: 1590-00-1806

CHESAPEAKE BAY



HKS

ARCHITECT
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360 N. EAST PAUL ST.
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DALLAS, TX 75201

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LANDSCAPE ARCHITECT
WPL SITE DESIGN
242 MUSTANG TRAIL, SUITE B
VIRGINIA BEACH, VA 23452

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VIRGINIA BEACH, VA 23464

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PACI COLLABORATIVE PC
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VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORSI ASSOCIATES, LLC
1488 BALTIMORE PIKE, SUITE 100
SPRINGFIELD, PA 19084

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXX

BAY TOWER INDEPENDENT LIVING BUILDING



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
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KEY PLAN

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
24282.000
DATE
06/14/2023
ISSUE
DSC SITE PLAN

SHEET TITLE
C-2.3

VIRGINIA STATE PLANT AND
 SOILS CONSERVATION
 ZONE MAP 1882/1920 (REV. 03/2000)

N/T
LYNNHAVEN BEACH CONDOMINIUMS
(D.B. 1714, PG. 172) (D.B. 1965, PG. 753)
OPN: 1590-00-1444
(M.B. 111, PG. 49) (M.B. 208, PG. 20A)
(M.B. 217, PG. 10)

N/T
CITY OF VIRGINIA BEACH
(D.B. 2058, PG. 579)
(M.B. 143, PG. 55)
OPN: 1590-00-4924

N/T
WESTMINSTER CANTERBURY OF
HAMPTON ROADS INC
(D.B. 1714, PG. 172) (D.B. 1965, PG. 753)
OPN: 1590-00-4510
(M.B. 182, PG. 26)

MATCH LINE SEE SHEET C-2.0

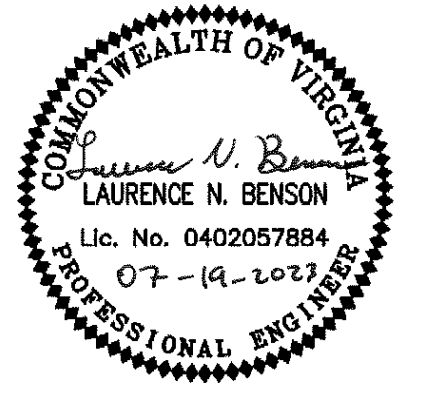
MATCH LINE SEE SHEET C-2.2

MATCH LINE SEE SHEET C-2.2

0 20 40 60 Feet
GRAPHIC SCALE
SCALE: 1" = 20'

ARCHITECT
HKS, INC.
350 N. SAINT PAUL ST.
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KIMLEY-HORN
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LANDSCAPE DESIGNER
WPL SITE DESIGN
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VIRGINIA BEACH, VA 23462
STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P
1228 PERMIER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454
MEP ENGINEER
PACE COLLABORATIVE PC
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FOOD SERVICE DESIGNER
CORSI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19084

BAY TOWER
PUBLIC IMPROVEMENTS
AND BEACH ACCESS PLAN



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

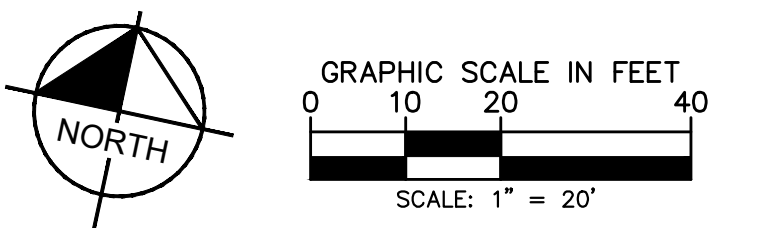


DEMOLITION LEGEND

- REFERENCE IL TOWER SITE PLAN DEMO SHEET
REMOVE ALL FEATURES TO SUBGRADE UNLESS OTHERWISE NOTED
- OPEN CUT FOR UTILITY INSTALLATION
(SEE SHEET C4.1 FOR DETAIL)
- REMOVE LINEAR FEATURE
- DEMOLISH FEATURE
- LIMITS OF DISTURBANCE

DEMOLITION NOTES

- 1. ALL WORK ON THIS SHEET SHALL BE PERFORMED BY THE SITE CONTRACTOR.
- 2. SITE DEMOLITION WITHIN THE PROPERTY LINE AND AT THE RIGHT-OF-WAY TIE-INS WILL BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE DETAILED SCOPE OF DEMOLITION AND SHALL DEMOLISH AND PROPERLY DISPOSE OF ALL ITEMS IN CONFLICT WITH PROPOSED CONSTRUCTION.
- 3. THIS DEMOLITION PLAN IS PROVIDED AS A CONVENIENCE TO BIDDERS TO ILLUSTRATE THE SCOPE OF DEMOLITION. THIS PLAN IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION AND FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
- 4. PROTECT ALL UTILITIES THAT ARE TO REMAIN IN PLACE.
- 5. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 6. REMOVE ALL PAVEMENT, CONCRETE AND CURB AND GUTTER TO SUBGRADE ELEVATION WITHIN THE LIMITS OF DISTURBANCE UNLESS OTHERWISE INDICATED.
- 7. REMOVE ALL UTILITY POLES, UNDERGROUND PIPES, CONDUIT, AND CABLES WITHIN THE LIMITS OF DISTURBANCE UNLESS OTHERWISE INDICATED. DO NOT REMOVE UNPRESSED EXISTING STRUCTURES OR UTILITIES THAT ARE ENCOUNTERED DURING CONSTRUCTION WITHOUT AUTHORIZATION FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- 8. REMOVE ABOVE GROUND UTILITY POLES AND OTHER EQUIPMENT WITHIN THE LIMITS OF DISTURBANCE. COORDINATE REMOVAL WITH THE UTILITY OWNER. ANY OVERHEAD UTILITY LINES OR GUY WIRES FROM UTILITY POLES WITHIN THE RIGHT-OF-WAY THAT ENCRUSH INTO THE LIMITS OF DISTURBANCE SHALL REMAIN. COORDINATE WITH THE UTILITY OWNER IF A CONFLICT EXISTS. COORDINATE THE REMOVAL OF ANY PRIVATE UTILITY EQUIPMENT WITH THE UTILITY OWNER.
- 9. PHASE DEMOLITION OF THE EXISTING STORM SEWER AND CONSTRUCTION OF THE PROPOSED STORM SEWER TO MAINTAIN CONVEYANCE OF PUBLIC DRAINAGE.
- 10. UNLESS OTHERWISE SPECIFIED, SAWCUT ALL EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. AT THE LIMITS OF DEMOLITION INDICATED ON THE DRAWINGS AND/OR TO THE NEAREST JOINT.
- 11. CONFORM TO THE "OVERHEAD HIGH VOLTAGE ACT" (EFFECTIVE JULY 1, 1989) AND CONTACT THE NECESSARY AUTHORITIES PRIOR TO START OF CONSTRUCTION.
- 12. GRIND AND REMOVE ALL TREE STUMPS WITHIN LIMITS OF DISTURBANCE TO 24" BELOW EXISTING GRADE.
- 13. STOCKPILE EXISTING STONE AND ASPHALT FOR REUSE ON SITE.
- 14. SANITARY SEWER LATERALS SHALL BE ABANDONED AT THE MAIN LINE WYE. THE SANITARY SEWER LATERAL SHALL BE DETACHED FROM THE GRAVITY MAIN BY REMOVING A THREE (3)FT. SECTION OF THE LATERAL PIPE AT THE MAIN. THE CONNECTION AT THE CITY MAIN SHALL BE CAPPED OR PLUGGED BASED UPON A METHOD APPROVED BY DPU ENGINEERING. THE SANITARY SEWER CLEANOUT AND LATERAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY TO THE PAVEMENT/BACK OF CURB AND THEN THE REMAINING LATERAL SHALL BE CAPPED OR PLUGGED.
- 15. WATER SERVICE LINES SHALL BE ABANDONED AT THE CITY MAIN. THE WATER SERVICE LINE SHALL BE DETACHED FROM THE CORPORATION STOP BY REMOVING A THREE (3)FT. SECTION OF PIPE AT THE CITY MAIN. THE CORPORATION STOP IS TO BE TURNED OFF AND CAPPED. THE EXISTING WATER METER AND BOX SHALL BE REMOVED AND DELIVERED TO PUBLIC UTILITIES/OPERATIONS (3500 DAM NECK ROAD, VIRGINIA BEACH, VA 23456)



REVISION NO. DESCRIPTION DATE

HKS PROJECT NUMBER: 24282.000
DATE: 07/19/2023
ISSUE: DESIGN DEVELOPMENT
SHEET TITLE: DEMOLITION PLAN
SHEET NO.: CBA3.0

PRO DATE

ARCHITECT

HKS, INC.
 300 N. SAINT PAUL ST.
 SUITE 100
 DALLAS, TX 75201

CIVIL ENGINEER

KIMLEY-HORN
 4525 MAIN ST., SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER

WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE 9
 VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER

SPEIGHT MARSHALL FRANCIS P.C.
 1228 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

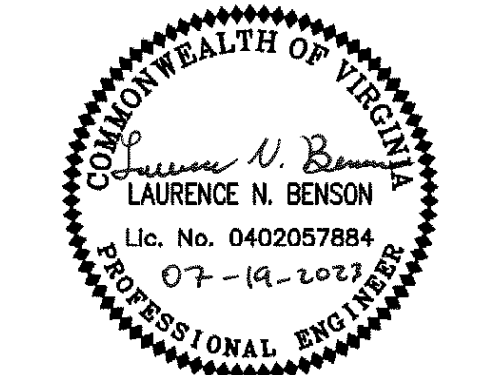
MEP ENGINEER

CORSI ASSOCIATES, L.L.C.
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER

CORSI ASSOCIATES, L.L.C.
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, VA 10064

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451

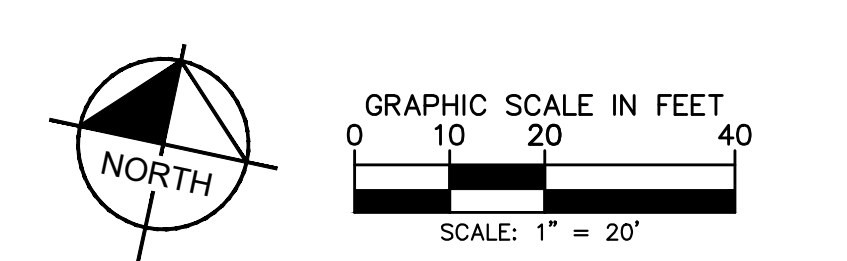


EROSION & SEDIMENT CONTROL LEGEND

	CE CONSTRUCTION ENTRANCE		PRACTICE
	SF SILT FENCE		CONTRIBUTING DRAINAGE AREA (ACRES)
	TP TREE PROTECTION		MAX CONTRIBUTING DRAINAGE AREA (ACRES)
	IP INLET PROTECTION		
	TC TEMPORARY CONSTRUCTION AND SAFETY FENCE		
	LOD LIMITS OF DISTURBANCE		
	TS TEMPORARY SEEDING		
	PS PERMANENT SEEDING		
	RL RIDGE LINE		
	T3 TYPE 3 TRAFFIC BARRICADE		
	DAL DRAINAGE AREA LINE		

EROSION & SEDIMENT CONTROL NOTES:

- NO STOCKPILING OF TOPSOIL OR OTHER EARTHEN MATERIALS IS ANTICIPATED. IF THE CONTRACTOR DESIRES TO STOCKPILE MATERIAL ON SITE, THE STOCKPILE SHALL BE SURROUNDED BY A DOUBLE ROW OF SILT FENCE AND THE LOCATION SHALL BE APPROVED BY THE CITY EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO ESTABLISHMENT. STOCKPILE/STAGING AREA SHALL BE IN COMPLIANCE WITH PWSS SEC. 17.7 STOCKPILES ARE TO BE A MINIMUM OF 25 FEET FROM ALL PROPERTY LINES AND RIGHT-OF-WAY LINES.
- ALL WORK ON THIS SHEET SHALL BE PERFORMED BY THE SITE CONTRACTOR.
- SITE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES FOR THE ENTIRE DURATION OF CONSTRUCTION.
- CONSTRUCTION SHALL CLEAN PUBLIC ROADWAYS OF SEDIMENT DAILY.
- FILTERED WATER FROM DEWATERING STRUCTURES SHALL BE DIRECTED TO EITHER ON-SITE STORM INLETS OR TOWARDS EXISTING STORM INLETS WITHIN THE RIGHT-OF-WAY. DIRECTING DEWATERING STRUCTURES TOWARDS PRIVATE PROPERTY IS PROHIBITED.
- THE EXISTING ENTRANCE AT THE END OF OCEAN SHORE AVENUE WILL BE USED TO ACCESS THE CONSTRUCTION AREAS WEST OF STARRISH ROAD. THE CONTRACTOR SHALL THOROUGHLY CLEAN ANY SEDIMENT TRACKED INTO THE PUBLIC RIGHT-OF-WAY AT THE END OF EACH DAY OR AS DIRECTED BY THE CITY INSPECTOR. REFER TO MS-17 ON SHEET CBA3.3.
- COORDINATE CONSTRUCTION SEQUENCING WITH DSC FILE #H02-013644-SP. APPROVED 04/14/2022.



PROPOSED

TABLE 3.31-B TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS (REVISED JUNE 2003)		
APPLICATION DATES	SEED	
	SPECIES	APPLICATION RATES
SEPT. 1 - FEB. 15	50/50 mix of annual ryegrass (oilium multi-florum) and cereal (winter) rye (secale cereale)	50-100 lbs./acre
FEB. 16 - APR. 30	Annual ryegrass (oilium multi-florum)	60-100 lbs./acre
MAY 1 - AUG. 31	German Millet	50 lbs./acre

FERTILIZER & LIME

- Apply 10-10-10 fertilizer at a rate of 400 lbs./acre (or 10 lbs./1,000 sq. ft.)
- Apply Pulverized Agriculture Limestone at a rate of 2 tons/acre (or 90 lbs./1,000 sq. ft.)

NOTE:

- A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
- Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or by other means.
- When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/nw/e&s.htm#pubs>

TABLE 3.32-E PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAN AREAS (REVISED JUNE 2003)		
LAND USE	SEED ¹	
	SPECIES	APPLICATION RATES
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ² or Bermudagrass ²	175-200 lbs. 75 lbs.
	Tall Fescue ² or Bermudagrass ² (seed)	200-250 lbs. 40 lbs. (unhulled) 30 lbs. (hulled)
High-Maintenance Lawn	Tall Fescue ² or Bermudagrass ² (by other vegetative establishment method, see Std. & Spec. 3.34)	128 lbs. 2 lbs. 20 lbs.
	Tall Fescue ² Red Top Grass or Creeping red Fescue Seasonal Nurse Crop ³	TOTAL: 150 lbs. 93-108 lbs. 2 lbs.
General Slope (3:1 or less)	Tall Fescue ² Red Top Grass or Creeping red Fescue Seasonal Nurse Crop ³	2 lbs. 0-15 lbs. 20 lbs.
	Tall Fescue ² Bermudagrass ² Red Top Grass or Creeping red Fescue Seasonal Nurse Crop ³ Sericea Lespedeza ²	20 lbs. TOTAL: 150 lbs.
Low-Maintenance Slope (steeper than 3:1)	Tall Fescue ² Bermudagrass ² Red Top Grass or Creeping red Fescue Seasonal Nurse Crop ³ Sericea Lespedeza ²	2 lbs. 0-15 lbs. 20 lbs. TOTAL: 150 lbs.

1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (Vicia) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by Vicia. A current turfgrass variety list is available at the local County Extension office or through Vicia at (804) 746-4884 or at <http://susan.cses.vt.edu/hm/Turf/Publications/publications2.html>

2 - use seasonal nurse crop in accordance with seeding dates as stated below:

February, March - April	Annual Rye
May 1 st - August	Foxtail Millet
September, October - November 15 th	Annual Rye
November 16 th - January	Winter Rye

3 - May through October, use hulled seed. All other seeding periods, use unhulled seed. If Weeping Lovegrass is used, include in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.

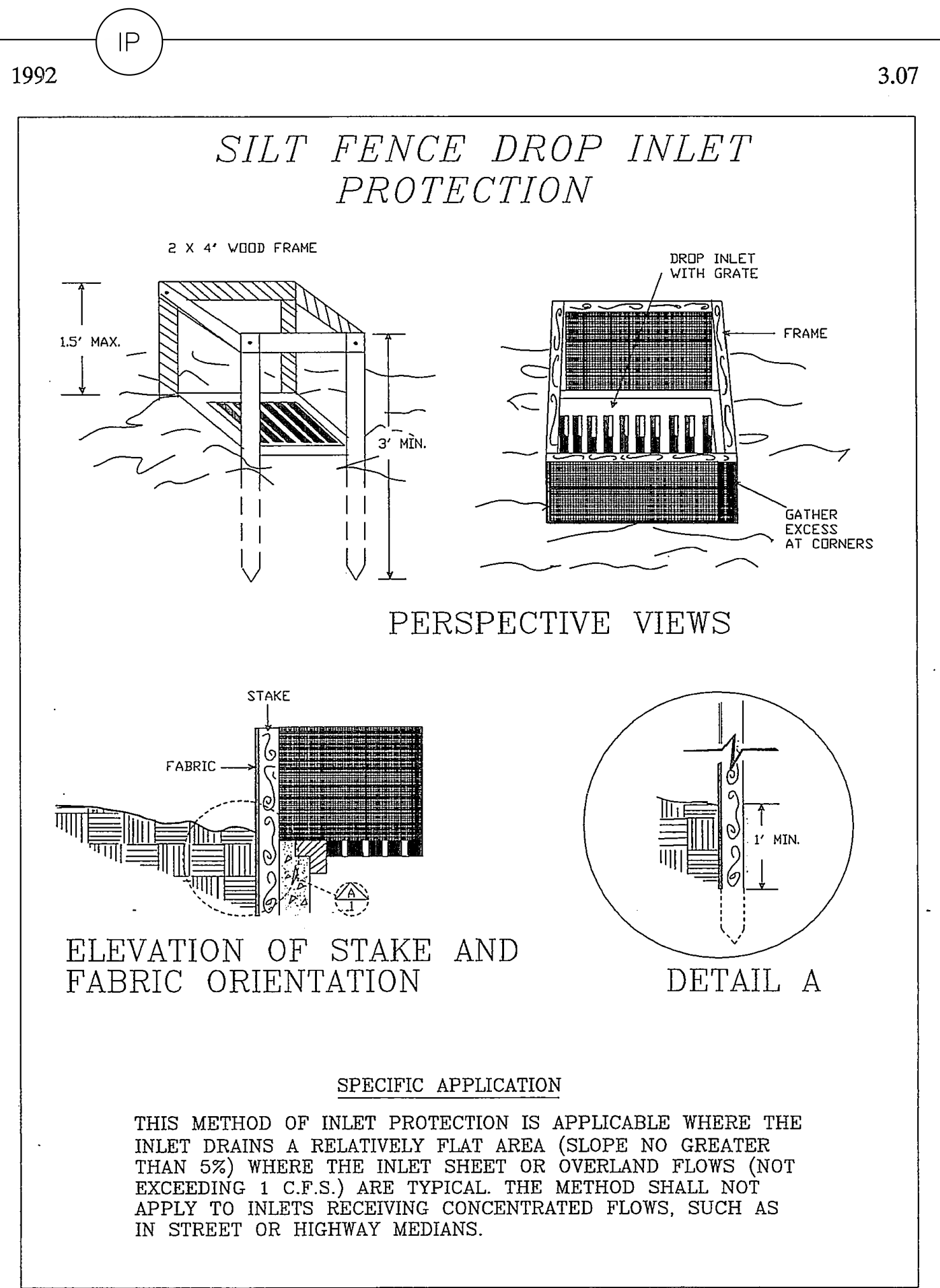
FERTILIZER & LIME

- Apply 10-20-10 fertilizer at a rate of 500 lbs./acre (or 12 lbs./1,000 sq. ft.)
- Apply Pulverized Agriculture Limestone at a rate of 2 tons/acre (or 90 lbs./1,000 sq. ft.)

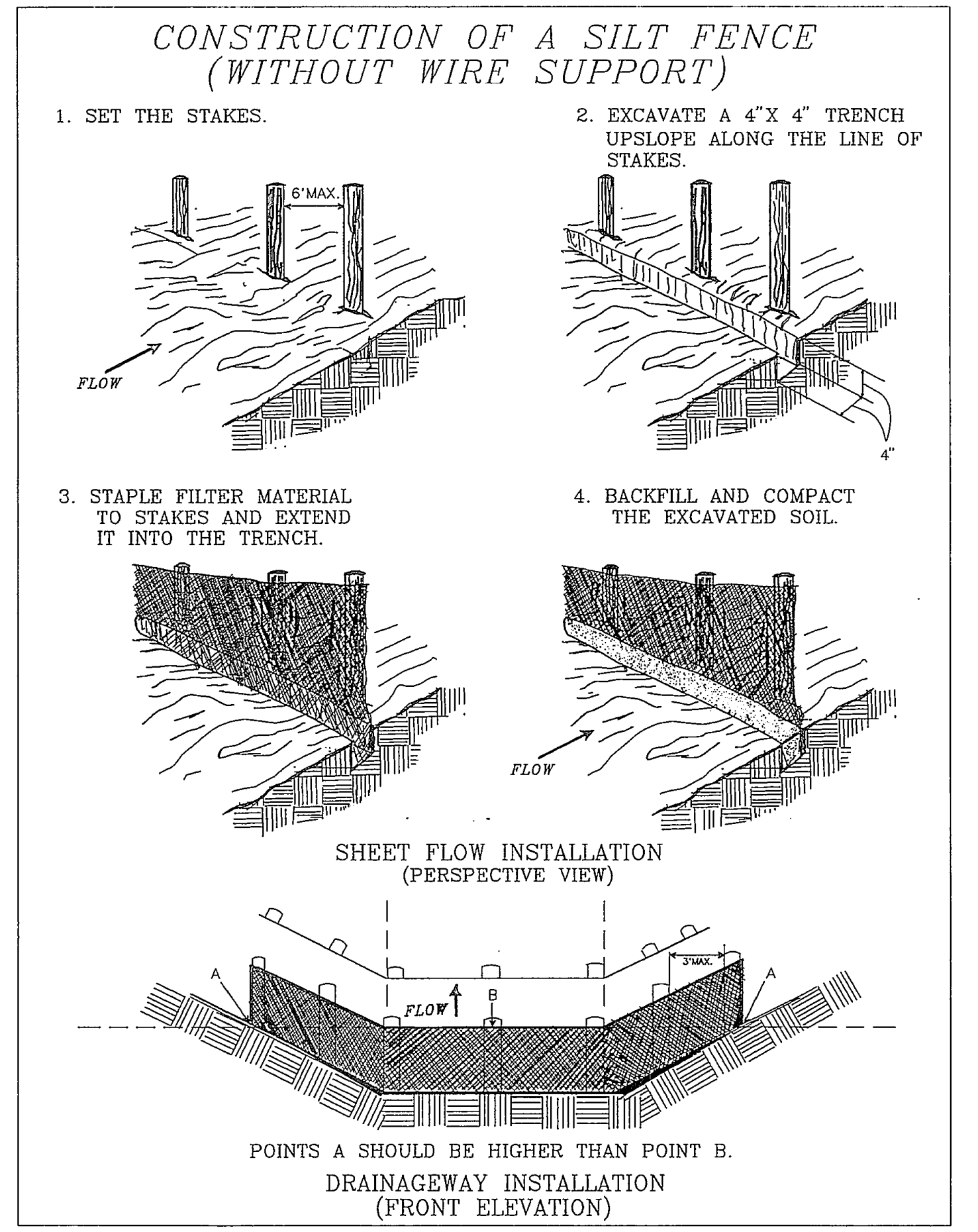
NOTE:

- A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
- Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disking or by other means.
- When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/nw/e&s.htm#pubs>

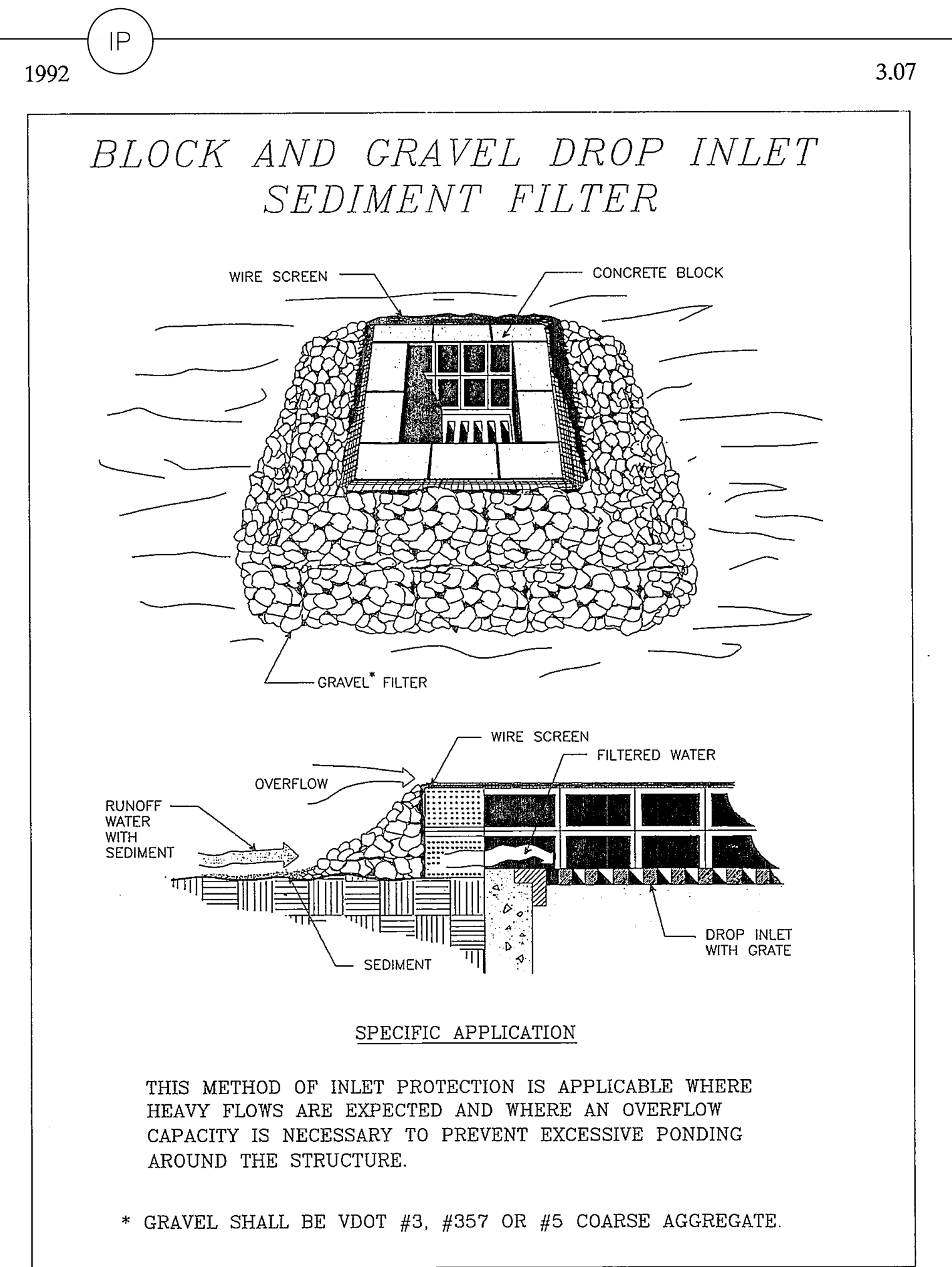
NOTE:
SILT FENCE SHALL BE CONSTRUCTED OF STANDARD 36" FILTER FABRIC, STAKED WITH 2X2 HARDWOOD STAKES PLACED A MAXIMUM OF 6' ON CENTER AND ENTRENCHED IN ACCORDANCE WITH THE VESH STD & SPEC.



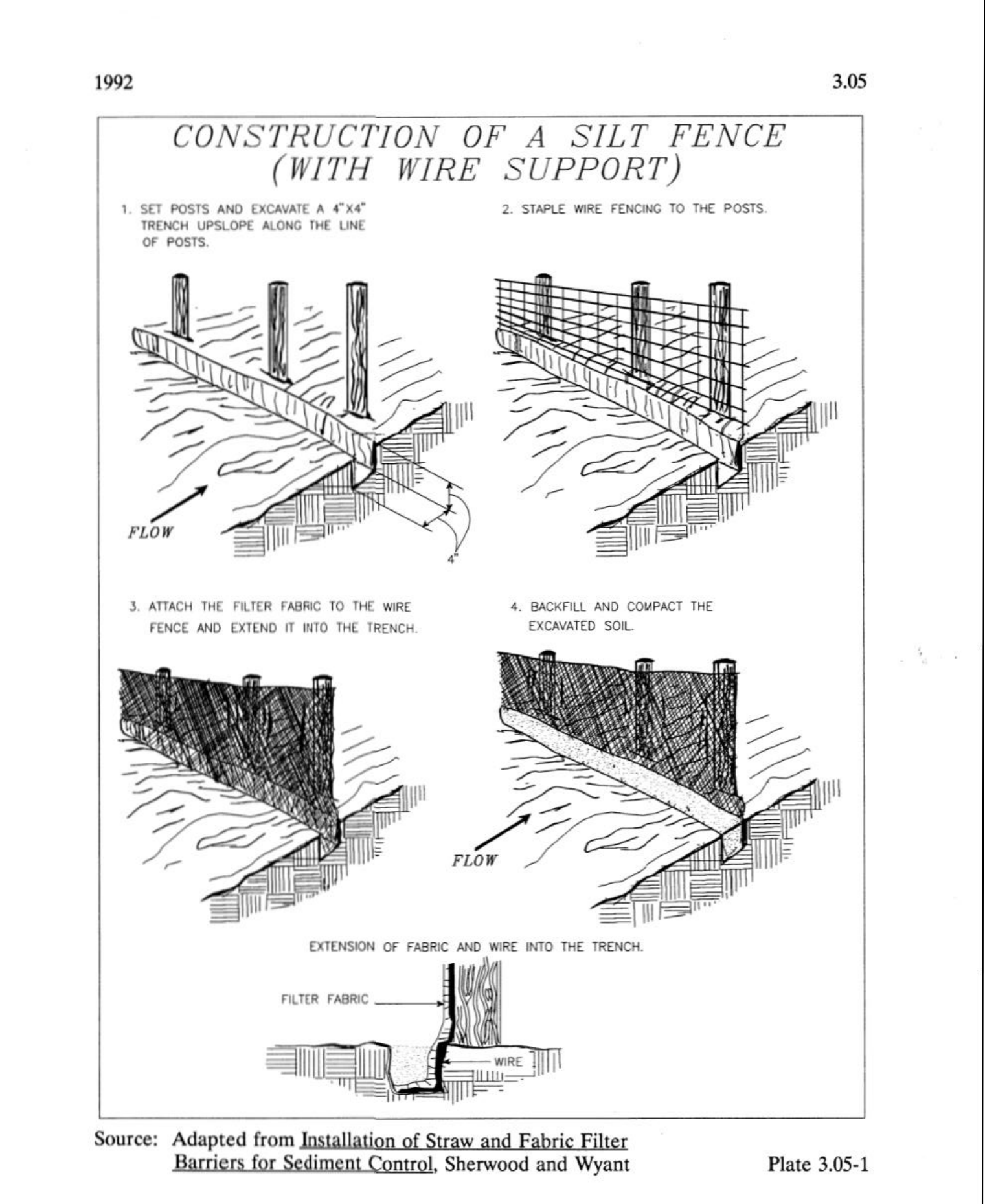
Source: N.C. Erosion and Sediment Control Planning and Design Manual, 1988



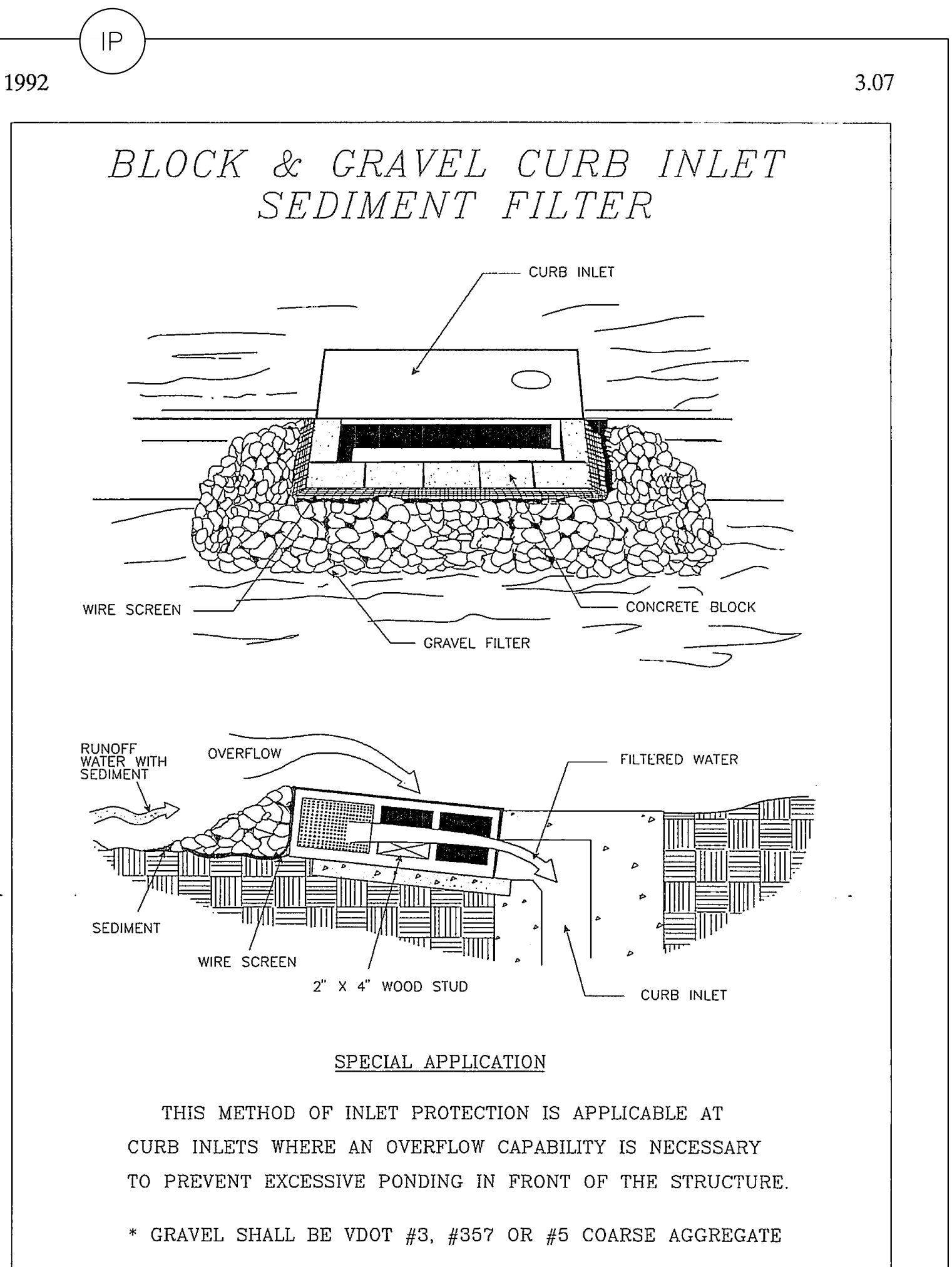
Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant



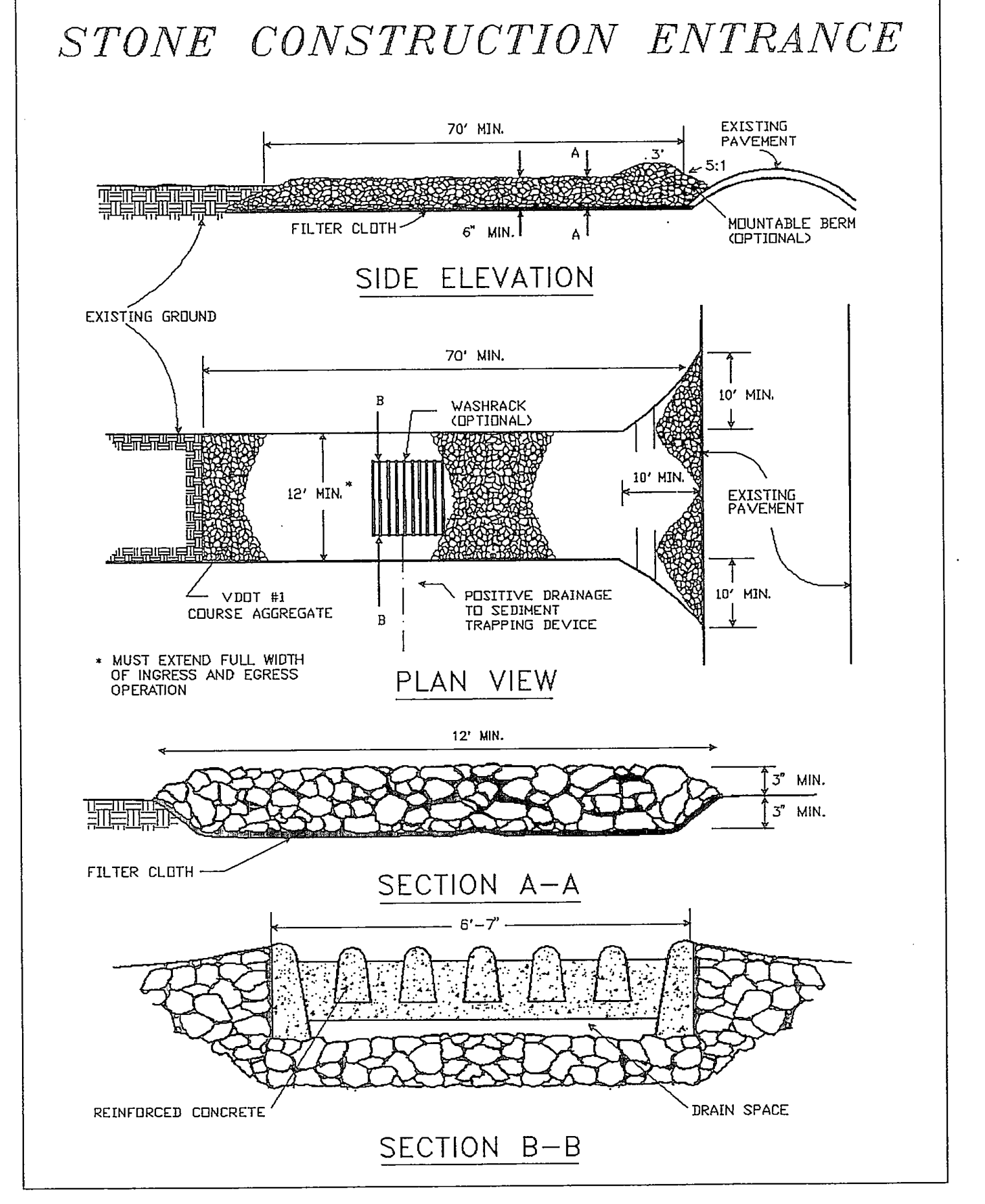
Source: Va. DSWC



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant



Source: Va. DSWC



Source: Adapted from 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC

ARCHITECT
HKS, INC.
350 N. SMITH ST.
SUITE 100
DALLAS, TX 75201

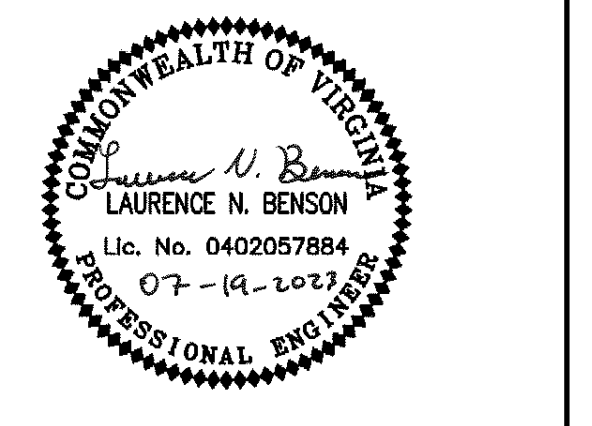
CIVIL ENGINEER
KIMLEY-HORN
4525 MAIN ST., SUITE 1000
VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
WIL SITE DESIGN
2425 HASTINGS TRAIL, SUITE 8
VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
SPREIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

MEP ENGINEER
PACE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CODRIS ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19064



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000

DATE
07/19/2023

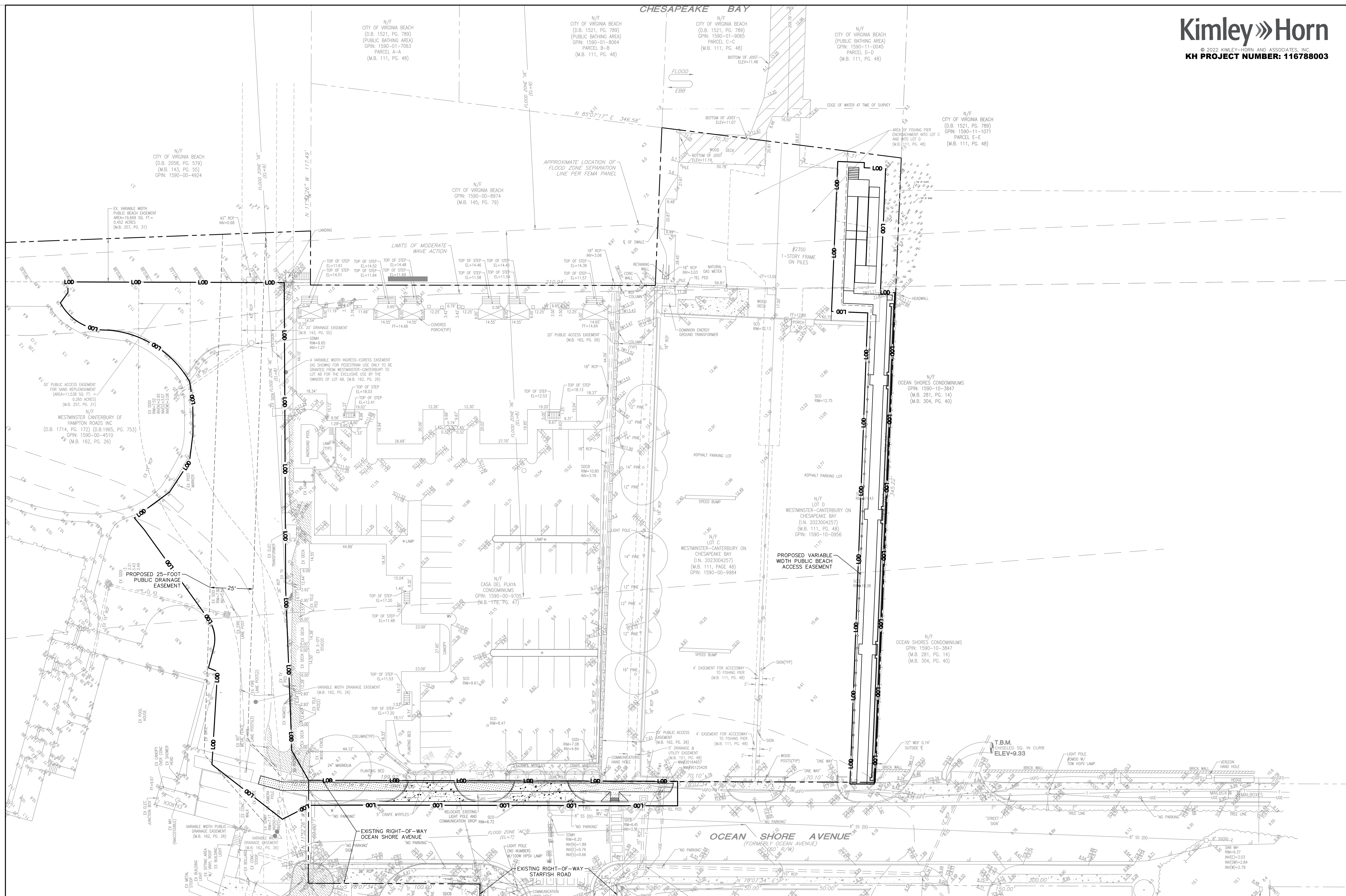
ISSUE
DESIGN DEVELOPMENT

SHEET TITLE
E&S DETAILS

SHEET NO.
CBA3.2

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**

**WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY**
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451



SITE KEYNOTES

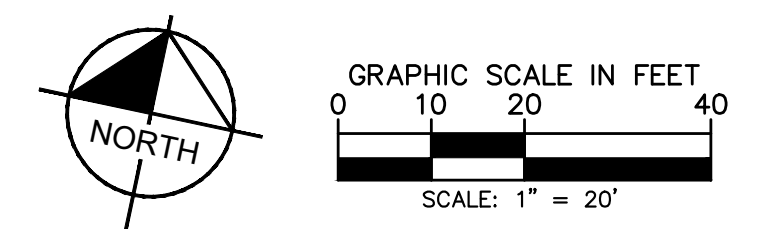
- 1 VDOT STD. CG-6 CURB & GUTTER (CBA4.2)
- 2 VDOT STD. CG-12 TYPE B RAMP (CBA4.2)
- 3 SIDEWALK (CBA4.2)
- 4 4\"/>

NOTES:

1. REFER TO SHEET CBA4.2 AND CBA4.3 FOR SITE DETAILS.
2. CONCRETE JOINTING PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR. SUBMIT JOINTING PLAN TO ENGINEER PRIOR TO CONSTRUCTION.
3. ALL RETAINING WALLS WILL BE DESIGNED BY THE PROJECT STRUCTURAL ENGINEER.
4. HANDRAILS SHALL BE PROVIDED ON ALL RAMPS AND STAIRS AS DEFINED BY ADA REGULATIONS.
5. COORDINATION WITH MULTIPLE AHS IS REQUIRED FOR THE STORM OUTFALLS ON THE BEACH WHICH MAY CHANGE THE DESIGN.

LEGEND

- VDOT STD. CG-6 CURB & GUTTER
- VDOT STD. CG-2 CURB
- FLUSH CURB



REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24349.000

DATE
08/30/2023

ISSUE
SITE PLAN

SHEET TITLE
SITE PLAN EXHIBIT

SHEET NO.
CBA4.0

ARCHITECT
 HKS, INC.
 350 N. SAUNDERS ST.
 SUITE 100
 DALLAS, TX 75201

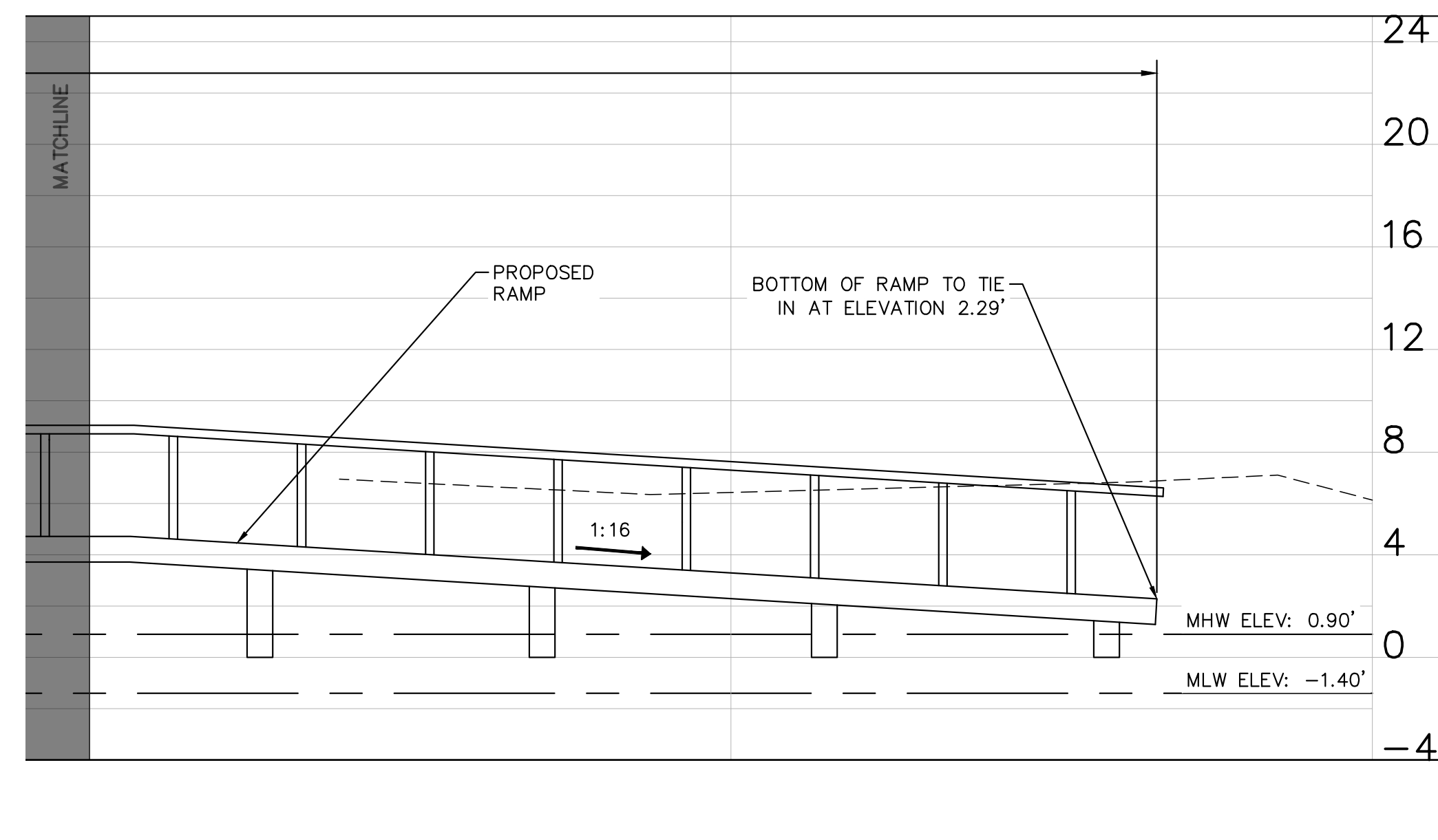
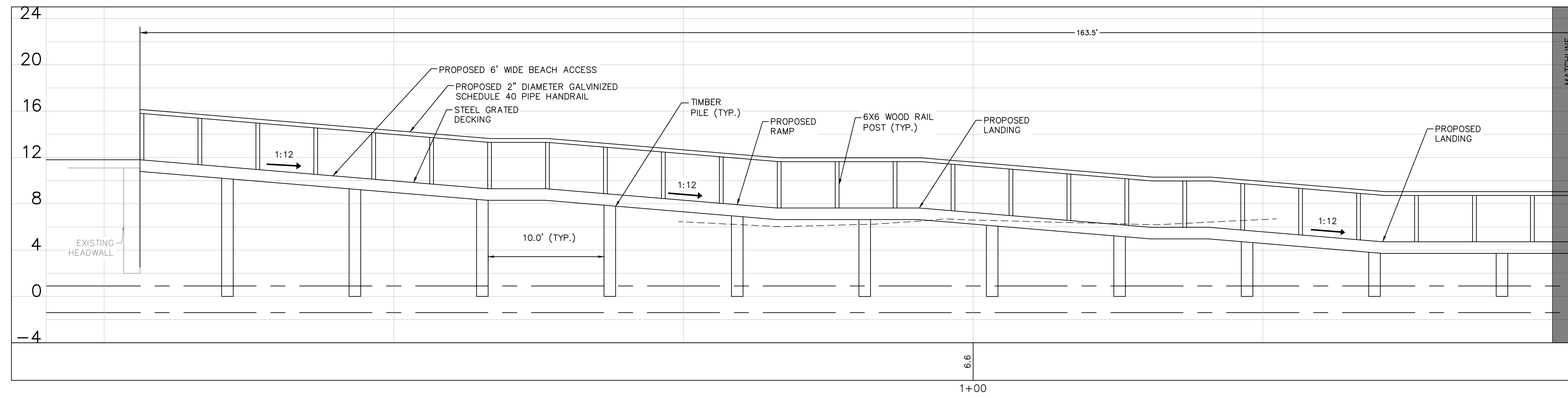
CIVIL ENGINEER
 KIMLEY-HORN
 4525 MAIN ST., SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
 WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE 8
 VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
 SPEIGHT MARSHALL FRANCIS P.C.
 1228 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

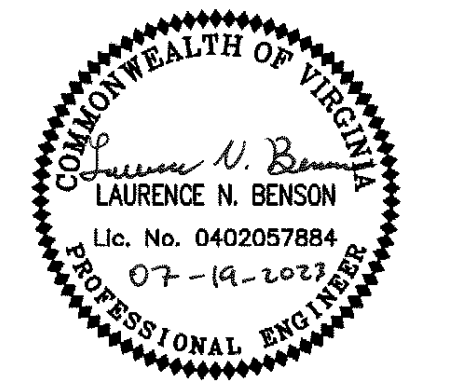
MEP ENGINEER
 PACE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
 CORSI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19084



CONCEPTUAL PUBLIC BEACH ACCESS WALKWAY PROFILE A - A
 1" = 5'

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000
 DATE
07/19/2023
 ISSUE
DESIGN DEVELOPMENT
 SHEET TITLE
BEACH ACCESS PROFILE

SHEET NO.

CBA4.0A

ARCHITECT

HKS, INC.
 350 N SAINT PAUL ST
 SUITE 100
 DALLAS, TX 75201

CIVIL ENGINEER

KIMLEY-HORN
 4525 MAIN ST, SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER

WPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE B
 VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER

SPROUT MARSHALL FRANCIS P.C.
 1229 PERIMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

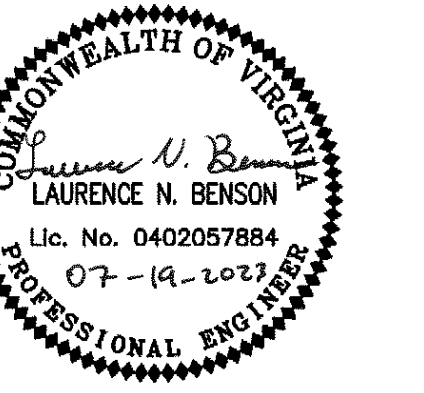
MEP ENGINEER

PACE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER

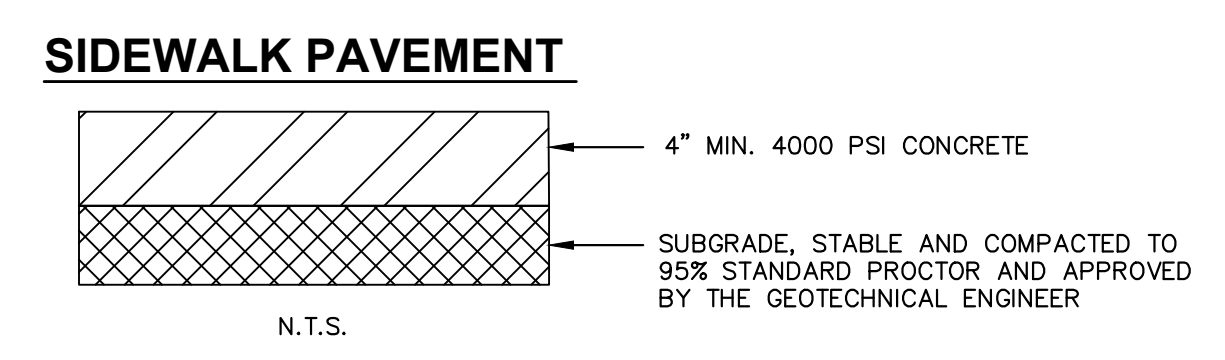
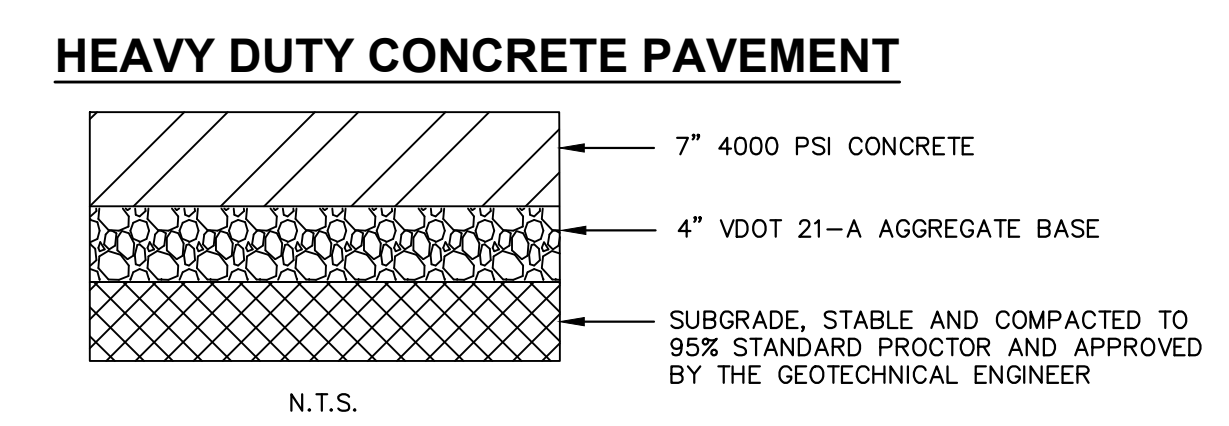
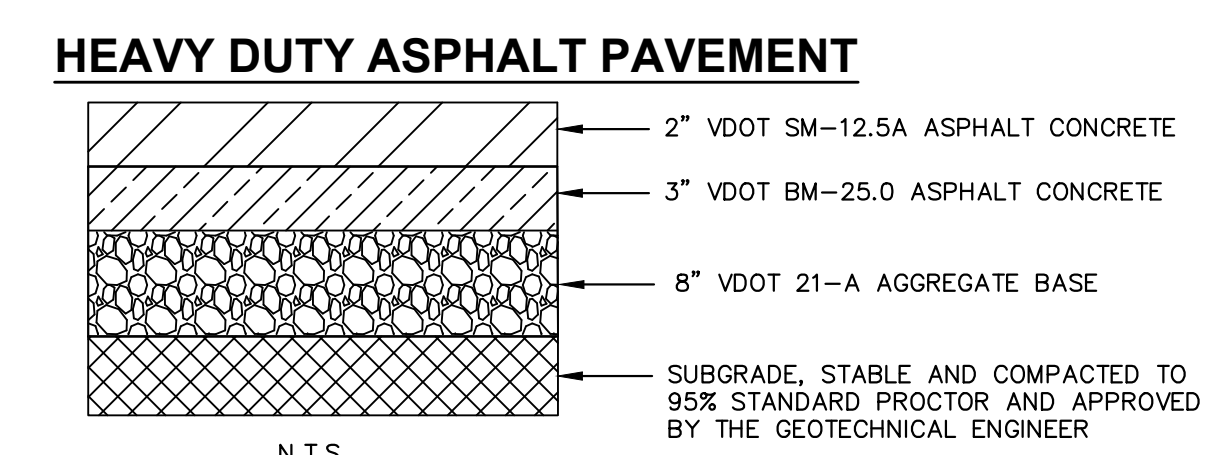
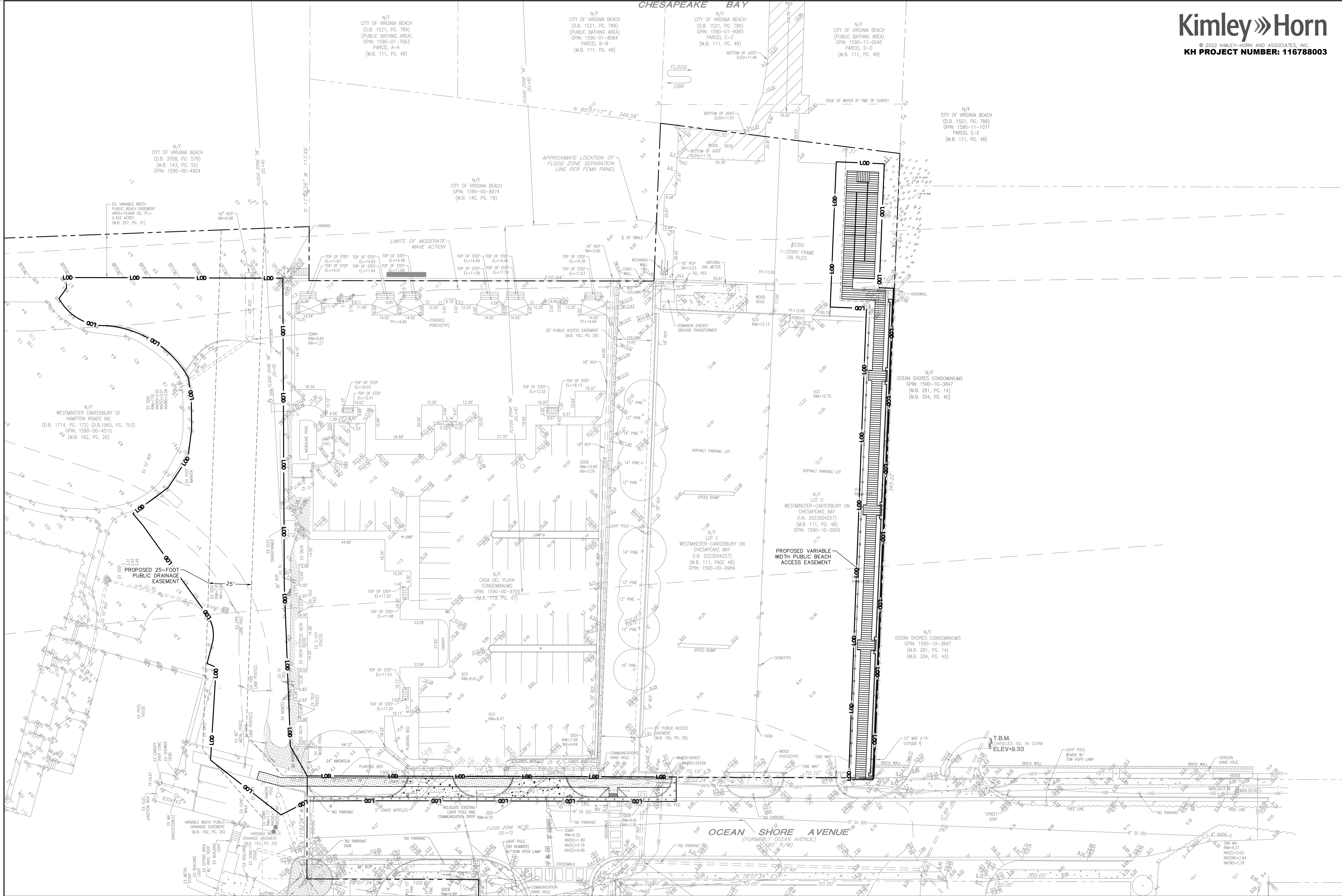
CORRI ASSOCIATES, LLC
 1480 BALTIMORE PINE, SUITE 109
 SPRINGFIELD, PA 19064

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY

AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451

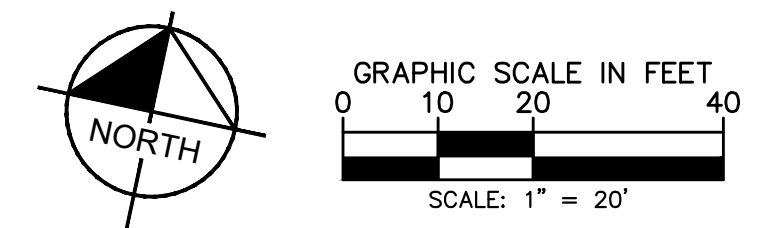


LEGEND

- HEAVY DUTY ASPHALT DRIVE AISLES
- LIGHT DUTY ASPHALT AUTO PARKING
- COMPOSITE DECKING OVER SIDEWALK
- MILL AND OVERLAY SM 12.5 (1.5" MIN DEPTH)
- HEAVY DUTY CONCRETE
- SIDEWALK (SEE SHEET CBA4.2 FOR DETAIL)
- VDOT STD. CG-6 CURB & GUTTER
- VDOT STD. CG-2 CURB
- FLUSH CURB

NOTES:

1. REFER TO SHEET CBA4.2 AND CBA4.3 FOR SITE DETAILS.
2. CONCRETE JOINTING PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR. SUBMIT JOINTING PLAN TO ENGINEER PRIOR TO CONSTRUCTION.
3. ALL RETAINING WALLS WILL BE DESIGNED BY THE PROJECT STRUCTURAL ENGINEER.
4. HANDRAILS SHALL BE PROVIDED ON ALL RAMP AND STAIRS AS DEFINED BY ADA REGULATIONS.
5. COORDINATION WITH MULTIPLE AHJ'S IS REQUIRED FOR THE STORM OUTFALLS ON THE BEACH WHICH MAY CHANGE THE DESIGN.



REVISION NO. DESCRIPTION DATE

KHS PROJECT NUMBER: 24282.000

DATE: 07/19/2023

ISSUE: DESIGN DEVELOPMENT

SHEET TITLE: PAVING PLAN

SHEET NO.: CBA4.1

ARCHITECT
HKS, INC.
3009 SHAW FUAL ST
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4525 MAIN ST, SUITE 1000
VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
WRL SITE DESIGN
242 MUSTANG TRAIL, SUITE 8
VIRGINIA BEACH, VA 23452

STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

MEP ENGINEER
PACE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORBI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, VA 19064

SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION MC-1
STANDARD 202.01

SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-9D
STANDARD 203.03

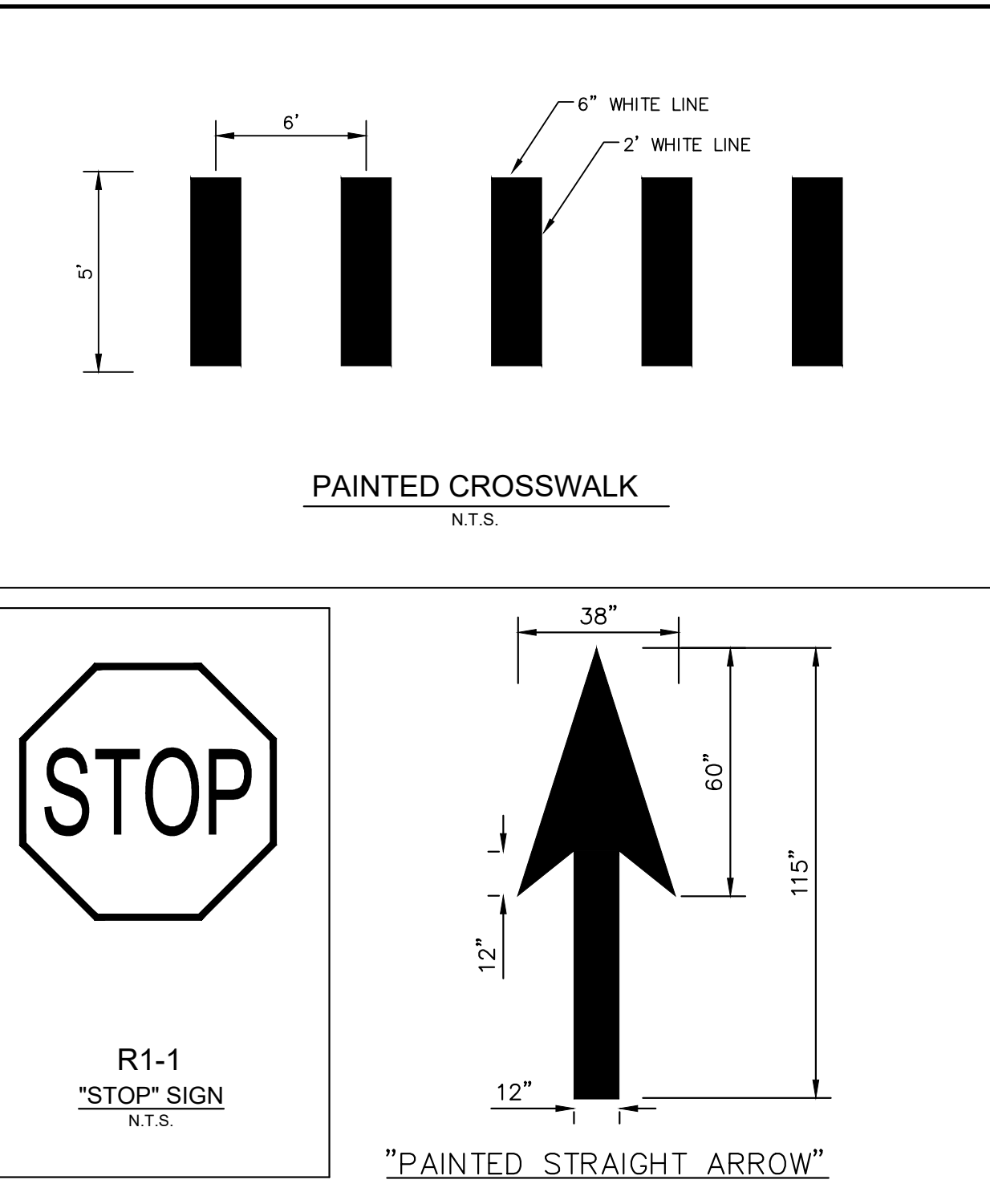
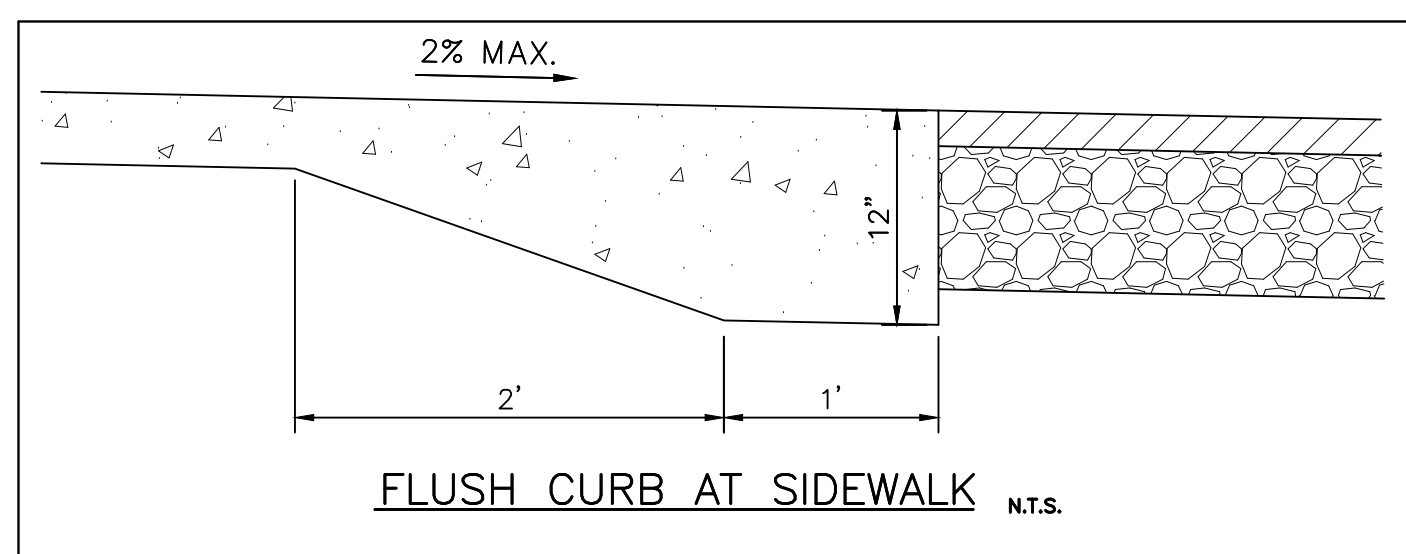
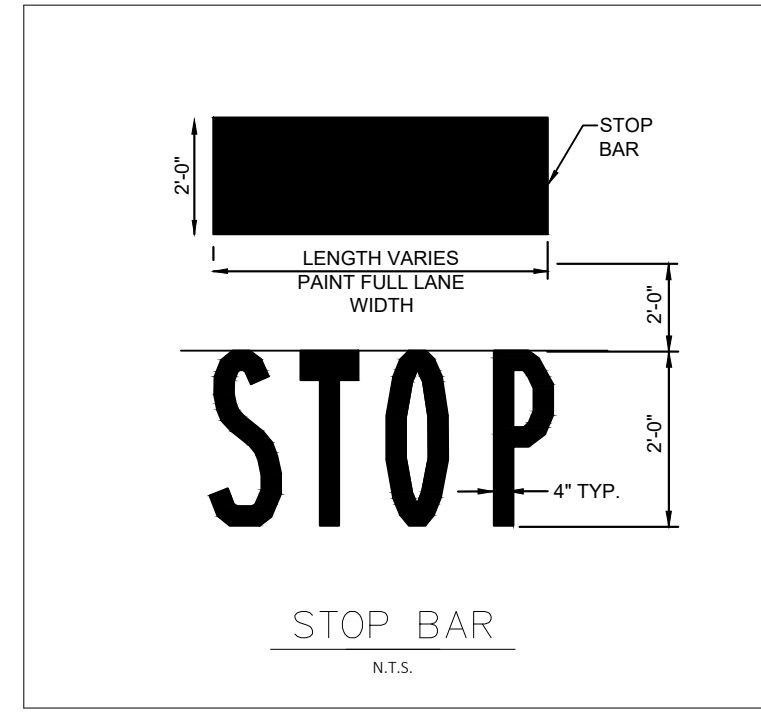
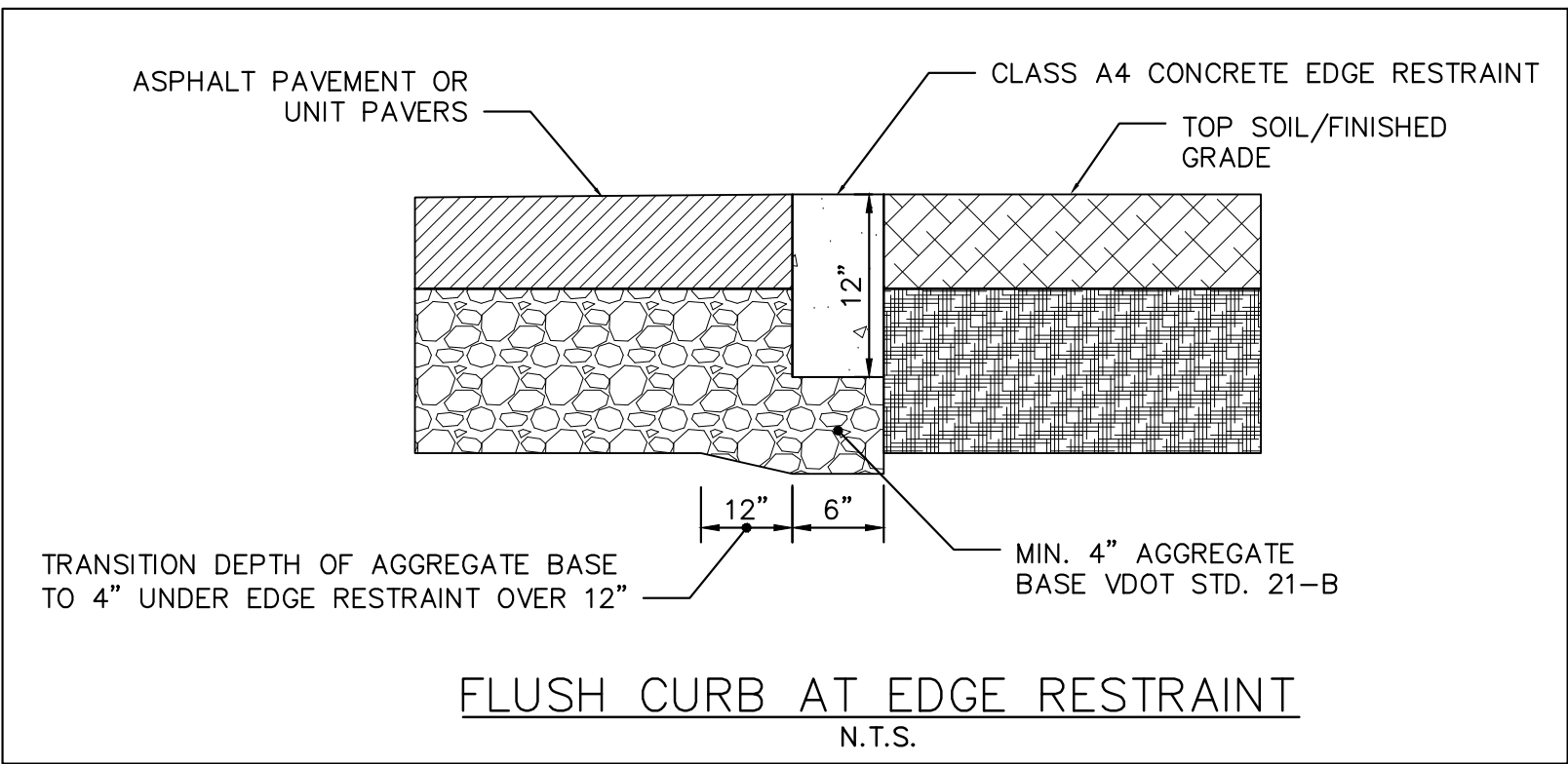
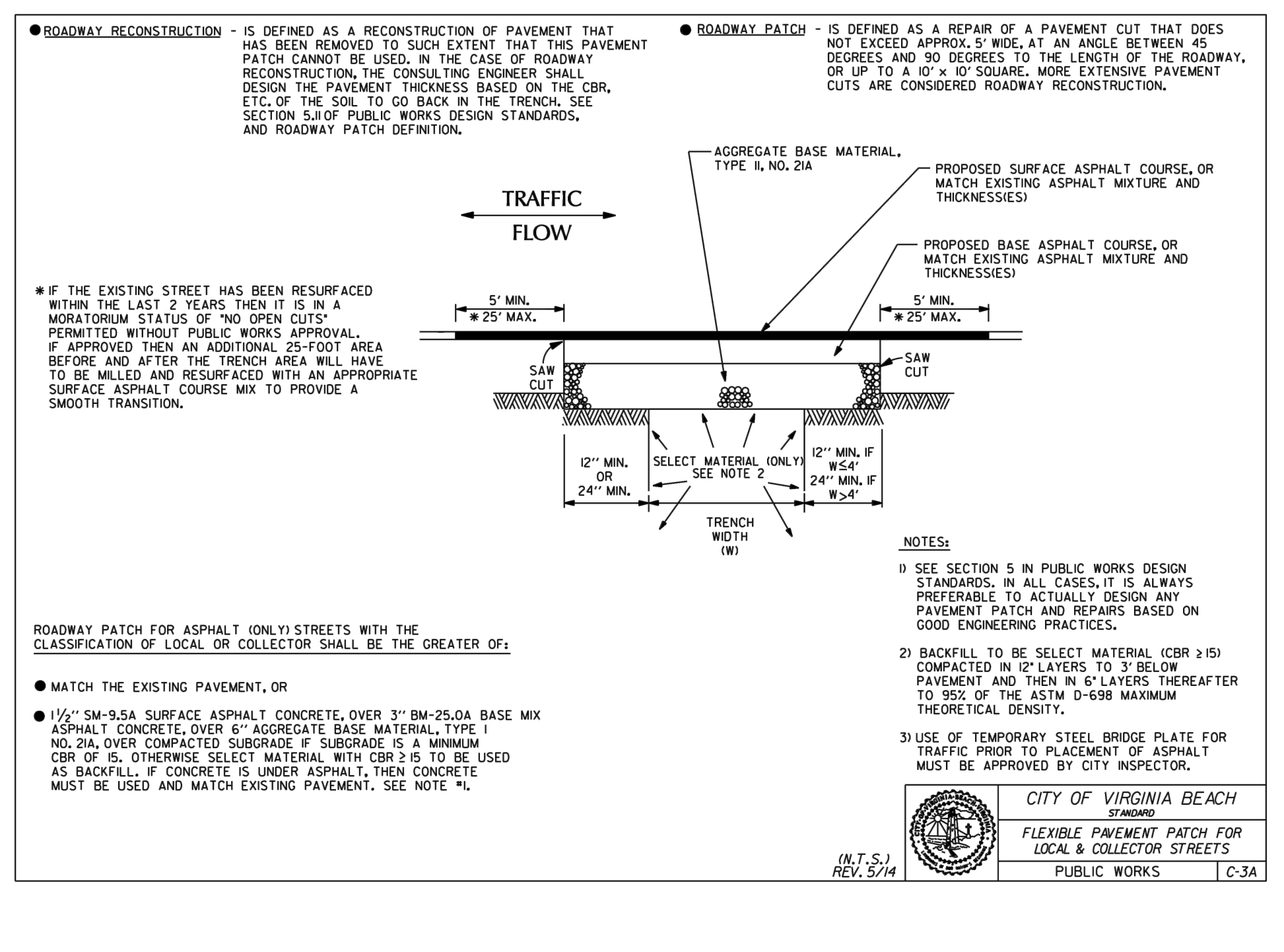
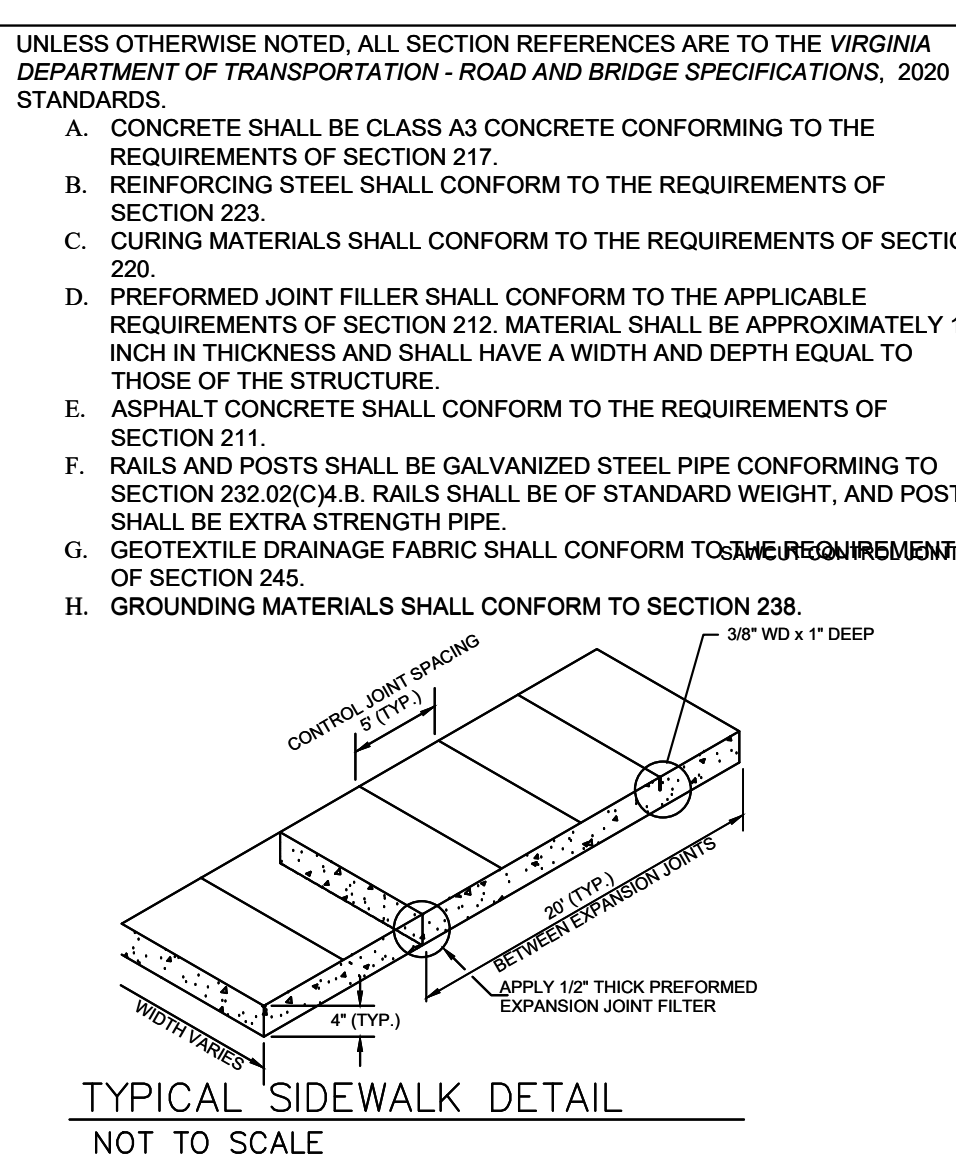
SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-11
STANDARD 203.04

SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-12
STANDARD 203.04

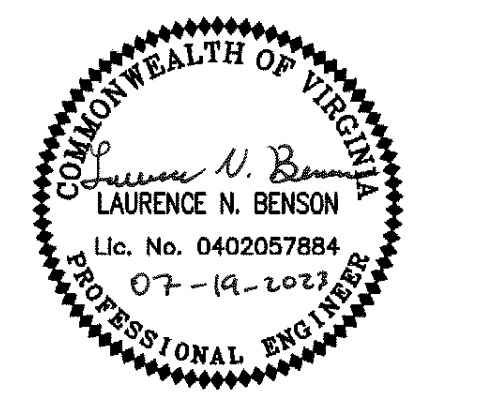
SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-12
STANDARD 204.01

SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-2
STANDARD 201.01

SEE VDOT 2016 ROAD AND
BRIDGE STANDARD
SPECIFICATION CG-6
STANDARD 201.03



BAY TOWER PUBLIC IMPROVEMENTS AND BEACH ACCESS PLAN



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

REVISION NO.	DESCRIPTION	DATE

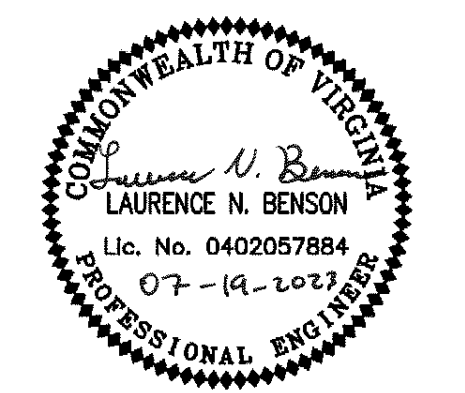
KHS PROJECT NUMBER
24282.000

DATE
07/19/2023

ISSUE
DESIGN DEVELOPMENT

SHEET TITLE
SITE DETAILS

SHEET NO.
CBA4.2



REVISION	NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000

DATE
07/19/2023

ISSUE
DESIGN DEVELOPMENT

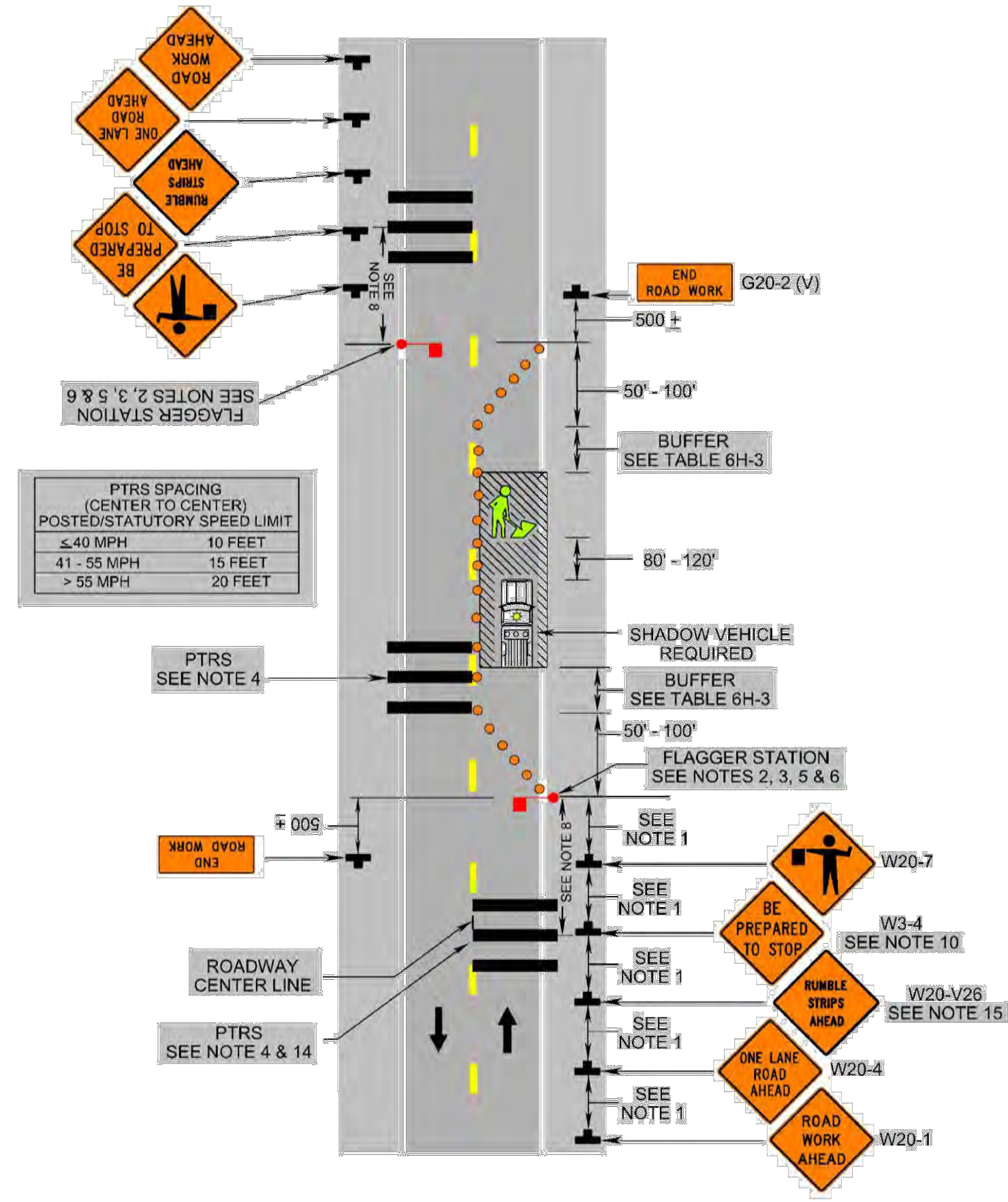
SHEET TITLE
SITE DETAILS

SHEET NO.
CBA4.3

**Typical Traffic Control
 Lane Closure on a Two-Lane Roadway Using Flaggers
 (Figure TTC-23.2)**

- NOTES**
- Sign spacing distance should be 350'-500' where the posted speed limit is 45 mph or less, and 500'-800' where the posted speed limit is greater than 45 mph.
 - Cars should be exercised when establishing the limits of the work zone to insure maximum possible sight distance in advance of the flagger station and transition, based on the posted speed limit and at least equal to or greater than the values in Table 6H-3. Generally speaking, motorists should have a clear line of sight from the graphic flagger symbol sign to the flagger.
 - To maintain efficient traffic flow in a flagging operation on a two-lane roadway, the maximum time motorists should be stopped at a flagger station is 8 minutes for high volume roadways (average daily traffic of 500 or more vehicles per day) to a maximum of 12 minutes for low volume roadways (less than 500 vehicles per day). For additional information see Section 6E.07.
 - Portable Temporary Rumble Strips (PTRS) shall be used as noted in Section 6F.99.
 - Flagger stations shall be located far enough in advance of the work space to permit approaching traffic to reduce speed and/or stop before passing the work space and allow sufficient distance for departing traffic in the left lane to return to the right lane before reaching opposing traffic (see Table 6H-3 on Page 6H-5).
 - All flaggers shall be state certified and have their certification card in their possession when performing flagging duties (see Section 6E.01, Qualifications for Flaggers).
 - Cone spacing shall be based on the posted speed and the values in Table 6H-4 on Page 6H-6.
 - A shadow vehicle with at least one high intensity amber rotating, flashing, or oscillating light shall be parked 80'-120' in advance of the first work crew.
- Option:**
- A SLOW (W21-V10) sign may be required in this area to give advance warning of the operation ahead by slowing approaching traffic prior to reaching the flagger station or queued traffic.
- Guidance:**
- If the queue of traffic reaches the BE PREPARED TO STOP (W3-4) sign then the signs, and if used the PTRS, should be readjusted at greater distances.
 - When a highway-rail crossing exists within or upstream of the transition area and it is anticipated that queues resulting from the lane closure might extend through the highway-rail grade crossing, the temporary traffic control zone should be extended so that the transition area precedes the highway-rail crossing (see Figure TTC-36 for additional information on highway-rail crossings).
- Standard:**
- At night, flagger stations shall be illuminated, except in emergencies (see Section 6E.08).
- Option:**
- Cones may be eliminated when using a pilot vehicle operation or when the total roadway width is 20 feet or less.
 - For low-volume situations with short work zones on straight roadways where the flagger is visible to road users approaching from both directions, a single flagger, positioned to be visible to road users approaching from both directions, may be used (see Chapter 6D).
- Standard:**
- When used, three portable temporary rumble (PTRS) strips shall be installed across the entire travel lane adjacent to the BE PREPARED TO STOP (W3-4) sign. The portable temporary rumble strips shall be monitored and adjusted as necessary during the work shift to ensure proper placement on the roadway. When the PTRS are installed, the RUMBLE STRIPS AHEAD (W20-V26) sign shall also be utilized.
- 1: Revision 1 - 4/1/2015
 2: Revision 2 - 9/1/2019

**Lane Closure on a Two-Lane Roadway Using Flaggers
 (Figure TTC-23.2)**

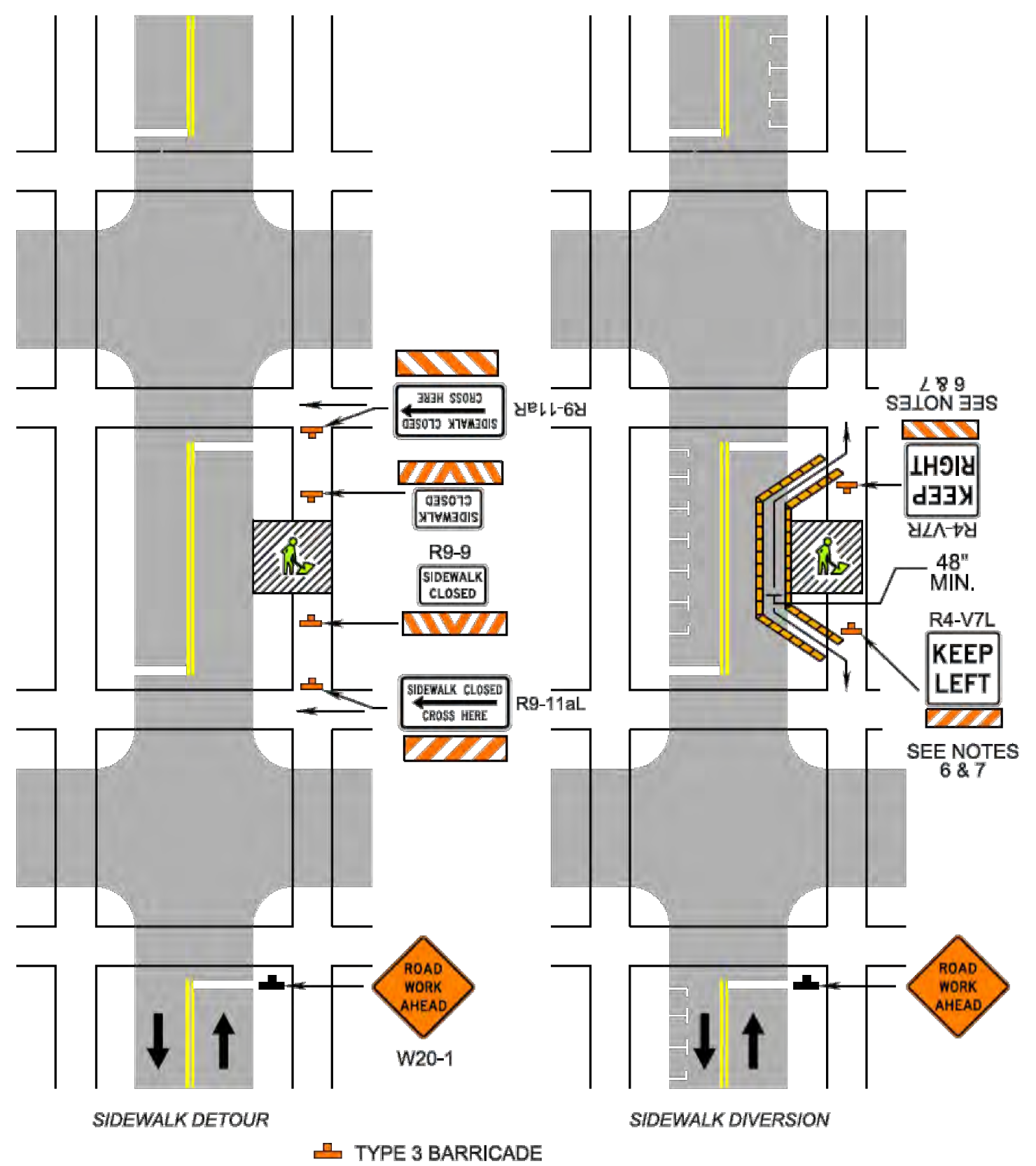


1: Revision 1 - 4/1/2015
 2: Revision 2 - 9/1/2019

**Typical Traffic Control
 Sidewalk Closure and Bypass Sidewalk Operation
 (Figure TTC-35.1)**

- NOTES**
- Standard:**
- When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be detectable and shall include accessibility features consistent with the features present in the existing pedestrian facility.
- Guidance:**
- Where high speeds are anticipated, a temporary traffic barrier and, if necessary, a crash cushion should be used to separate the temporary sidewalks from vehicular traffic.
 - Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
 - Temporary markings should be considered for operations exceeding three days in duration.
- Option:**
- Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
 - For nighttime closures, Type A Flashing warning lights may be used on barricades that support signs and close sidewalks.
 - Signs, such as KEEP RIGHT (R4-V7R) and KEEP LEFT (R4-V7L), may be placed along a temporary sidewalk to guide or direct pedestrians.
- Standard:**
- All sidewalk closures shall be closed with Type 3 Barricades. The SIDEWALK CLOSED (R9-9) sign and the SIDEWALK CROSS HERE (R9-11) sign shall be installed above the Type 3 barricade. The KEEP RIGHT sign can cover the top rail of the Type 3 Barricade.

**Sidewalk Closure and Bypass Sidewalk Operation
 (Figure TTC-35.1)**



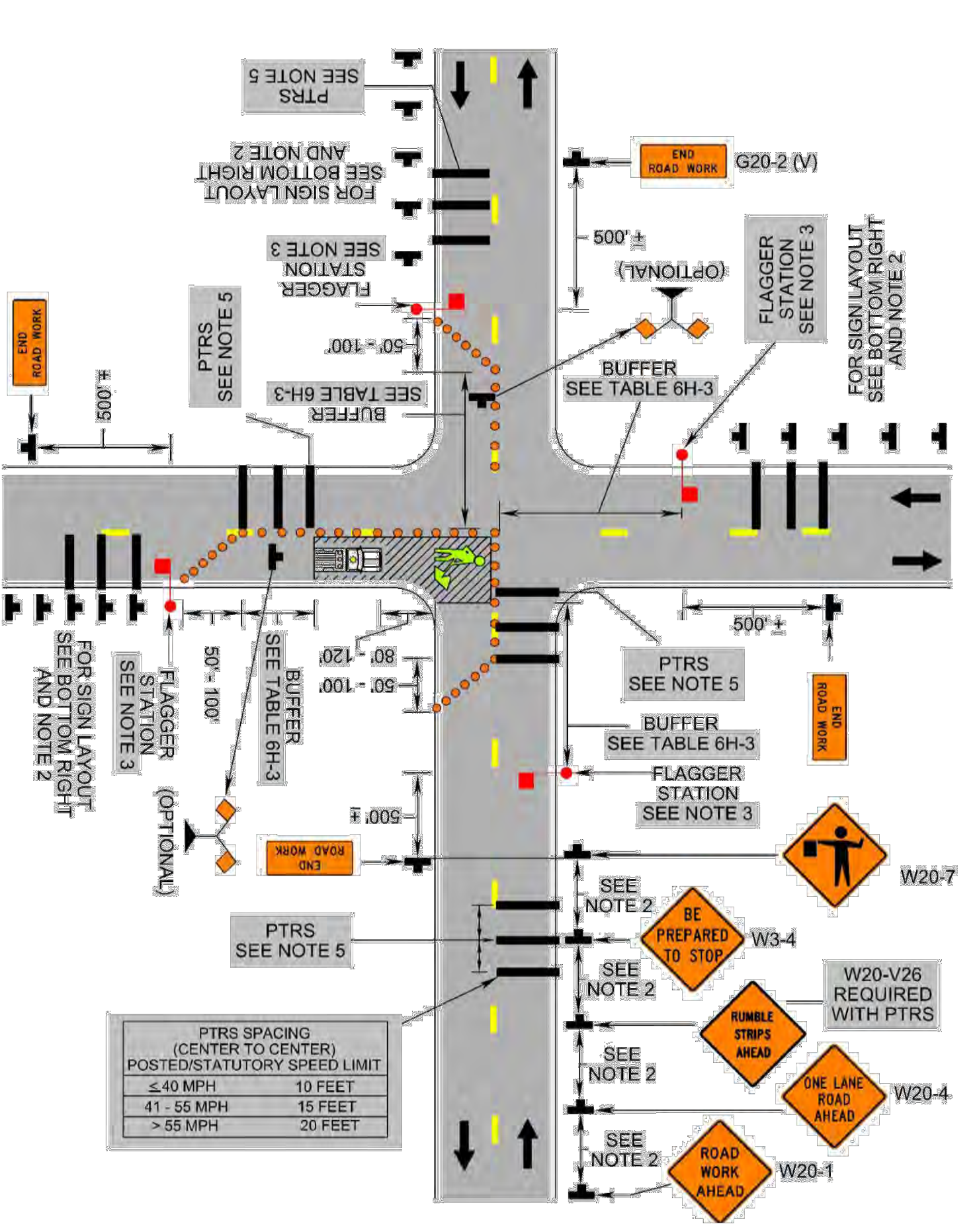
2: Revision 2 - 9/1/2019

**Typical Traffic Control
 Lane Closure Operation in an Intersection
 (Figure TTC-28.2)**

- NOTES**
- Guidance:**
- The control of traffic through the intersection in order of preference should be:
 - Obtain the services of law enforcement personnel.
 - Detour the effective routes to other roads and streets as approved and directed by the District Traffic Engineer.
 - Place a state certified flagger on each leg of the intersection controlling a single lane of traffic.
 Appropriate signing as shown should be used for law enforcement and flagging operations. For detour signs see Figure TTC-34.
 - Sign spacing distance should be 350'-500' where the posted speed limit is 45 mph or less, 500'-800' where the posted speed limit is greater than 45 mph.
 - To maintain efficient traffic flow in a flagging operation on a two-lane roadway the maximum time motorist should be stopped at a flagger station is 8 minutes for high volume roadways (average daily traffic of 500 or more vehicles per day) to a maximum of 12 minutes for low volume roadways (less than 500 vehicles per day). For additional information see Section 6E.07.
- Standard:**
- Channelizing device spacing shall be on 20' centers or less.
 - PTRS shall be used as noted in Section 6F.99.
- Guidance:**
- If room permits, a shadow vehicle with at least one rotating amber light or high intensity amber flashing or oscillating light should be parked 80'-120' in advance of the first work crew.
- Standard:**
- For emergency situations (any non-planned operation) of 30 minutes or less duration, two rotating amber lights or high intensity amber flashing or oscillating lights mounted on the vehicle and visible for 360° shall be required in addition to the channelizing devices shown around the vehicle. Also, vehicle hazard warning signals shall be used.
- Guidance:**
- If the work space extends across a crosswalk, the crosswalk should be closed using the information and devices shown in Figure TTC-36.
- Support:**
- Turns can be prohibited as required by vehicular traffic conditions. Unless the streets are wide, it might be physically impossible to make certain turns, especially for large vehicles.

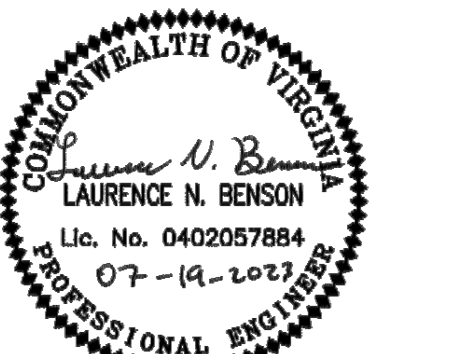
1: Revision 1 - 4/1/2015
 2: Revision 2 - 9/1/2019

**Lane Closure Operation in an Intersection
 (Figure TTC-28.2)**

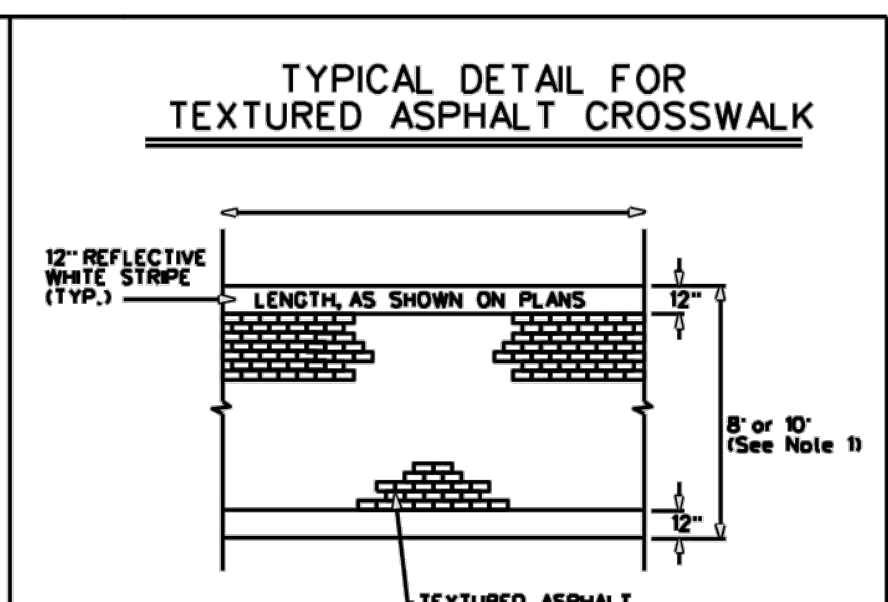
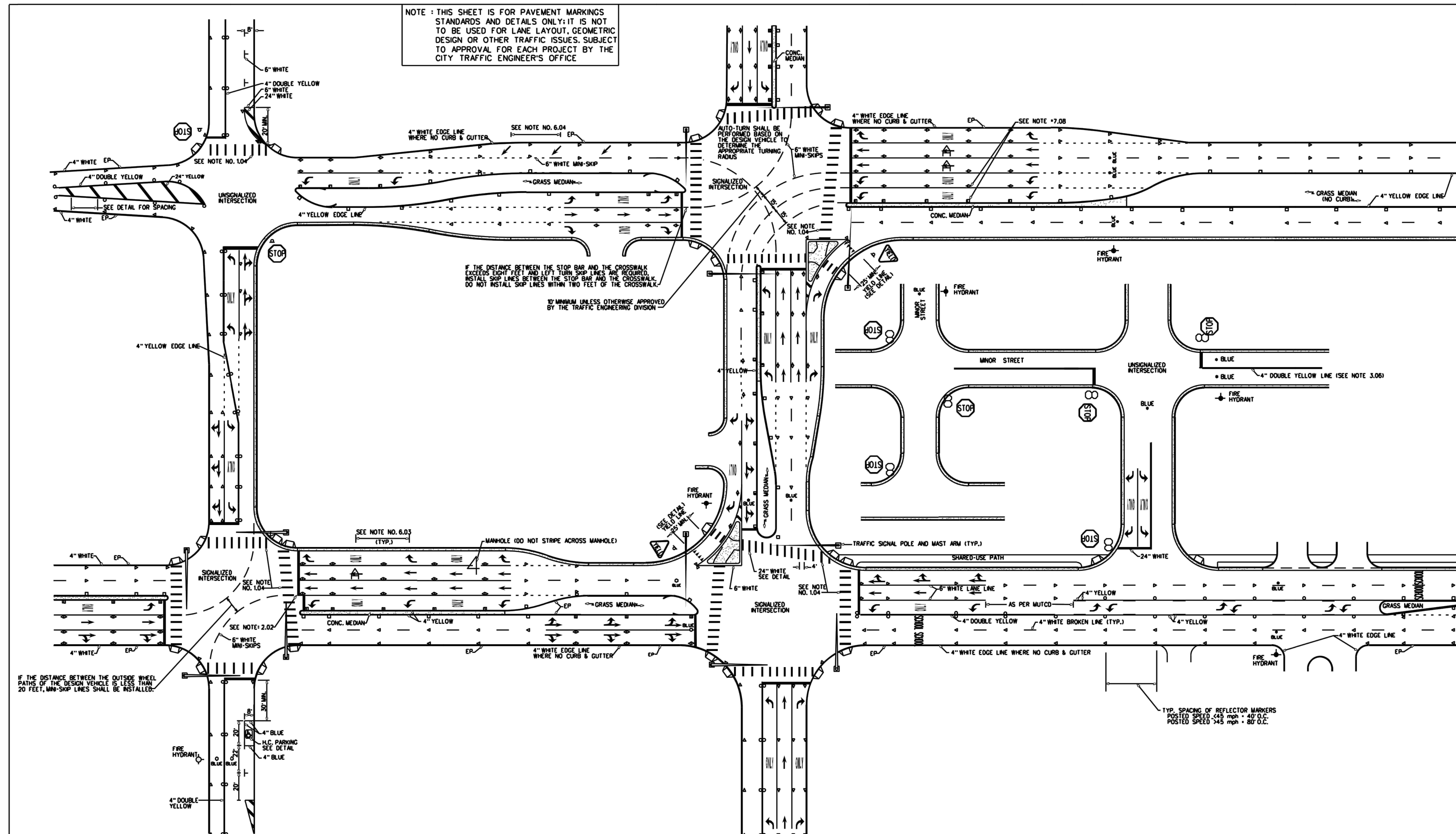


2: Revision 2 - 9/1/2019

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



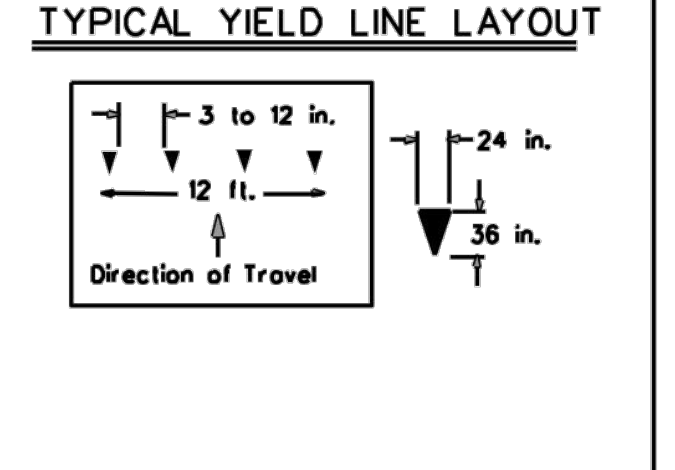
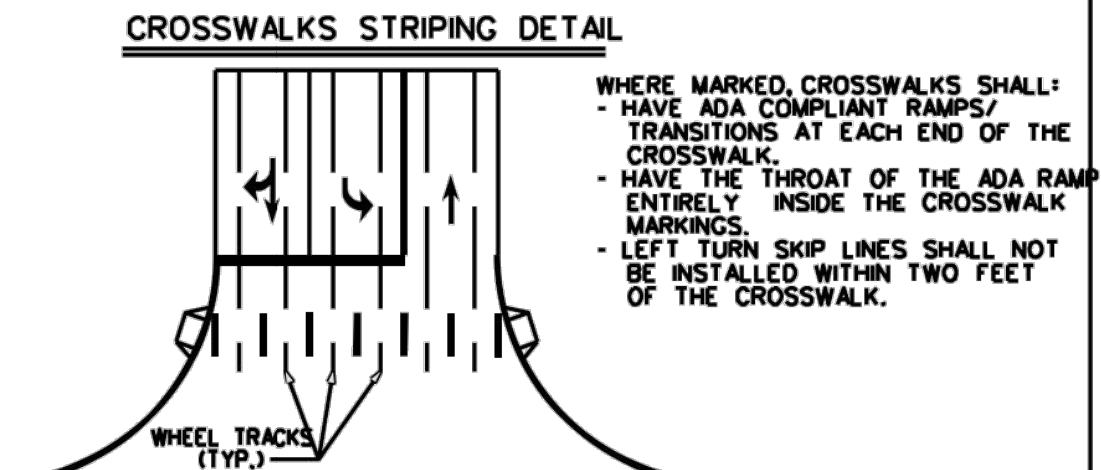
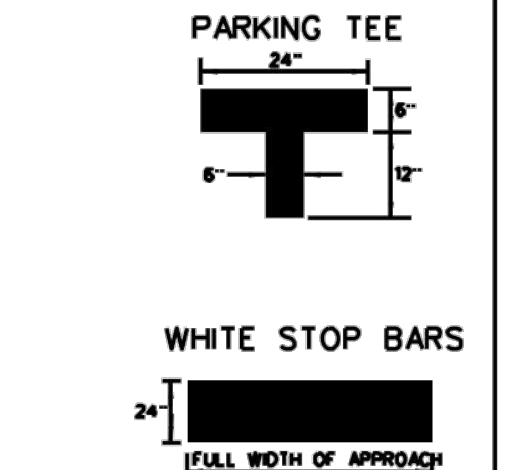
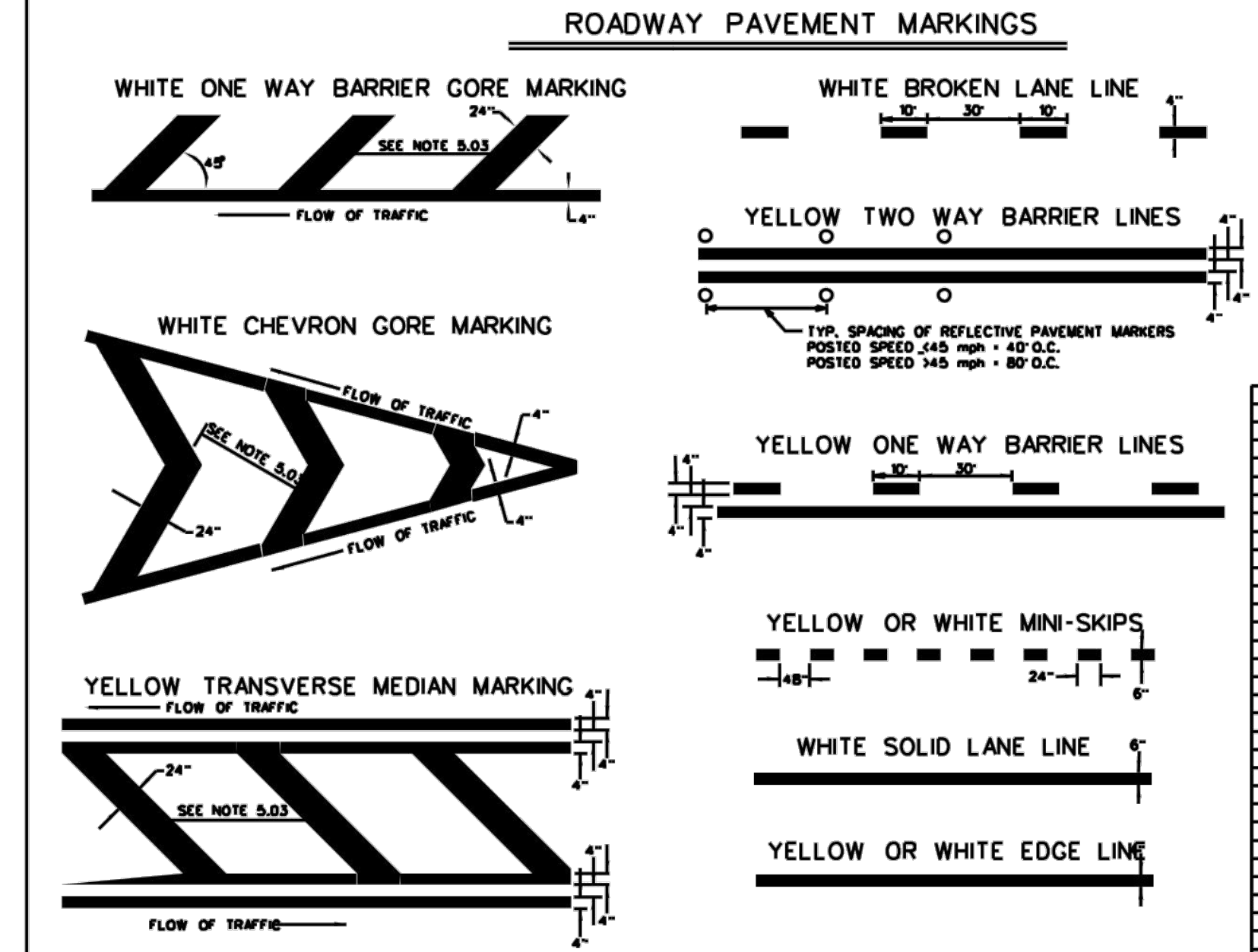
WESTMINSTER CANTERYURY
 AT CHEESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451



- NOTES:
- 1) WIDTH OF CROSSWALK SHALL BE 8' EXCEPT IN BEACH BOROUGH OR OTHER HEAVY PEDESTRIAN AREAS WHERE WIDTH SHALL BE 10'.
 - 2) TEXTURED ASPHALT SHALL BE IN CONFORMANCE WITH CITY OF VIRGINIA BEACH REQUIREMENTS TO THE "DOT" ROAD AND BRIDGE SPECIFICATIONS FOR TEXTURED ASPHALT.
 - 3) PATTERN OF TEXTURED ASPHALT TO BE RUNNING BOND PATTERN UNLESS OTHERWISE NOTED ON PLAN.
 - 4) COLOR OF TEXTURED ASPHALT SHALL MATCH THE COLOR DESCRIPTION INDICATED ON THE PLANS.

NOTES

- CROSSWALKS**
- 1.01 CROSSWALK LINES WILL EXTEND FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR EDGE OF SHOULDER, AS APPLICABLE.
 - 1.02 LINES FORMING A CROSSWALK WILL BE PARALLEL.
 - 1.03 THE WIDTH OF A CROSSWALK WILL BE 8 FEET EXCEPT IN THE BEACH BOROUGH OR OTHER HEAVY PEDESTRIAN AREAS WHERE THEY WILL BE 10 FEET.
 - 1.04 CROSSWALKS WILL HAVE 24" HIGH CONCRETE WHITE REFLECTIVE STOP BARS OR 8" HIGH CURBS CONSTRUCTIVE PARALLEL TO TRAFFIC FLOW. SPACING WILL BE APPROXIMATELY 8 FEET ON CENTER. THEY WILL BE LOCATED SO AS TO AVOID NORMAL WHEEL PATHS. SEE DETAIL FOR PLACEMENT OF MARKERS WITHIN LANE.
- STOP BARS**
- 2.01 STOP BARS, SOLID WHITE LINES BEING 24" HIGH, WILL COMPLETELY TRANSVERSE EACH TRAFFIC LANE ON EACH APPROACH AT SIGNALIZED INTERSECTIONS OR APPROACHES WITH "STOP" SIGN CONTROL AT MAJOR COLLECTOR & ARTERIAL ROADWAYS, OR AS TRAFFIC ENGINEER DEEMS WARRANTED.
 - 2.02 STOP BARS WILL BE LOCATED AT A MINIMUM OF 4 FEET IN ADVANCE OF CROSSWALK.
- LANE EDGE AND CENTERLINES**
- 3.01 WHITE LANE LINES, OTHER THAN SOLID OR MINI-SHIP, WILL BE 6" HIGH. BLUE LANE LINES WILL BE 4" HIGH.
 - 3.02 LANE LINES FOR THROUGH LANE ON AN APPROACH TO A SIGNALIZED INTERSECTION WILL BE SOLID WHITE FOR A DISTANCE OF NOT LESS THAN 50 FEET BEHIND FROM STOP OR CURB TO THE LENGTH OF THE SOLID LANE LINES FOR ADJACENT RIGHT AND/OR LEFT TURN LINES.
 - 3.03 LANE LINES THAT BELIEVE THE EDGE OF A TURNING LANE WILL BE 6" HIGH SOLID WHITE LINES AND THEY WILL EXTEND CONTINUOUSLY FROM THE BEGINNING OF THE FULL WIDTH OF THE TURNING LANE TO THE STOP BAR. MINI-SHIPS WILL EXTEND FROM THE LANE LINE TO THE END OF THE TURNING LANE.
 - 3.04 EDGE LINES, WHEN NOTED ON THE PLANS, WILL BE SOLID WHITE LINES 4" HIGH, BUT SOLID YELLOW LINES ARE TO BE USED WHEN ADJACENT TO A MEDIAN WHICH SEPARATES OPPOSITE DIRECTIONS OF VEHICULAR TRAFFIC. EDGE LINES ARE NOT USED ADJACENT TO CURBS AND CUTTERS ON THE OUTSIDE LANE.
 - 3.05 CENTERLINES ON UNDIVIDED HIGHWAYS WILL BE SOLID DOUBLE YELLOW LINES 4" HIGH SEPARATELY OPPOSITE DIRECTIONS OF VEHICULAR TRAFFIC. ON MAJOR APPROACH TO AN ARTERIAL/COLLECTOR LANE, EDGE LINES AND CENTER LINES WILL BE EXTENDED A MINIMUM DISTANCE OF 80 FEET FROM THE STOP BAR.
- MEDIAN MARKINGS**
- 4.01 CENTER LINE LEFT TURN ONLY (TWO-WAY LEFT TURN LINES) MEDIAN WILL CONSIST OF TWO (2) SETS OF ONE (1) BAY BARRED LINES, 18 FEET BROWN YELLOW LINES WITH 30 FEET SPACE WILL BE LOCATED INSIDE OF THESE SOLID YELLOW LINES.
 - 4.02 TRANSVERSE MEDIAN MARKINGS WILL CONSIST OF 24" HIGH YELLOW LINES SPACED AS REQUIRED BY NOTE 3.03 AT 45 DEGREE ANGLE WITHIN TWO (2) SETS OF TWO BAY BARRED LINES.
- CURB MARKINGS**
- 5.01 MARKINGS WILL CONSIST OF 24" HIGH SOLID WHITE TRANSVERSE LINES SPACED AS REQUIRED BY NOTE 3.03 WITHIN BARRED LINES.
 - 5.02 COUNTERS WILL BE USED WHEN SPECIFIED ON THE PLANS.
 - 5.03 24" HIGH MEDIAN AND CURB MARKINGS WILL BE SPACED ACCORDING TO THE POSTED SPEED LIMIT AS FOLLOWS:
 SPACING WILL MATCH POSTED SPEED LIMIT UP TO A MARKING SPACING OF 30 FEET.
 30R AS APPROVED BY TRAFFIC ENGINEERING DIVISION.
- PAVEMENT LEGENDS**
- 6.01 LEGENDS WILL BE TRANSVERSELY ALIGNED ACROSS EACH LANE. THE DISTANCE BETWEEN THE ARROW SYMBOL AND THE STOP BAR WILL BE 8 FEET.
 - 6.02 ARROWS AND LEGENDS WILL NOT BE PLACED PRIOR TO THE SOLID WHITE LANE LINES.
 - 6.03 WORD MESSAGES WILL BE LOCATED IN ADVANCE OF ITS ACCOMPANYING SYMBOL, BY A DISTANCE OF NOT LESS THAN 20 FEET FOR MORE THAN 80 FEET FROM THE SYMBOL. AFTER FIFTH LEGEND IN A TURN LANE, SPACING BETWEEN LEGENDS MAY GO TO 100 FEET UNLESS NOT SHOWN ON PLAN. FOR AUXILIARY RIGHT AND/OR LEFT TURN LINES ON ALL APPROACHES, LEGENDS WILL BE CENTERED WITHIN THE LANE. THEY WILL CONTINUE THE LENGTH OF THE LANE BECOMING AND ENDING WITH A SYMBOL. TURN ARROWS WILL NOT BE INSTALLED ON THE UNCONTROLLED THIRD STREET AT UNSIGNALIZED INTERSECTIONS.
 - 6.04 WORD MESSAGES WILL BE SPACED ACCORDING TO THE POSTED SPEED LIMIT AS FOLLOWS:
 POSTED SPEED 15-29 MPH - 80' O.C.
 POSTED SPEED LIMIT 35 MPH - 100' O.C.
- GENERAL NOTES**
- 7.01 INSTALLATION AND MATERIALS FOR ALL PAVEMENT MARKINGS AND LEGENDS IN THE PUBLIC RIGHT-OF-WAY WILL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF VIRGINIA BEACH DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION SPECIFICATIONS AND STANDARDS MANUAL, UNLESS OTHERWISE SPECIFIED ON THE PLANS OR IN CONTRACT OCCURRENCE.
 - 7.02 THE CONTRACTOR WILL NOTE ALL SPECIAL PROVISIONS OF THE CONTRACT SPECIFICALLY WITH REGARD TO THE DATE OF APPLICATION, MAINTENANCE OF TRAFFIC, RESTRICTED WORKING HOURS, AND/OR RESTRICTED WEATHER CONDITIONS. THE CONTRACTOR WILL MAINTAIN COMPLETELY ALL PREVIOUS PAVEMENT MARKINGS WHICH CONFLICT WITH THE NEW PAVEMENT MARKINGS. EXISTING PAVEMENT MARKINGS WILL BE IN ACCORDANCE WITH CURRENT "DOT", ROAD AND BRIDGE SPECIFICATIONS.
 - 7.03 PRIOR TO APPLICATION, THE CONTRACTOR WILL FIELD CHECK AND LOCATE ALL MARKINGS UNAPPLIED OR LOCATED WILL BE COMPLETELY REPAIRED AND CORRECTLY REAPPLIED AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - 7.04 THERMOPLASTIC MARKINGS OR PREFORMED POLYMER MARKINGS WILL NOT BE INSTALLED WITHIN A FORTY-EIGHT (48) HOUR PERIOD FOLLOWING A RAINFALL. MARKINGS INSTALLED ON CONCRETE SURFACES FOR BRIDGE DECKS WILL BE BLACK AND WHITE CONTRAST TAPE EDGE LINES & STOP LINES.
 - 7.05 TWO BAY INTERLOCKED AND YELLOW-RED MARKINGS WILL BE INSTALLED ON BOTH APPROACHES OF THE DIVIDED HIGHWAY AT "T" AND "X" LEG INTERSECTIONS (SIGNALIZED AND UNSIGNALIZED).

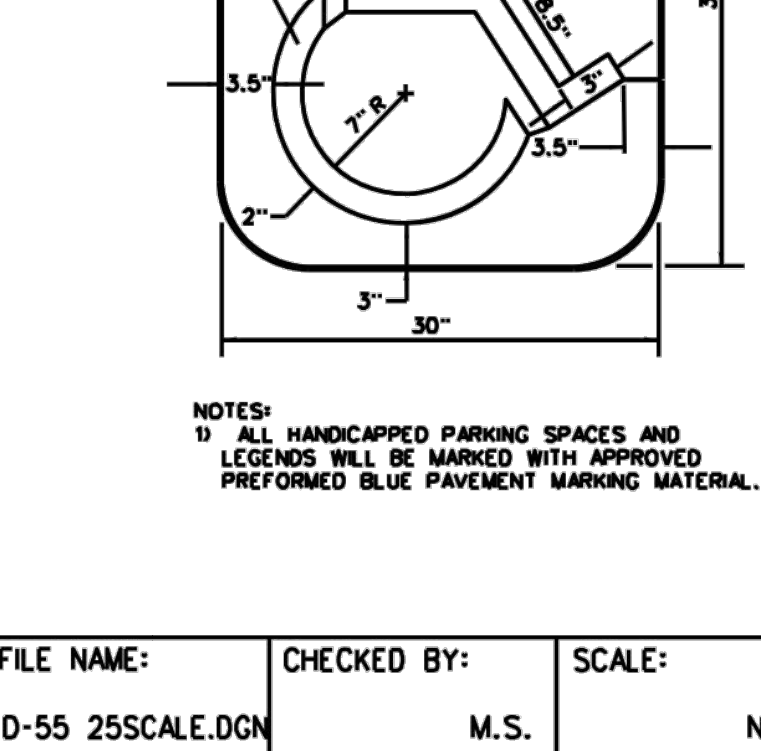
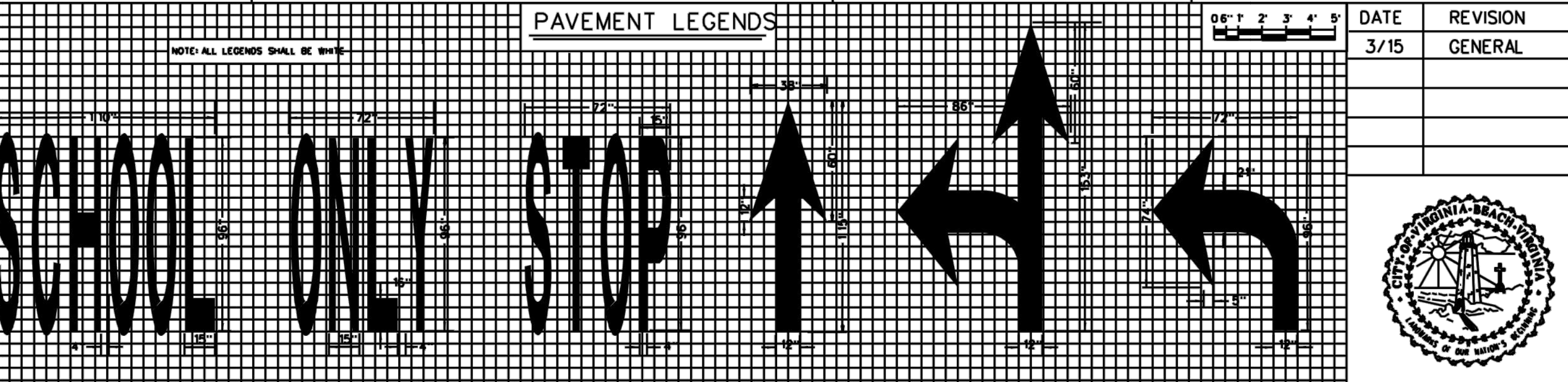
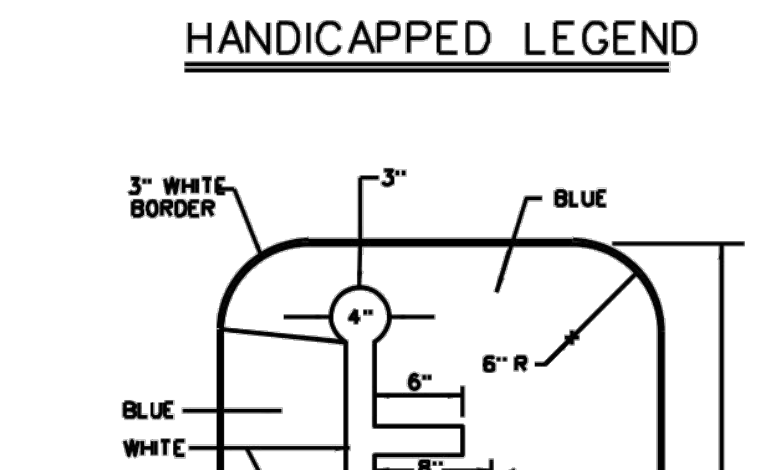


REFLECTIVE PAVEMENT MARKER LEGEND

□ YELLOW	△ WHITE
■ YELLOW / RED	◇ WHITE / RED
○ YELLOW / YELLOW	○ RAISED BLUE

NOTES:

1. REFER TO CITY OF VIRGINIA BEACH PUBLIC WORKS DESIGN STANDARDS DETAILS D-23 THROUGH D-26 FOR ADDITIONAL MARKER INFORMATION.
2. SEE DETAILS ABOVE FOR SPACING.
3. SEE DETAIL D-23 FOR PAVEMENT MARKER DETAILS.



FILE NAME: D-55 25SCALE.DGN
 CHECKED BY: M.S.
 SCALE: NONE

PAVEMENT MARKING STANDARDS & DETAILS
 CITY OF VIRGINIA BEACH
 DEPARTMENT OF PUBLIC WORKS
 TRAFFIC ENGINEERING DIVISION
 D-55

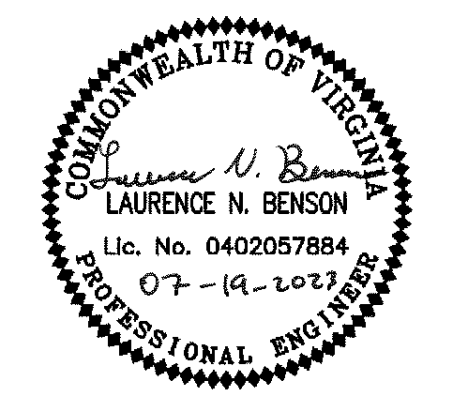
REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000
 DATE
07/19/2023
 ISSUE
DESIGN DEVELOPMENT
 SHEET TITLE
PAVEMENT MARKING STANDARDS AND DETAILS
 SHEET NO.

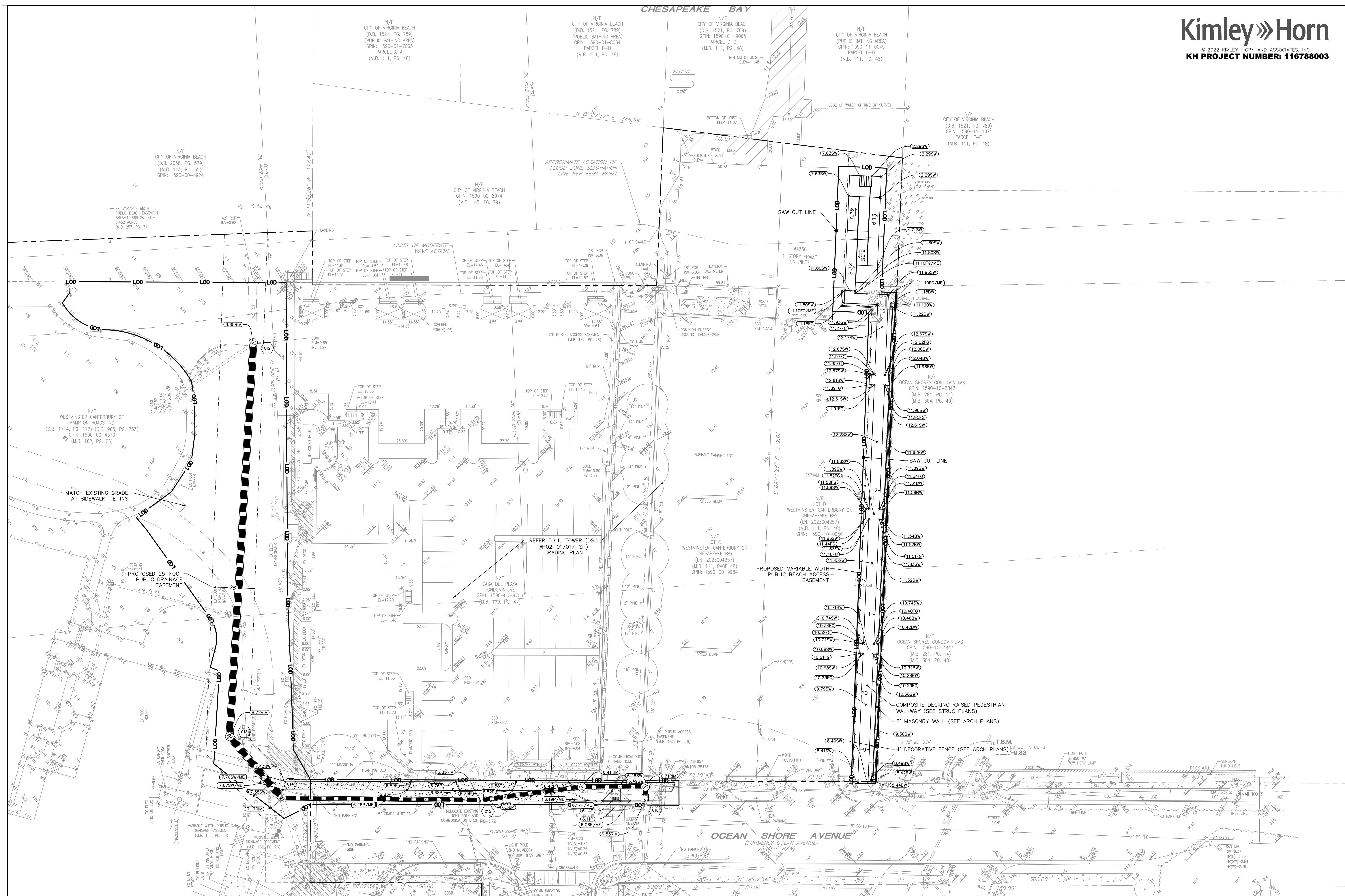
CBA4.4

181033.000

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451



NOTES

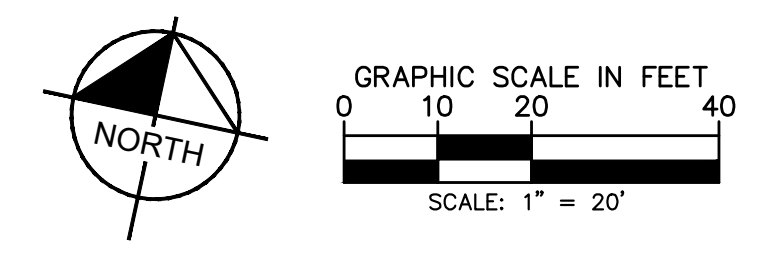
1. ALL PIPES AND CULVERTS INSTALLED IN THE CITY RIGHT-OF-WAY SHALL BE: BACKFILLED WITH SELECT BORROW FOR TRENCH BACKFILL, MINIMUM CBR=15 (IN ACCORDANCE WITH THE CITY OF VIRGINIA BEACH AMENDMENTS TO THE VDOT ROAD AND BRIDGE SPECIFICATIONS) OR GRANULAR MATERIAL (AS DEFINED BY AASHTO M 145 "CLASSIFICATION OF SOILS AND SOIL-AGGREGATE MIXTURES FOR HIGHWAY CONSTRUCTION PURPOSES"); PLACED IN SIX (6) INCH LIFTS; AND COMPACTED TO 95-PERCENT OF STANDARD DENSITY BASED ON AASHTO SPECIFICATIONS T-99 (ASTM D698).
2. ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TO TOP OF FINISHED GRADE.
3. ALL RETAINING WALLS WILL BE DESIGNED BY THE PROJECT STRUCTURAL ENGINEER.
4. HANDRAILS SHALL BE PROVIDED ON ALL RAMPS AND STAIRS AS DEFINED BY ADA REGULATIONS.
5. COORDINATION WITH MULTIPLE AHS'S IS REQUIRED FOR THE STORM OUTFALLS ON THE BEACH WHICH MAY CHANGE THE DESIGN.

LEGEND

- L00 — LIMITS OF DISTURBANCE
- — — PROPERTY LINE
- — — PROPOSED CONTOUR
- — — SWALE LINE
- — — RIDGE LINE
- — PROPOSED SPOT ELEVATION
- — — DRAINAGE STRUCTURE LABEL
- — STORM CLEAN OUT

GRADING KEYNOTE

- ME: MATCH EXISTING
- P: PAVEMENT
- FL: FLOW LINE
- FFE: FINISHED FLOOR ELEVATION
- TC: TOP OF CURB
- SW: SIDEWALK
- G: GROUND
- LP: LOW POINT
- HP: HIGH POINT
- INV: INVERT
- RM: RIM
- BR: BOTTOM OF RISER
- TR: TOP OF RISER
- TW: TOP OF WALL
- BW: BOTTOM OF WALL
- RET: RETAINING
- FG: FINISHED GRADE



REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
24282.000
 DATE
07/19/2023
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DESIGN DEVELOPMENT
 SHEET TITLE
GRADING PLAN
 SHEET NO.
CBA5.0

ARCHITECT

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LANDSCAPE DESIGNER

WPL SITE DESIGN
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STRUCTURAL ENGINEER

SPROTT MARSHALL FRANCIS P.C.
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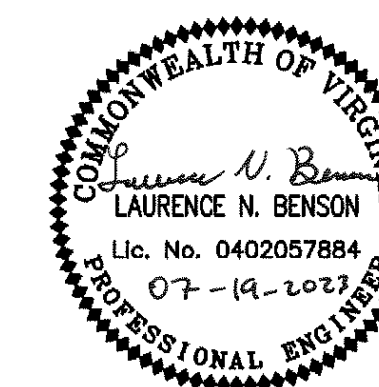
MEP ENGINEER

PACE COLLABORATIVE PC
 1277 PERIMETER PARKWAY
 VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER

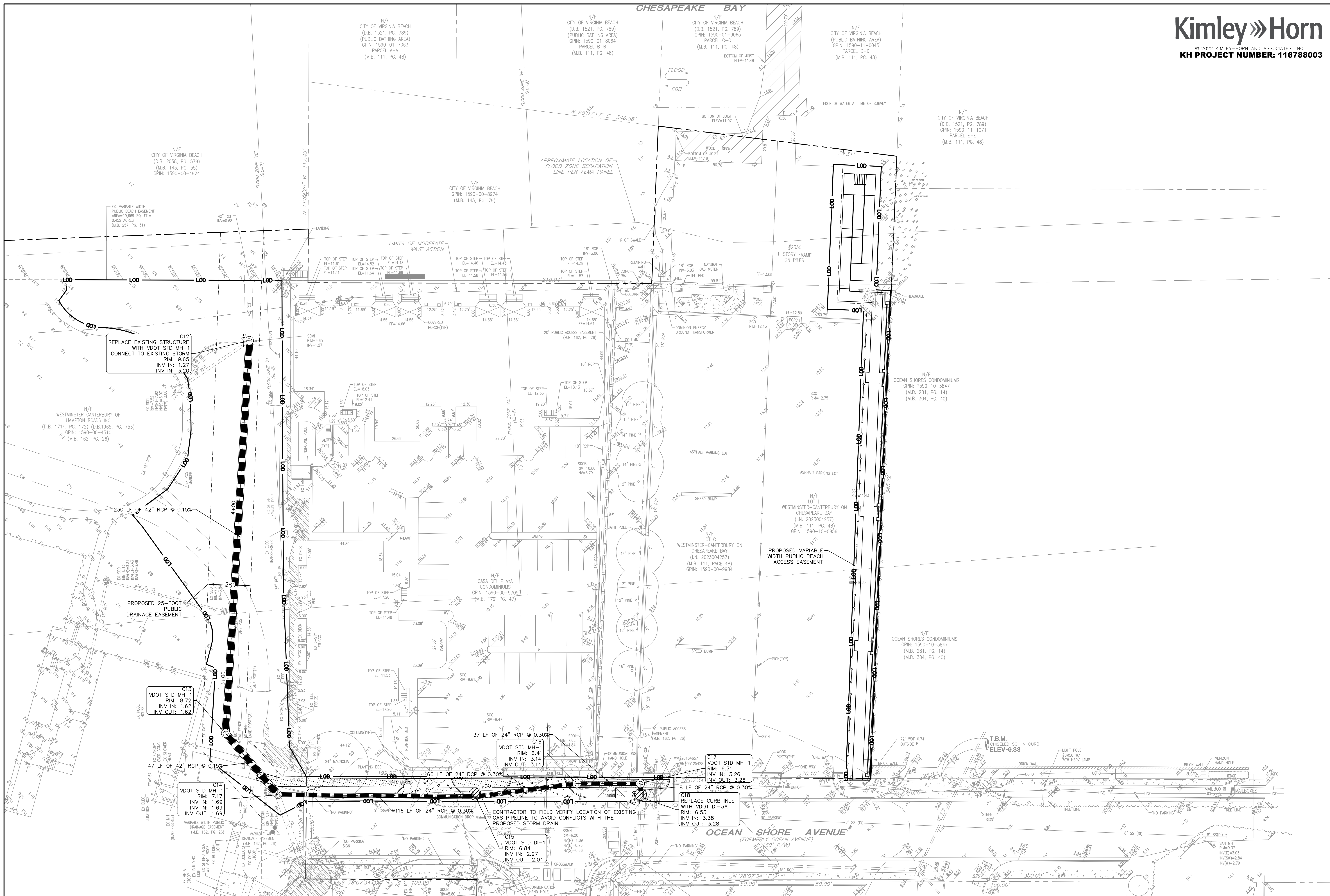
CORRI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19064

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



WESTMINSTER CANTERBURY

AT CHESAPEAKE BAY
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 VIRGINIA BEACH, VA 23451

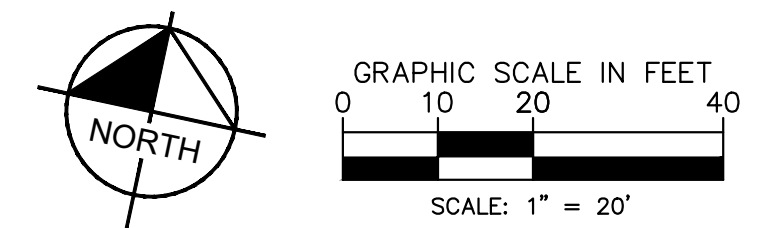


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LEGEND

- LOD — LIMITS OF DISTURBANCE
- — — — — PROPERTY LINE
- ⊕ INLET PROTECTION
- ⊙ STORM DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ DROP INLET
- ⊙ STORM AREA DRAIN
- — — — — SWALE LINE
- — — — — STORM PIPE
- XXXXXX PROPOSED SPOT ELEVATION
- ⊕ DRAINAGE STRUCTURE LABEL
- ⊕ BORING



REVISION NO. DESCRIPTION DATE

KHS PROJECT NUMBER: 24282.000

DATE: 07/19/2023

ISSUE: DESIGN DEVELOPMENT

SHEET TITLE: DRAINAGE PLAN

SHEET NO.

CBA6.0

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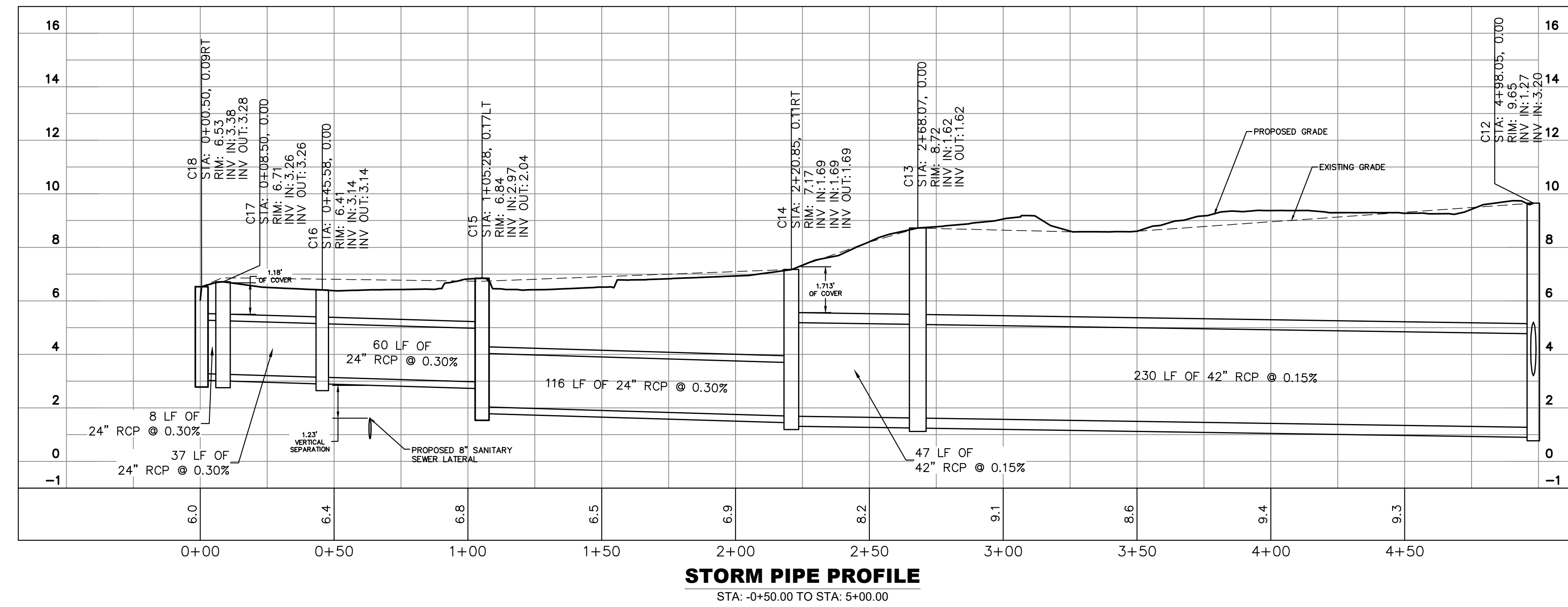
MEP ENGINEER

PACE COLLABORATIVE PC
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 VIRGINIA BEACH, VA 23454

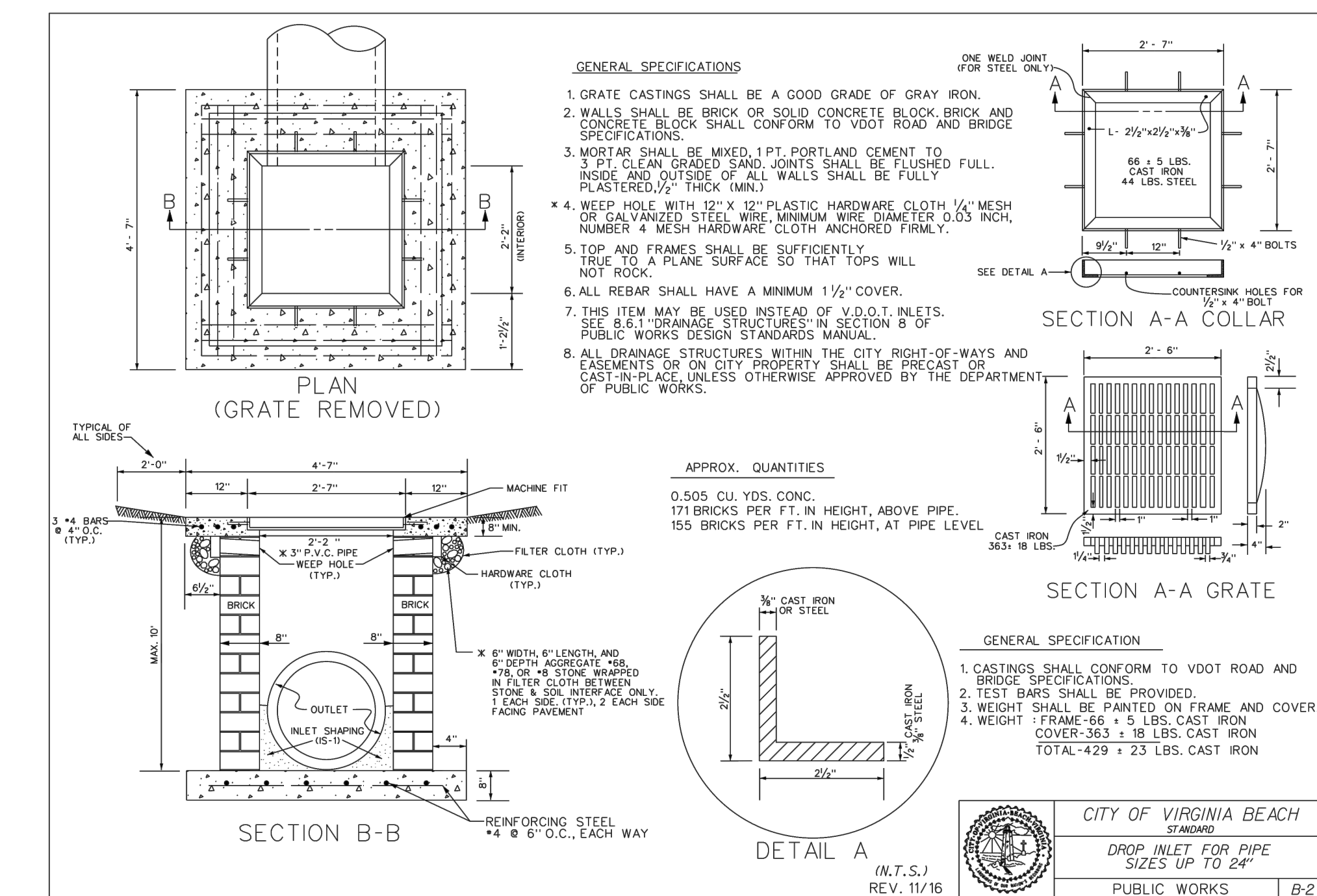
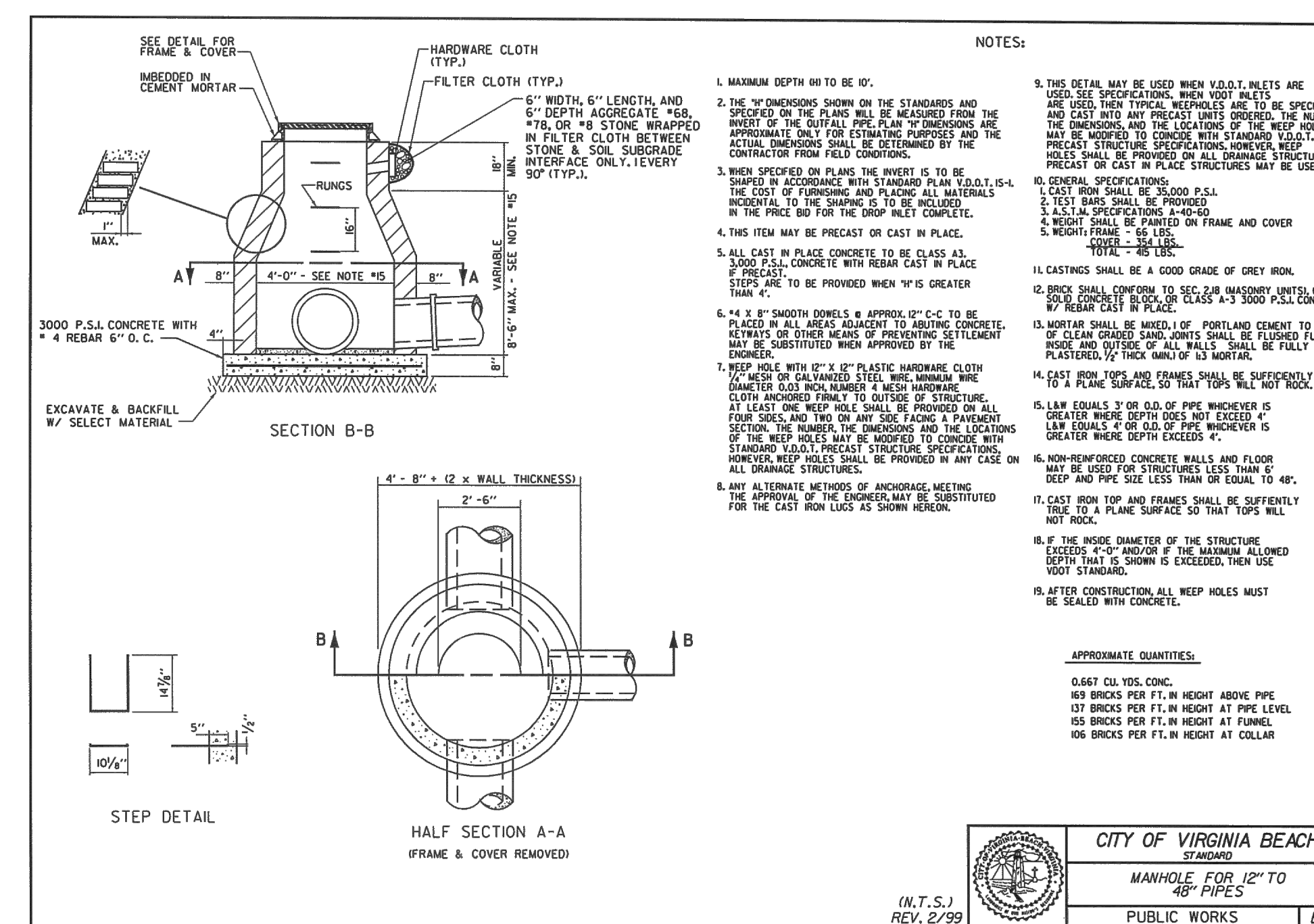
FOOD SERVICE DESIGNER

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 1480 BALTIMORE Pkwy, SUITE 109
 SPRINGFIELD, PA 19064

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**



STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
C12	REPLACE EXISTING STRUCTURE WITH VDOT STD MH-1 CONNECT TO EXISTING STORM	FROM C13, 42" RCP INV IN: 1.27 @ 0.15% FROM 24" RCP INV IN: 3.20 @ 0.30%	
C13	VDOT STD MH-1	FROM C14, 42" RCP INV IN: 1.62 @ 0.15%	TO C12, 42" RCP INV OUT: 1.62 @ 0.15%
C14	VDOT STD MH-1	FROM C15, 24" RCP INV IN: 1.69 @ 0.30% FROM 29, 36" RCP INV IN: 1.69 @ 0.38%	TO C13, 42" RCP INV OUT: 1.69 @ 0.15%
C15	VDOT STD DI-1	FROM C16, 24" RCP INV IN: 2.97 @ 0.30%	TO C14, 24" RCP INV OUT: 2.04 @ 0.30%
C16	VDOT STD MH-1	FROM C17, 24" RCP INV IN: 3.14 @ 0.30%	TO C15, 24" RCP INV OUT: 3.14 @ 0.30%
C17	VDOT STD MH-1	FROM C18, 24" RCP INV IN: 3.26 @ 0.30%	TO C16, 24" RCP INV OUT: 3.26 @ 0.30%
C18	REPLACE CURB INLET WITH VDOT DI-3A	FROM 15" RCP INV IN: 3.38 @ 0.00%	TO C17, 24" RCP INV OUT: 3.28 @ 0.30%



SEE VDOT 2016 ROAD AND
 BRIDGE STANDARD
 SPECIFICATION PB-1
 STANDARD 107.00-107.04

SEE VDOT 2016 ROAD AND
 BRIDGE STANDARD
 SPECIFICATION DI-3A
 STANDARD 104.09-104.10

SEE VDOT 2016 ROAD AND
 BRIDGE STANDARD
 SPECIFICATION MH-1
 STANDARD 106.01

REVISION

NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER

24282.000

DATE

07/19/2023

ISSUE

DESIGN

DEVELOPMENT

SHEET TITLE

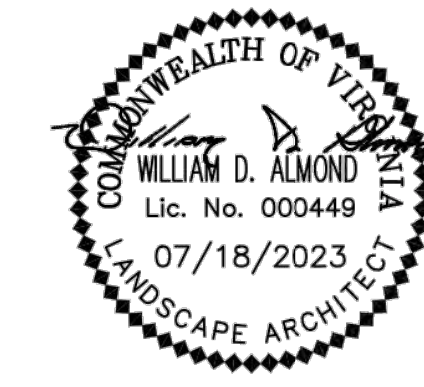
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AND DETAILS

SHEET NO.

CBA6.1

NOTE: CONTRACTOR TO PROVIDE IRRIGATION TO PLANT BEDS AND TURF AREAS (SEE PLANTING PLAN). HOSEBIBS TO BE PLACED AROUND BLDG. (SEE PLUMBING DWGS). SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION.



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INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

**BAY TOWER
INDEPENDENT LIVING
BUILDING**



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
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Architect: _____
Arch. Reg. No.: _____
Date: _____

KEY PLAN

REVISION NO.	DESCRIPTION	DATE

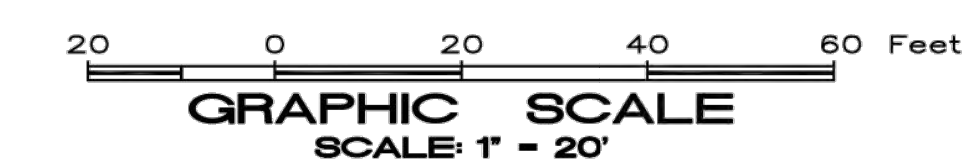
PROJECT NUMBER
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DATE
07/18/2023

ISSUE
DSC SITE PLAN

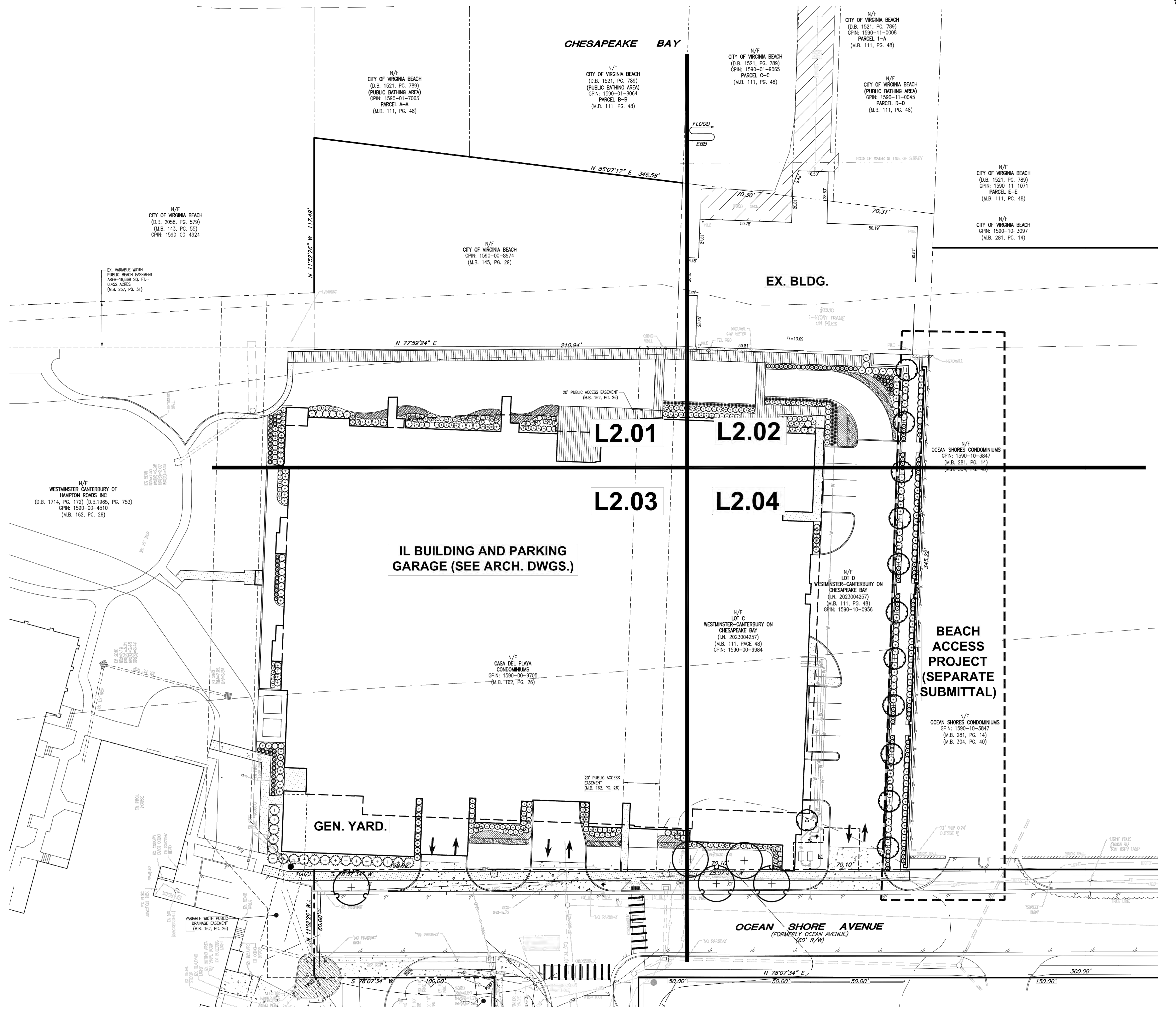
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**OVERALL
PLANTING
PLAN**

SHEET NO.
L2.00

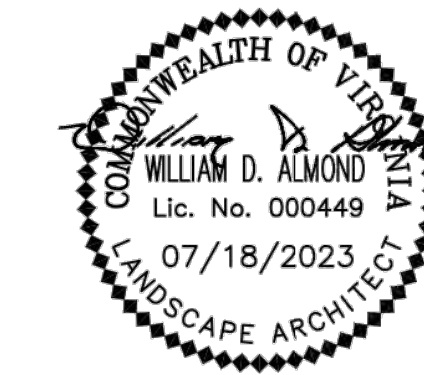


NORTH

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NOTE: CONTRACTOR TO PROVIDE IRRIGATION TO PLANT BEDS AND TURF AREAS. HOSEBIBS TO BE PLACED AROUND BLDG. (SEE PLUMBING DWGS). SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION.



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INTERIOR DESIGNER
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XXXXXXXXXXXXXXXXXXXX
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**BAY TOWER
INDEPENDENT LIVING
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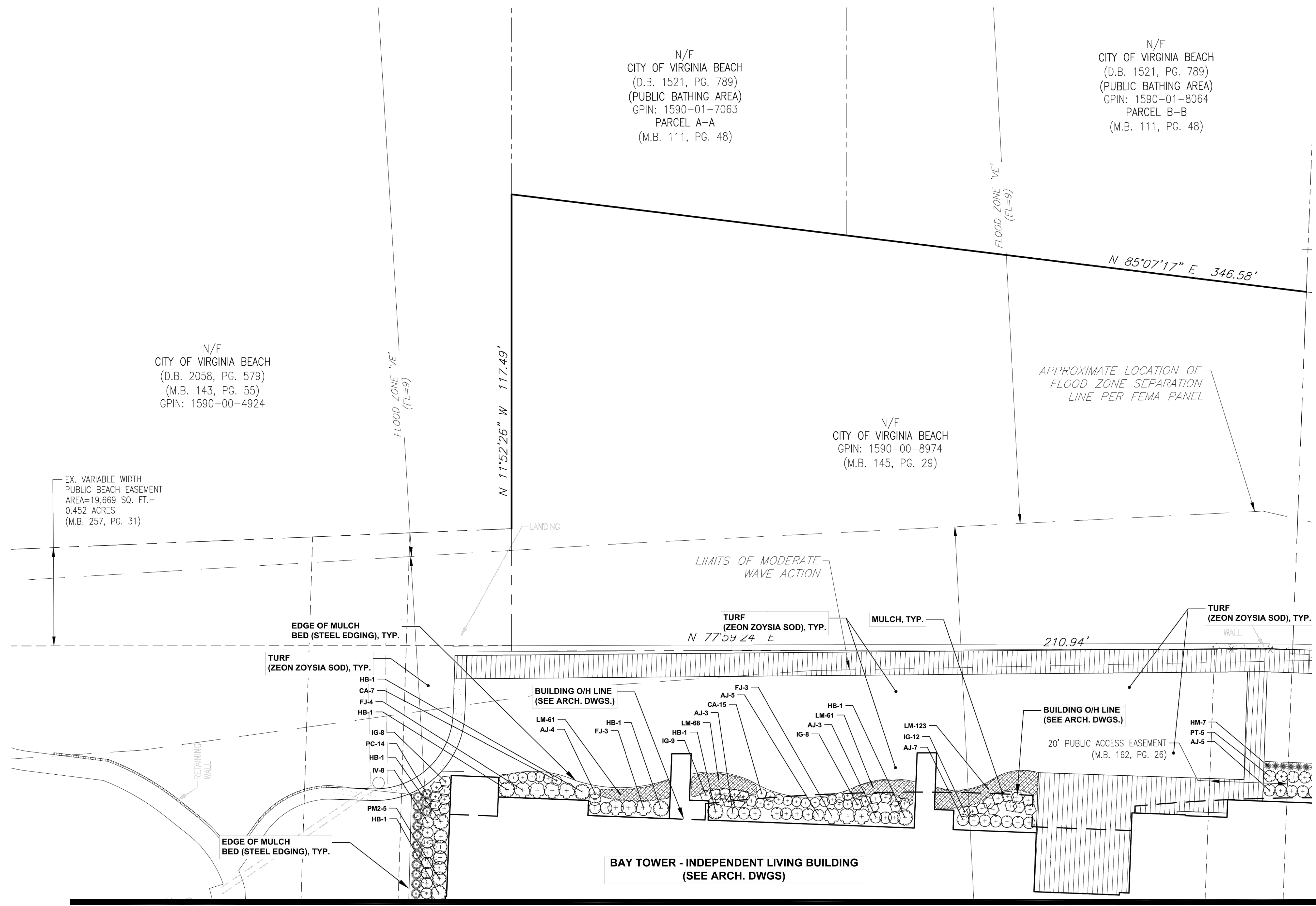
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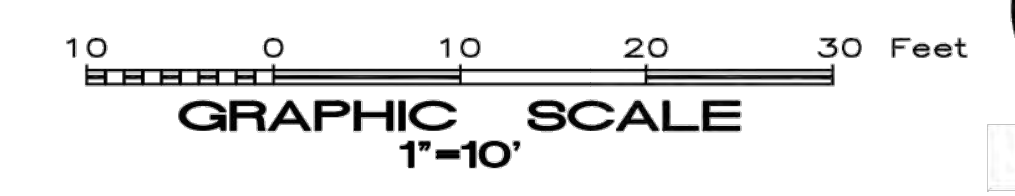
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SHEET NO.
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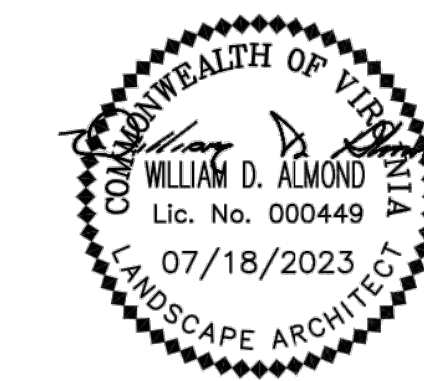


MATCHLINE SHEET L2.02

MATCHLINE SHEET L2.03



NOTE: CONTRACTOR TO PROVIDE IRRIGATION TO PLANT BEDS AND TURF AREAS. HOSEBIBS TO BE PLACED AROUND BLDG. (SEE PLUMBING DWGS). SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION.



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PACE COLLABORATIVE PC
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VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORSI ASSOCIATES, LLC
1489 BALTIMORE PIKE, SUITE 100
SPRINGFIELD, PA 19081

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

**BAY TOWER
INDEPENDENT LIVING
BUILDING**



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3185 SHORE DRIVE
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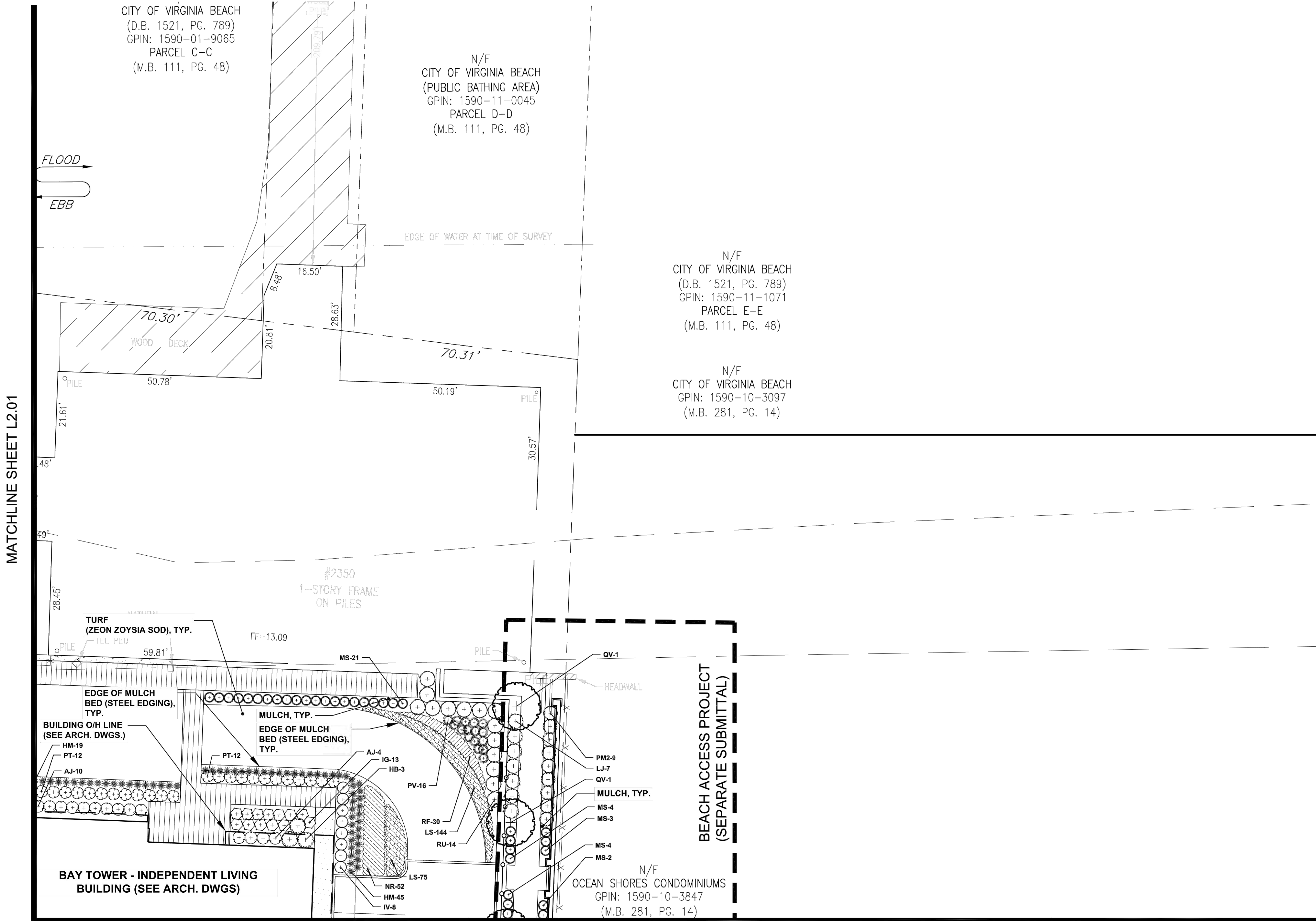
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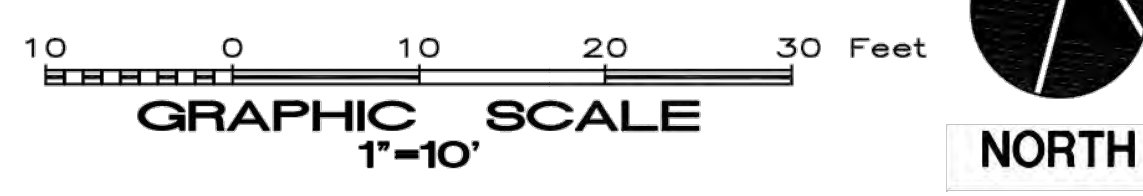
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SHEET NO.
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MATCHLINE SHEET L2.01

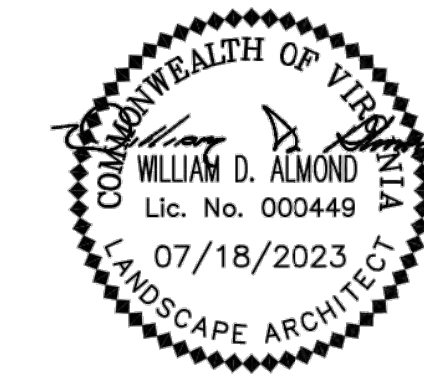
MATCHLINE SHEET L2.04



ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 15, 2023 /blh

NOTE: CONTRACTOR TO PROVIDE IRRIGATION TO PLANT BEDS AND TURF AREAS. HOSEBIBS TO BE PLACED AROUND BLDG. (SEE PLUMBING DWGS). SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION.

MATCHLINE SHEET L2.01



ARCHITECT
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WPL SITE DESIGN
242 MUSTANG TRAIL, SUITE 8
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STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

MEP ENGINEER
PAGE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORBA ASSOCIATES, LLC
148 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19064

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

BAY TOWER INDEPENDENT LIVING BUILDING



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Architect: _____
Arch. Reg. No.: _____
Date: _____

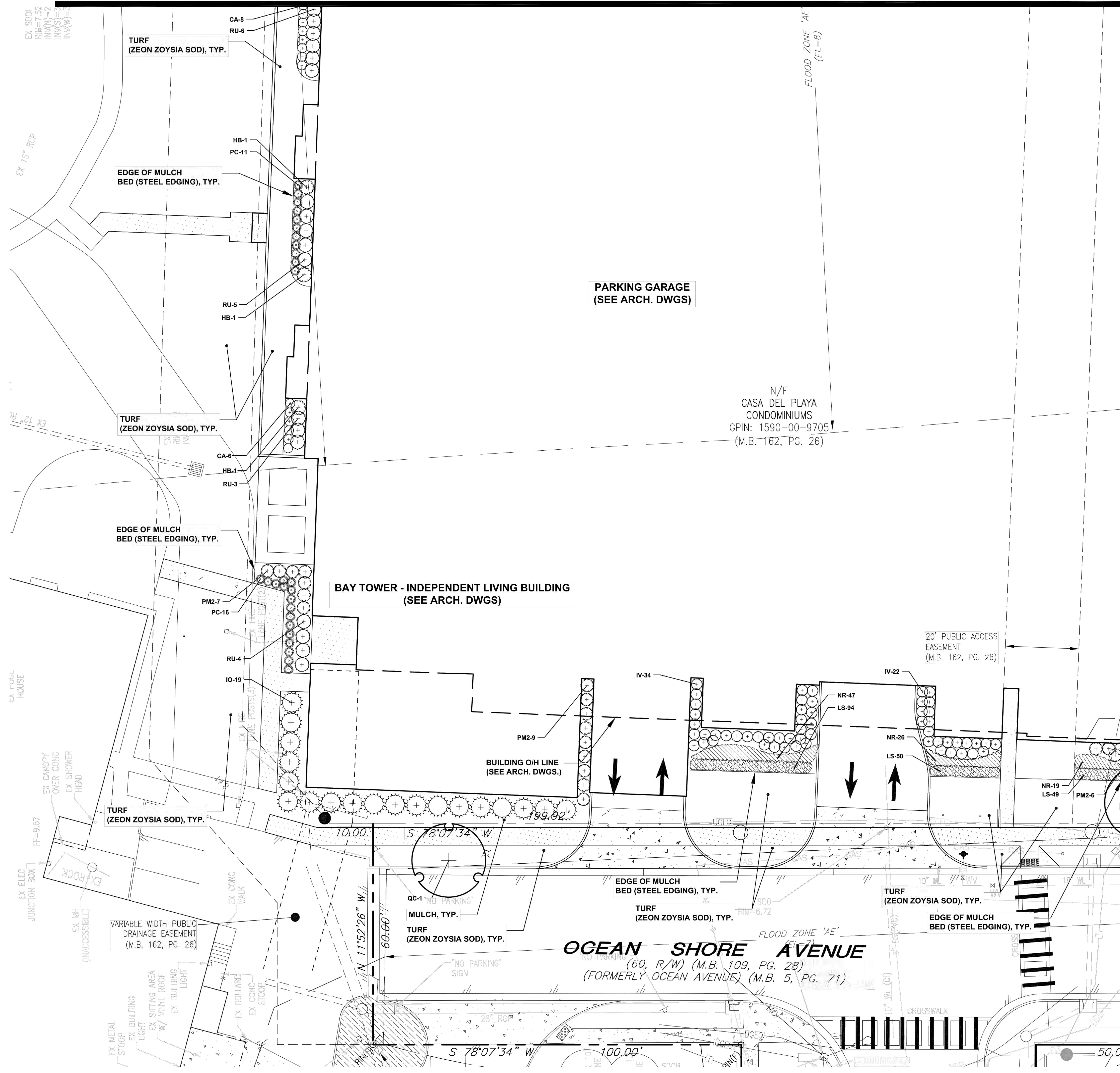
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

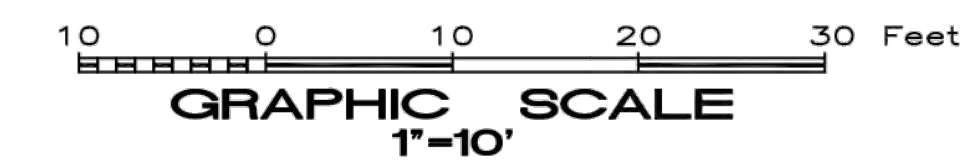
PROJECT NUMBER
24282.000
DATE
07/18/2023
ISSUE
DSC SITE PLAN

SHEET TITLE
PLANTING PLAN

SHEET NO.
L2.03

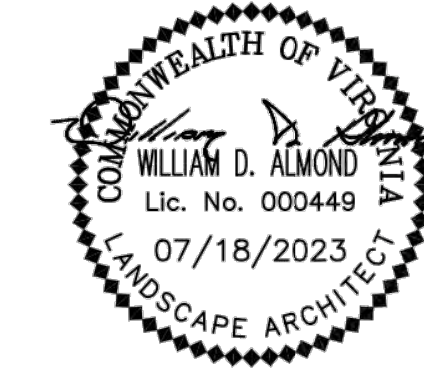


MATCHLINE SHEET L2.04



© 2023 HKS, INC.

NOTE: CONTRACTOR TO PROVIDE IRRIGATION TO PLANT BEDS AND TURF AREAS. HOSEBIBS TO BE PLACED AROUND BLDG. (SEE PLUMBING DWGS). SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION.



ARCHITECT
HKS, INC.
3619 SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

CIVIL ENGINEER
KIMLEY-HORN
4525 MAIN ST, SUITE 1103
VIRGINIA BEACH, VA 23462

LANDSCAPE ARCHITECT
WPL SITE DESIGN
242 MUSTANG TRAIL, SUITE B
VIRGINIA BEACH, VA 23462

STRUCTURAL ENGINEER
SPEIGHT MARSHALL FRANCIS P.C.
1228 PERIMETER PARKWAY, SUITE 201
VIRGINIA BEACH, VA 23454

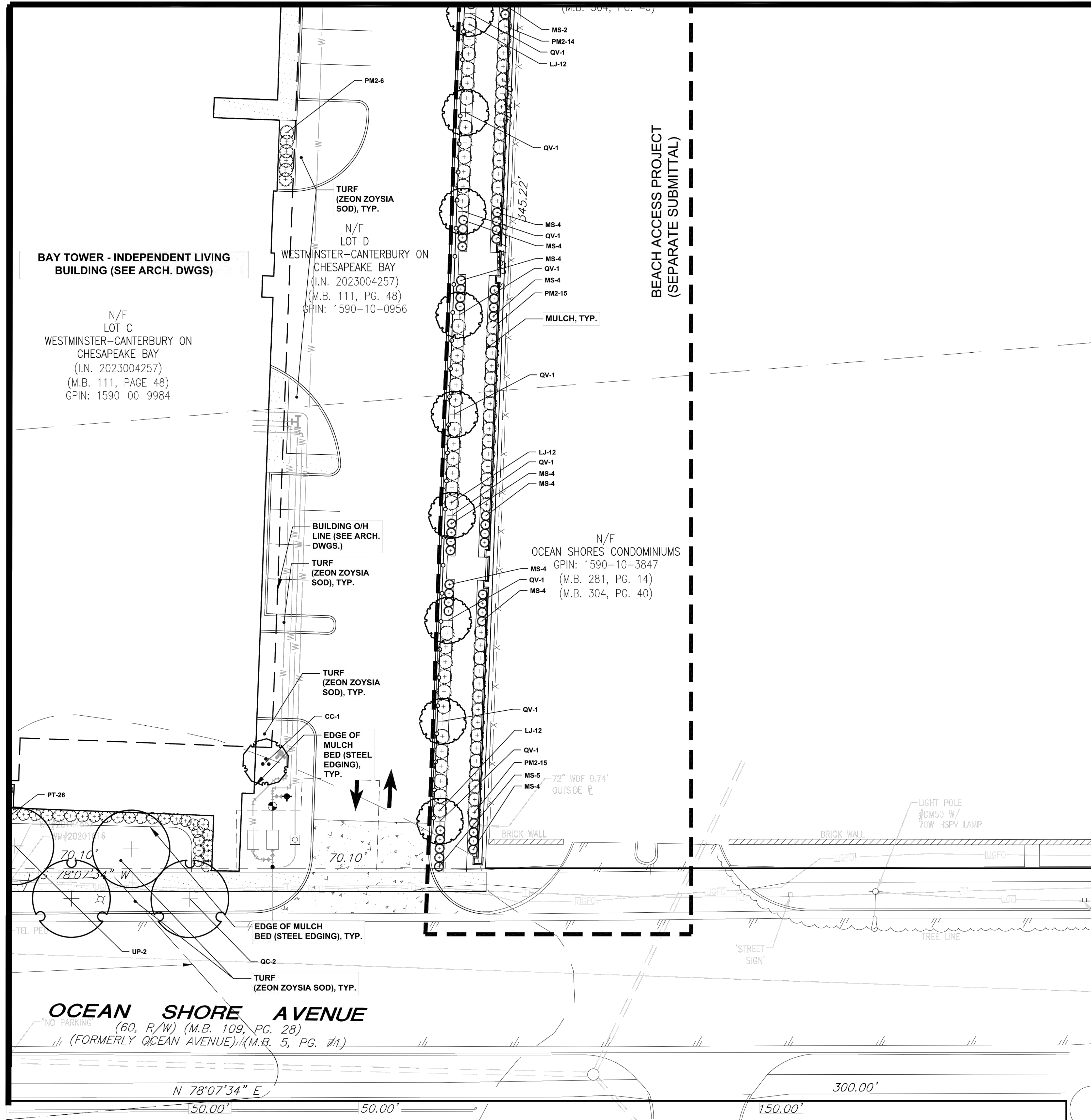
MEP ENGINEER
PACE COLLABORATIVE PC
1277 PERIMETER PARKWAY
VIRGINIA BEACH, VA 23454

FOOD SERVICE DESIGNER
CORBA ASSOCIATES, LLC
1485 BALTIMORE PIKE, SUITE 109
SPRINGFIELD, PA 19084

INTERIOR DESIGNER
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

MATCHLINE SHEET L2.02

MATCHLINE SHEET L2.03



BEACH ACCESS PROJECT
(SEPARATE SUBMITTAL)

**BAY TOWER
INDEPENDENT LIVING
BUILDING**



WESTMINSTER CANTERBURY
AT CHESAPEAKE BAY
3100 SHORE DRIVE
VIRGINIA BEACH, VA 23451

INTERIM REVIEW ONLY
These documents are incomplete, and
are released for interim review only and
are not intended for regulatory approval,
permit, or construction purposes.

Architect: _____
Arch. Reg. No.: _____
Date: _____

KEY PLAN

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
24282.000

DATE
07/18/2023

ISSUE
DSC SITE PLAN

SHEET TITLE
PLANTING PLAN

SHEET NO.
L2.04

ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 15, 2023 /blh

Attachment E
JPA Figures submitted
on May 10, 2023

ARCHITECT
 HKS, INC.
 550 N. SAUNDERS ST.
 SUITE 100
 DALLAS, TX 75201

CIVIL ENGINEER
 KIMLEY-HORN
 4525 MAIN ST., SUITE 1000
 VIRGINIA BEACH, VA 23462

LANDSCAPE DESIGNER
 NPL SITE DESIGN
 242 MUSTANG TRAIL, SUITE B
 VIRGINIA BEACH, VA 23452

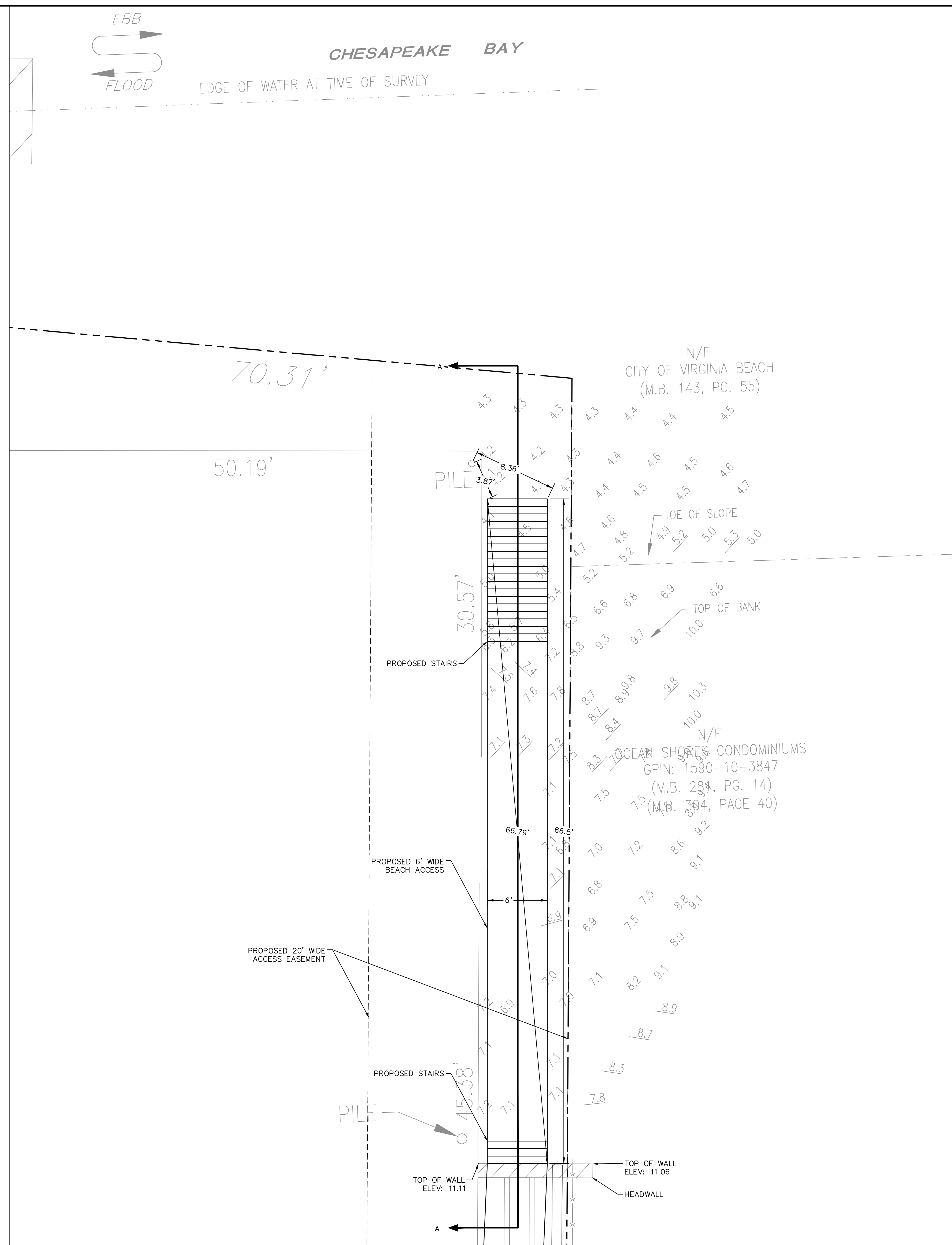
STRUCTURAL ENGINEER
 SPEIGHT MARSHALL FRANCIS P.C.
 1228 PERMETER PARKWAY, SUITE 201
 VIRGINIA BEACH, VA 23454

MEP ENGINEER
 PHICE COLLABORATIVE PC
 1277 PERMETER PARKWAY
 VIRGINIA BEACH, VA 23454

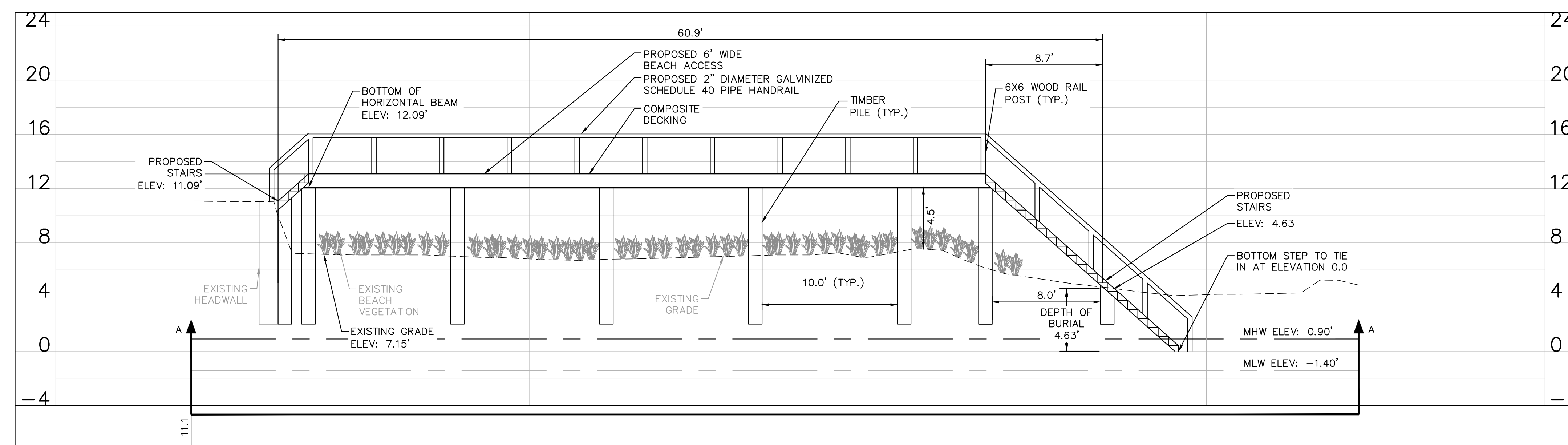
FOOD SERVICE DESIGNER
 CORSI ASSOCIATES, LLC
 1489 BALTIMORE PIKE, SUITE 109
 SPRINGFIELD, PA 19084

**BAY TOWER
 PUBLIC IMPROVEMENTS
 AND BEACH ACCESS PLAN**

WESTMINSTER CANTERBURY
 AT CHESAPEAKE BAY
 3100 SHORE DRIVE
 VIRGINIA BEACH, VA 23451



CONCEPTUAL BEACH ACCESS WALKWAY PLAN VIEW



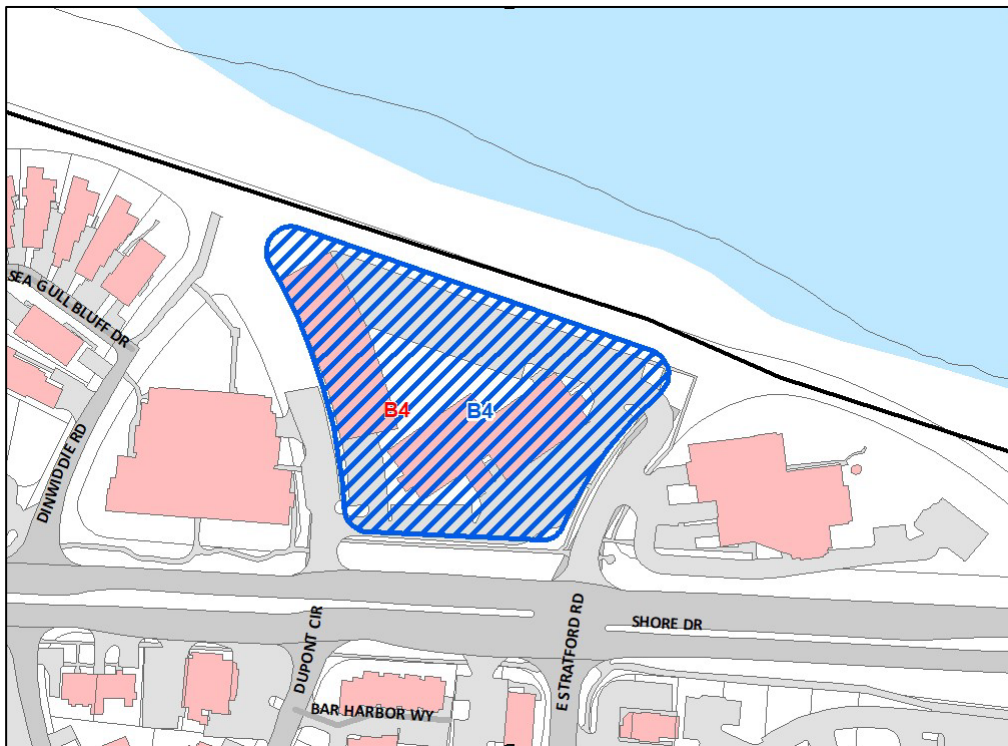
CONCEPTUAL BEACH ACCESS WALKWAY PROFILE A - A
 SCALE: 1" = 5'

5. 2023-WTRA-00187
Chesapeake House on the Bay
[Applicant & Owner]

3558 Shore Drive
GPIN 1489-59-3185
City Council District: District 9

Waterway – Chesapeake Bay
Subdivision – Chesapeake House on the Bay

Request: To excavate sand involving Coastal Primary Sand Dune/Beach.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Chesapeake House on the Bay

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Steve Schoonover

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Belinda Trost, Steve Schoonover, Cynthia Bartwarth,
Ron Essies, Amy Zavian, Jeannie Laeroix,
Richard Williams

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

N/A

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If yes, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the financial institutions providing the service.
-

2. Does the applicant have a real estate broker/agent/realtor for current and anticipated future sales of the subject property? Yes No

- If yes, identify the company and individual providing the service.
-

3. Does the applicant have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

Desroches & Company, CPAs

4. Does the applicant have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

SPC

5. Is there any other pending or proposed purchaser of the subject property? Yes No

- If yes, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the company and individual providing the service.

Keystone Waterproofing: Restoration

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

MAP Environmental (agent), WPL (engineer)

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

[Handwritten Signature]

Applicant Signature

Steven P. Schoonover BOD

Print Name and Title

8/11/23

Date

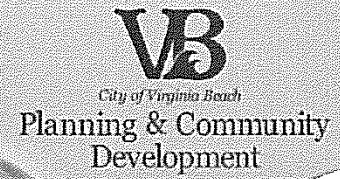
Is the applicant also the owner of the subject property? Yes No

- If yes, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

Disclosure Statement



Continue to Next Page for Owner Disclosure

Disclosure Statement



Owner Disclosure

Owner Name Chesapeake House on the Bay

Applicant Name Chesapeake House on the Bay

Is the Owner a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Belinda Trost, Steve Schoonover, Cynthia Bahwarth,
Ron Eskes, Amy Zanlan, Jeanine Lacroix,
Richard Williams

- If yes, list the businesses that have a parent-subsiary³ or affiliated business entity⁴ relationship with the Owner. (Attach a list if necessary)

Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If yes, what is the name of the official or employee and what is the nature of the interest?

³ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

⁴ "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Owner Services Disclosure

1. Does the Owner have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If yes, identify the financial institutions providing the service.

2. Does the Owner have a real estate broker/agent/realtor for current and anticipated future sales of the subject property?

Yes No

- If yes, identify the company and individual providing the service.

3. Does the Owner have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

Desjardins : Company, CPAs

4. Does the Owner have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

SPC

5. Is there any other pending or proposed purchaser of the subject property? Yes No

- If yes, identify the purchaser and purchaser's service providers.

6. Does the Owner have a construction contractor in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the company and individual providing the service.

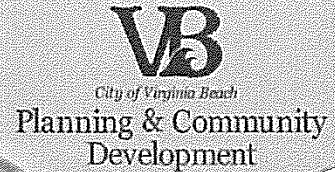
Keystone Waterproofing : Restoration

7. Does the Owner have an engineer/surveyor/agent in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing the service.

MAP Environmental (agent), MPL (engineer)

Disclosure Statement



8. Is the Owner receiving legal services in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm and individual providing legal the service.

Owner Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

SA Schomer

Owner Signature

Steven D. Schoonover

Print Name and Title

8/11/23

Date

JOINT PERMIT APPLICATION

PROJECT

Chesapeake House on the Bay
Dune Maintenance Project

MAP Job #23121

August 2023

APPLICANT

Chesapeake House on the Bay
3558 Shore Drive
Virginia Beach, VA 23455



TIDEWATER JPA FORM

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 23-177

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)		Regional Permit 17 (RP-17) <input checked="" type="checkbox"/>	
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Chesapeake Bay</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Chesapeake House on the Bay Home (757) 390-9666
c/o Steve Schoonover Work ()
3558 Shore Drive Fax ()
Virginia Beach, VA 23455 Cell (757) 390-9666
e-mail schoone1@icloud.com
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home ()
Work ()
Fax ()
Cell ()
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
MAP Environmental Inc. c/o Myles Pocta Home ()
116 Landmark Square Suite 101 Work (757) 498-6131
Virginia Beach, VA 23452 Fax (757) 498-6132
Cell ()
e-mail mpocta@mapenvironmental.com
State Corporation Commission Name and ID Number (if applicable) 0502050-8

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The Chesapeake House on the Bay Dune Maintenance Project, as proposed, would excavate 465 cubic yards of sand that has encroached into a parking garage located at 3558 Shore Drive in Virginia Beach, Virginia. The subject parking garage walls have been compromised by the sand, which appears to have drifted from adjacent dunes that have been inflated landward following the City of Virginia Beach's coastal sand nourishment of Ocean Park Beach. As a result, sand from the enhanced dune system has encroached into the parking garage, reducing the structural integrity of the affected garage walls and displacing a certain amount of parking space area. To address these deficiencies, the owner/applicant proposes to remove 465 cubic yards of sand within a 1200 square foot area and place it north of the parking garage adjacent to an existing coastal primary sand dune. Following the proposed sand removal and placement, the applicant will stabilize any disturbed dune area through the installation of native dune vegetation and/or fencing, as approved by the City of Virginia Beach and Virginia Marine Resources Commission.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Jeff Bradley
Keystone Waterproofing and Restoration
7413 Whitepine Road
North Chesterfield, VA 23237

Contact Information:

Home () _____
Work (757) 498-6132
Fax () _____
Cell () _____
email _____

State Corporation Commission Name and ID Number (if applicable) Jbradley@keystonewaterproofing.net

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginia Pilot
703 Mariners Row
Newport News, VA 23606

Telephone number

(757) 446-9000

7. Give the following project location information:

Street Address (911 address if available) 3558 Shore Drive

Lot/Block/Parcel# 14895931850000

Subdivision Chesapeake House on the Bay (High Rise Condominium/ Co-Operative

City / County Virginia Beach ZIP Code 23455

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.90829 N / - 76.09703 W (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located within a well-developed condominium community in Ocean Park in Virginia Beach.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary and secondary purpose and need for this project are to restore full use of the property's on-site parking garage and stabilize an encroaching coastal sand dune, respectively. The northwestern wall of the parking garage, which was constructed in the mid 1970s, has been damaged by drift sand from the encroaching dune and is no longer structurally sound. Due to the wall's proximity to the dune, sand must be removed from the system to allow for the repair and long-term maintenance of the wall and adjacent parking area.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- In order to minimize impacts to the coastal sand dune, excavation will occur from inside or on top of the parking garage, and large excavation equipment will not be placed on or travel over the nearby coastal primary sand dune. Drift sand currently within the garage and any sand that enters the garage upon removal of the wall will be removed by hand. The proposed project will not encroach into the seaward coastal primary sand dune, and any disturbed areas will be stabilized through the installation of native dune vegetation and/or fencing. This project does not propose impacts to tidal wetlands, surface waters, or submerged lands.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ \$45,000
Approximate cost of that portion of the project that is channelward of mean low water:
\$ \$0
13. Completion date of the proposed work: November 2023 - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.
- Bayvista Condominiums- 3800 Dupont Circle, Virginia Beach, VA 23455
- City of Virginia Beach

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Chesapeake House on the Bay c/o Steve Schoonover

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)


Applicant's Signature

(Use if more than one applicant)

7/31/2023
Date

N/A

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Chesapeake House on the Bay, hereby certify that I (we) have authorized MAP Environmental Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Myles G. Pocta
(Agent's Signature) (Use if more than one agent)

7/31/23
(Date)

St. D. Schorone
(Applicant's Signature) (Use if more than one applicant)

7/31/2023
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

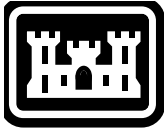
Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date



REGIONAL PERMIT 17 CHECKLIST

Expires: September 5, 2023

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structure(s) that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, the prospective permittee will adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline.
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission's Habitat Management Division?
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters of the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.


 Signature of Property Owner(s) or Agent

Date 7/31/2023

Proposed work to be located at:
3558 Shore Drive
Virginia Beach, VA 23455
 VMRC Number: _____

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

2. What is the maximum encroachment channelward of mean high water? 0 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? 40 feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 0 square feet
- Non-vegetated wetlands 0 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach 1200 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material _____ pounds per stone Class size _____
 Armor (outer layer) material _____ pounds per stone Class size _____

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material 0 cubic yards channelward of mean low water
 465 cubic yards landward of mean low water
 0 cubic yards channelward of mean high water
 465 cubic yards landward of mean high water

- Area to be covered 0 square feet channelward of mean low water
 360 square feet landward of mean low water
 0 cubic yards channelward of mean high water
 465 cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

SURVEYOR INSPECTION STATEMENT

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

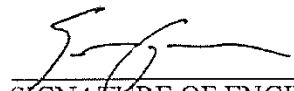
PROJECT LOCATION: 3558 Shore Drive

APPLICANT'S NAME: Chesapeake House on the Bay

APPLICANT'S ADDRESS: 3558 Shore Drive
Virginia Beach, VA 23455

OWNER'S NAME
(IF DIFFERENT FROM APPLICANT): _____

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.




SIGNATURE OF ENGINEER/SURVEYOR
CERTIFYING CONSTRUCTION

08/15/2023

DATE

WPL - Eric Garner, LS

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



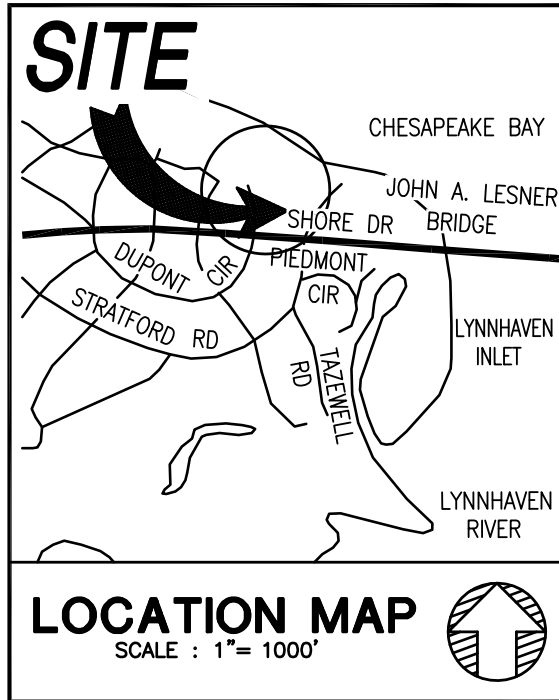
SIGNATURE OF OWNER

8/16/2022

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.

PROJECT DRAWINGS



DUNE MAINTENANCE PLAN FOR

3558 SHORE DRIVE

CHESAPEAKE HOUSE ON THE BAY

VIRGINIA BEACH, VIRGINIA

PURPOSE: DUNE MAINTENANCE
 DATUM: NAVD 1988
 ADJACENT PROPERTY OWNERS:
 1. CITY OF VIRGINIA BEACH, VIRGINIA
 2. BAY VISTA CONDOMINIUM ASSOCIATION

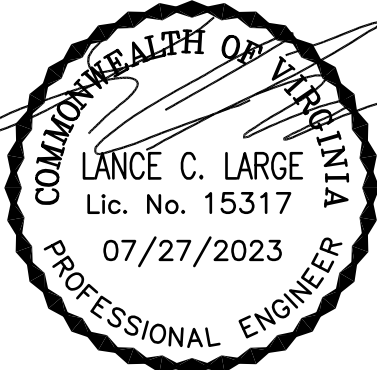
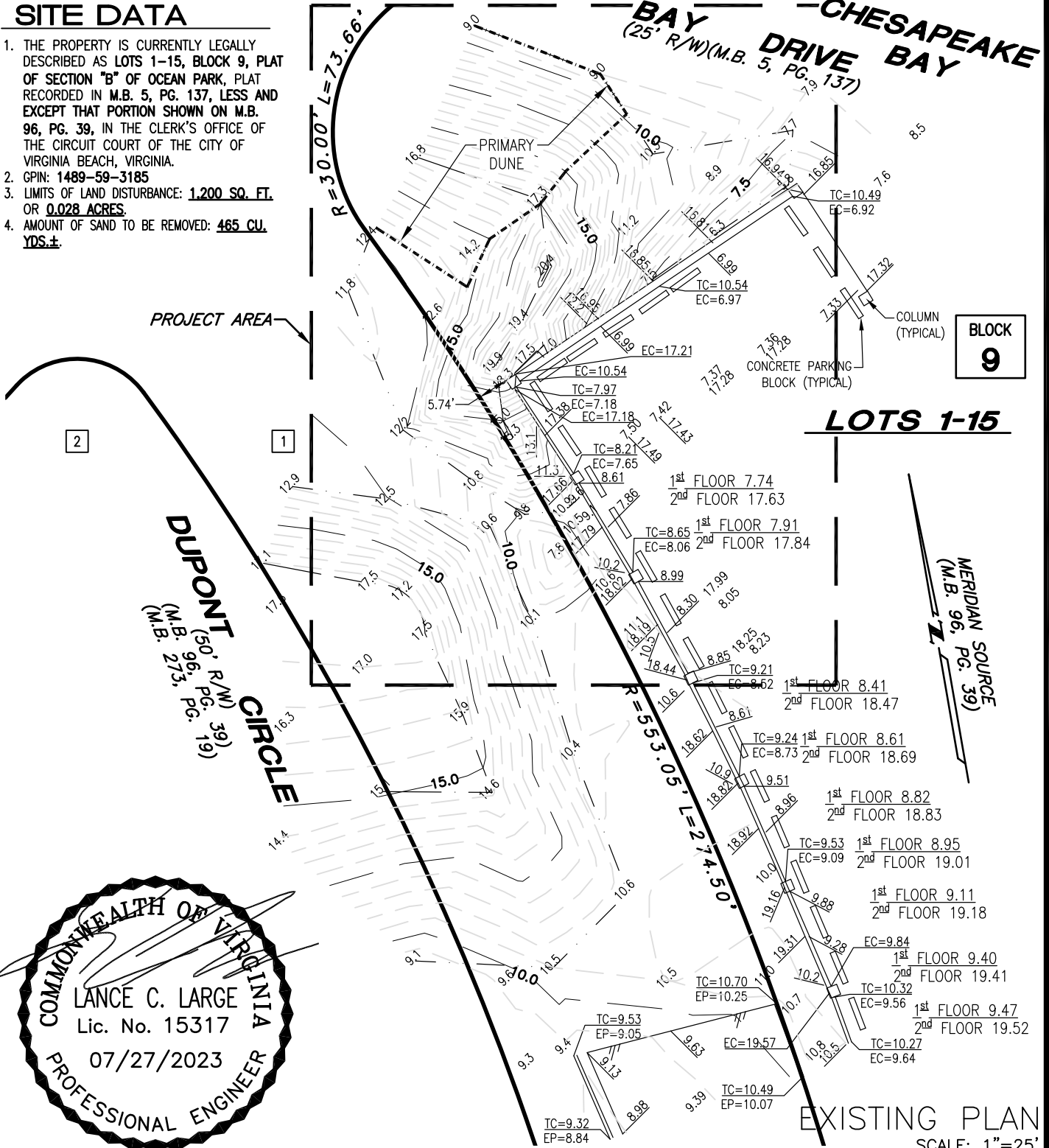


DUNE MAINTENANCE
 APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
 SITE ADDRESS: 3558 SHORE DRIVE
 VIRGINIA BEACH, VIRGINIA 23455

DATE: 07/27/2023 F.B./PG.: 1089/24-25
 PLAT: 0-294
 SHEET 1 OF 6 WPL# 223-0190

SITE DATA

1. THE PROPERTY IS CURRENTLY LEGALLY DESCRIBED AS LOTS 1-15, BLOCK 9, PLAT OF SECTION "B" OF OCEAN PARK, PLAT RECORDED IN M.B. 5, PG. 137, LESS AND EXCEPT THAT PORTION SHOWN ON M.B. 96, PG. 39, IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF VIRGINIA BEACH, VIRGINIA.
2. GPIN: 1489-59-3185
3. LIMITS OF LAND DISTURBANCE: 1,200 SQ. FT. OR 0.028 ACRES.
4. AMOUNT OF SAND TO BE REMOVED: 465 CU. YDS.±



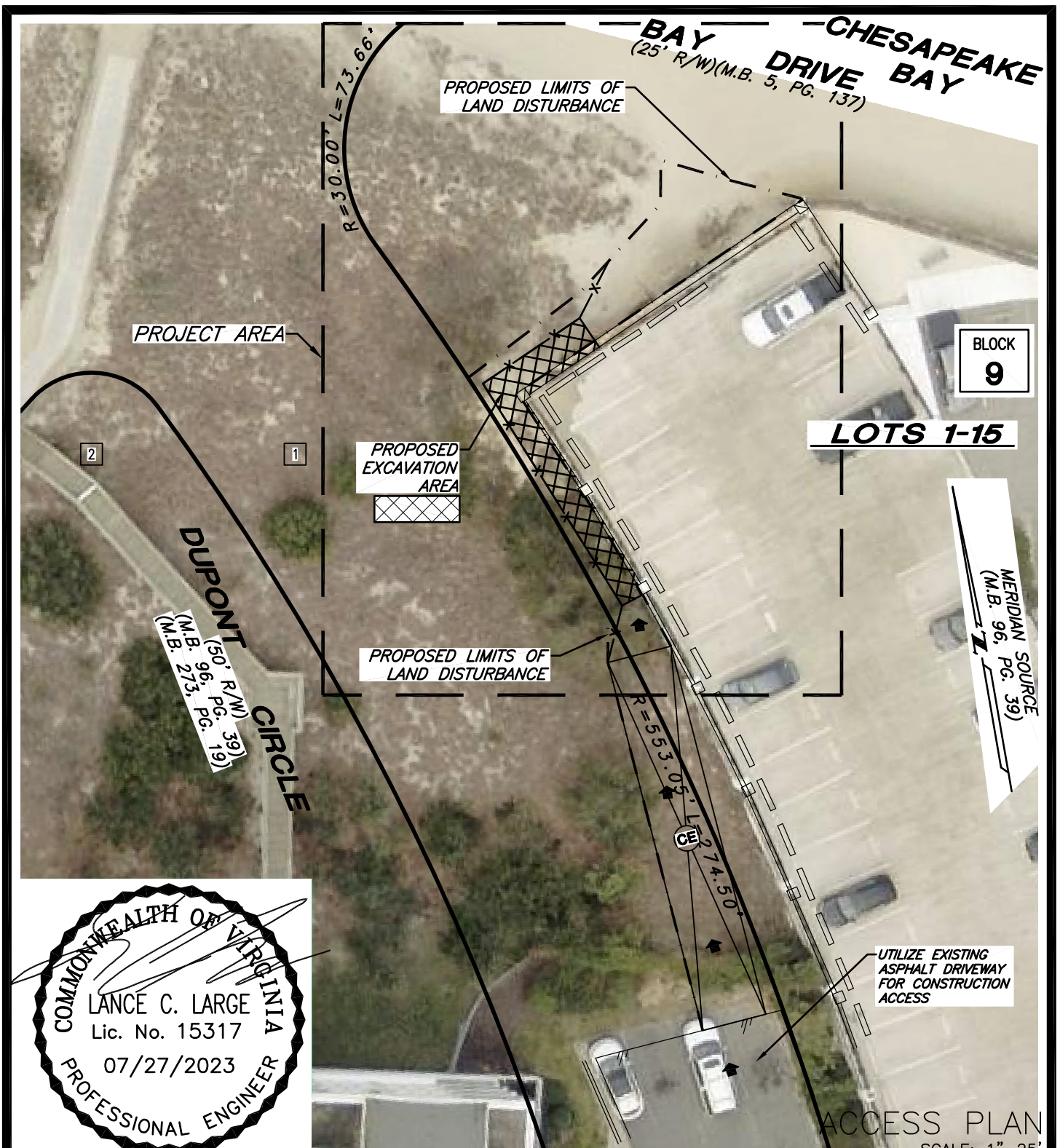
PURPOSE: DUNE MAINTENANCE
 DATUM: NAVD 1988
 ADJACENT PROPERTY OWNERS:
 1. CITY OF VIRGINIA BEACH, VIRGINIA
 2. BAY VISTA CONDOMINIUM ASSOCIATION



DUNE MAINTENANCE
 APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
 SITE ADDRESS: 3558 SHORE DRIVE
 VIRGINIA BEACH, VIRGINIA 23455


DATE: 07/27/2023
 PLAT: O-294
 SHEET 2 OF 6

F.B./PG.: 1089/24-25
 WPL# 223-0190

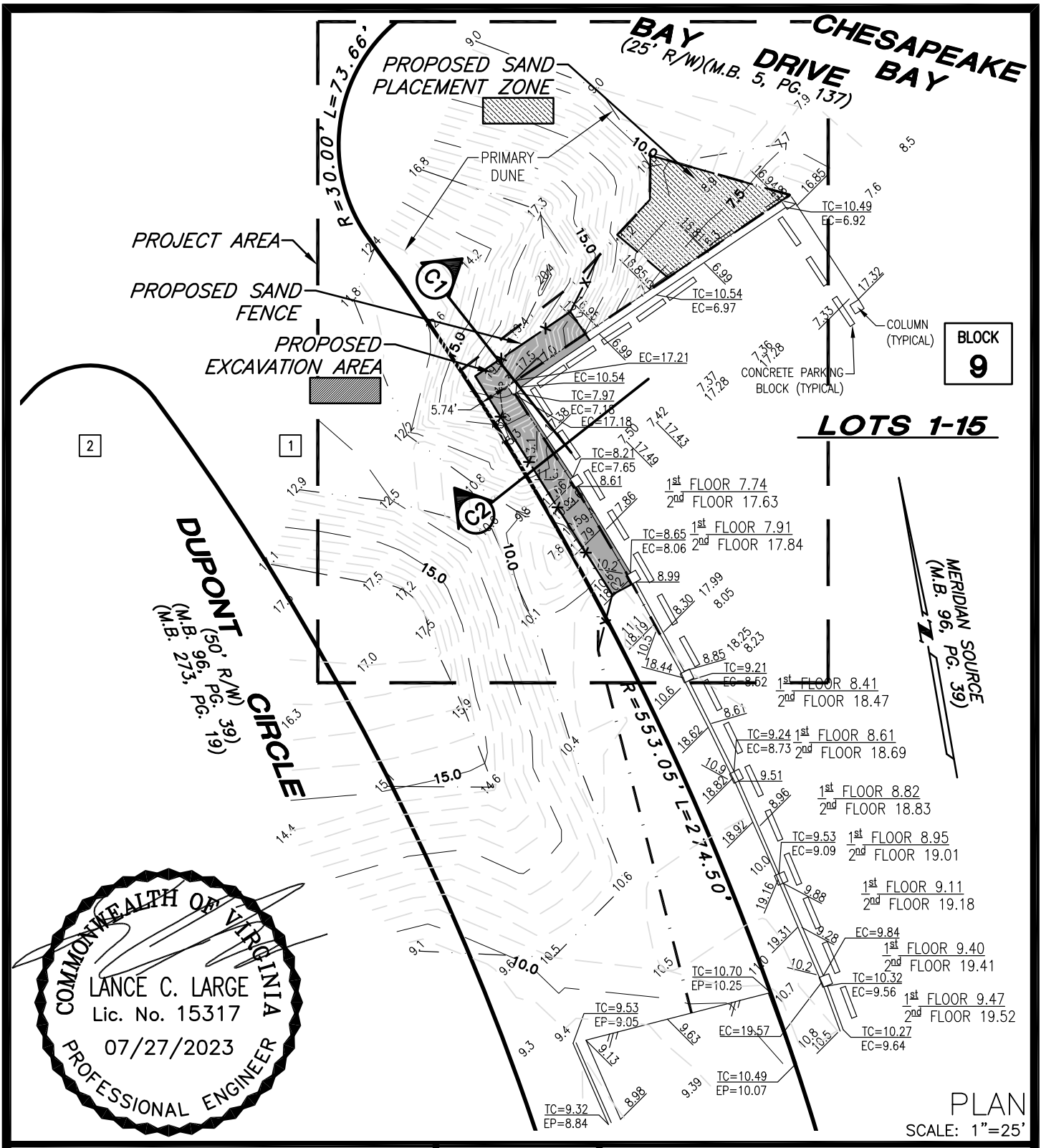


COMMONWEALTH OF VIRGINIA
 LANCE C. LARGE
 Lic. No. 15317
 07/27/2023
 PROFESSIONAL ENGINEER

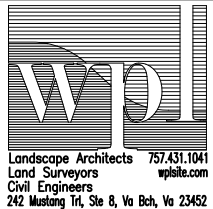
PURPOSE: DUNE MAINTENANCE
 DATUM: NAVD 1988
 ADJACENT PROPERTY OWNERS:
 1. CITY OF VIRGINIA BEACH, VIRGINIA
 2. BAY VISTA CONDOMINIUM ASSOCIATION


 Landscape Architects 757.431.1041
 Land Surveyors wplsite.com
 Civil Engineers
 242 Mustang Trl, Ste 8, Va Bch, Va 23452

DUNE MAINTENANCE
 APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
 SITE ADDRESS: 3558 SHORE DRIVE
 VIRGINIA BEACH, VIRGINIA 23455
 DATE: 07/27/2023 F.B./PG.: 1089/24-25
 PLAT: 0-294 SHEET 3 OF 6
 WPL# 223-0190



PURPOSE: DUNE MAINTENANCE
 DATUM: NAVD 1988
 ADJACENT PROPERTY OWNERS:
 1. CITY OF VIRGINIA BEACH, VIRGINIA
 2. BAY VISTA CONDOMINIUM ASSOCIATION



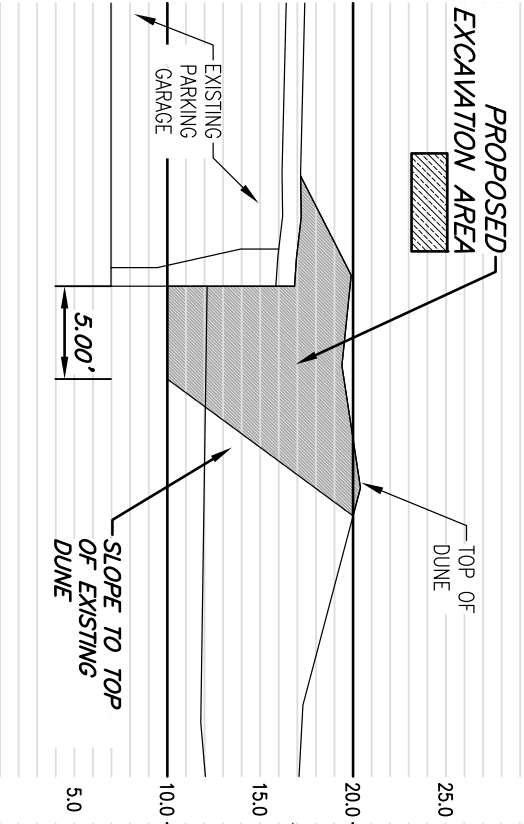
DUNE MAINTENANCE
 APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
 SITE ADDRESS: 3558 SHORE DRIVE
 VIRGINIA BEACH, VIRGINIA 23455

DATE: 07/27/2023
 PLAT: O-294
 SHEET 4 OF 6

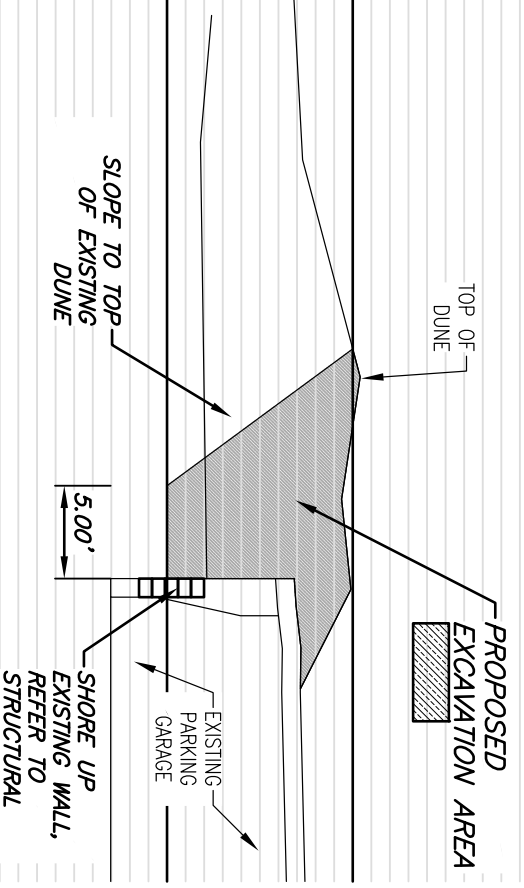
F.B./PG.: 1089/24-25
 WPL# 223-0190

DUNE PLANTING

REPLANT EXISTING VEGETATION TAKEN FROM THE SAND REMOVAL AREA IN THE DUNE PLANTING ZONE, AND PLANT NEW VEGETATION AS DETERMINED BY CITY STAFF ON THE REMAINING DUNE FACE AND CREST.



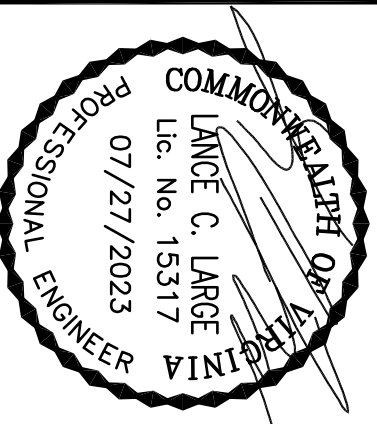
SECTION C-1



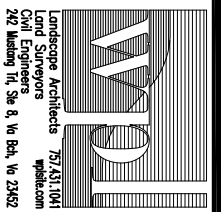
SECTION C-2

SAND MANAGEMENT & PLACEMENT PROFILE

SCALE: 1"=10' (HORIZONTAL & VERTICAL)



PURPOSE: DUNE MAINTENANCE
DATUM: NAVD 1988
ADJACENT PROPERTY OWNERS:
 1. CITY OF VIRGINIA BEACH, VIRGINIA
 2. BAY VISTA CONDOMINIUM ASSOCIATION

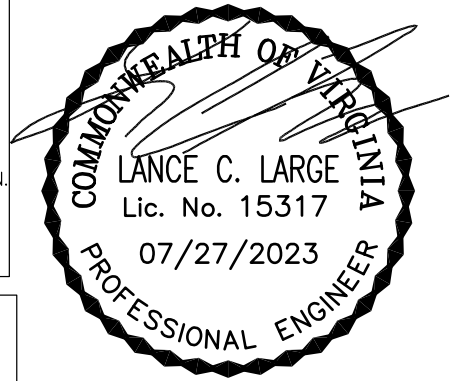


DUNE MAINTENANCE
 APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
 SITE ADDRESS: 3558 SHORE DRIVE
 VIRGINIA BEACH, VIRGINIA 23455
DATE: 07/27/2023 **F.B./Pg.:** 1089/24-25
PLAT: 0-294 **WPL#** 223-0190
SHEET 5 OF 6

DETAILS
 SCALE: 1"=10'

SEQUENCE OF CONSTRUCTION

1. OBTAIN REQUIRED PERMITS FROM GOVERNMENTAL AGENCIES.
2. INSTALL E&S CONTROL.
3. EXCAVATE SAND OUTSIDE AND INSIDE OF PARKING STRUCTURE (BOTH MECHANICALLY AND MANUALLY PER SITE CONSTRAINTS).
4. PLACE EXCAVATED SAND IN "PROPOSED SAND PLACEMENT ZONE" AS DEPICTED ON PLAN SHEET.
5. APPLICANT IS TO RESTORE ALL UPLAND DISTURBED AREAS WITH THE INSTALLATION OF IN-KIND VEGETATION.
6. REPLANT EXISTING VEGETATION TAKEN FROM THE SAND REMOVAL AREA IN THE DUNE PLANTING ZONE, AND PLANT NEW VEGETATION AS DETERMINED BY CITY STAFF ON THE REMAINING DUNE FACE AND CREST.
7. INSTALL SAND FENCING ALONG PERIMETER EDGE OF EXCAVATION AREA AS DEPICTED ON PLAN SHEET.



NOTES:

1. A TEMPORARY SILT FENCE WILL BE ESTABLISHED AND MAINTAINED PRIOR TO ANY BACKFILLING UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
2. THE REQUIRED SILT FENCE SHALL BE PROPERLY INSTALLED AND MAINTAINED SEAWARD OF ALL DISTURBED AREAS AT THE CONCLUSION OF EACH WORK DAY. SAID SILT-FENCE SHALL BE 36" IN WIDTH WITH 4' EN-TRENCHED VERTICALLY AND 4' ENTRENCHED HORIZONTALLY.
3. INSTALLATION AND ACCESS TO PROJECT SITE TO BE DONE WITHIN THE CONSTRUCTION ACCESS WAY ONLY (AS SHOWN ON THE PLANS)
4. APPLICANT IS TO RESTORE ALL UPLAND DISTURBED AREAS WITH THE INSTALLATION OF IN-KIND VEGETATION

CONSTRUCTION SPECIFICATIONS

INSTALLATION:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF 6 INCHES OF OVERLAP AND SECURELY TIED.
2. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART USING FILTER FABRIC WITH WIRE FENCE SUPPORT. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 8 FEET.
3. WHEN STANDARD STRENGTH FABRIC IS USED, A WIRE SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRE OR HOE RINGS. THE WIRE SHALL EXTEND INTO THE 4" X 4" TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. THE FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
4. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE SUPPORT FENCE MAY BE ELIMINATED, IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM 3 APPLYING.
5. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
6. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSES, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MATERIALS:

1. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PRO-PYLENE, NYLON, POLYESTER OR ETHYLENE YARN WITH A MINIMUM OF SIX (6) MONTHS EXPECTED USABLE LIFE, AND CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING REQUIREMENTS:

SILT FENCE

NOT TO SCALE

PHYSICAL PROPERTY

FILTERING EFFICIENCY
TENSILE STRENGTH AT
20% (MAX.) ELONGATION

REQUIREMENTS

75% (MIN.)

EXTRA STRENGTH--
50 LBS./LIN. IN. (MIN.)
STANDARD STRENGTH--
30 LBS./LIN. IN. (MIN.)

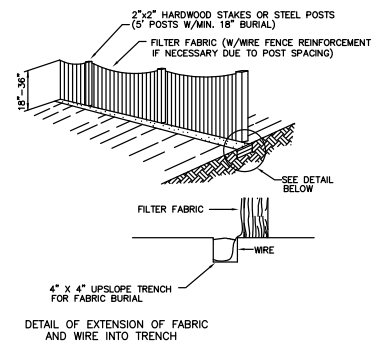
FLOW RATE

0.3 GAL/SQ.FT/ (MIN)

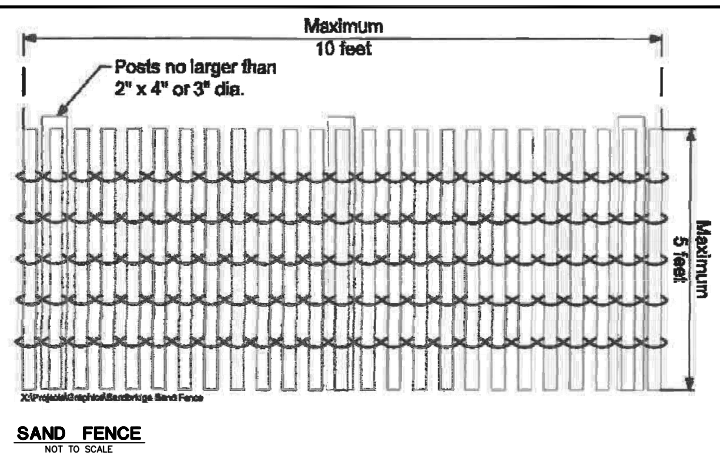
2. POSTS SHALL BE EITHER 4-INCH DIAMETER WOOD OR 1.33 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
3. WIRE FENCE REINFORCEMENT FOR SILT FENCES USING STANDARD STRENGTH FILTER CLOTH SHALL BE A MINIMUM OF 42 INCHES IN HEIGHT. A MINIMUM OF 14 GAUGE AND SHALL HAVE A MAXIMUM MESH SPACING OF 6 INCHES.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN-FALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.



DETAIL OF EXTENSION OF FABRIC AND WIRE INTO TRENCH

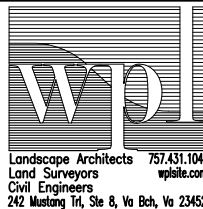


SAND FENCE

NOT TO SCALE

DETAILS
SCALE: NOTED

PURPOSE: DUNE MAINTENANCE
DATUM: NAVD 1988
ADJACENT PROPERTY OWNERS:
1. CITY OF VIRGINIA BEACH, VIRGINIA
2. BAY VISTA CONDOMINIUM ASSOCIATION



DUNE MAINTENANCE
APPLICATION BY: CHESAPEAKE HOUSE ON THE BAY
SITE ADDRESS: 3558 SHORE DRIVE
VIRGINIA BEACH, VIRGINIA 23455

DATE: 07/27/2023
PLAT: 0-294
SHEET 6 OF 6

F.B./PG.: 1089/24-25
WPL# 223-0190

PHOTO LOG

PHOTO LOG
Chesapeake House on the Bay Dune Maintenance Project



Photo 1: Coastal sand dune encroaching into northwestern corner of parking garage at Chesapeake House on the Bay



Photo 2: Damage to parking garage wall cause by coastal sand dune at Chesapeake House on the Bay



Photo 3: View of sand dune encroachment into first level of parking garage taken from second level of parking garage at Chesapeake House on the Bay



Photo 4: View of sand dune encroachment into first level of parking garage taken from second level of parking garage at Chesapeake House on the Bay



Photo 5: View of sand dune encroachment into first level of parking garage taken from second level of parking garage at Chesapeake House on the Bay

THREATENED & ENDANGERED SPECIES



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Virginia Ecological Services Field Office
6669 Short Lane
Gloucester, VA 23061-4410
Phone: (804) 693-6694 Fax: (804) 693-9032



In Reply Refer To:

July 27, 2023

Project Code: 2023-0110025

Project Name: Chesapeake House on the Bay Parking Access and Dune Maintenance Project

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*). Any activity proposed on National Wildlife Refuge lands must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Migratory Birds: In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see <https://www.fws.gov/birds/policies-and-regulations.php>.

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures see <https://www.fws.gov/birds/bird-enthusiasts/threats-to-birds.php>.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/birds/policies-and-regulations/executive-orders/e0-13186.php>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Project Code in the header of this

letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Migratory Birds

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Virginia Ecological Services Field Office

6669 Short Lane

Gloucester, VA 23061-4410

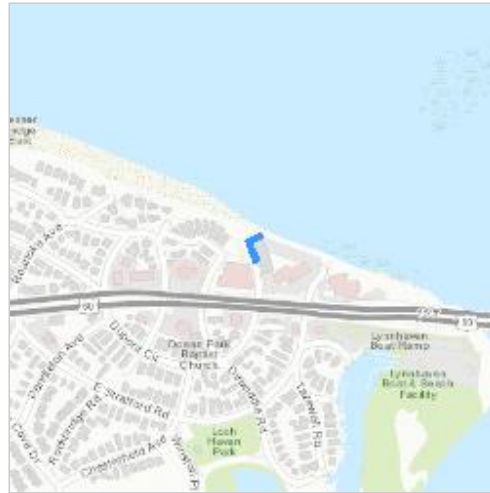
(804) 693-6694

PROJECT SUMMARY

Project Code: 2023-0110025
Project Name: Chesapeake House on the Bay Parking Access and Dune Maintenance Project
Project Type: Operations and Maintenance of Facilities
Project Description: Removal of 1200 square feet from a coastal sand dune that has encroached into a parking garage.

Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@36.9087605,-76.0978561028652,14z>



Counties: Virginia Beach County, Virginia

ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

BIRDS

NAME	STATUS
Piping Plover <i>Charadrius melodus</i> Population: [Atlantic Coast and Northern Great Plains populations] - Wherever found, except those areas where listed as endangered. There is final critical habitat for this species. Your location does not overlap the critical habitat. Species profile: https://ecos.fws.gov/ecp/species/6039	Threatened
Roseate Tern <i>Sterna dougallii dougallii</i> Population: Northeast U.S. nesting population No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/2083	Endangered

INSECTS

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

USFWS NATIONAL WILDLIFE REFUGE LANDS AND FISH HATCHERIES

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

MIGRATORY BIRDS

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

-
1. The [Migratory Birds Treaty Act](#) of 1918.
 2. The [Bald and Golden Eagle Protection Act](#) of 1940.
 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern \(BCC\) list](#) or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
American Oystercatcher <i>Haematopus palliatus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/8935	Breeds Apr 15 to Aug 31
Bald Eagle <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds Oct 15 to Aug 31

NAME	BREEDING SEASON
<p>Black Scoter <i>Melanitta nigra</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Black Skimmer <i>Rynchops niger</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/5234</p>	Breeds May 20 to Sep 15
<p>Blue-winged Warbler <i>Vermivora pinus</i> This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds May 1 to Jun 30
<p>Bobolink <i>Dolichonyx oryzivorus</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds May 20 to Jul 31
<p>Brown Pelican <i>Pelecanus occidentalis</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Jan 15 to Sep 30
<p>Chimney Swift <i>Chaetura pelagica</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Mar 15 to Aug 25
<p>Common Eider <i>Somateria mollissima</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Jun 1 to Sep 30
<p>Common Loon <i>gavia immer</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/4464</p>	Breeds Apr 15 to Oct 31
<p>Common Murre <i>Uria aalge</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Apr 15 to Aug 15
<p>Double-crested Cormorant <i>phalacrocorax auritus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/3478</p>	Breeds Apr 20 to Aug 31

NAME	BREEDING SEASON
<p>Dovekie <i>Alle alle</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/6041</p>	Breeds elsewhere
<p>Gull-billed Tern <i>Gelochelidon nilotica</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9501</p>	Breeds May 1 to Jul 31
<p>Lesser Yellowlegs <i>Tringa flavipes</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9679</p>	Breeds elsewhere
<p>Long-tailed Duck <i>Clangula hyemalis</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities. https://ecos.fws.gov/ecp/species/7238</p>	Breeds elsewhere
<p>Manx Shearwater <i>Puffinus puffinus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Apr 15 to Oct 31
<p>Pomarine Jaeger <i>Stercorarius pomarinus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Prairie Warbler <i>Dendroica discolor</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds May 1 to Jul 31
<p>Prothonotary Warbler <i>Protonotaria citrea</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Apr 1 to Jul 31
<p>Purple Sandpiper <i>Calidris maritima</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds elsewhere
<p>Razorbill <i>Alca torda</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Jun 15 to Sep 10

NAME	BREEDING SEASON
<p>Red Phalarope <i>Phalaropus fulicarius</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Red-breasted Merganser <i>Mergus serrator</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Red-headed Woodpecker <i>Melanerpes erythrocephalus</i></p> <p>This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds May 10 to Sep 10
<p>Red-necked Phalarope <i>Phalaropus lobatus</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Red-throated Loon <i>Gavia stellata</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Ring-billed Gull <i>Larus delawarensis</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds elsewhere
<p>Roseate Tern <i>Sterna dougallii</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds May 10 to Aug 31
<p>Royal Tern <i>Thalasseus maximus</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Apr 15 to Aug 31
<p>Ruddy Turnstone <i>Arenaria interpres morinella</i></p> <p>This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds elsewhere
<p>Rusty Blackbird <i>Euphagus carolinus</i></p> <p>This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds elsewhere
<p>Short-billed Dowitcher <i>Limnodromus griseus</i></p> <p>This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p> <p>https://ecos.fws.gov/ecp/species/9480</p>	Breeds elsewhere

NAME	BREEDING SEASON
Sooty Tern <i>Onychoprion fuscatus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds Mar 10 to Jul 31
Surf Scoter <i>Melanitta perspicillata</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds elsewhere
White-winged Scoter <i>Melanitta fusca</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds elsewhere
Willet <i>Tringa semipalmata</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds Apr 20 to Aug 5
Wilson's Storm-petrel <i>Oceanites oceanicus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds elsewhere
Wood Thrush <i>Hylocichla mustelina</i> This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.	Breeds May 10 to Aug 31

PROBABILITY OF PRESENCE SUMMARY

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee

was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.

2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

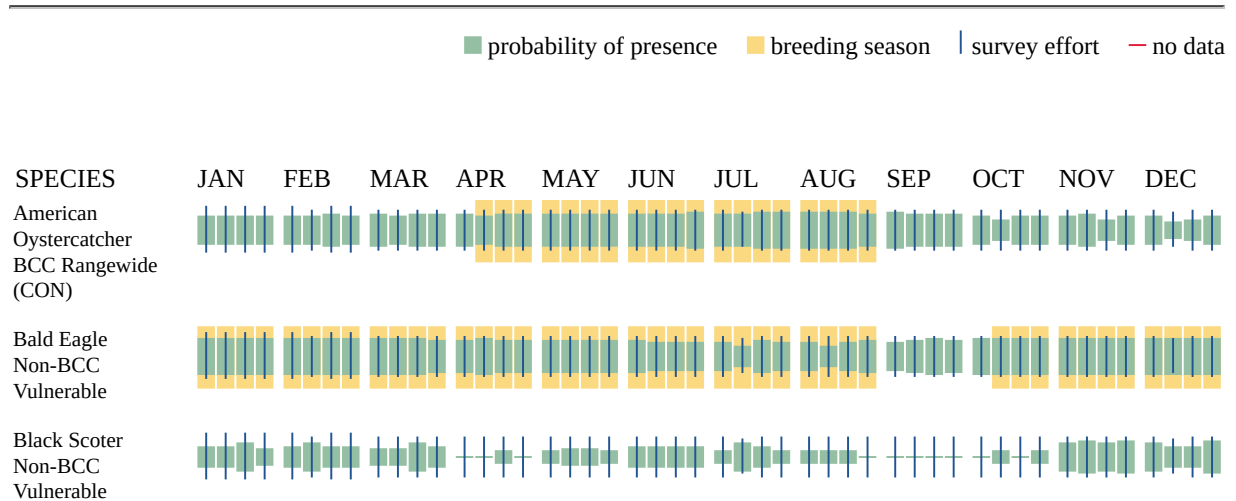
Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

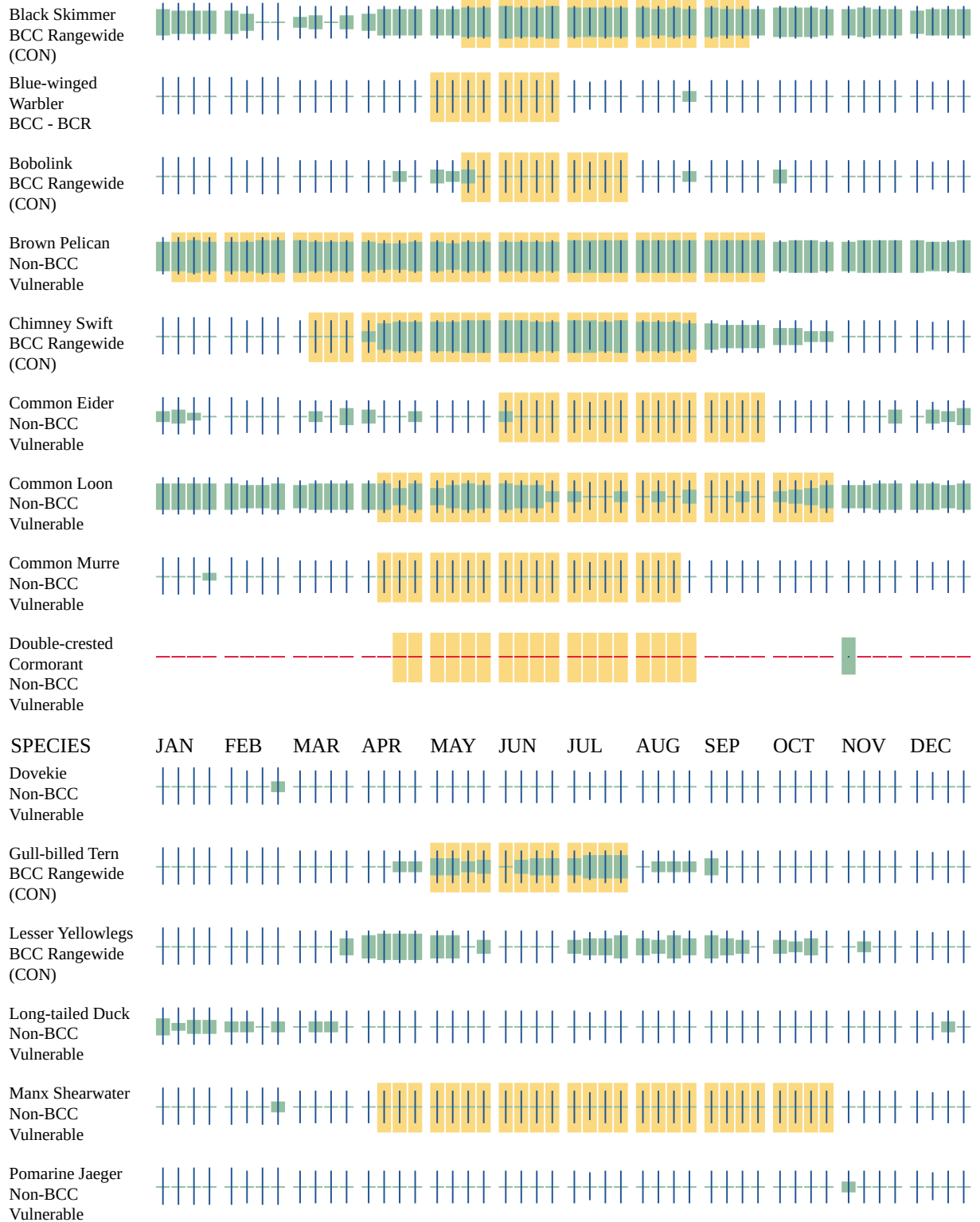
No Data (—)

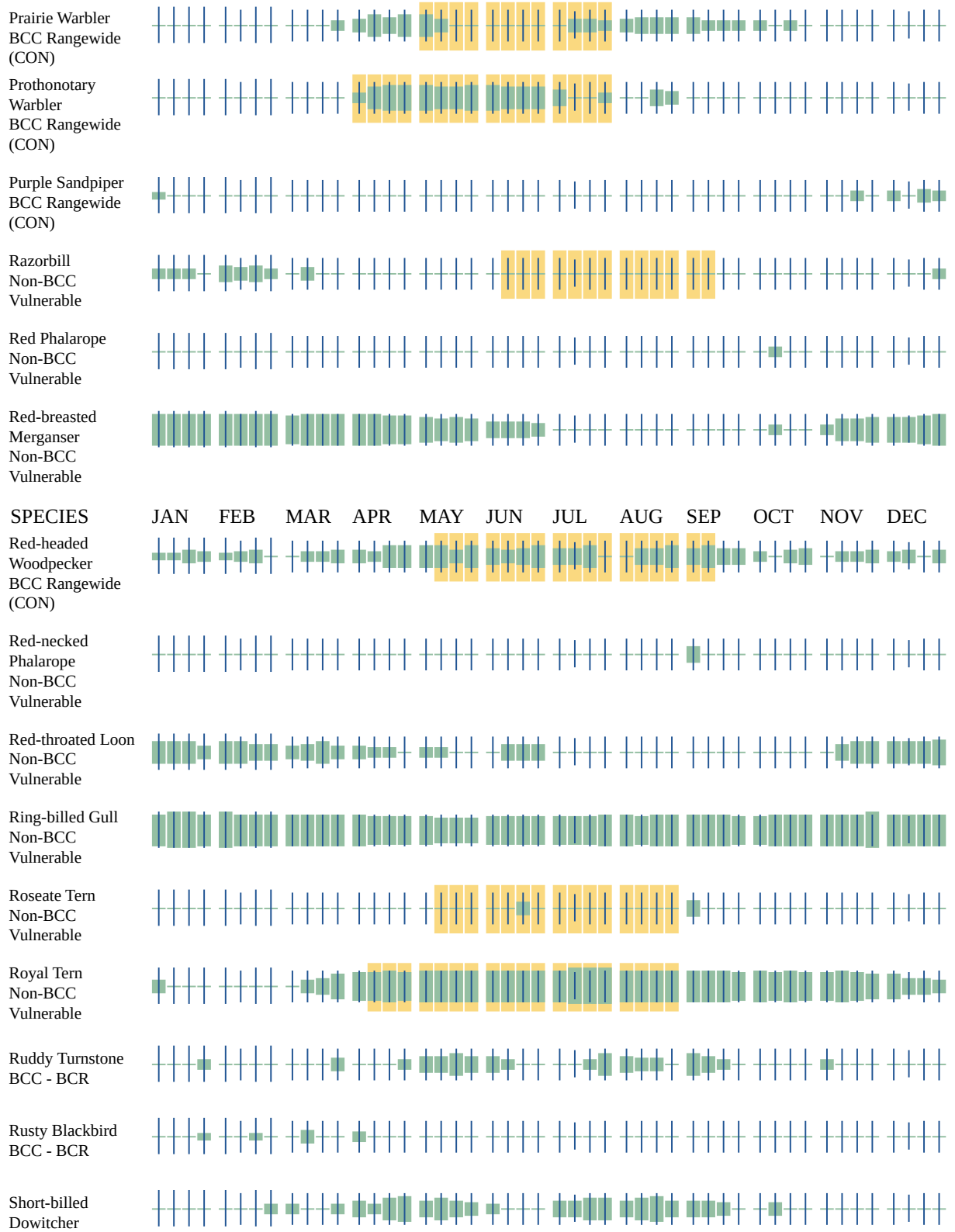
A week is marked as having no data if there were no survey events for that week.

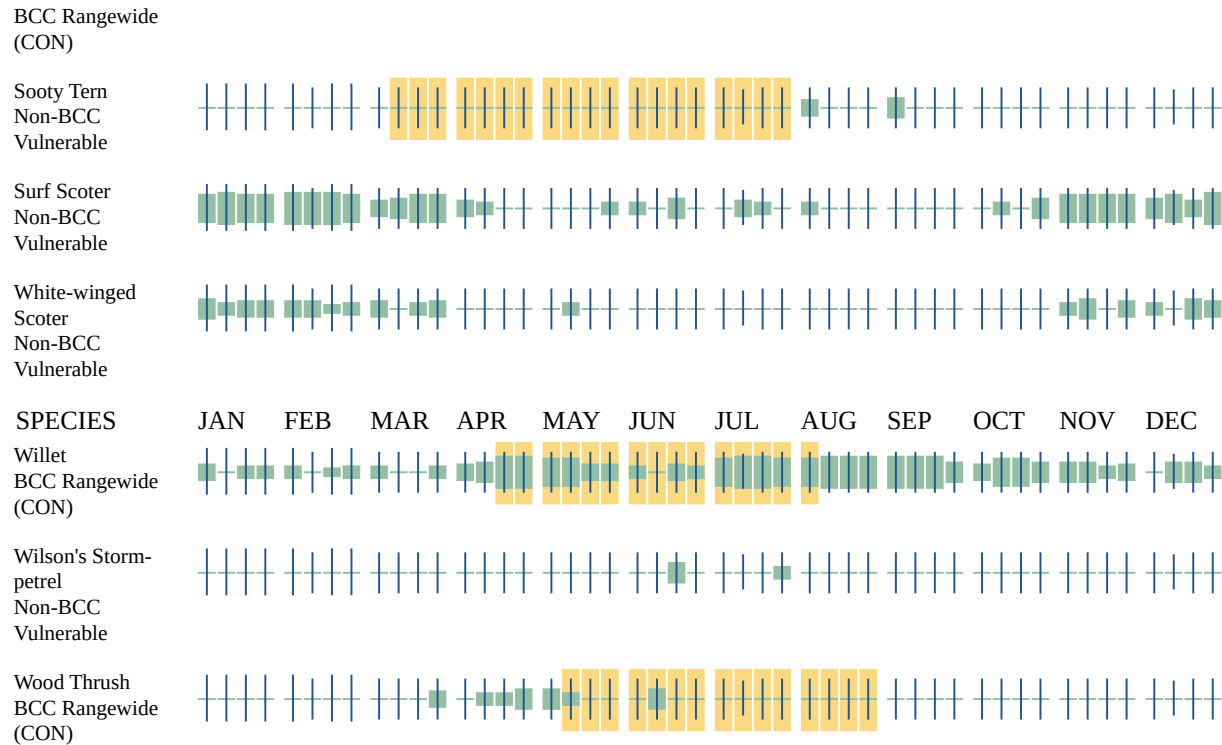
Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.









Additional information can be found using the following links:

- Birds of Conservation Concern <https://www.fws.gov/program/migratory-birds/species>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>

MIGRATORY BIRDS FAQ

Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles)

potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

IPAC USER CONTACT INFORMATION

Agency: MAP Environmental Inc.

Name: Molly Bertsch

Address: 116 Landmark Square, Suite 101

City: Virginia Beach

State: VA

Zip: 23452

Email: mbertsch@mapenvironmental.com

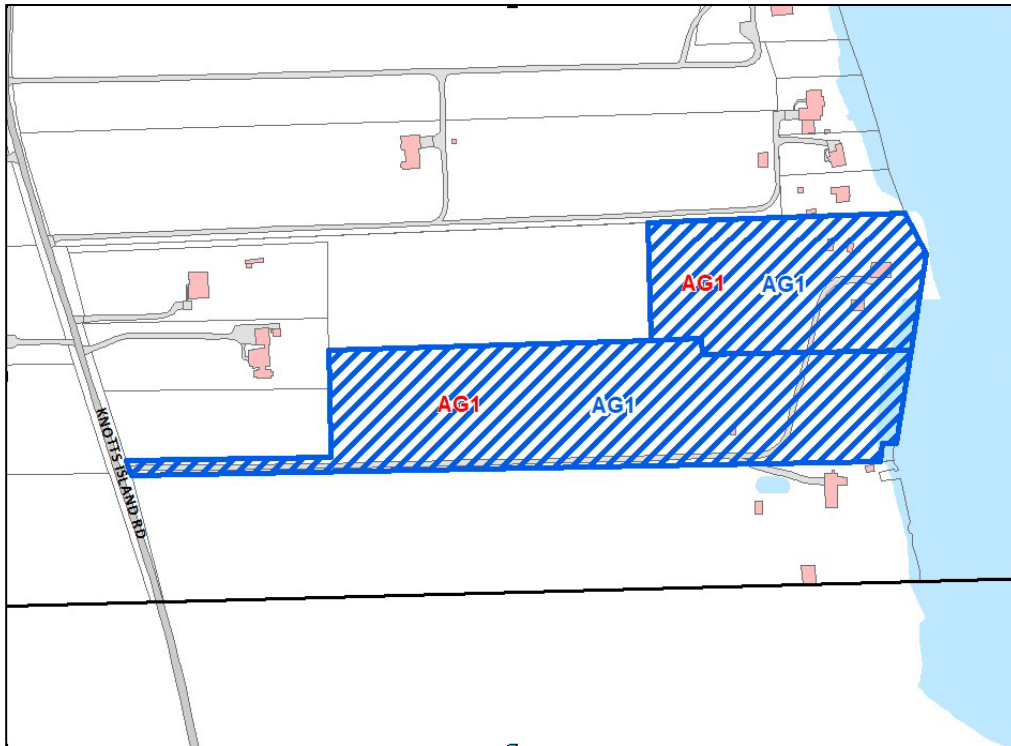
Phone: 7574986131

6. 2023-WTRA-00178
Robert S. & Grace Y. Wall
[Applicants & Owners]

6508 Knotts Island Road
GPINs 2337-90-3613, 2337-90-7897
City Council District: District 2

Waterway – Back Bay
Subdivision – Knotts Island

Request: To construct a rip rap sill, breakwater, and rip rap revetments involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Robert S. Wall

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.

N/A

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

N/A

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc. and Stone Green Consulting

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

Robert S. Wall

AF0DAB00D29A4BF...

Applicant Signature

Robert Scott Wall, Owner

Print Name and Title

6/4/2023

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 23-1780

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)		Regional Permit 17 (RP-17) <input type="checkbox"/>	
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Capps Creek</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Robert Scott Wall, Owner Home () _____
245 Bay Colony Drive Work () _____
Virginia Beach, VA 23451-2525 Fax () _____
Cell (757) 912-1769
e-mail fgwall17@gmail.com _____
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Waterfront Consulting, Inc. Home () _____
2589 Quality Court, Ste. 323 Work (757) 425-8244
Virginia Beach, VA 23454 Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net _____
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project involves the construction of a 337 linear foot riprap sill along Capps Creek, a 124 linear foot timber breakwater along an existing canal to Capps Creek, a 5'x104' timber open-pile pier with a 16'x16' T-head, and 120 linear feet of riprap placed along a drainage ditch that flows into Capps Creek.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 6508 Knotts Island Road

Lot/Block/Parcel# Lots C-1 7.9406 AC and Lot E 3.9704 AC

Subdivision Knotts Island

City / County Virginia Beach ZIP Code 23457

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.552338° / - 75.922452° (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is to halt erosion along Capps Creek and the drainage ditch that flows into it.

The secondary purpose of the project is to restore a pier to the property to allow recreational access to Capps Creek.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- The proposed 337' riprap sill is low profile and prevents continued erosion of the upland, trap sand and provide area for vegetated wetlands on the landward side.
- The timber groin wall is to prevent the drainage canal from closing in due to phragmites encroachment.
- The riprap in the drainage canal is to keep the drainage open from phragmites encroachment.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___ Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ T.B.D. _____
Approximate cost of that portion of the project that is channelward of mean low water:
\$ T.B.D. _____
13. Completion date of the proposed work: Approximately 2 years from permit date - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Richard H. Powell	PO Box 3552	Norfolk, VA 23514
Timothy J. English	6470 Knotts Island Road	Virginia Beach, VA 23457
William L. Hudkins	6488 Knotts Island Road	Virginia Beach, VA 23457
Dennis M. Johnson	6496 Knotts Island Road	Virginia Beach, VA 23457
George W. Gardner	6520 Knotts Island Road	Virginia Beach, VA 23457

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Robert Scott Wall, Owner

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:

Robert S. Wall

Applicant's Signature

(Use if more than one applicant)

6/4/2023

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Robert Scott Wall, Owner, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent’s Signature)

(Use if more than one agent)

5/31/2023

(Date)

DocuSigned by:
Robert S. Wall

(Applicant’s Signature)

(Use if more than one applicant)

6/4/2023

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Robert Scott Wall, Owner, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

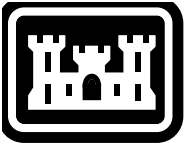
Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date



REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat ≤ 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier ≤ 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
>25 piles
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Robert E. Simon, Agent

Proposed work to be located at:
6508 Knotts Island Road

Signature of Property Owner(s) or Agent

Date 6/1/2023

Virginia Beach, VA 23457

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

The project involves the construction of a 5'x104' timber open-pile pier with a 16'x16' T-head.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 118 feet.

Channelward of Mean High Water? 112 feet.

Channelward of Mean Low Water? 100 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 60 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 675 square feet.

What is the total size of any and all L- or T-head platforms? 256 sq. ft.

For boathouses, what is the overall size of the roof structure? n/a sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project involves the construction of the following:

A 337 linear foot riprap sill along Capps Creek impacting approximately 2,020 SF of NVW. This impact is self mitigating.

A 124 linear foot timber breakwater along an existing canal to Capps Creek, impacting 50 SF of VW (Phragmites) and 12 SF of NVW.

Approximately 120 linear feet of riprap revetment placed along a drainage ditch that flows into Capps Creek. This portion will impact approximately 240 of VW (Phragmites) and 120 SF of NVW.

2. What is the maximum encroachment channelward of mean high water? 39 feet.
Channelward of mean low water? 12 feet.
Channelward of the back edge of the dune or beach? feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 290 square feet
- Non-vegetated wetlands 2,152 square feet
- Subaqueous bottom 24 square feet
- Dune and/or beach n/a square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

- Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The proposed riprap and riprap sill will be constructed out of a mix of VDOT Class One and A1 quarry stone over 2 layers of heavy duty filter fabric.

The proposed groin wall will be constructed of CCA treated timbers and piles with H.D. galvanized hardware.

- If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 75-125 pounds per stone Class size a1 & 1
 Armor (outer layer) material 75-125 pounds per stone Class size a1 & 1

- For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 6508 Knotts Island Road

APPLICANT'S NAME: Robert Scott Wall, Owner

APPLICANT'S ADDRESS: 245 Bay Colony Drive

Virginia Beach, VA 23451-2525

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: Riprap sill, timber groin wall, riprap revetment

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

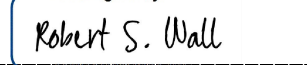
8-8-23

DATE

Sean E. Green, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

Designated by:



6/4/2023

SIGNATURE OF APPLICANT

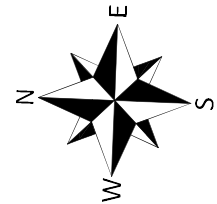
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

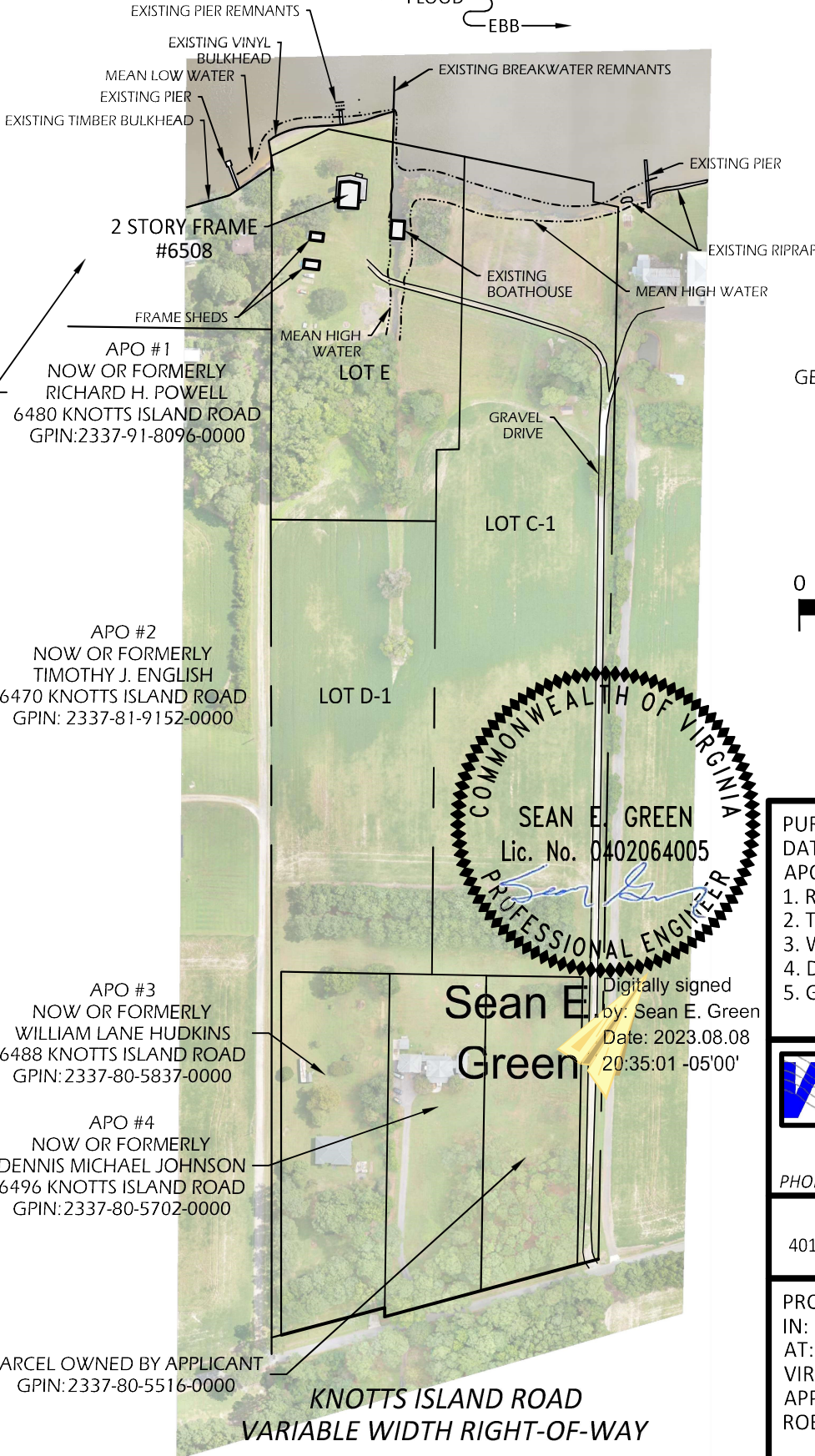
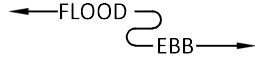
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



INST. 20180518000408060

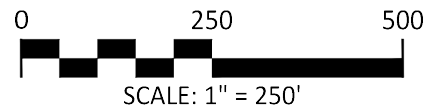
CAPPS CREEK



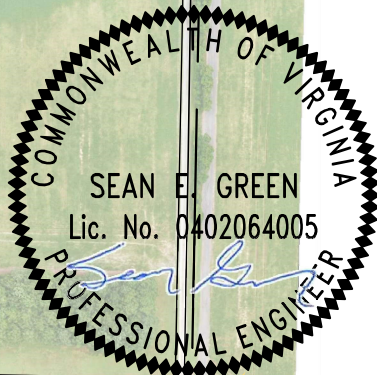
APO #1
NOW OR FORMERLY
RICHARD H. POWELL
6480 KNOTT'S ISLAND ROAD
GPIN: 2337-91-8096-0000

APO #5
NOW OR FORMERLY
GEORGE WESLEY GARDNER TRUST
6520 KNOTT'S ISLAND ROAD
GPIN: 2337-90-1383-0000

APO #2
NOW OR FORMERLY
TIMOTHY J. ENGLISH
6470 KNOTT'S ISLAND ROAD
GPIN: 2337-81-9152-0000



EXISTING CONDITIONS



Sean E. Green
Digitally signed by: Sean E. Green
Date: 2023.08.08 20:35:01 -05'00'

PURPOSE: EROSION CONTROL, ACCESS
DATUM: NAVD 88
APOS:
1. RICHARD H. POWELL
2. TIMOTHY J. ENGLISH
3. WILLIAM LANE HUDKINS
4. DENNIS MICHAEL JOHNSON
5. GEORGE WESLEY GARDNER TRUST

APO #3
NOW OR FORMERLY
WILLIAM LANE HUDKINS
6488 KNOTT'S ISLAND ROAD
GPIN: 2337-80-5837-0000



2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

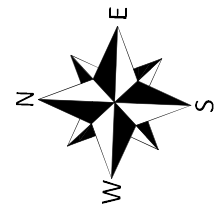
APO #4
NOW OR FORMERLY
DENNIS MICHAEL JOHNSON
6496 KNOTT'S ISLAND ROAD
GPIN: 2337-80-5702-0000

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
4014 MEDINA ROAD #1015, AKRON, OH 44333
(330) 883-2117

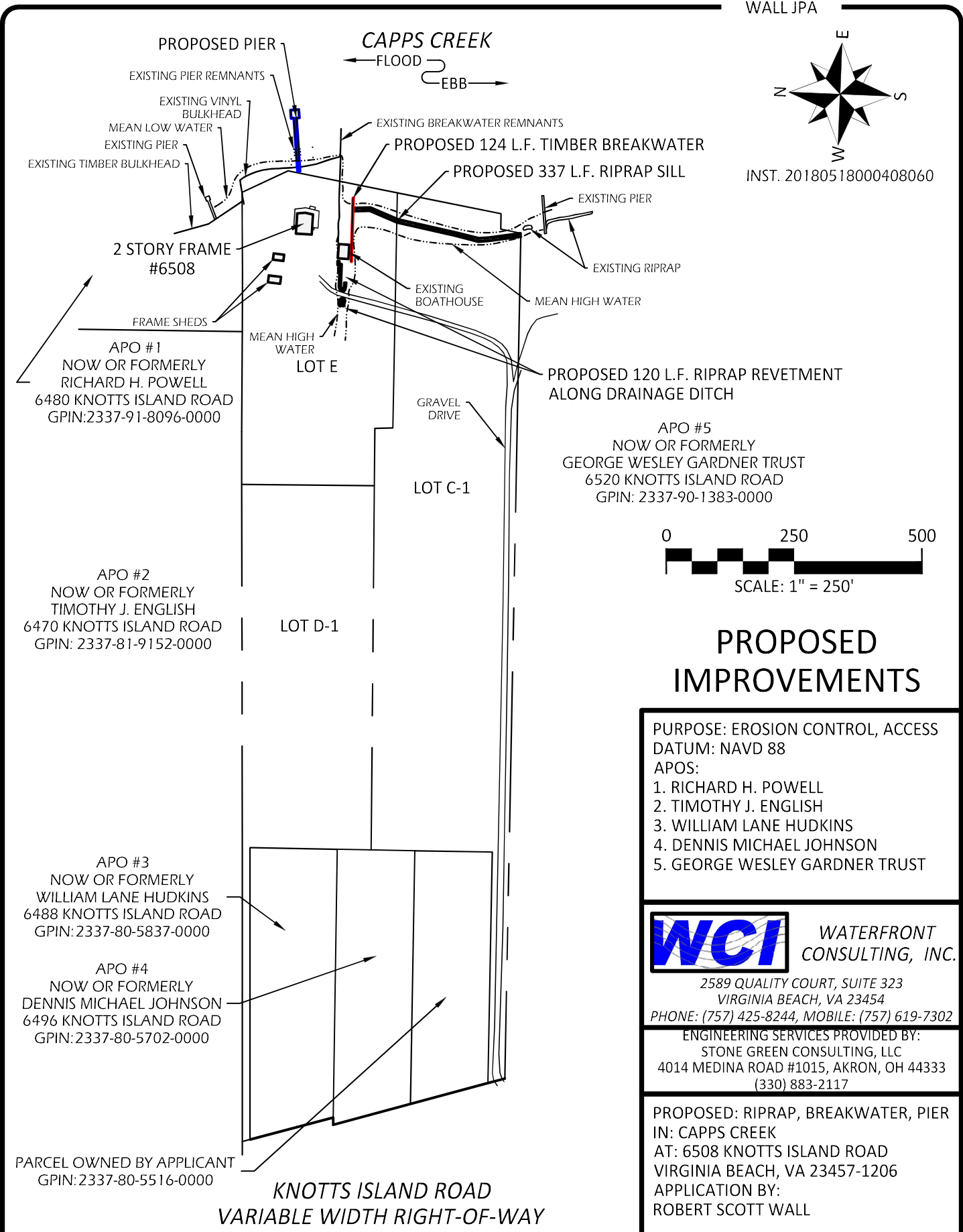
PARCEL OWNED BY APPLICANT
GPIN: 2337-80-5516-0000

PROPOSED: RIPRAP, BREAKWATER, PIER
IN: CAPPS CREEK
AT: 6508 KNOTT'S ISLAND ROAD
VIRGINIA BEACH, VA 23457-1206
APPLICATION BY:
ROBERT SCOTT WALL

SHEET: 1 OF 14
DATE: AUGUST 1, 2023



INST. 20180518000408060



APO #1
 NOW OR FORMERLY
 RICHARD H. POWELL
 6480 KNOTTS ISLAND ROAD
 GPIN: 2337-91-8096-0000

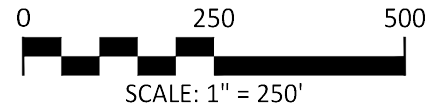
APO #2
 NOW OR FORMERLY
 TIMOTHY J. ENGLISH
 6470 KNOTTS ISLAND ROAD
 GPIN: 2337-81-9152-0000

APO #3
 NOW OR FORMERLY
 WILLIAM LANE HUDKINS
 6488 KNOTTS ISLAND ROAD
 GPIN: 2337-80-5837-0000

APO #4
 NOW OR FORMERLY
 DENNIS MICHAEL JOHNSON
 6496 KNOTTS ISLAND ROAD
 GPIN: 2337-80-5702-0000

PARCEL OWNED BY APPLICANT
 GPIN: 2337-80-5516-0000

APO #5
 NOW OR FORMERLY
 GEORGE WESLEY GARDNER TRUST
 6520 KNOTTS ISLAND ROAD
 GPIN: 2337-90-1383-0000



PROPOSED IMPROVEMENTS

PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
 1. RICHARD H. POWELL
 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
 4. DENNIS MICHAEL JOHNSON
 5. GEORGE WESLEY GARDNER TRUST

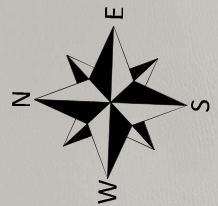
WCI WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

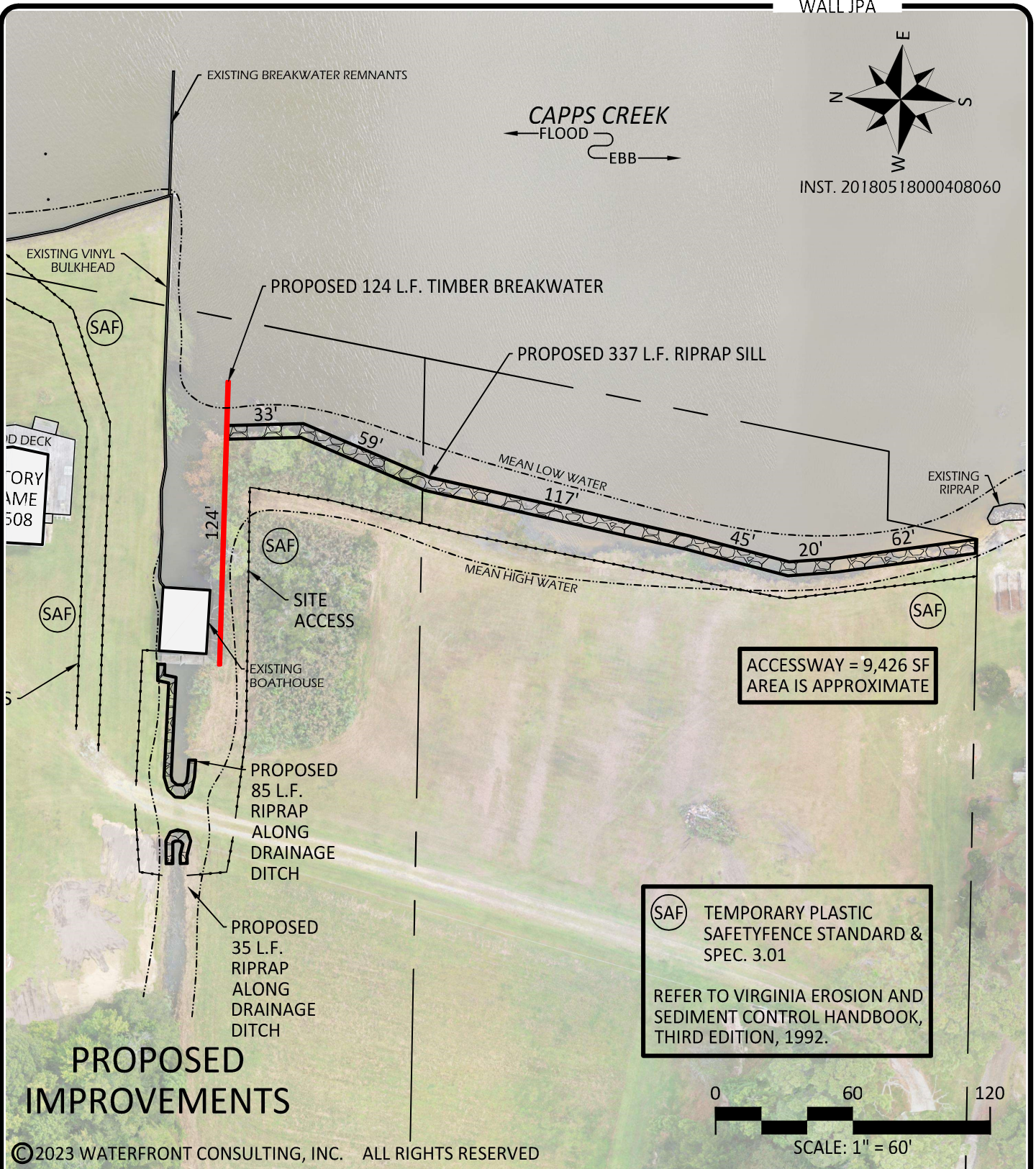
ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 2 OF 14
 DATE: AUGUST 1, 2023

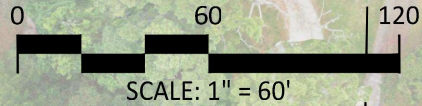


CAPPS CREEK
← FLOOD
→ EBB



ACCESSWAY = 9,426 SF
AREA IS APPROXIMATE

(SAF) TEMPORARY PLASTIC SAFETY FENCE STANDARD & SPEC. 3.01
REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992.



PROPOSED IMPROVEMENTS

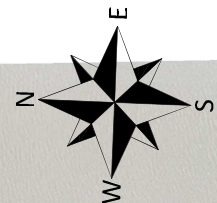
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PURPOSE: EROSION CONTROL, ACCESS
DATUM: NAVD 88
APOS:
1. RICHARD H. POWELL
2. TIMOTHY J. ENGLISH
3. WILLIAM LANE HUDKINS
4. DENNIS MICHAEL JOHNSON
5. GEORGE WESLEY GARDNER TRUST

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
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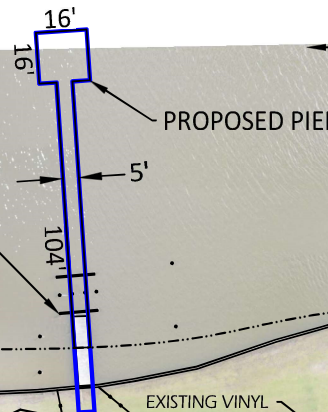
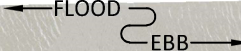
PROPOSED: RIPRAP, BREAKWATER, PIER
IN: CAPPS CREEK
AT: 6508 KNOTTS ISLAND ROAD
VIRGINIA BEACH, VA 23457-1206
APPLICATION BY:
ROBERT SCOTT WALL

SHEET: 3 OF 14
DATE: AUGUST 1, 2023



INST. 20180518000408060

CAPPS CREEK



EXISTING PIER REMNANTS TO BE REMOVED

EXISTING VINYL BULKHEAD

EXISTING VINYL BULKHEAD

EXISTING BREAKWATER REMNANTS

PROPOSED 124 L.F. TIMBER BREAKWATER

PROPOSED 33' L.F. RIPRAP

ACCESSWAY = 9,426 SF AREA IS APPROXIMATE

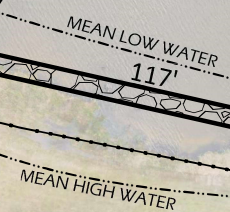


SAF TEMPORARY PLASTIC SAFETY FENCE STANDARD & SPEC. 3.01
REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992.

124'

PROPOSED 85 L.F. RIPRAP ALONG DRAINAGE DITCH

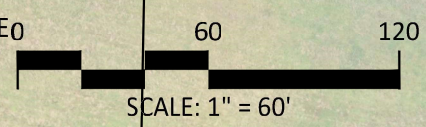
PROPOSED 35 L.F. RIPRAP ALONG DRAINAGE DITCH



SITE ACCESS

EXISTING BOATHOUSE

PROPOSED IMPROVEMENTS



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- PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
1. RICHARD H. POWELL
 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
 4. DENNIS MICHAEL JOHNSON
 5. GEORGE WESLEY GARDNER TRUST



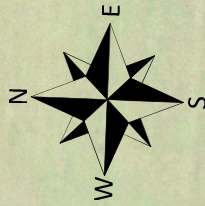
WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
4014 MEDINA ROAD #1015, AKRON, OH 44333
(330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 4 OF 14
DATE: AUGUST 1, 2023



INST. 20180518000408060

(SAF)

EXISTING BOATHOUSE

PROPOSED 124 L.F. TIMBER BREAKWATER

(SAF)

SITE ACCESS

PROPOSED 85 L.F. RIPRAP ALONG DRAINAGE DITCH

ACCESSWAY = 9,426 SF AREA IS APPROXIMATE

SITE ACCESS

(SAF)

GRAVEL AND TURF DRIVE

APPROXIMATELY 170 S.F. AREA TO BE RAISED 1' WITH GRAVEL FILL TO ALLOW FOR VEHICLE ACCESS AT TIDAL EVENTS. SEE SHEET 8 FOR DETAILS.

PROPOSED 35 L.F. RIPRAP ALONG DRAINAGE DITCH

MEAN HIGH WATER

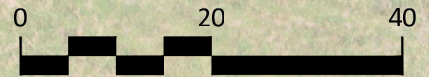
MEAN HIGH WATER

(SAF)

TEMPORARY PLASTIC SAFETYFENCE STANDARD & SPEC. 3.01

REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992.

PROPOSED IMPROVEMENTS



SCALE: 1" = 20'

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PURPOSE: EROSION CONTROL, ACCESS
DATUM: NAVD 88
APOS:

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5. GEORGE WESLEY GARDNER TRUST



WATERFRONT CONSULTING, INC.

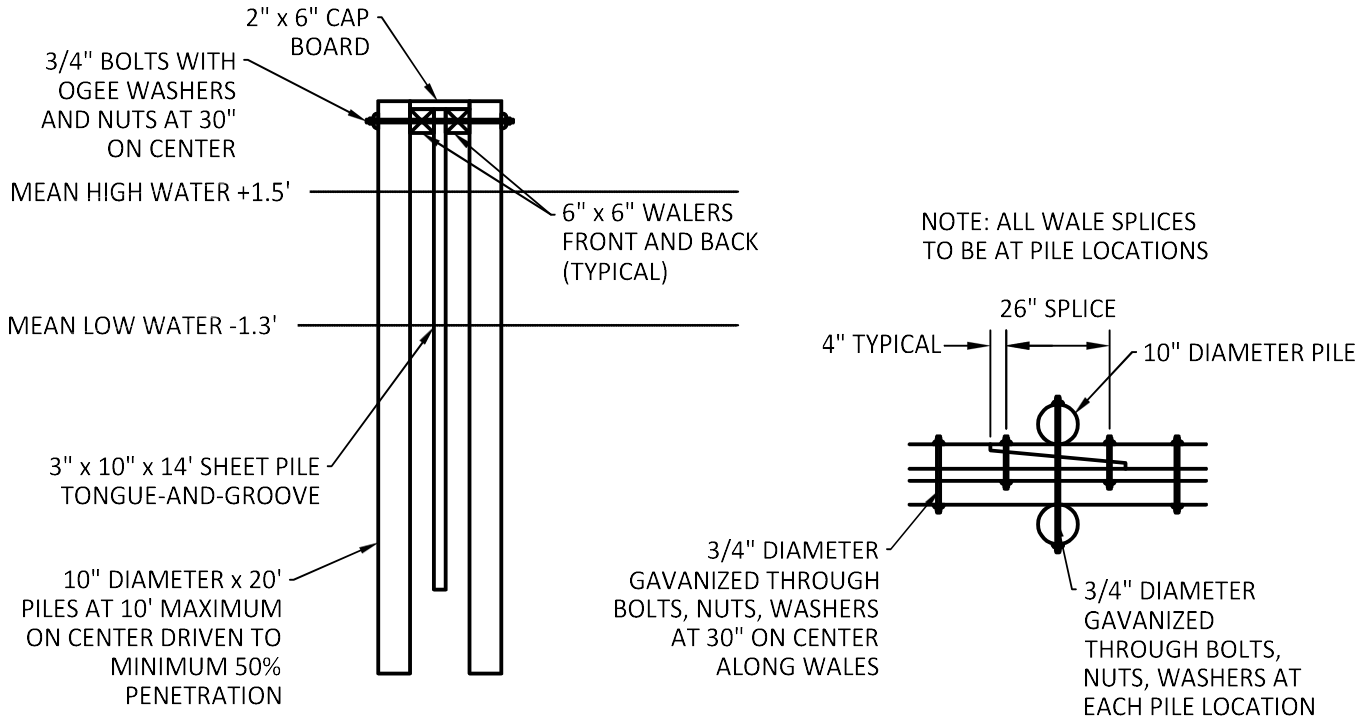
2589 QUALITY COURT, SUITE 323
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PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
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(330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
IN: CAPPS CREEK
AT: 6508 KNOTTS ISLAND ROAD
VIRGINIA BEACH, VA 23457-1206
APPLICATION BY:
ROBERT SCOTT WALL

SHEET: 5 OF 14
DATE: AUGUST 1, 2023

PROPOSED BREAKWATER CROSS SECTION

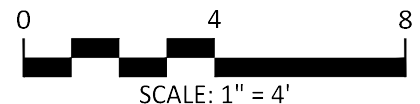


NOTE: ALL WALE SPLICES TO BE AT PILE LOCATIONS

NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BREAKWATER SHALL BE PLACED AT ALIGNMENT SHOWN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
 1. RICHARD H. POWELL
 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
 4. DENNIS MICHAEL JOHNSON
 5. GEORGE WESLEY GARDNER TRUST



**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

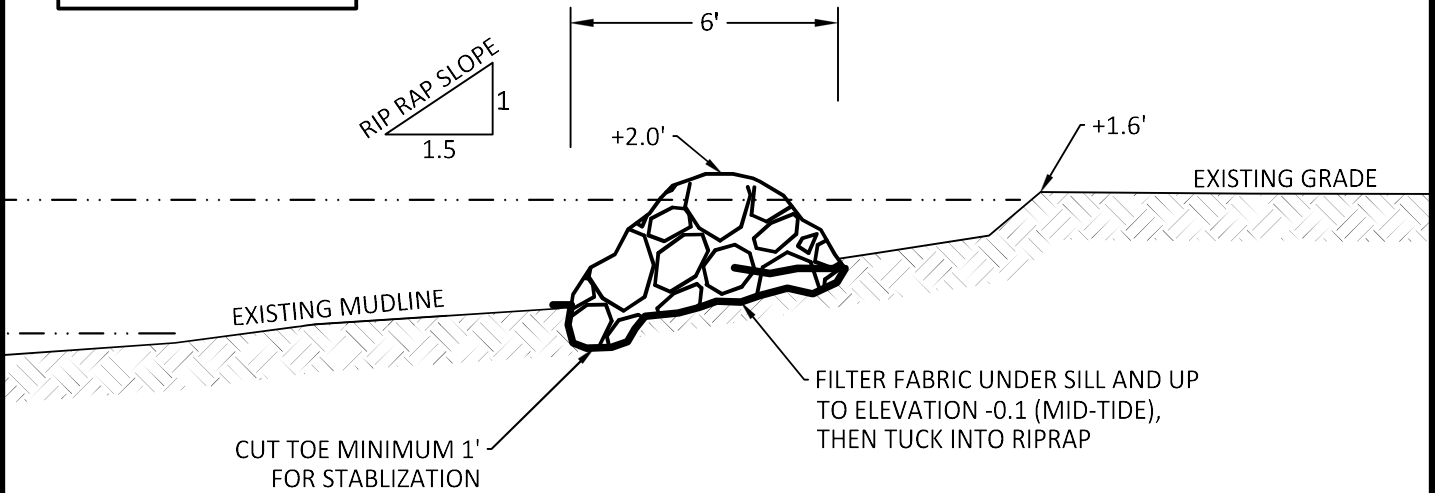
ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 6 OF 14
 DATE: AUGUST 1, 2023

PROPOSED RIPRAP SILL CROSS SECTION

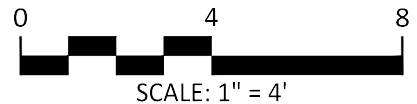
RIPRAP TO BE WELL MIXED VDOT CLASS ONE AND A1 QUARRY STONE



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
 1. RICHARD H. POWELL
 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
 4. DENNIS MICHAEL JOHNSON
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**WATERFRONT
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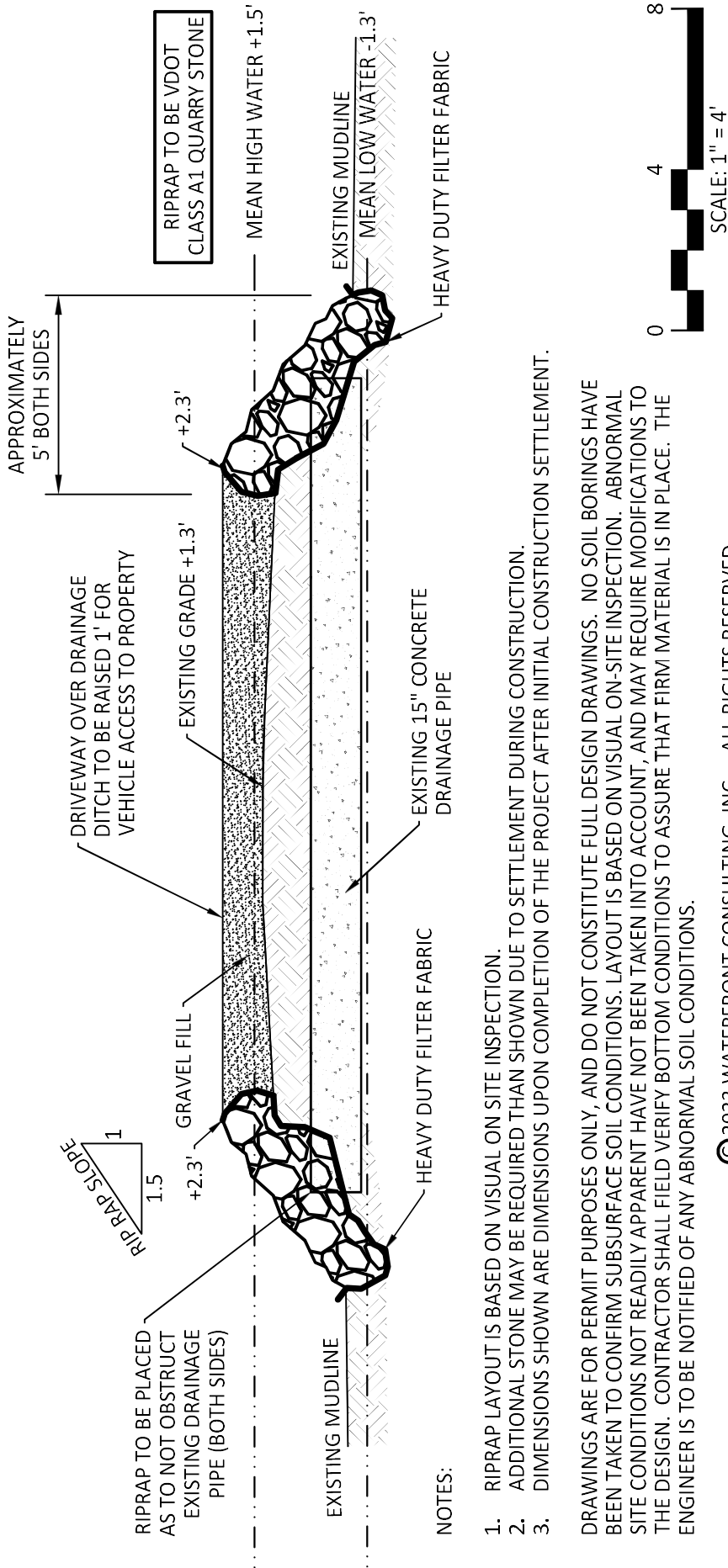
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 7 OF 14
 DATE: AUGUST 1, 2023

PROPOSED RIPRAP ALONG DRIVEWAY CROSS SECTION



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
 1. RICHARD H. POWELL
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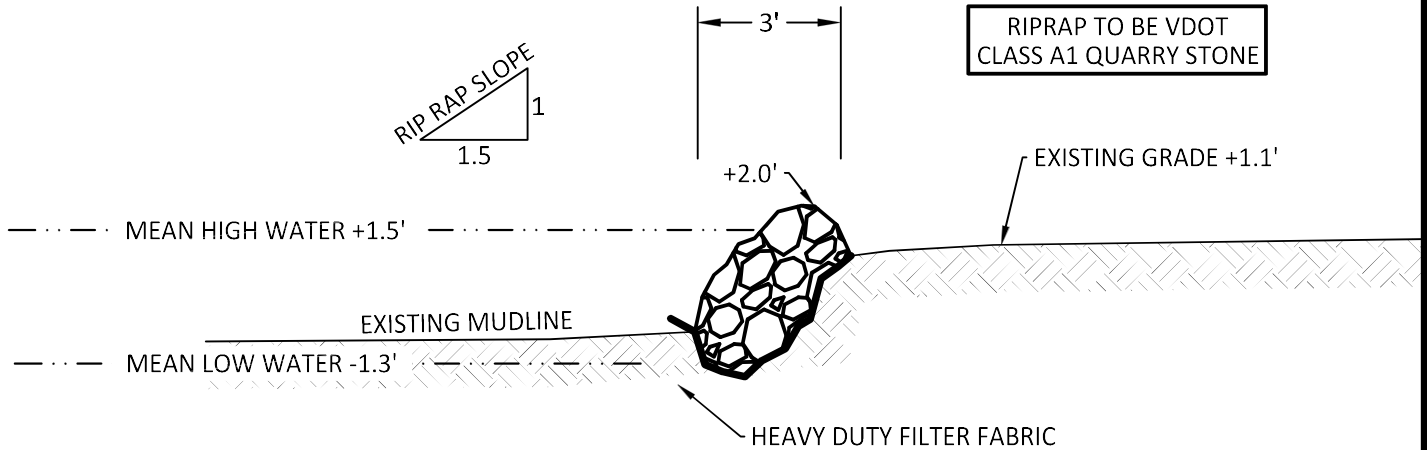


**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
 ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL
 SHEET: 8 OF 14
 DATE: AUGUST 1, 2023

PROPOSED RIPRAP ALONG DRAINAGE DITCH CROSS SECTION



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

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**WATERFRONT
CONSULTING, INC.**

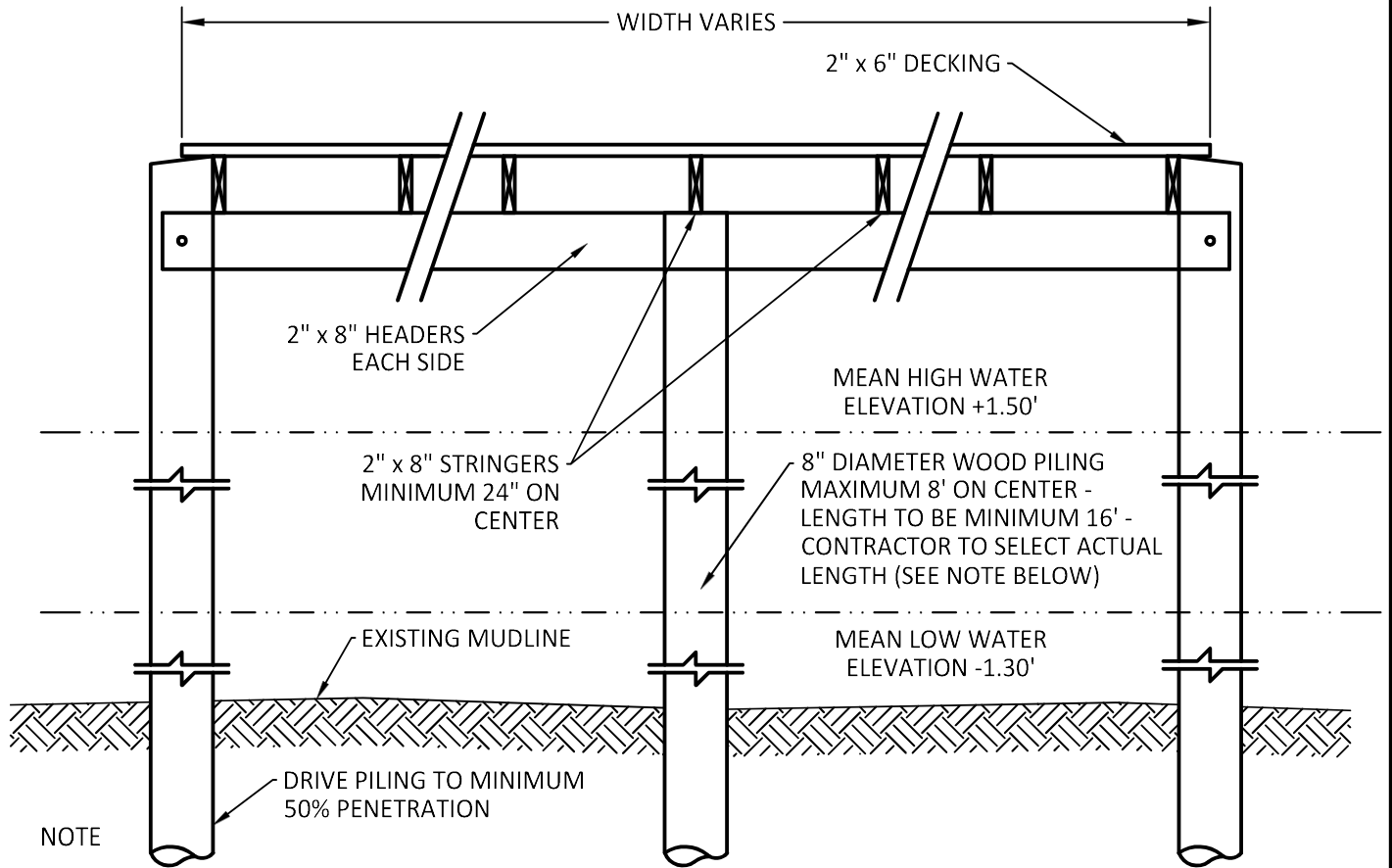
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

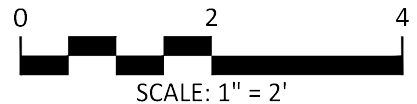
SHEET: 9 OF 14
 DATE: AUGUST 1, 2023

PROPOSED PIER CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
 APOS:
 1. RICHARD H. POWELL
 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
 4. DENNIS MICHAEL JOHNSON
 5. GEORGE WESLEY GARDNER TRUST



**WATERFRONT
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 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 10 OF 14
 DATE: AUGUST 1, 2023

NLAA COMPLIANCE

ITEM	8" PILE	10" PILE	12" PILE		
PIER	34				

ALL NOTED PILES ARE CHANNELWARD OF MEAN HIGH WATER AND ARE TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

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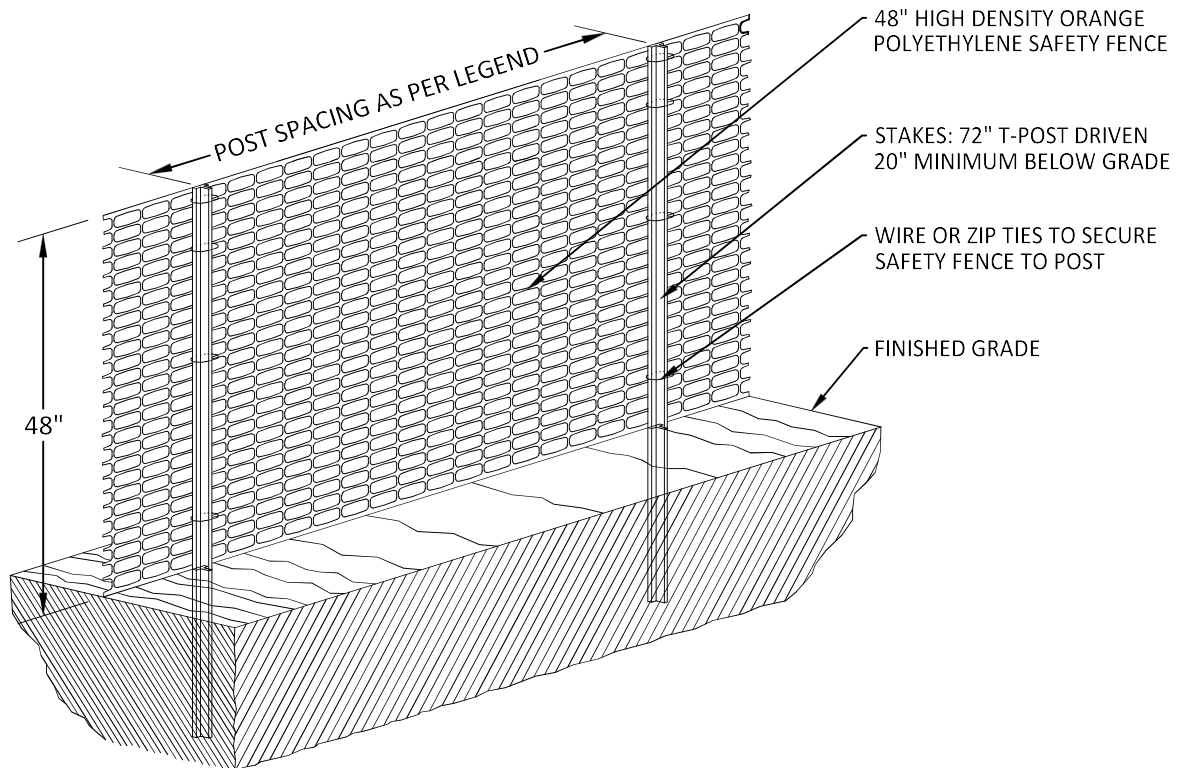
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PROPOSED: RIPRAP, BREAKWATER, PIER
 IN: CAPPS CREEK
 AT: 6508 KNOTTS ISLAND ROAD
 VIRGINIA BEACH, VA 23457-1206
 APPLICATION BY:
 ROBERT SCOTT WALL

SHEET: 11 OF 14
 DATE: AUGUST 1, 2023

48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: NAVD 88
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 2. TIMOTHY J. ENGLISH
 3. WILLIAM LANE HUDKINS
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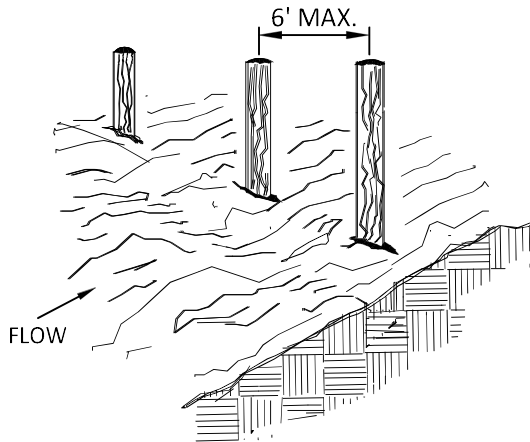
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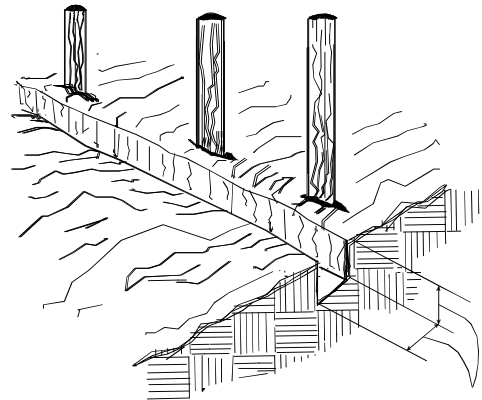
SHEET: 12 OF 14
 DATE: AUGUST 1, 2023

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

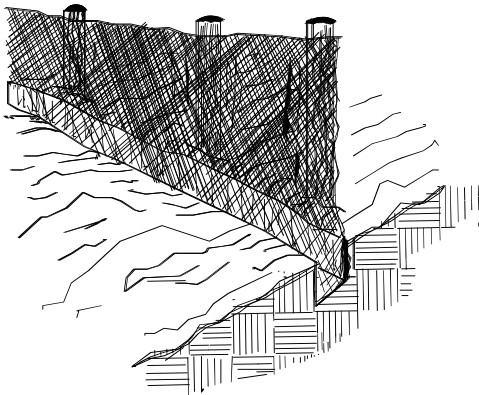
1. SET THE STAKES



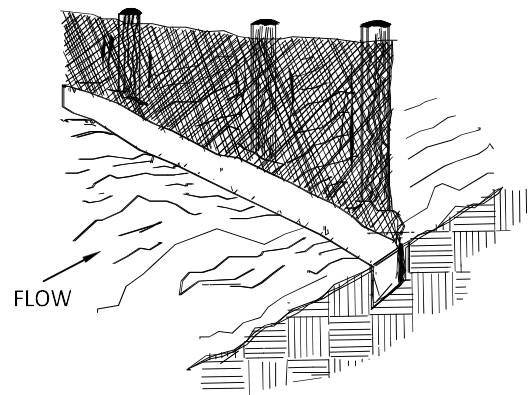
2. EXCAVATE A 4" x 4" TRENCH
UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL
TO STAKES AND EXTEND IT
INTO THE TRENCH



4. BACKFILL AND COMPACT
THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2

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PURPOSE: EROSION CONTROL, ACCESS
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PROPOSED: RIPRAP, BREAKWATER, PIER
IN: CAPPS CREEK
AT: 6508 KNOTTS ISLAND ROAD
VIRGINIA BEACH, VA 23457-1206
APPLICATION BY:
ROBERT SCOTT WALL

SHEET: 13 OF 14
DATE: AUGUST 1, 2023

SITE INFORMATION

LEGAL DESCRIPTION: KNOTTS ISLAND LOTS C-1 AND E

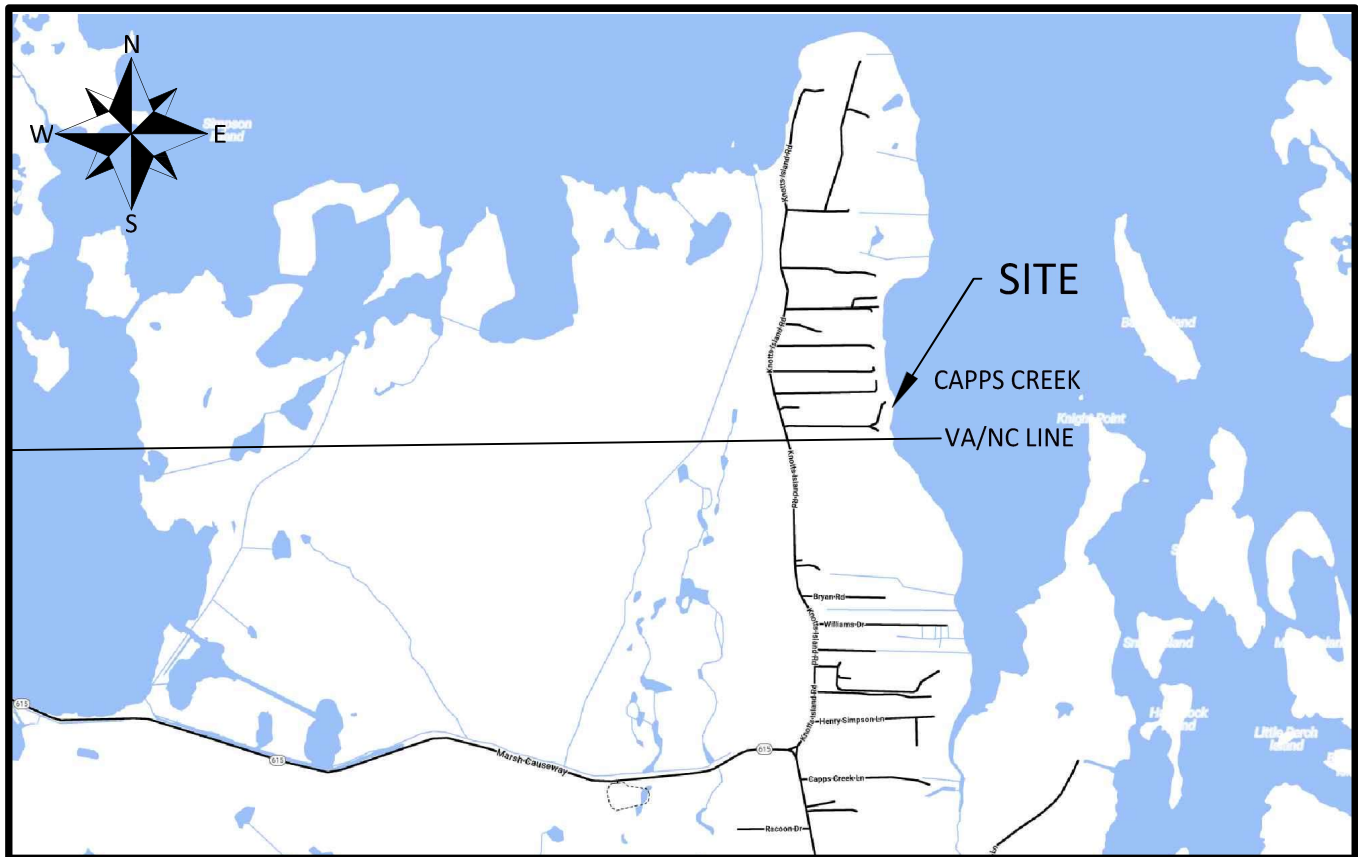
REFERENCE: INSTRUMENT 20180518000408060, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA

GPIN: 2337-90-3613-0000, 2337-90-7897-0000

ZONING: AG1

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.

**VICINITY MAP**

SCALE: 1" = 3,000'

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PURPOSE: EROSION CONTROL, ACCESS

DATUM: NAVD 88

APOS:

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(330) 883-2117

PROPOSED: RIPRAP, BREAKWATER, PIER

IN: CAPPS CREEK

AT: 6508 KNOTTS ISLAND ROAD

VIRGINIA BEACH, VA 23457-1206

APPLICATION BY:

ROBERT SCOTT WALL

SHEET: 14 OF 14

DATE: AUGUST 1, 2023

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: _____ DSC Plan #: _____

Location: 6508 Knotts Island Road GPIN: 2337-90-3613 & 2337-90-7897

Watershed: Albemarle HUC: 03010205

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner: DocuSigned by:
Robert S. Wall
34A3A7B22CA2447... Print Name: Robert S. Wall

Signature of Permittee: _____ Print Name: _____

Date: _____



WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Richard H. Powell
PO Box 3552
Norfolk, VA 23514

**RE: Proposed Riprap sill, timber groin wall, riprap revetment
Located 6508 Knotts Island Road**

Dear Richard H. Powell

This letter is to notify you that your neighbor(s), Robert Scott Wall, Owner have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Robert Scott Wall, Owner , Applicant

Office: (757) 425-8244 Mobile: (757) 619-7302 bob@waterfrontconsulting.net
2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 22, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Richard H. Powell, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert Scott Wall, Owner.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Timothy J. English
6470 Knotts Island Road
Virginia Beach, VA 23457

**RE: Proposed Riprap sill, timber groin wall, riprap revetment
Located 6508 Knotts Island Road**

Dear Timothy J. English

This letter is to notify you that your neighbor(s), Robert Scott Wall, Owner have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

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Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Robert Scott Wall, Owner , Applicant

Office: (757) 425-8244 Mobile: (757) 619-7302 bob@waterfrontconsulting.net
2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 22, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Timothy J. English _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert Scott Wall, Owner _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

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WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

William L. Hudkins
6488 Knotts Island Road
Virginia Beach, VA 23457

**RE: Proposed Riprap sill, timber groin wall, riprap revetment
Located 6508 Knotts Island Road**

Dear William L. Hudkins

This letter is to notify you that your neighbor(s), Robert Scott Wall, Owner have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

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Robert E. Simon

Robert E. Simon, Vice President

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ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 22, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), William L. Hudkins, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert Scott Wall, Owner.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

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I DO NOT OBJECT TO THE PROJECT.

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Adjacent/nearby property owner's signature(s)

Date

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WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

Dennis M. Johnson
6496 Knotts Island Road
Virginia Beach, VA 23457

**RE: Proposed Riprap sill, timber groin wall, riprap revetment
Located 6508 Knotts Island Road**

Dear Dennis M. Johnson

This letter is to notify you that your neighbor(s), Robert Scott Wall, Owner have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

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Robert E. Simon, Vice President

CC: Robert Scott Wall, Owner , Applicant

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ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 22, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Dennis M. Johnson, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert Scott Wall, Owner.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

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Adjacent/nearby property owner's signature(s)

Date

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"Specializing in Permit Processing"

George W. Gardner
6520 Knotts Island Road
Virginia Beach, VA 23457

**RE: Proposed Riprap sill, timber groin wall, riprap revetment
Located 6508 Knotts Island Road**

Dear George W. Gardner

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ADDITIONAL INFORMATION/REVISIONS Received by VMRC August 22, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), George W. Gardner _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert Scott Wall, Owner _____.
(Print applicant's name(s))

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(Date)

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