

# Wetlands Board Agenda

December 18, 2023



# VIRGINIA BEACH WETLANDS BOARD

## PUBLIC HEARING PROCEDURES & AGENDA

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, December 18, 2023** at 10:00 a.m. in the New Council Chamber - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA.

An informal session will be held the same day at 9:00 a.m. in room 2034, City Manager's Conference Room - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA. During the informal session, Staff briefs the Board on agenda items. All interested persons are invited to attend. There is no opportunity for citizenry to speak at the briefing session; however, the public is invited to speak at the formal Wetlands Board Public Hearing that follows. For information or to examine copies of proposed plans, ordinances or amendments call (757) 385-4621 or go to [virginiabeach.gov/wetlands](http://virginiabeach.gov/wetlands) or visit the Department of Planning and Community Development, 2875 Sabre Street, Suite 500, Virginia Beach, Virginia by appointment. Citizens may also submit comments to the Wetlands Board prior to the public hearing via email to [waterfront@vb.gov](mailto:waterfront@vb.gov) or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

The Staff reviews some or all the items on the agenda and suggests that certain conditions be attached for deliberation by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City Ordinances. The administrative comments contained in the attached Staff reports constitutes Staff recommendations for each application and are advisory only. Final determination of the application is made by the Virginia Beach Wetlands Board at the public hearing.

### THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

*(If you have any questions, please contact Staff via email at [waterfront@vb.gov](mailto:waterfront@vb.gov) or call The Department of Planning & Community Development at 757-385-4621)*

- 1. WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.
  - a.** An applicant may WITHDRAW an application without the Boards' approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
  - b.** In the case of DEFERRALS, the Board's policy is to defer the item FOR AT LEAST 60 DAYS. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. PLEASE confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.

- 2. REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:
- a.** The applicant or applicant's representative will have 10 minutes to present the case.
  - b.** Next, those who wish to speak in support to the application will have 3 minutes to present their case.
  - c.** If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
  - d.** All other speakers not represented by the spokesperson in opposition will have 3 minutes.
  - e.** The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
  - f.** There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available, and the time will be limited to 3 minutes.
  - g.** The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.

The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

If you require reasonable accommodation for this meeting due to a disability, please call the Department of Planning and Community Development at (757) 385-4621. If hearing impaired, you may contact Virginia Relay at 711 for TDD services.



# WETLANDS BOARD AGENDA

Public Hearing Date **December 18, 2023**

**9:00 AM** INFORMAL STAFF BRIEFING OF PUBLIC HEARING AGENDA ITEMS.

**10:00 AM** FORMAL REVIEW OF PUBLIC HEARING AGENDA ITEMS.

Please be advised that copies of the proposed plans, ordinances, amendments and/or resolutions associated with this public hearing are also on file and may be examined by appointment at the Department of Planning & Community Development located at 2875 Sabre St, Suite 500, Virginia Beach, VA 23452 or online at [virginiabeach.gov/wetlands](http://virginiabeach.gov/wetlands). For information call (757) 385-4621.

## ADMINISTRATIVE BUSINESS AGENDA ITEMS

### 1. ELECTION OF 2024 WETLANDS BOARD OFFICERS

#### NEW BUSINESS - WETLANDS

#### 2. 2023-WTRA-00226

**Steven & Camilla Breault**

[Applicants & Owners]

**832 Quail Pointe Cove**

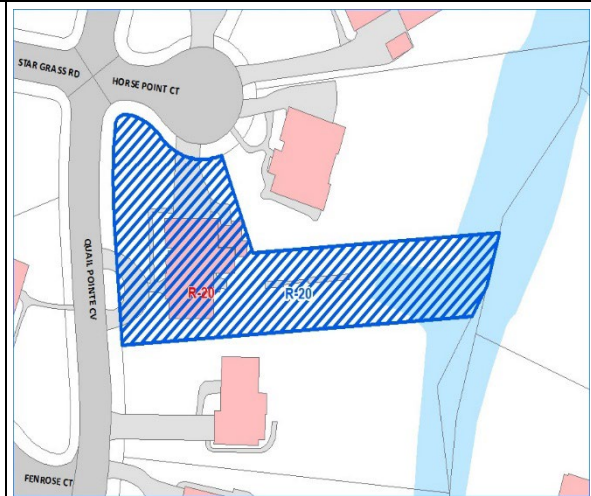
GPIN 2408-82-8573

City Council District: District 6

Waterway – Canal to Linkhorn Bay

Subdivision – Quail Pointe Cove

**Request:** To construct a return wall, rip rap revetment, and plant vegetation involving wetlands.



#### 3. 2023-WTRA-00229

**James E. & Maureen A. Cowan**

[Applicants & Owners]

**3181 Adam Keeling Road**

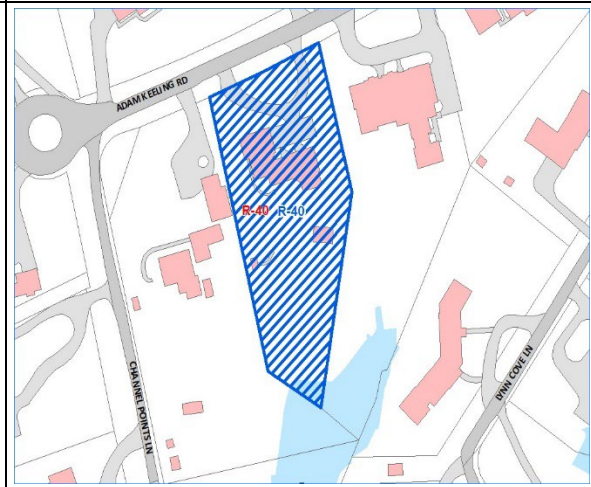
GPIN 1489-95-6772

City Council District: District 8

Waterway – Canal to Lynnhaven Bay

Subdivision – Great Neck Point

**Request:** To construct a cutoff wall and dredge involving wetlands.



**NEW BUSINESS – WETLANDS (CONTINUED)**

**4. 2023-WTRA-00234**

**Merri B. Tyrrel** [Applicant & Owner]

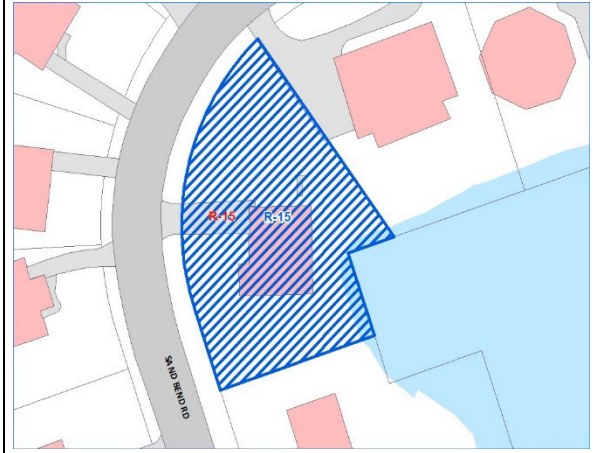
**2912 Sand Bend Road**

GPIN 2433-33-2881

City Council District: District 2

Waterway – Canal to North Bay  
Subdivision – Back Bay Meadows

**Request:** To construct a bulkhead involving wetlands.



**TENTATIVE 2024 WETLANDS BOARD PUBLIC HEARING DATES**

Wednesday **January 17**  
Thursday **February 22**  
Monday **March 18**  
Monday **April 15**  
Monday **May 20**  
Monday **June 17**

Monday **July 15**  
Monday **August 19**  
Monday **September 16**  
Monday **October 21**  
Monday **November 18**  
Monday **December 16**



**2023 Wetlands Board Members**

- Jason Barney, Chairman
- Cindy Hawks White, Vice Chairman
- David Bradley
- Jarrod Katzer
- Ben McFarlane
- Emily Steinhilber
- James Vail
- SunTemple Helgren (Alternate)

**2024 Wetlands Board Election of Officers**

- Chairman
- Vice Chairman

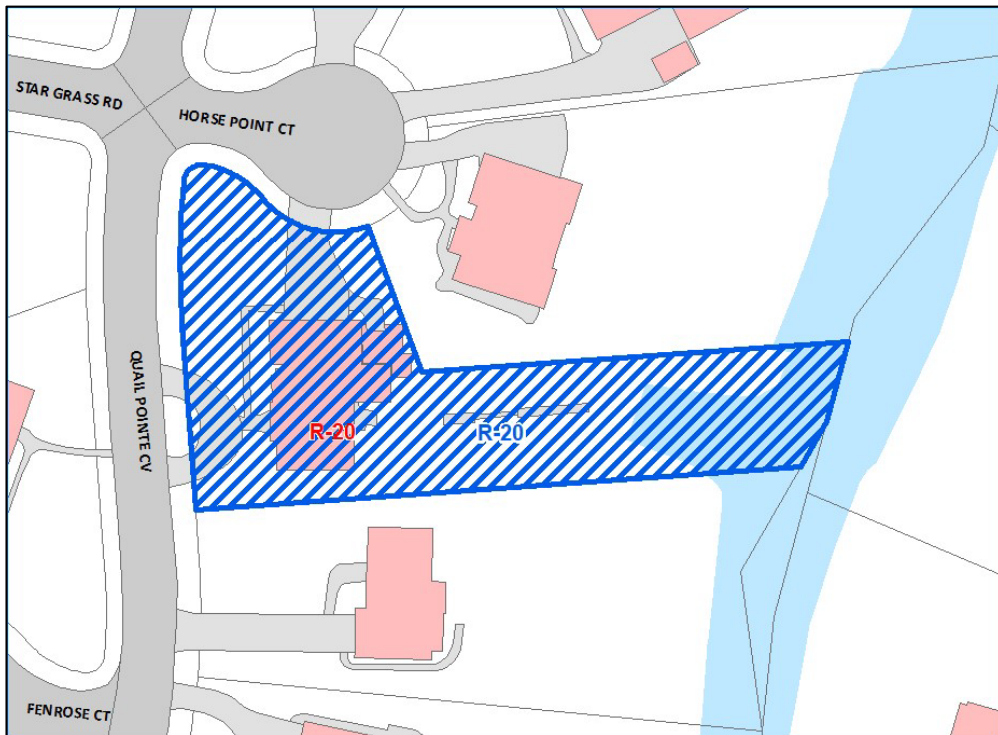
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**2. 2023-WTRA-00226**  
**Steven & Camilla Breault**  
[Applicants & Owners]

832 Quail Pointe Cove  
GPIN 2408-82-8573  
City Council District: District 6

Waterway – Canal to Linkhorn Bay  
Subdivision – Quail Pointe Cove

Request: To construct a return wall, rip rap revetment, and plant vegetation involving wetlands.





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## **Applicant Disclosure**

**Applicant Name** \_\_\_\_\_

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

\_\_\_\_\_

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

\_\_\_\_\_

\_\_\_\_\_

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

\_\_\_\_\_

\_\_\_\_\_

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## **Known Interest by Public Official or Employee**

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**    **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## **Applicant Services Disclosure**

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  **Yes**    **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**    **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

Print Name and Title

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications					
<input type="checkbox"/>	No changes as of	Date		Signature	
				Print Name	

**From:** [Irma](#)  
**To:** [Howell, Beth \(MRC\)](#)  
**Subject:** Breault Residence - 832 Quail Point Cove, Va. Beach  
**Date:** Friday, October 13, 2023 11:22:18 AM  
**Attachments:** [Completed JPA.pdf](#)  
[PLA \[REDACTED\].pdf](#)  
[Completed Disclosure Statement.pdf](#)

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Morning Ms. Howell - Attached is the JPA package for the above referenced property. Please forward to the review agencies. This project will require Wetlands Board approval so I've attached a Disclosure Statement Form as required by the City of Virginia Beach. Thank you for your help.

--

Irma L. Costa  
Office Manager

## **GALLUP SURVEYORS & ENGINEERS**

**Celebrating 80 years in business!**

323 First Colonial Road  
Virginia Beach, VA 23454

Phone: (757) 428-8132  
Fax: (757) 425-2390  
[irma@gallupsurveyors.com](mailto:irma@gallupsurveyors.com)  
[www.gallupsurveyors.com](http://www.gallupsurveyors.com)

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- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # <b>23-2393</b>

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Finger of Linkhorn Bay</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:
- |                                                                                                                         |                                                                                                                                                                  |
|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Dr. Steven Breault & Camilla Breault<br>832 Quail Pointe Cove<br>Virginia Beach, VA 23454<br>steve.breault.md@gmail.com | Home ( ) _____<br>Work ( ) _____<br>Fax ( ) _____<br>Cell (610) 4175432<br>e-mail _____<br>State Corporation Commission Name and ID Number (if applicable) _____ |
|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:
- |  |                                                                                                                                                              |
|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | Home ( ) _____<br>Work ( ) _____<br>Fax ( ) _____<br>Cell ( ) _____<br>e-mail _____<br>State Corporation Commission Name and ID Number (if applicable) _____ |
|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:
- |                                                                                                           |                                                                                                                                                                                         |
|-----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| David R. Butler<br>323 First Colonial Road<br>Virginia Beach, VA 23454<br>Email: DAVE@GALLUPSURVEYORS.COM | Home ( ) _____<br>Work (757) 428-8132<br>Fax (757) 425-2390<br>Cell ( ) _____<br>e-mail dave@gallupsurveyors.c<br>State Corporation Commission Name and ID Number (if applicable) _____ |
|-----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Replace a timber wharf in similar footprint, install rip rap and PWC lift, construct wetlands mitigation area. 56-8" diameter timber piles will be used for the wharf and 4-12" timber piles will be used for the PWC lift. All piles will be driven with a vibratory hammer. Main access will be through the yard and some by barge.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\* x \_\_\_ No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot  
 150 W. Brambleton Avenue  
 Norfolk, VA 23510

Telephone number

(757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) \_\_\_\_\_

Lot/Block/Parcel# \_\_\_\_\_

Subdivision \_\_\_\_\_

City / County \_\_\_\_\_ ZIP Code \_\_\_\_\_

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

\_\_\_\_\_ / - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to halt erosion. Secondary purpose is to provide safe water access.

## Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

No clearing. Minimal construction footprint defined by safety fence.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 99,935  
Approximate cost of that portion of the project that is channelward of mean low water: \$18,000

13. Completion date of the proposed work: August 30 - 2024

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

1. The 1501 Horse Point Court IV Trust  
1501 Horse Point Cove  
Virginia Beach, VA 23454
2. The Linda Spence Widgeon Revocable Trust  
Linda S. and Wilson D. Widgeon, Trustees  
935 Bingham Street  
Virginia Beach, VA 23451
3. Melvin R. and Nancy D. Chandler  
937 Bingham Street  
Virginia Beach, VA 23451
4. Jose S. and Amy S. Perez  
828 Quail Pointe Cove  
Virginia Beach, VA 23454



## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Steven R. Breault, MD

Camilla Breault

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

10/4/23

Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Steven & Camilla Breault, hereby certify that I (we) have authorized David R. Butler (Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

David R. Butler (Agent's Signature)

(Use if more than one agent)

10/2/2023 (Date)

(Applicant's Signature)

Camilla B (Use if more than one applicant)

10/4/23 (Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), have contracted (Applicant's legal name(s)) (Contractor's name(s)) to perform the work described in this Joint Permit Application, signed and dated

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), The 1501 Horse Point Court IV Trust, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Steven & Camilla Breault.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9-03-23  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Linda & Wilson Widgeon, Trustees, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Steven & Camilla Breault.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9-03-23  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), Melvin R. & Nancy C. Chandler, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Steven & Camilla Breault.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 9-03-23  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Jose S. & Amy S. Perez, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Steven & Camilla Breault.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9-03-23  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

### 1. Briefly describe your proposed project.

Replace an old timber wharf structure with a new one in a similar footprint. Install PWC lift.

### 2. For private, noncommercial piers:

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 161.6 feet.

Channelward of Mean High Water? 1.7 feet.

Channelward of Mean Low Water? 1.7 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 147 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 256 square feet.

What is the total size of any and all L- or T-head platforms? n/a sq. ft.

For boathouses, what is the overall size of the roof structure? \_\_\_\_\_ sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

**Part 3 – Appendices (continued)**

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Not yet purchased				

5. **For Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.
- From Mean High Water? \_\_\_\_\_ feet.
  - From Mean Low Water? \_\_\_\_\_ feet.
- Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.
- Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**



## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Class I granite rip rap will be placed landward of a failing timber sheetpile bulkhead. 49 c.y. of stone will be placed below the new low water elevation. 175 s.f. of non veg impacts will occur. 183 s.f. area will be converted to veg. wetlands. 37 s.f. of that area is currently gravel and considered non vegetated wetlands. 147 s.f. of uplands will be converted to veg wetlands. 443 s.f. of inter tidal area rock habitat will be created. Approx length along the toe of the rock is 155.7'. A 183 s.f. vegetated mitigation area consisting of coarse sand backfill and *Spartina Patens* will be created onsite.

2. What is the maximum encroachment channelward of mean high water? 0 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach?        feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 175 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?        Yes        No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: 832 Quail Pointe Cove

APPLICANT'S NAME: Steven Breault & Camilla Breault

APPLICANT'S ADDRESS: 832 Quail Pointe Cove  
Virginia Beach, Va. 23454

OWNER'S NAME  
(IF DIFFERENT FROM APPLICANT): \_\_\_\_\_

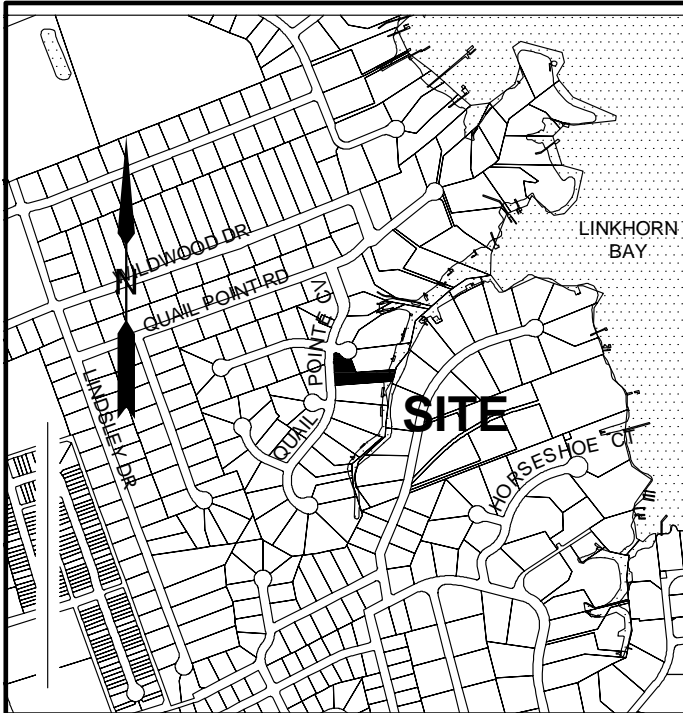
- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

David R. Butler 10/2/2023  
SIGNATURE OF ENGINEER/SURVEYOR DATE  
CERTIFYING CONSTRUCTION

David R. Butler, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

Camilla B 10/4/23  
SIGNATURE OF OWNER DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.



LOCATION MAP

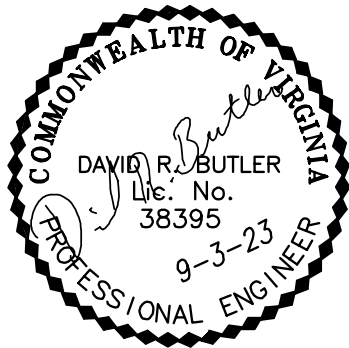
SCALE: 1" = 1000'

SITE DATA

- 1.) SITE ADDRESS: 832 QUAIL POINTE COVE  
VIRGINIA BEACH, VA 23454
- 2.) LEGAL: LOT 39, QUAIL POINT COVE  
QUAIL POINT SECTION FOUR  
M.B. 184 P. 32
- 3.) GPIN: 2408-82-8573
- 4.) VERTICAL DATUM: NAVD 88
- 5.) ZONED: R-20
- 6.) WETLANDS WILL BE IMPACTED
- 7.) THIS PLAN WAS PERFORMED WITHOUT THE  
BENEFIT OF A TITLE REPORT AND MAY NOT  
SHOW ANY AND/OR ALL EASEMENTS OR  
RESTRICTIONS THAT MAY AFFECT SAID  
PROPERTY AS SHOWN.
- 8.) PHYSICAL FEATURES SHOWN OBTAINED FROM A  
SURVEY PROVIDED BY OWNER, PREPARED BY  
HOGGARD-EURE & ASSOCIATES, PC DATED 3-20-23  
AND FROM AERIAL IMAGERY.
- 7.) PHYSICAL FEATURES ACROSS THE CANAL  
OBTAINED FROM AERIAL MAPS.
- 8.) SEE SHEET 19 FOR WETLANDS IMPACTS
- 9.) A 5' DRAINAGE AND UTILITY EASEMENT EXISTS  
ALONG THE SIDE AND REAR PROPERTY LINES

SHEET INDEX

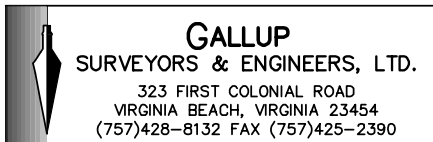
SHEET NO.	DESCRIPTION
1	COVER
2	EXISTING CONDITIONS
3	ADJOINER MAP
4	DEMOLITION PLAN
5	WHARF PLAN
6	RIP RAP PLAN
7-13	WHARF DETAILS
14	BULKHEAD SECTION
15	BOAT LIFT DETAIL
16	RIP RAP SECTION
17	MITIGATION PLAN
18	NOTES
19	WETLANDS MONITORING NOTES



OWNER /DEVELOPER

STEVEN R. BREault, MD  
AND CAMILLA BREault  
832 QUAIL POINT COVE  
VIRGINIA BEACH, VA 23454  
PH. 610-417-5432  
EMAIL: STEVE.BREault.MD@GMAIL.COM

NOTE:  
SOILS IN THE CONSTRUCTION VICINITY INCLUDING ACCESS AREA,  
ARE EXTREMELY WEAK AND SETTLEMENT SHOULD BE ANTICIPATED.

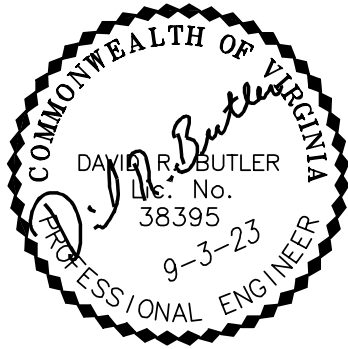


NOTES

MEAN LOW WATER ELEVATION = -1.1 (NAVD 88)  
MEAN HIGH WATER ELEVATION = 0.4 (NAVD 88)  
1.5X JURISDICTIONAL ELEVATION = 1.2(NAVD 88)

**PROJECT: RIP RAP, BOAT LIFT, WHARF, BULKHEAD RETURN**

REVISION SCHEDULE		COVER SHEET	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREault IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 1 OF 19
DATE	COMMENT		
11-2-23	COVB COMMENTS		



LOT 38, SECTION 4  
M.B. 184 P. 32

AP04

LOT 1, & PARCEL 1-A  
M.B. 110 P. 55

AP03

QUAIL POINTE COVE  
M.B. 184 P. 32

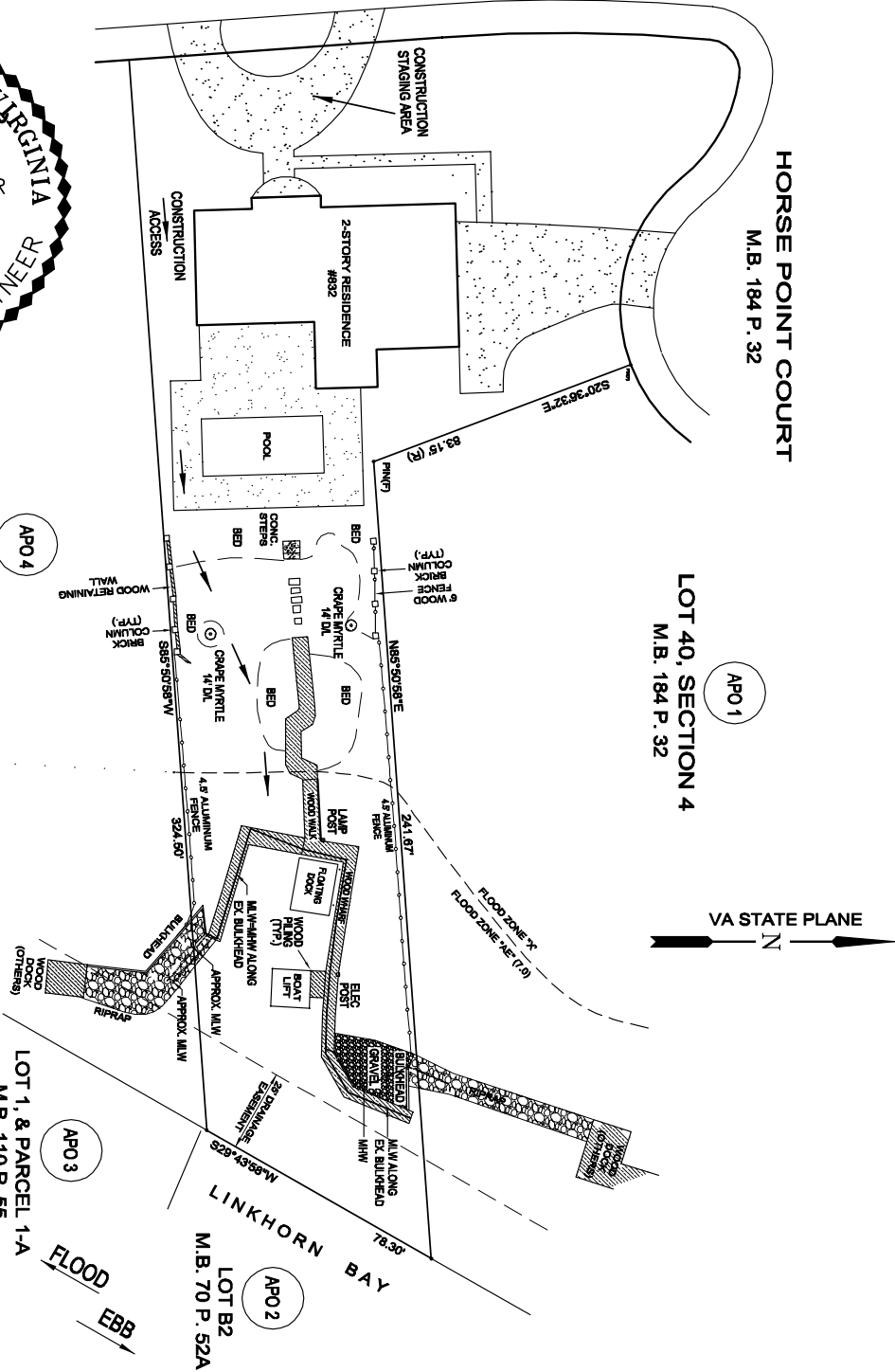
HORSE POINT COURT  
M.B. 184 P. 32

LOT 40, SECTION 4  
M.B. 184 P. 32

AP01

LOT B2  
M.B. 70 P. 52A

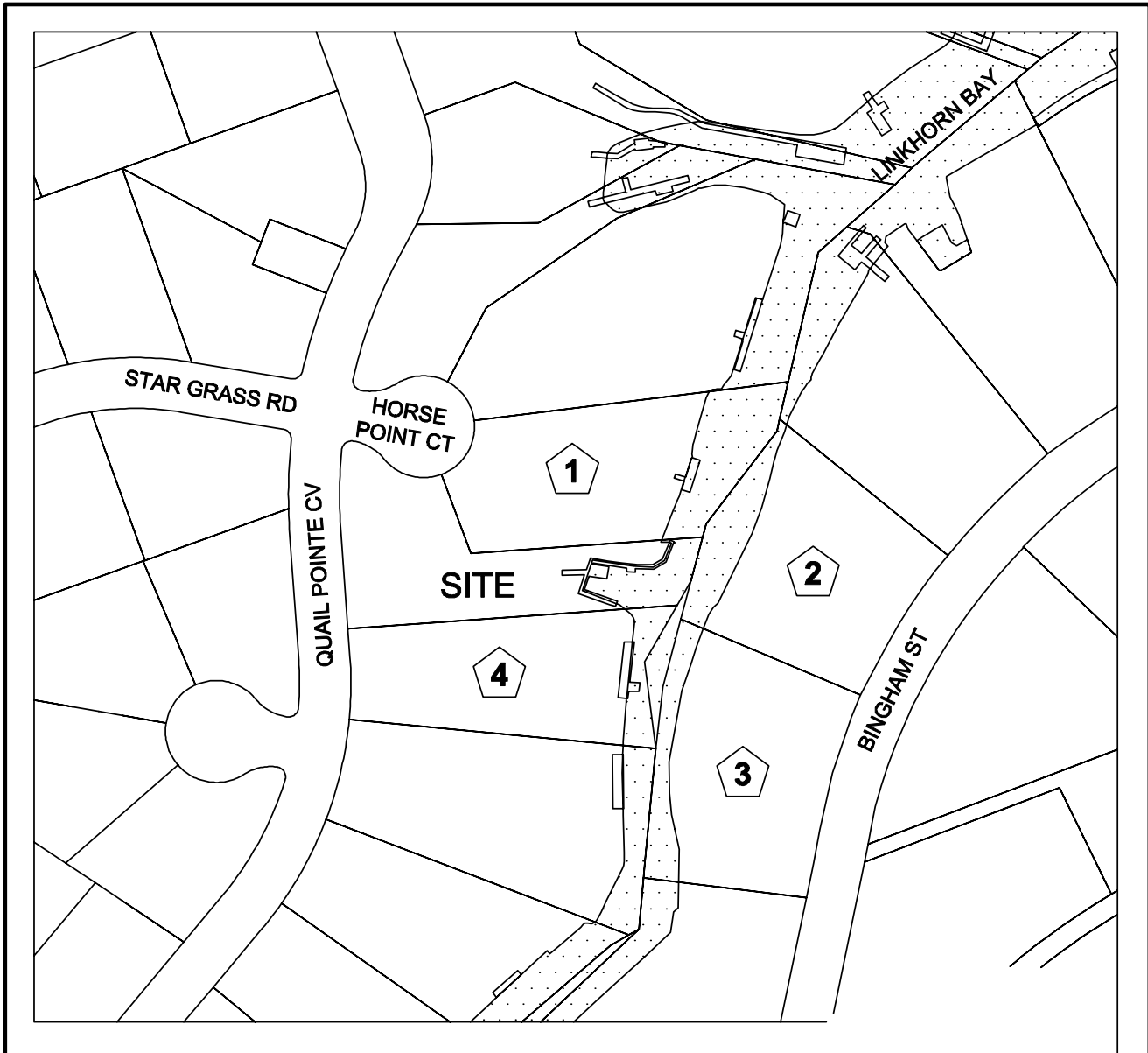
AP02



ADJACENT PROPERTY OWNERS:  
SEE SHEET 3

**EXISTING CONDITIONS**  
SCALE: 1" = 50'

PROJECT: RIP RAP, LIFT, WHARF  
BY: STEVEN & CAMILLA BREault  
IN: COVE OF LINKHORN BAY  
DATE: SEPTEMBER 3, 2023  
SHEET 2 OF 19



**ADJACENT PROPERTY OWNERS:**

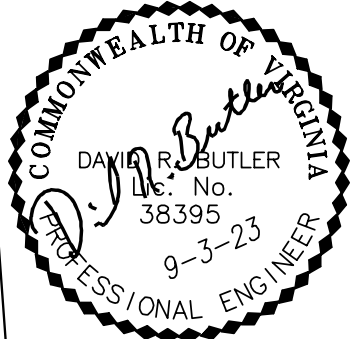
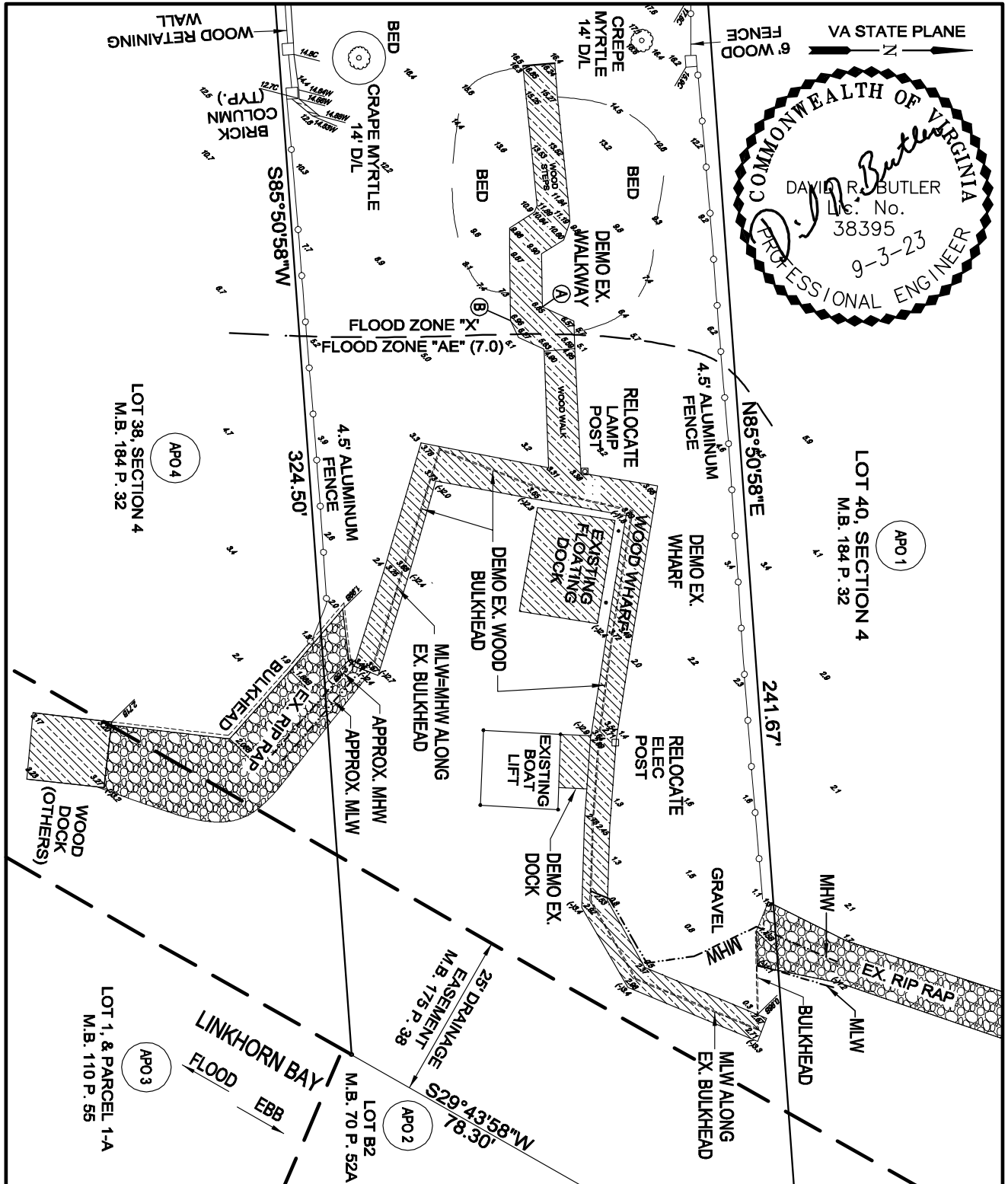
- 1** THE 1501 HORSE POINT COURT IV TRUST
- 2** LINDA S. WIDGEON & WILSON D. WIDGEON, TRUSTEES OF THE LINDA SPENCE WIDGEON REVOCABLE TRUST
- 3** MELVIN R. CHANDLER & NANCY D. CHANDLER
- 4** JOSE S. PEREZ & AMY S. PEREZ

**REVISION SCHEDULE**

DATE	COMMENT

**ADJOINER MAP**  
SCALE: 1" = 150'

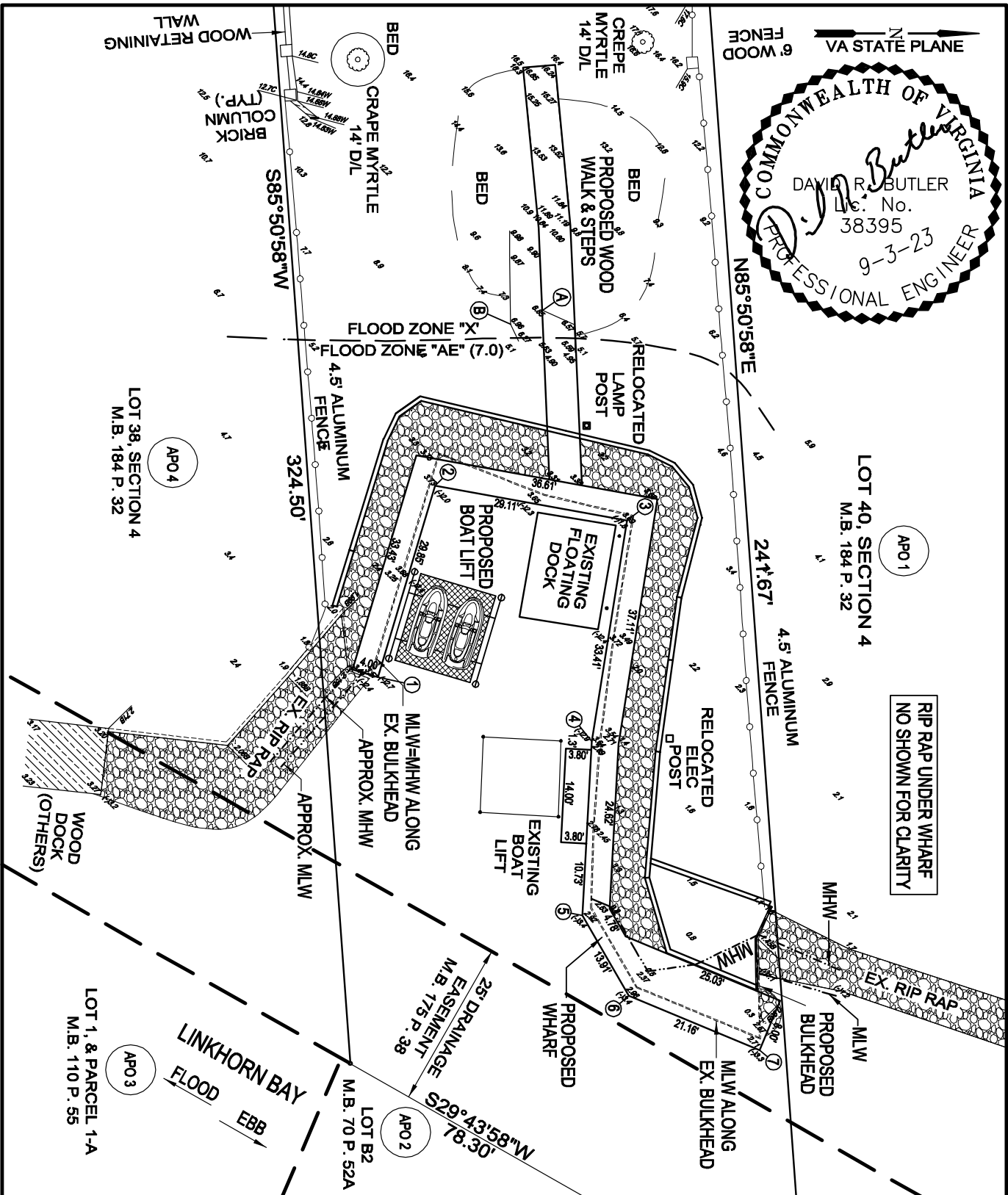
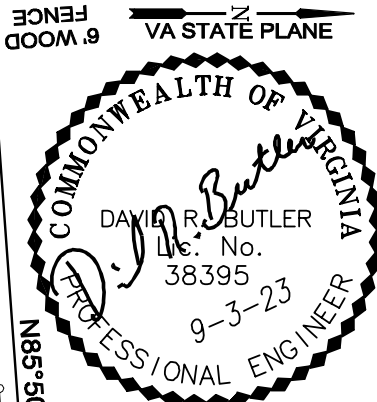
PROJECT: RIP RAP, LIFT, WHARF  
BY: STEVEN & CAMILLA BREault  
IN: COVE OF LINKHORN BAY  
DATE: SEPTEMBER 3, 2023  
SHEET 3 OF 19



ADJACENT PROPERTY OWNERS:  
SEE SHEET 3

**DEMOLITION PLAN**  
SCALE: 1" = 20'

PROJECT: RIP RAP, LIFT, WHARF  
BY: STEVEN & CAMILLA BREault  
IN: COVE OF LINKHORN BAY  
DATE: SEPTEMBER 3, 2023  
SHEET 4 OF 19



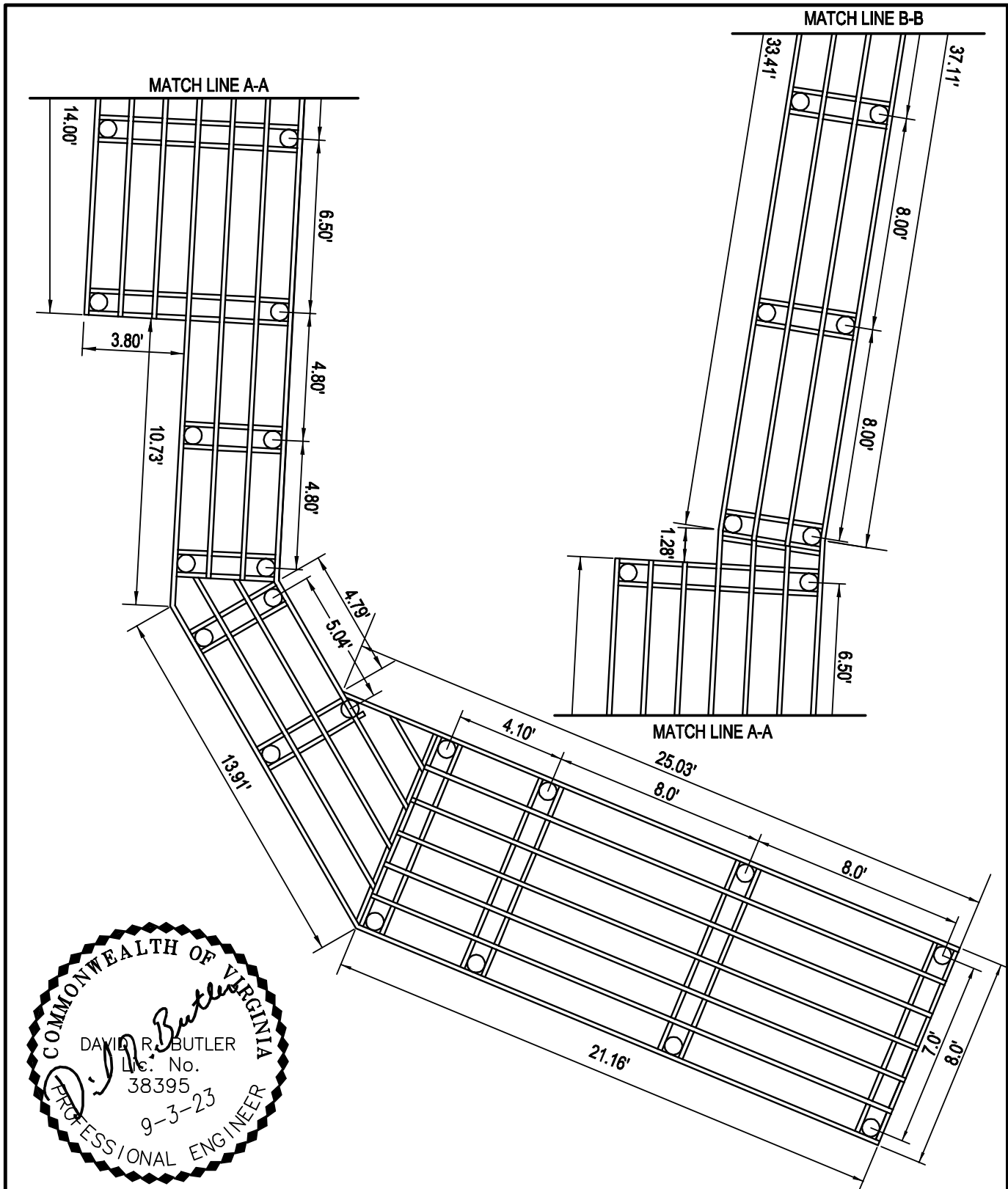
ADJACENT PROPERTY OWNERS:  
SEE SHEET 3

**WHARF PLAN**  
SCALE: 1" = 20'

PROJECT: RIP RAP, LIFT, WHARF  
BY: STEVEN & CAMILLA BREAUTL  
IN: COVE OF LINKHORN BAY  
DATE: SEPTEMBER 3, 2023  
SHEET 5 OF 19



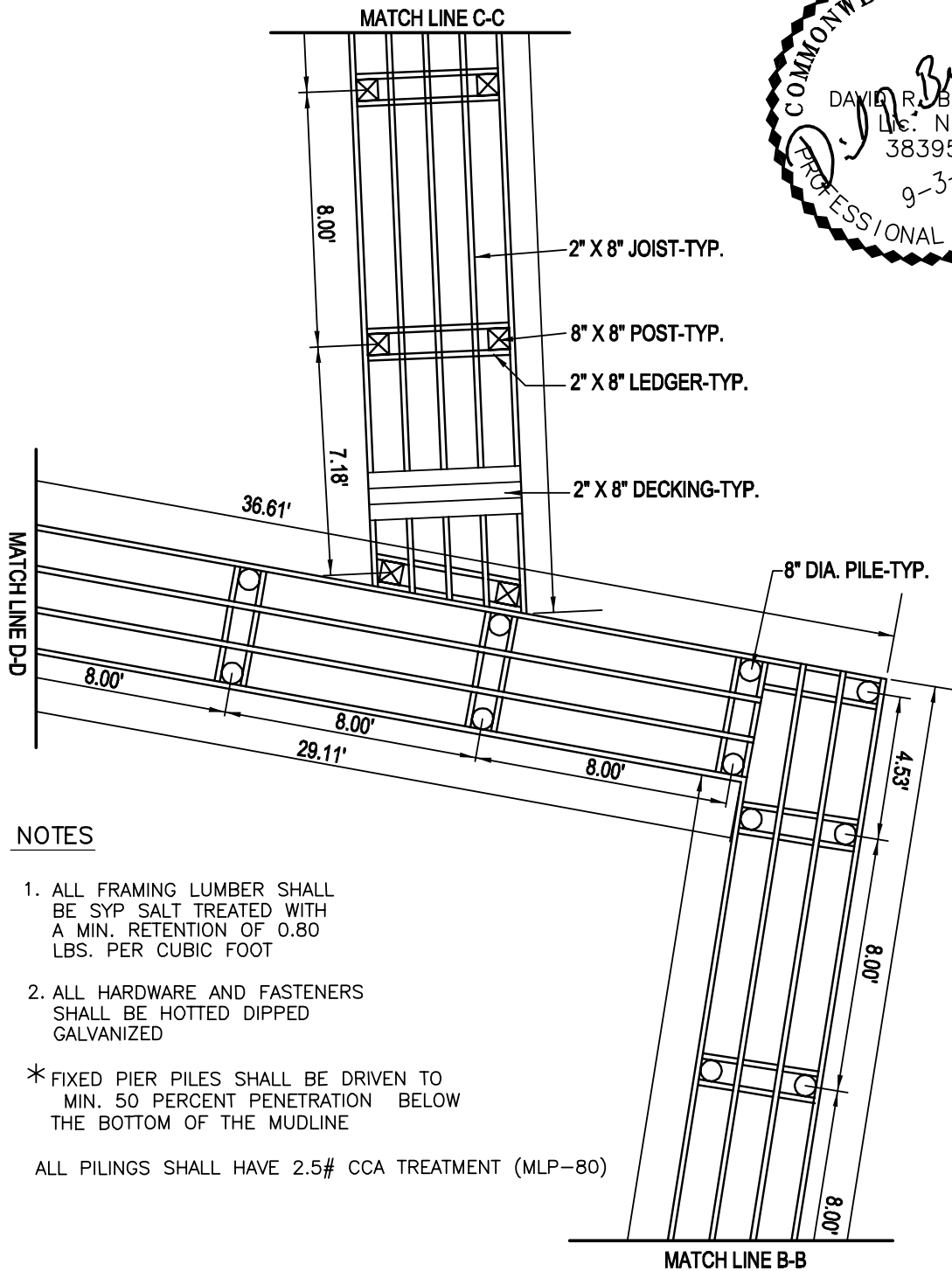
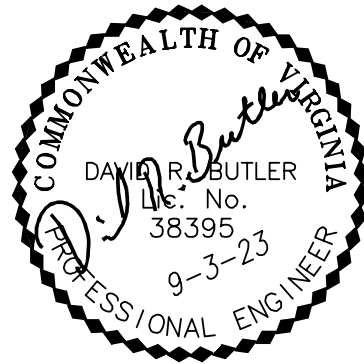




REVISION SCHEDULE	
DATE	COMMENT

**WHARF FRAMING PLAN**  
1" = 5'

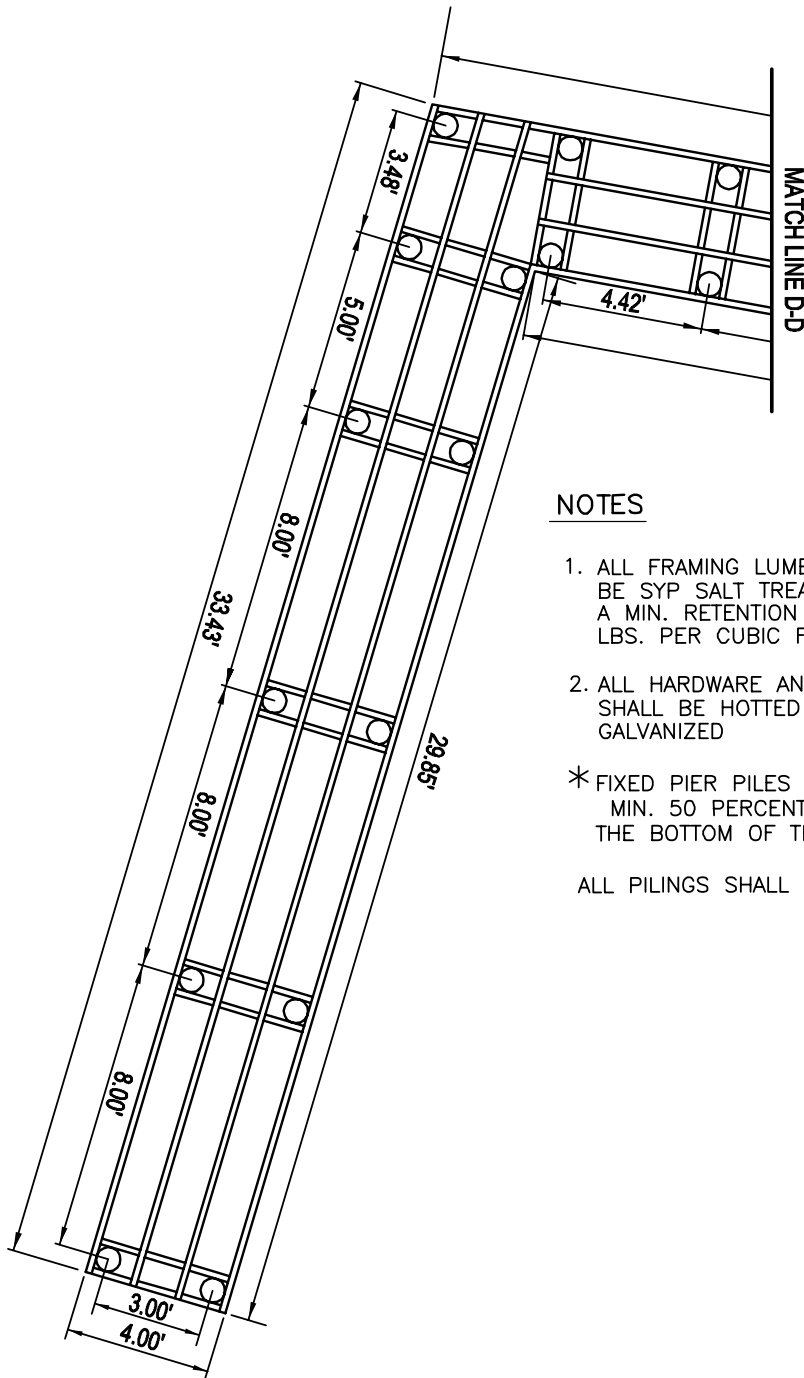
PROJECT: RIP RAP, LIFT, WHARF  
 BY: STEVEN & CAMILLA BREAUT  
 IN: COVE OF LINKHORN BAY  
 DATE: SEPTEMBER 3, 2023  
 SHEET 7 OF 19



**NOTES**

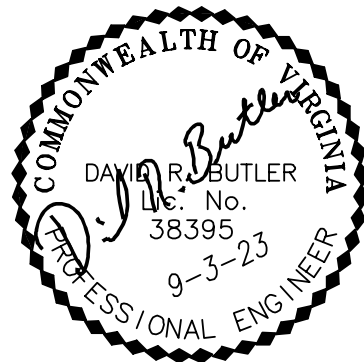
1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
  2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE
- ALL PILINGS SHALL HAVE 2.5# CCA TREATMENT (MLP-80)

REVISION SCHEDULE		<b>WHARF FRAMING PLAN</b> 1" = 5'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 8 OF 19
DATE	COMMENT		

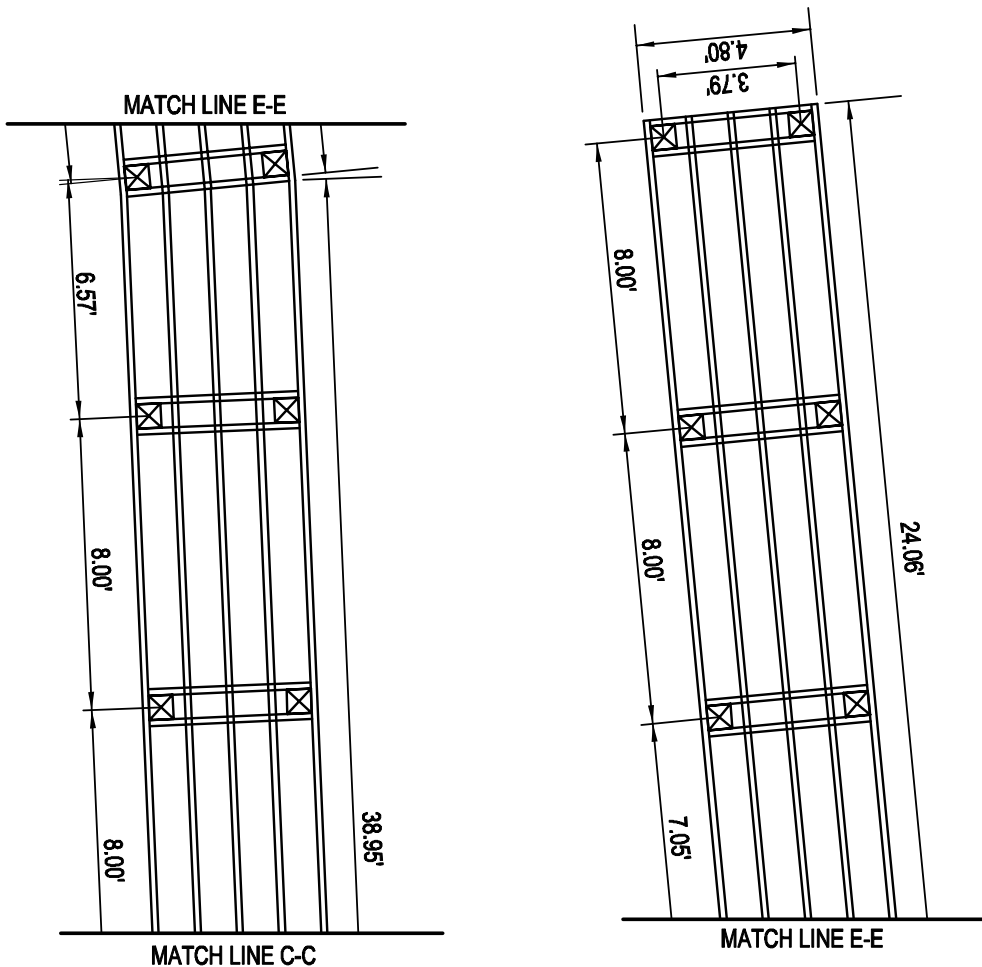


**NOTES**

1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
  2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE
- ALL PILINGS SHALL HAVE 2.5# CCA TREATMENT (MLP-80)



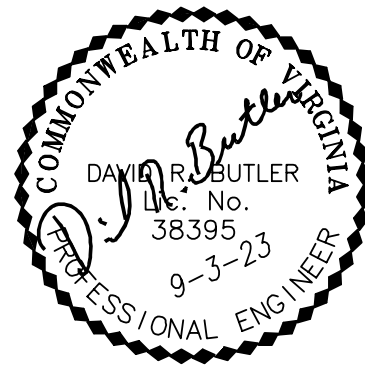
REVISION SCHEDULE		<b>WHARF FRAMING PLAN</b> 1" = 5'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 9 OF 19
DATE	COMMENT		



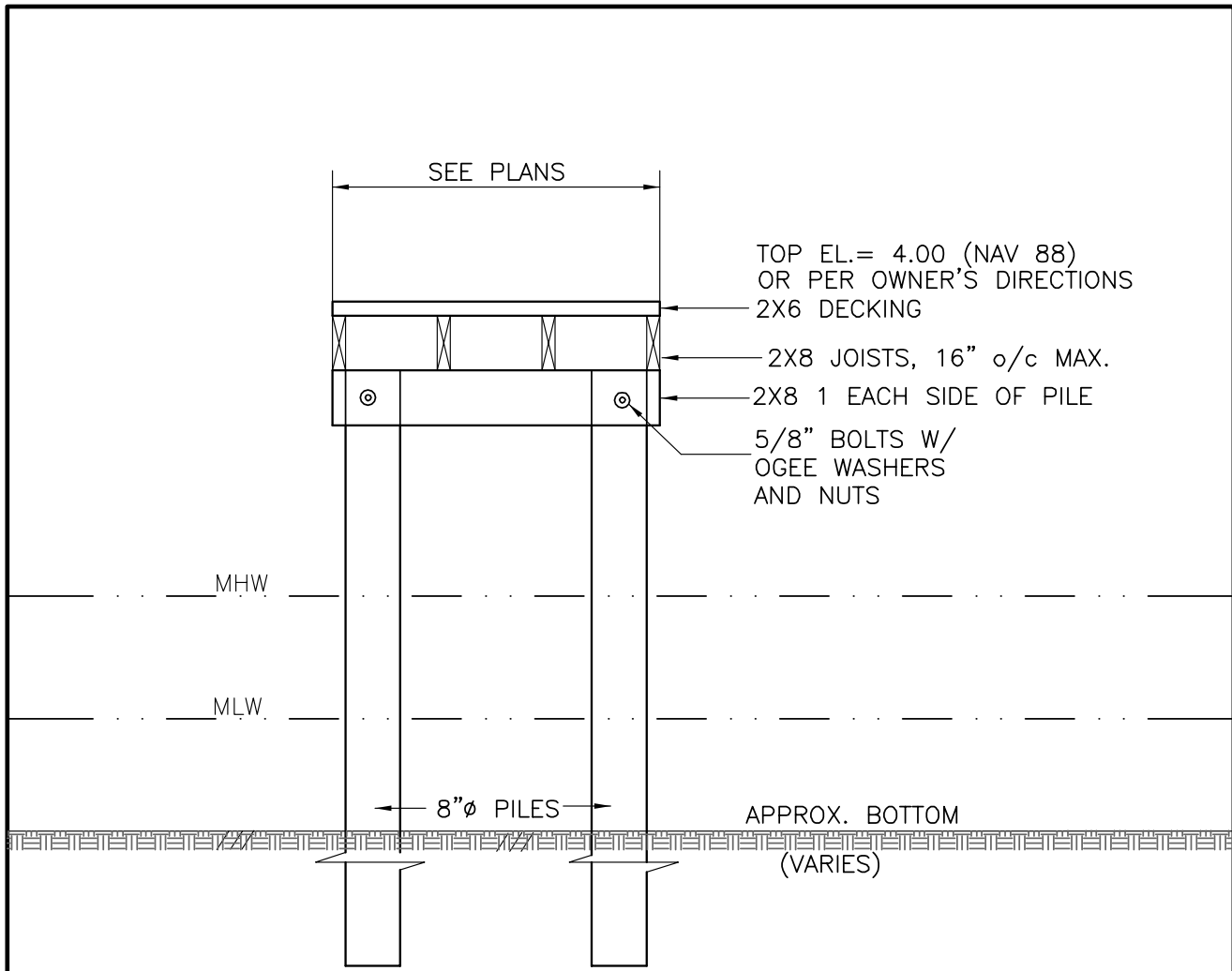
**NOTES**

- 1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
- 2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE

ALL PILINGS SHALL HAVE 2.5# CCA TREATMENT (MLP-80)



REVISION SCHEDULE		<b>WHARF FRAMING PLAN</b> 1" = 5'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 10 OF 19
DATE	COMMENT		

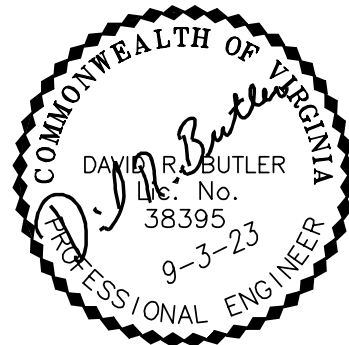


**NOTES**

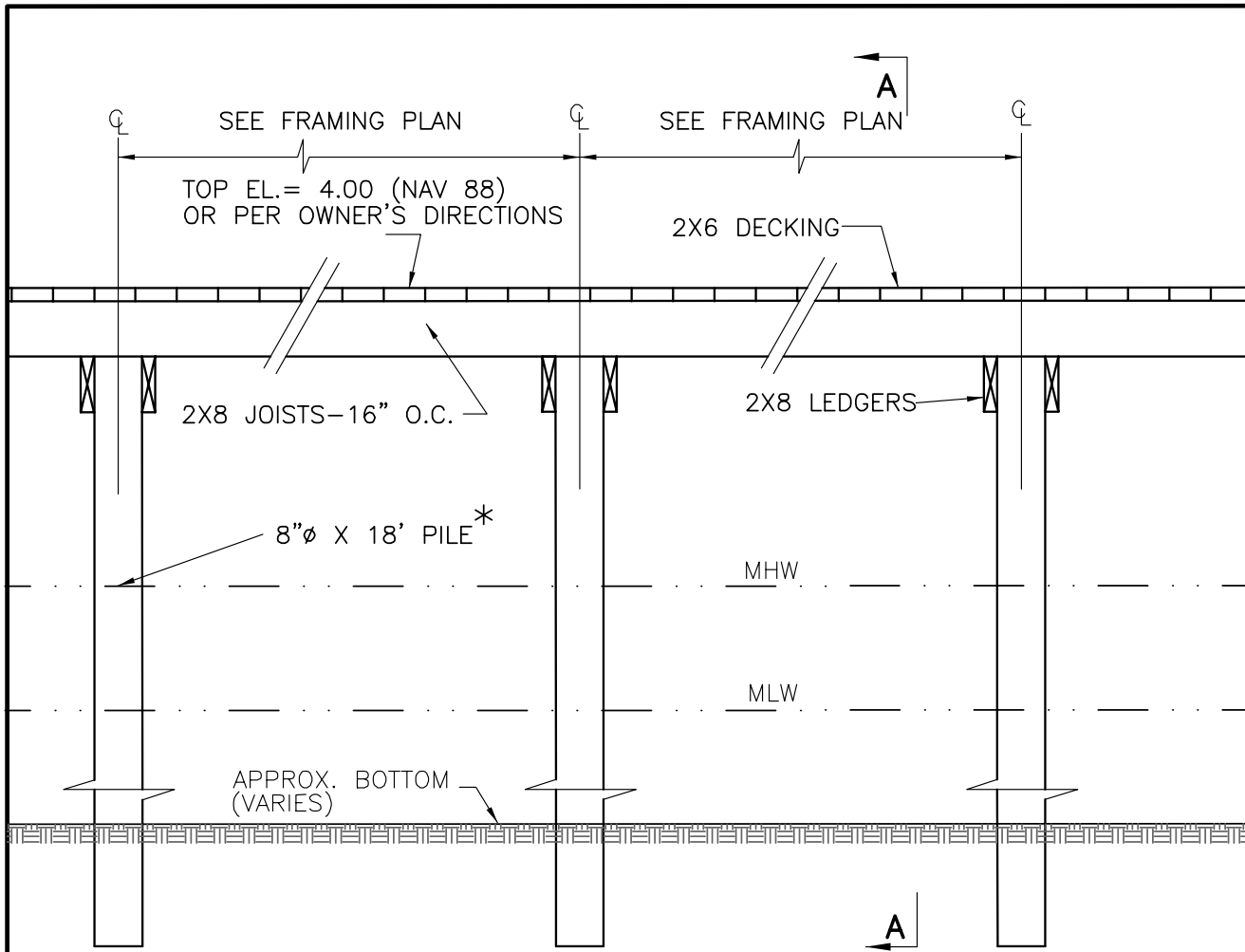
1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE

ALL PILINGS SHALL HAVE 2.5# CCA TREATMENT (MLP-80)

**PROP. WHARF  
SECTION A-A**



REVISION SCHEDULE		<b>PIER DETAIL</b> 1/2" = 1'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 11 OF 19
DATE	COMMENT		



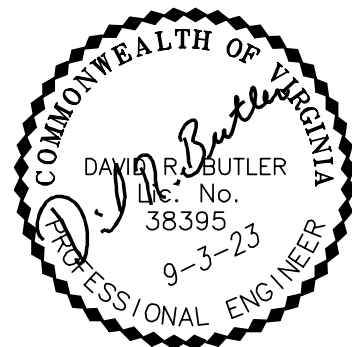
**NOTES**

1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED (ASTM: A153)
3. ALL PILINGS SHALL HAVE 2.5# CCA TREATMENT (MLP-80)

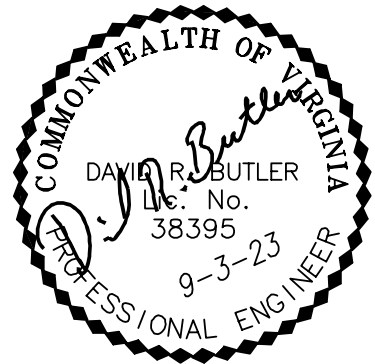
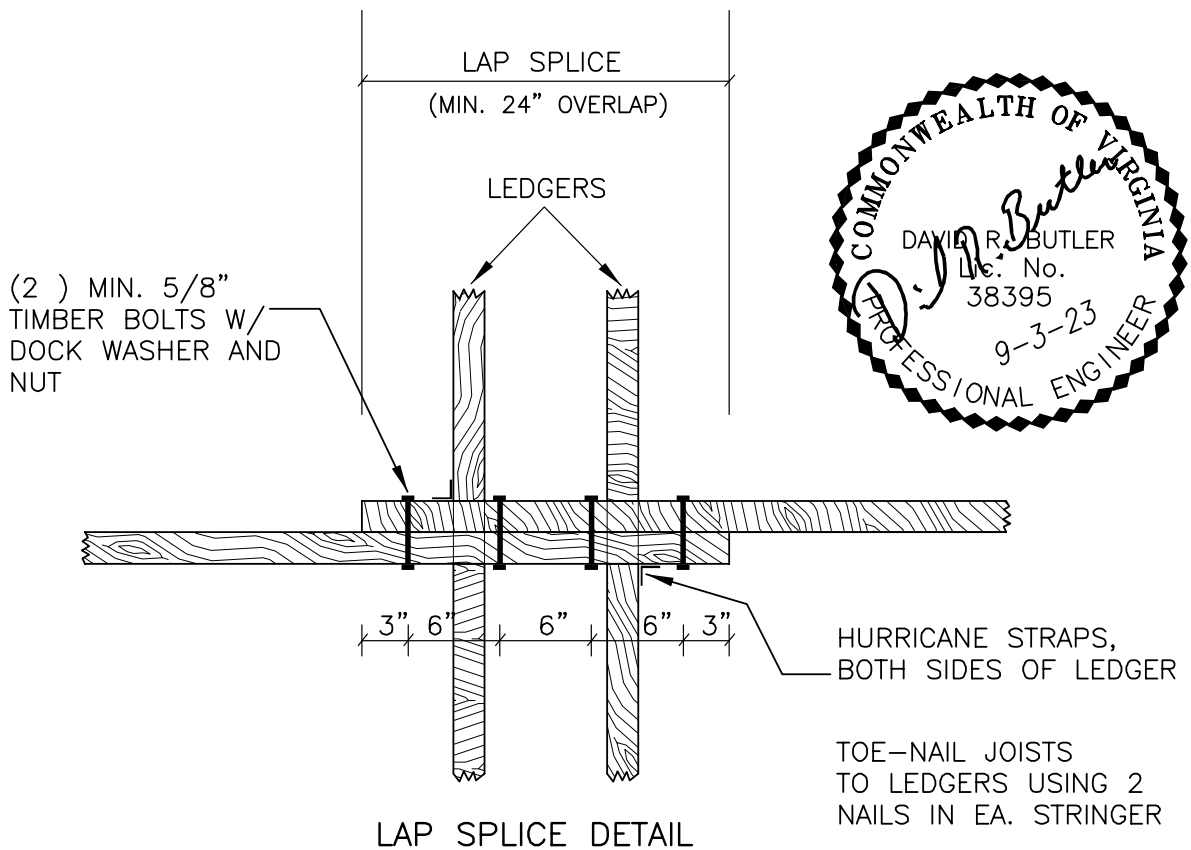
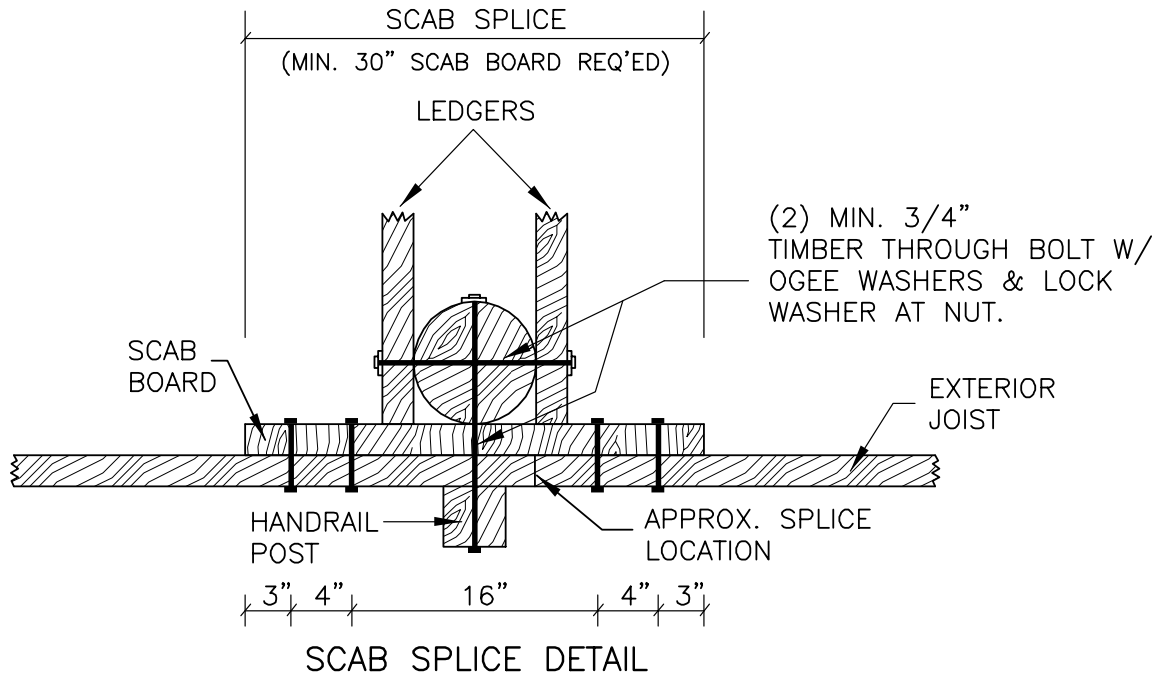
\* PIER PILES SHALL BE THE LENGTH SPECIFIED OR DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE OR WHICHEVER IS GREATEST

**PROP. WHARF  
TYPICAL SECTION**

VERTICAL DATUM: NAV 88

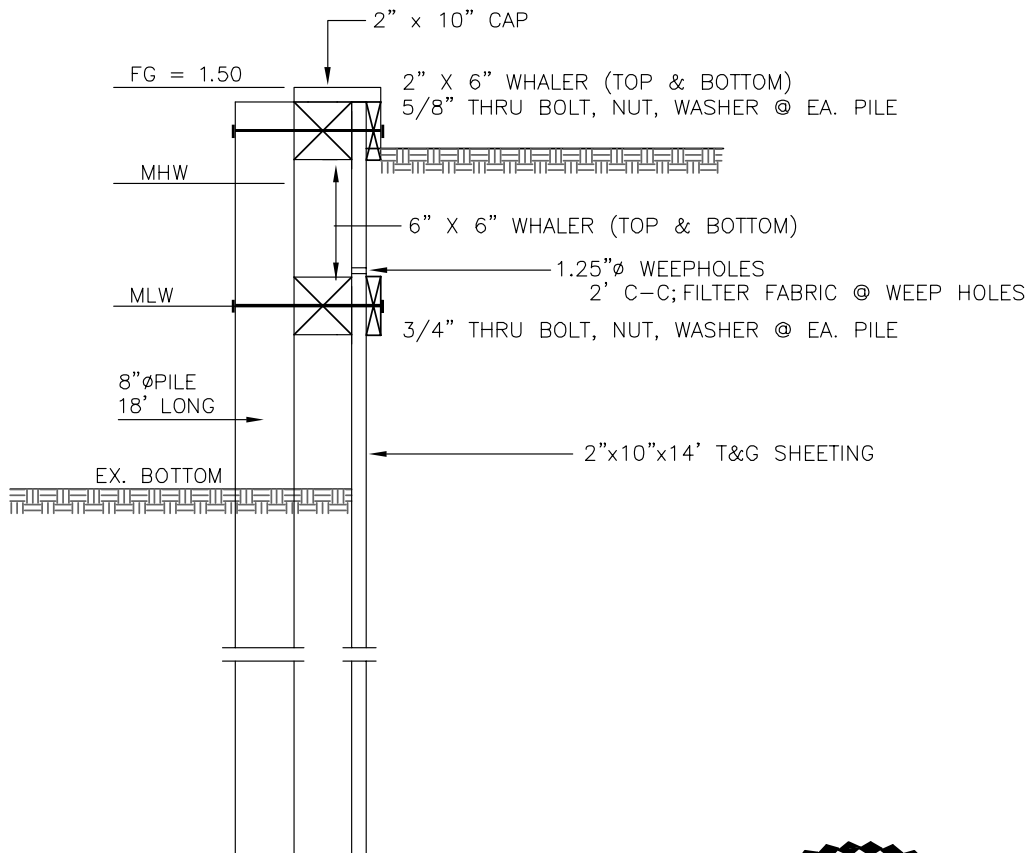


REVISION SCHEDULE		PIER DETAILS 1/2" = 1'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 12 OF 19
DATE	COMMENT		



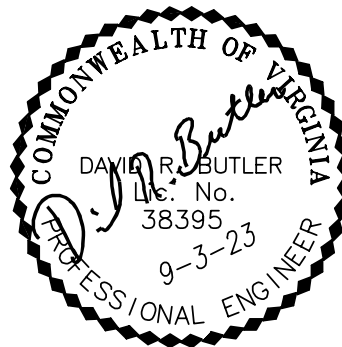
REVISION SCHEDULE		PIER DETAILS (NO SCALE)	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREAUTL IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 13 OF 19
DATE	COMMENT		



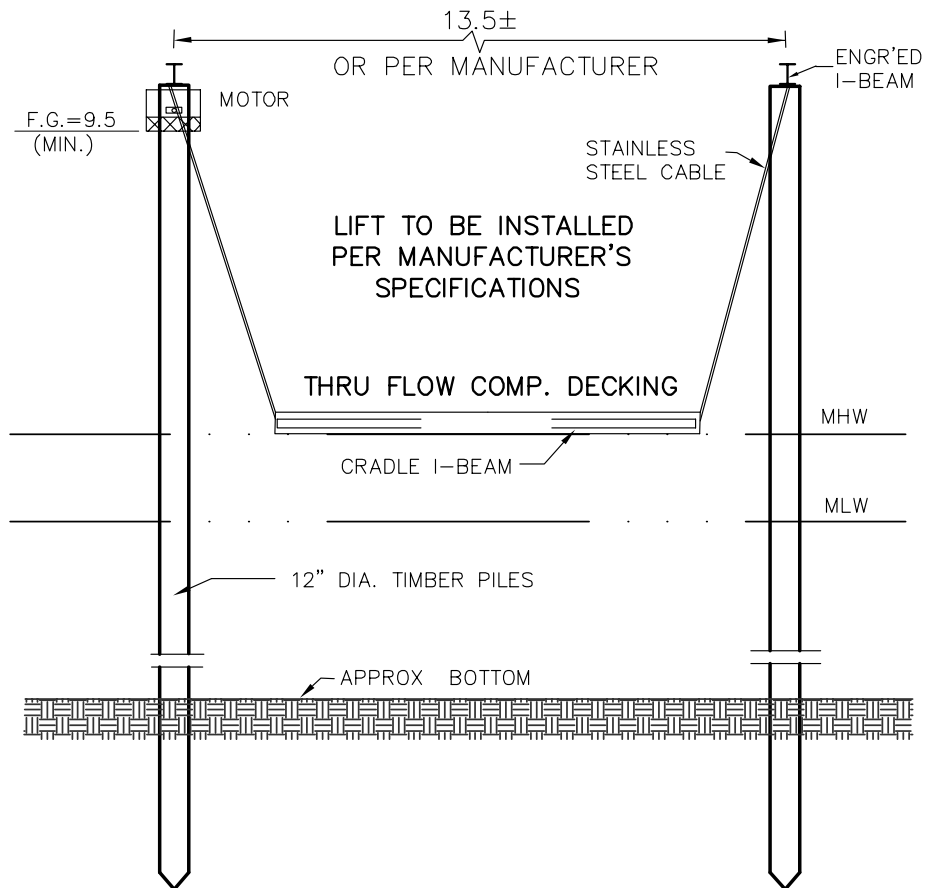


**NOTE**

1. ALL HARDWARE SHALL BE HOT-DIPPED GALV.
2. ALL TIMBER SHALL BE SALT-TREATED AT 2.5#/CF CCA.
3. PREFORMED DRAINAGE FABRIC SHALL BE TENSAR DC 1100 OR EQUIV.



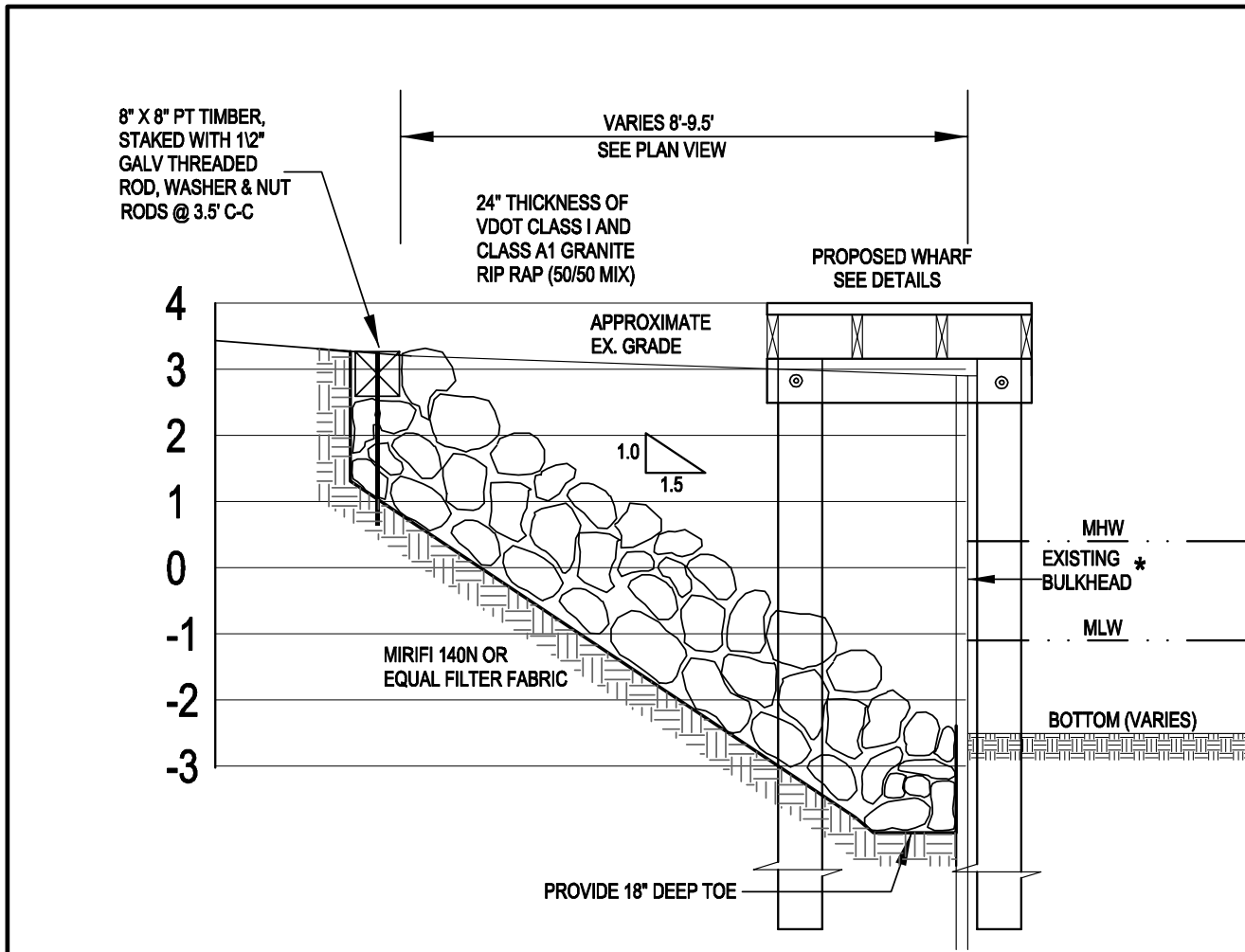
REVISION SCHEDULE		TYPICAL SECTION BULKHEAD 1/2" = 1'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN BREAUT IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 14 OF 19
DATE	COMMENT		



ALL PILING CCA 2.5 PCF (MLP-80)  
 ALL HARDWARE H.D. GALV. ASTM-A153  
 WOOD CHOCKS TO BE CCA 2.5 PCF (MLP-80)

\* ALL LIFT PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE.  
 (NO SOIL BORINGS WERE PROVIDED)

REVISION SCHEDULE		BOAT LIFT DETAIL NO SCALE	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREault IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 15 OF 19
DATE	COMMENT		



8" X 8" PT TIMBER,  
STAKED WITH 1/2"  
GALV THREADED  
ROD, WASHER & NUT  
RODS @ 3.5' C-C

VARIES 8'-9.5'  
SEE PLAN VIEW

24" THICKNESS OF  
VDOT CLASS I AND  
CLASS A1 GRANITE  
RIP RAP (50/50 MIX)

PROPOSED WHARF  
SEE DETAILS

APPROXIMATE  
EX. GRADE



MIRIFI 140N OR  
EQUAL FILTER FABRIC

MHW  
EXISTING \*  
BULKHEAD

MLW

BOTTOM (VARIES)

PROVIDE 18" DEEP TOE

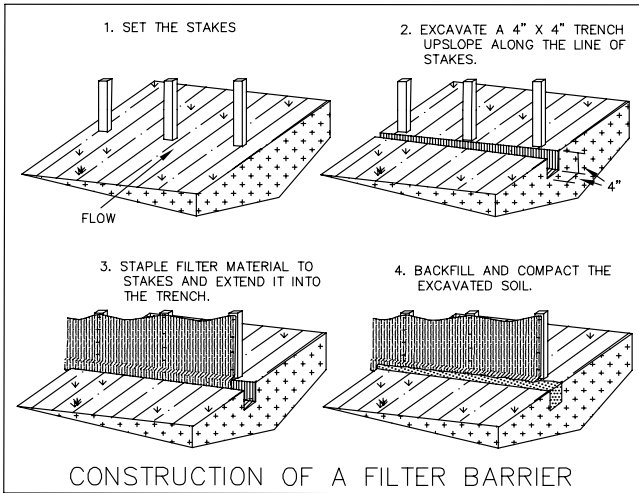
**NOTE:**

BOTTOM CONDITIONS ON BOTH SIDES OF THE EXISTING BULKHEAD CANNOT BE VERIFIED DUE TO OBSTRUCTIONS WITH THE EXISTING WHARF. CONTRACTOR SHALL VERIFY CONDITIONS CLOSELY REPRESENT THE TYPICAL SECTIONS SHOWN ON THESE PLANS AND NOTIFY ENGINEER OF RECORD IF CONDITIONS DO NOT MATCH THESE PLANS SO MODIFICATIONS TO THESE PLANS MAY BE CONSIDERED.

\* SAWCUT EXISTING BULKHEAD SHEETING AT OR BELOW THE LOW TIDE MARK OR PULL THE SHEETS OUT IF CONDITIONS ALLOW. DISPOSE OF THE DEBRIS IN A LAWFUL MANNER.

REVISION SCHEDULE		<b>RIP RAP TYPICAL SECTION</b> SCALE: 1" = 2.5'	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREault IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 16 OF 19
DATE	COMMENT		
11-2-23	COVB COMMENTS		





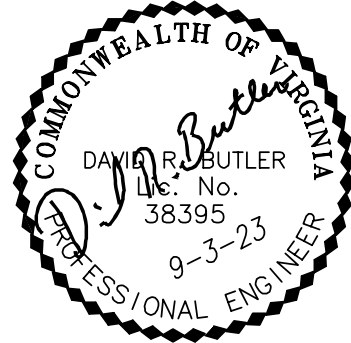
DETAIL - SILT FENCE (SF)

**CONSTRUCTION SEQUENCE**

1. OBTAIN ALL REQUIRED PERMITS
2. INSTALL PLASTIC SAFETY FENCE
3. EXCAVATE FOR STONE PLACEMENT
4. INSTALL FILTER FABRIC
5. INSTALL RIP RAP AND PILES
6. CONSTRUCT WHARF AND LIFT
7. SEED & MULCH DISTURBED AREAS
8. INSTALL SILT FENCE

**TURFGRASS PLANTING SPECIFICATIONS**

TURF TYPE	TIME OF YEAR TO SEED	SEEDING RATE	COMMENTS
KENTUCKY 31 FESCUE	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	8 LB. PER 1000 SQ. FT.	MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
NARROW LEAFED FESCUES	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	6 LB. PER 1000 SQ. FT.	IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
BERMUDA (HULLED)	5-1 - 9-15 (OR SOD DURING THIS SAME TIME PERIOD)	2 LB. PER 1000 SQ. FT.	



NOTE:  
ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER

**POINT TO POINT WHARF DIMENSIONS**

1-2	29.85'
2-3	29.11'
3-4	33.41'
4-5	26.01'
5-6	13.91'
6-7	21.17'

**POINT TO POINT RIP RAP DIMENSIONS**

1-2	32.40'
2-3	17.04'
3-4	13.50'
4-5	34.27'
5-6	24.68'
6-7	13.70'
7-8	20.11'

TOTAL: 155.7 L.F.

**TIE-DOWN WHARF DIMENSIONS**

A-1	60.12'	B-1	56.34'
A-2	30.79'	B-2	26.65'
A-3	33.89'	B-3	34.12'
A-4	64.87'	B-4	63.52'
A-5	90.63'	B-5	88.98'
A-6	103.29'	B-6	101.92'
A-7	115.27'	B-7	114.71'

**TIE-DOWN RIP RAP DIMENSIONS**

A-1	60.46'	B-1	56.62'
A-2	28.83'	B-2	24.53'
A-3	27.72'	B-3	26.11'
A-4	33.63'	B-4	34.02'
A-5	65.23'	B-5	64.00'
A-6	89.65'	B-6	88.07'
A-7	102.19'	B-7	100.89'
A-8	113.72'	B-8	113.19'

**REVISION SCHEDULE**

DATE	COMMENT
11-14-23	REV. RIP RAP TOTALS

**NOTES**

PROJECT: RIP RAP, LIFT, WHARF  
BY: STEVEN & CAMILLA BREAUT  
IN: COVE OF LINKHORN BAY  
DATE: SEPTEMBER 3, 2023  
SHEET 18 OF 19

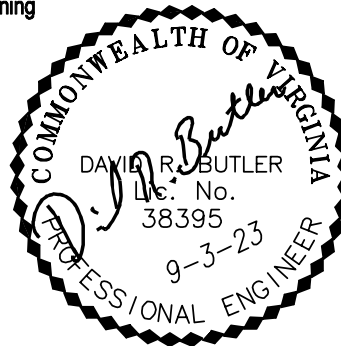
Listed below are the specifics and criteria of the proposed Monitoring Plan:

- 1.) Upon completion of the project, a final inspection shall be ordered.
- 2.) A written monitoring report shall be submitted to the Corps and the City of Virginia Beach Department of Planning at the end of the first growing season following the planting, and one (1) year later. The monitoring should be undertaken between June 01 and November 30 for each monitoring period, and submitted to the above agencies no later than December 31 of each year. The report will indicate dates at which all information in the report was collected. The monitoring report should include:
  - A. Reference the permit application number.
  - B. Include a summary of the work accomplished, including the dates at all the information in the report was collected.
  - C. Provide digital photographs from a designated Observation point identified on a plan view drawing of the project site and taken at high and low tides.
  - D. Indicate the percent cover of herbaceous vegetation, visually within a ten-foot radius in sample plots.
  - E. The results of the on-site inspection including and additional plantings.
- 3.) Performance Criteria: The planted marsh area must have a minimum of 75 % aerial coverage of native wetland plant species by the end of year two of the monitoring period. If the area has not successfully become vegetated with wetland species within a two year time period, you may be required to augment the plantings to meet the minimum of 75 % aerial coverage during the next growing season. After the two-year time period, the site will be evaluated to determine if additional monitoring will be required.
- 4.) In the event that some or all of the planting have died and or is currently dying, new sprigs shall be planted adjacent to the suspect plantings. The plant shall be fertilized with osmocote (18-6-12 slow release) fertilizer in accordance with the manufacturer's recommendations. new plantings shall be installed within 30 days of the inspection date.
- 5.) The monitoring shall continue for a period of three years with all reports submitted to the City of Virginia Beach Department of Planning / Environment and Sustainability Office.

**Wetlands Impacts:**

Non vegetated area between mlw and mhw: 175 s.f.  
 Uplands converted to vegetated wetlands: 147 s.f.  
 Inter-tidal area rock habitat created: 443 sq. ft.

**Mitigation area shown on sheet 17 has an area of 183 s.f. 37 s.f. of the 183 s.f. is non vegetated wetlands that will be converted to vegetated wetlands. The remaining 147 s.f. is uplands that will be converted to vegetated wetlands.**



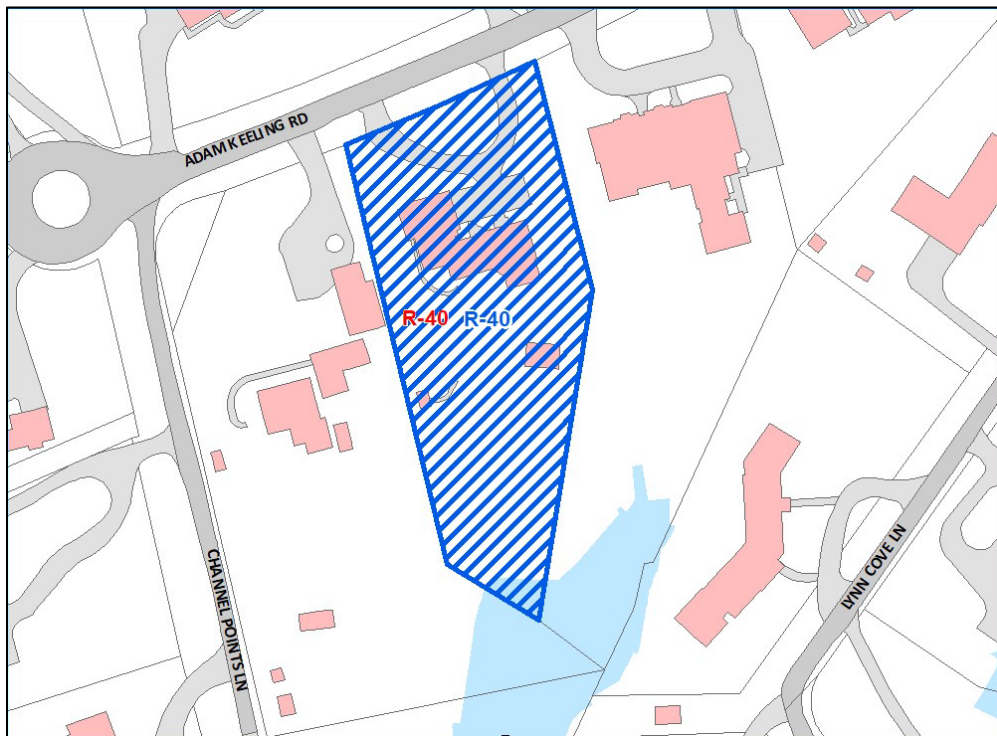
REVISION SCHEDULE		WETLANDS MONITORING NOTES	PROJECT: RIP RAP, LIFT, WHARF BY: STEVEN & CAMILLA BREault IN: COVE OF LINKHORN BAY DATE: SEPTEMBER 3, 2023 SHEET 19 OF 19
DATE	COMMENT		
11-2-23	COVB COMMENTS		

**3. 2023-WTRA-00229**  
**James E. & Maureen A. Cowan**  
[Applicants & Owners]

3181 Adam Keeling Road  
GPIN 1489-95-6772  
City Council District: District 8

Waterway – Canal to Lynnhaven Bay  
Subdivision – Great Neck Point

Request: To construct a cutoff wall and dredge involving wetlands.



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** JAMES E COWAN

Does the applicant have a representative?  **Yes**  **No**

- If **yes**, list the name of the representative.

DAVID KLEDZIK

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have any **existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering any **financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions providing the service.

Wells Fargo

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2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the company and individual providing the service.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the company and individual providing the service.

Colin Marine Construction

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.

MARINE ENGINEERING LLC & DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Print Name and Title

James Cowan

Date

11/6/2023

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

**FOR AGENCY USE ONLY**

	Notes:
JPA# <b>23-2398</b>	

**APPLICANTS**

**PLEASE PRINT OR TYPE ALL ANSWERS.** If a question does not apply to your project, please print N/A (not applicable) in the space provided. **If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.**

<b>Check all that apply</b>			
Pre-Construction Notification (PCN) NWP # _____ RP # 05 <i>(For NWP's &amp; RP 05 ONLY - No DEQ-VWP permit writer will be assigned)</i>	SPGP	DEQ Reapplication Existing permit number: _____	Receiving federal funds Agency providing funding: _____
Regional Permit 17 Checklist (RP-17)			

**PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)**

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION**

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s)			Agent (if applicable)		
Mailing address			Mailing address		
City	State	ZIP Code	City	State	ZIP Code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name and ID number (if applicable)		
<b>Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here:</b> _____					

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)**

Property owner(s) legal name, if different from applicant			Contractor, if known		
Mailing address			Mailing address		
City	State	ZIP code	City	State	ZIP code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

**2. PROJECT LOCATION INFORMATION**

**(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)**

Street Address (911 address if available)	City/County/ZIP Code
Subdivision	Lot/Block/Parcel #
Name of water body(ies) within project boundaries and drainage area (acres or square miles).	
Tributary(ies) to: _____ Basin: _____ Sub-basin: _____ (Example: Basin: <u>James River</u> Sub-basin: <u>Middle James River</u> )	
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____	
Project type (check one) _____ Single user (private, non-commercial, residential) _____ Multi-user (community, commercial, industrial, government) _____ Surface water withdrawal	
Latitude and longitude at center of project site (decimal degrees): _____ / - _____ (Example: 37.33164/-77.68200)	
USGS topographic map name: _____	
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See <a href="http://cfpub.epa.gov/surf/locate/index.cfm">http://cfpub.epa.gov/surf/locate/index.cfm</a> ): _____ If known, indicate the 10-digit and 12-digit USGS HUCs (see <a href="http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm">http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm</a> ): _____	
Name of your project (Example: <u>Water Creek driveway crossing</u> ) _____	
Is there an access road to the project? <input type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input type="checkbox"/> public <input type="checkbox"/> private <input type="checkbox"/> improved <input type="checkbox"/> unimproved	
Total size of the project area (in acres): _____	

**2. PROJECT LOCATION INFORMATION (Continued)**

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)?  Yes  No  
If so, name those localities:

**3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)**

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in stream flows, include the water supply issues that form the basis of the proposed project.

Date of proposed commencement of work (MM/DD/YYYY)

\_\_\_\_\_

Date of proposed completion of work (MM/DD/YYYY)

\_\_\_\_\_

Are you submitting this application at the direction of any state, local, or federal agency?  Yes  No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?

Yes  No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property?  Yes  No  
(If yes, please explain)

#### 4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ \_\_\_\_\_

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ \_\_\_\_\_

#### 5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line. Per Army Regulation (AR 25-51) outgoing correspondence must be addressed to a person or business.

**Failure to provide this information may result in a delay in the processing of your application by VMRC.**

Property owner's name	Mailing address	City	State	ZIP code

Name of newspaper having general circulation in the area of the project: \_\_\_\_\_  
Address and phone number (including area code) of newspaper \_\_\_\_\_

Have adjacent property owners been notified with forms in Appendix A? \_\_\_\_ Yes \_\_\_\_ No (attach copies of distributed forms)

#### 6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

#### 7. HISTORIC RESOURCES INFORMATION

*Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.*

Are any historic properties located within or adjacent to the project site? \_\_\_\_ Yes \_\_\_\_ No \_\_\_\_ Uncertain  
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site? \_\_\_\_ Yes \_\_\_\_ No \_\_\_\_ Uncertain  
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district? \_\_\_\_ Yes \_\_\_\_ No \_\_\_\_ Uncertain

If Yes, please indicate which district: \_\_\_\_\_

**7. HISTORIC RESOURCES INFORMATION (Continued)**

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes  No  Uncertain

If Yes, please provide the following information: Date of Survey: \_\_\_\_\_

Name of firm: \_\_\_\_\_

Is there a report on file with the Virginia Department of Historic Resources?  Yes  No  Uncertain

Title of Cultural Resources Management (CRM) report: \_\_\_\_\_

Was any historic property located?  Yes  No  Uncertain

**8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION**

**Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.**

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)					
Latitude / Longitude (in decimal degrees)					
Wetland/waters impact area (square feet / acres)					
Dune/beach impact area (square feet)					
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)					
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)					

**8. WETLANDS/WATERS IMPACT INFORMATION (Continued)**

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>					
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)					
Contributing drainage area in acres or square miles ( <i>VMRC cannot complete review without this information</i> )					
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII <a href="https://law.lis.virginia.gov">https://law.lis.virginia.gov</a>					

**For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.**

**For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.**

**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS**

**READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING**

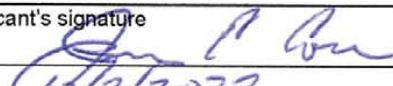
**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)**

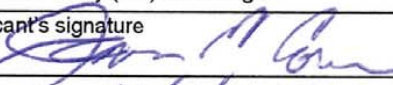
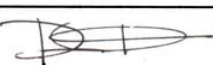
Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Legal name & title of Applicant <b>JAMES E COWAN</b>	Second applicant's legal name & title, if applicable
Applicant's signature 	Second applicant's signature
Date <b>10/2/2023</b>	Date
Property owner's legal name, if different from Applicant <b>N/A</b>	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

**CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S)' BEHALF (IF APPLICABLE)**

I (we), **JAMES E COWAN** (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized **MARINE ENGINEERING LLC** (and) \_\_\_\_\_  
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature 	Second applicant's signature, if applicable
Date <b>10/2/2023</b>	Date
Agent's signature and title  mgr	Second agent's signature and title, if applicable
Date <b>10/3/2023</b>	Date

**CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)**

I (we), \_\_\_\_\_ (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

have contracted **N/A** (and) \_\_\_\_\_  
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	



END OF GENERAL INFORMATION

The following sections are activity-specific. Fill out only the sections that apply to your particular project.

10. PRIVATE PIERS, MARGINAL WHARVES, AND UNCOVERED BOAT LIFTS

Regional Permit 17 (RP-17), authorizes the installation and/or construction of open-pile piers, mooring structures/devices, fender piles, covered boathouses/boatslips, boatlifts, osprey pilings/platforms, accessory pier structures, and certain devices associated with shellfish gardening, for private use, subject to strict compliance with all conditions and limitations further set out in the RP-17 enclosure located at http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/. In addition to the information required in this JPA, prospective permittees seeking authorization under RP-17 must complete and submit the 'Regional Permit 17 Checklist' with their JPA. A copy of the 'Regional Permit 17 Checklist' is found in Appendix B of this application package. If the prospective permittee answers "yes" (or "N/A", where applicable) to all of the questions on the 'Regional Permit 17 Checklist', the permittee is in compliance with RP-17 and will not receive any other written authorization from the Corps but may not proceed with construction until they have obtained all necessary state and local permits. Note: If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work.

If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work. In those circumstances, the following information must be included in the application and/or on the drawings in order for the application to be considered complete:

- 1. The applicant MUST provide written justification/need for the encroachment if the proposed structure(s) will extend greater than one-fourth of the distance across the waterway measured from either mean high water to mean high water (including all channelward wetlands) or ordinary high water to ordinary high water (including all channelward wetlands). The measurement should be based on the narrowest distance across the waterway regardless of the orientation of the proposed structure(s).
2. The applicant MUST provide written justification/need if the proposed structure(s) is greater than five (5) feet wide or there will be less than four (4) feet elevation between the decking and the vegetated wetlands substrate.
3. The Corps MAY require depth soundings across the waterway at increments designated by the Corps project manager. Inclusion of depth sounding data in the original JPA submittal is highly recommended in order to expedite permit evaluation. Depth soundings are typically taken at 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide. Please include the date and time the measurements were taken, whether the data was collected at mean low water (MLW) or MHW, and how the soundings were taken (e.g., tape, range finder, etc.).

Number of vessels to be moored at the pier or wharf: \_\_\_\_\_

Do you have an existing pier on your property? \_\_\_Yes\_\_\_ No

If yes, will it be removed? \_\_\_Yes\_\_\_ No

Is your lot platted to the mean low water shoreline? \_\_\_Yes\_\_\_ No

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

N/A

11. BOATHOUSES, GAZEBOS, COVERED BOAT LIFTS, AND OTHER ROOFED STRUCTURES OVER WATERWAYS

Number of vessels to be moored at the proposed structure: \_\_\_\_\_

Will the sides of the structure be enclosed? \_\_\_Yes\_\_\_ No
Area covered by the roof structure \_\_\_\_\_ square feet

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

**15. TIDAL/NONTIDAL SHORELINE STABILIZATION STRUCTURES (INCLUDING BULKHEADS AND ASSOCIATED BACKFILL, RIPRAP REVETMENTS AND ASSOCIATED BACKFILL, MARSH TOE STABILIZATION, GROINS, JETTIES, AND BREAKWATERS, ETC.)** Information on non structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).

Is any portion of the project maintenance or replacement of an existing and currently serviceable structure?  Yes  No  
 If yes, give length of existing structure: \_\_\_\_\_ linear feet

If your maintenance project entails replacement of a bulkhead, is it possible to construct the replacement bulkhead within 2 feet channelward of the existing bulkhead?  Yes  No If not, please explain below:

Length of proposed structure, including returns: \_\_\_\_\_ linear feet

Average channelward encroachment of the structure from Mean high water/ordinary high water mark: _____ feet	Maximum channelward encroachment of the structure from Mean high water/ordinary high water mark: _____ feet
Mean low water: _____ feet	Mean low water: _____ feet
Maximum channelward encroachment from the back edge of the Dune _____ feet	Maximum channelward encroachment from the back edge of the Beach _____ feet

Describe the type of construction including all materials to be used (including all fittings). Will filter cloth be used?  Yes  No

What is the source of the backfill material? \_\_\_\_\_

What is the composition of the backfill material? \_\_\_\_\_

If rock is to be used, give the average volume of material to be used for every linear foot of construction: \_\_\_\_\_ cubic yards  
 What is the volume of material to be placed below the plane of ordinary high water mark/mean high water? \_\_\_\_\_ cubic yards

For projects involving stone:  
 Average weight of core material (bottom layers): \_\_\_\_\_ pounds per stone (Class \_\_\_\_\_)  
 Average weight of armor material (top layers): \_\_\_\_\_ pounds per stone (Class \_\_\_\_\_)

Are there similar shoreline stabilization structures in the vicinity of your project site?  Yes  No  
 If so, describe the type(s) and location(s) of the structure(s):

If you are building a groin or jetty, will the channelward end of the structure be marked to show a hazard to navigation? <input type="checkbox"/> Yes <input type="checkbox"/> No	Has your project been reviewed by the Shoreline Erosion Advisory Service (SEAS)? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please attach a copy of their comments.
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**16. BEACH NOURISHMENT**

Source of material and composition (percentage sand, silt, clay): _____	Volume of material: _____ cubic yards
----------------------------------------------------------------------------	---------------------------------------

Area to be covered \_\_\_\_\_ square feet channelward of mean low water \_\_\_\_\_ square feet channelward of mean high water  
 \_\_\_\_\_ square feet landward of mean low water \_\_\_\_\_ square feet channelward of mean high water

Mode of transportation of material to the project site (truck, pipeline, etc.):

N/A

**16. BEACH NOURISHMENT (Continued)**

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

**17. DREDGING, MINING, AND EXCAVATING**

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands								
Non-vegetated wetlands								
Subaqueous land								
Totals								

Is this a one-time dredging event? \_\_\_Yes \_\_\_No If "no", how many dredging cycles are anticipated: \_\_\_\_\_  
 (\_\_\_ initial cycle in cu. yds.) (\_\_\_ subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):  
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

Will the dredged material be used for any commercial purpose or beneficial use? \_\_\_Yes \_\_\_No  
 If yes, please explain:

If this is a maintenance dredging project, what was the date that the dredging was last performed? \_\_\_\_\_  
 Permit number of original permit: \_\_\_\_\_ (It is important that you attach a copy of the original permit.)

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 3181 ADAM KEELING RD

APPLICANT'S NAME: JAMES E COWAN

APPLICANT'S ADDRESS: 3181 ADAM KEELING RD

Virginia Beach, VA 23454

ENGINEER OF RECORD: David Kledzik

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION:

David Kledzik

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



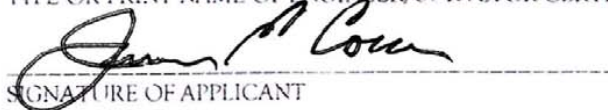
10/3/2023

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

David Kledzik

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

10/2/2023

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

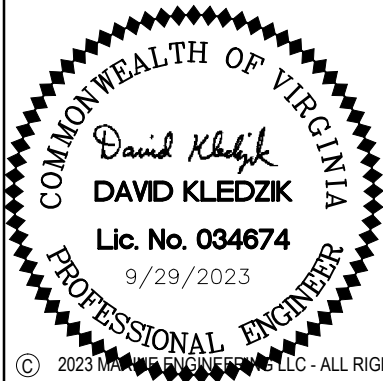
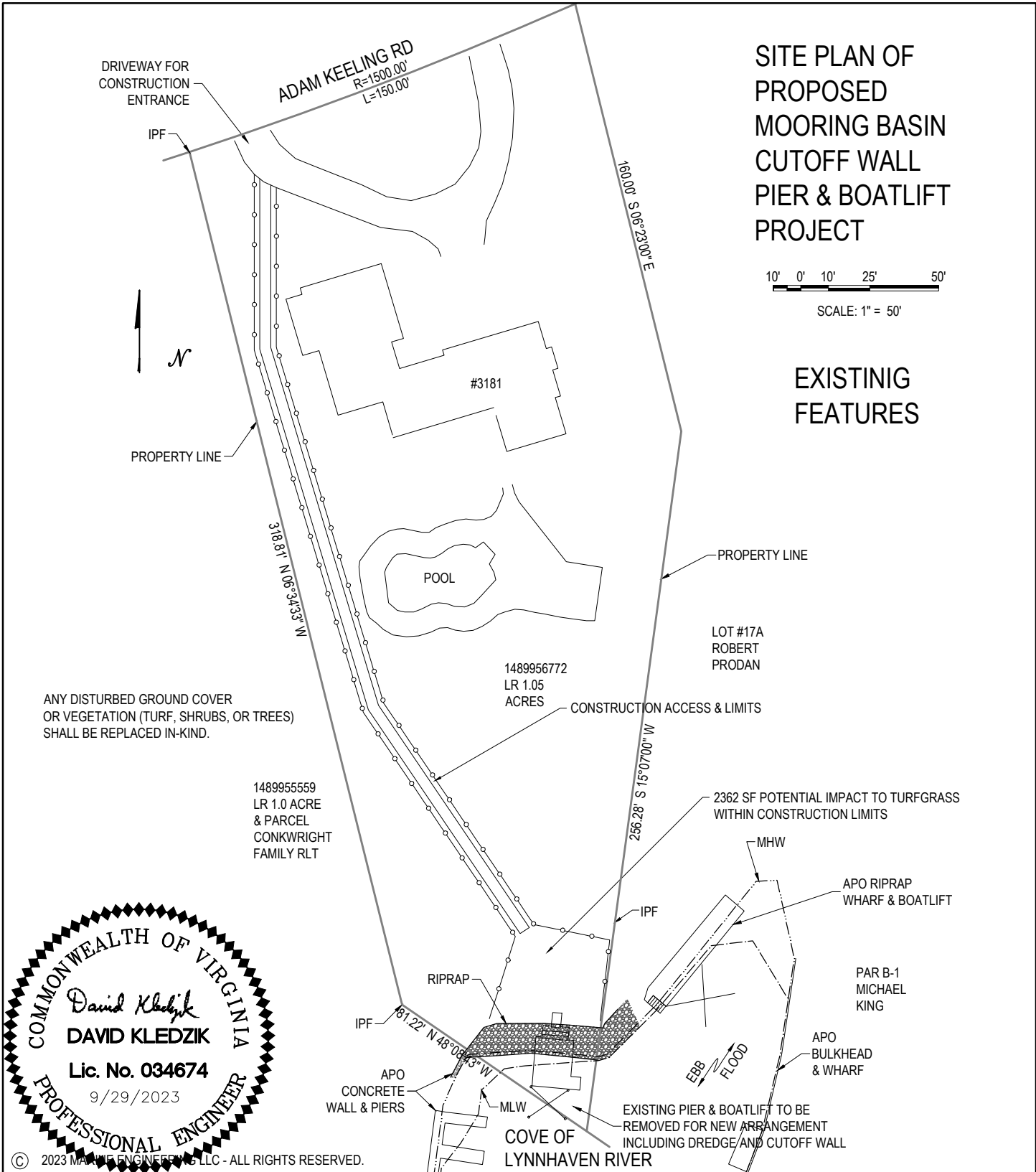
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

# SITE PLAN OF PROPOSED MOORING BASIN CUTOFF WALL PIER & BOATLIFT PROJECT

10' 0' 10' 25' 50'  
SCALE: 1" = 50'

## EXISTING FEATURES



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APPLICANT: JAMES E COWAN  
3181 ADAM KEELING ROAD  
VIRGINIA BEACH, VA 23454  
ADJACENT PROPERTY OWNERS  
SHOWN ON SHEET ONE

MARINE ENGINEERING LLC  
1932 CHARLA LEE LN  
VIRGINIA BEACH, VA 23455  
PH: (757) 477-4787

PROPOSED PROJECT FOR ACCESS &  
WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 1 OF 6  
DATE: SEPTEMBER 29, 2023  
REV-

JOB NUMBER 21187A

# PROPOSED DREDGED BASIN CUTOFF WALL PIER & BOATLIFT

SCALE: 1" = 20'

DREDGING DATA	
SF AREA	CY VOLUME
427	49

## DREDGE IMPACT DATA SF AREA

WETLAND IMPACT		BUFFER IMPACT	
NON-VEG	VEG	NON-VEG	VEG
15	-	65	-

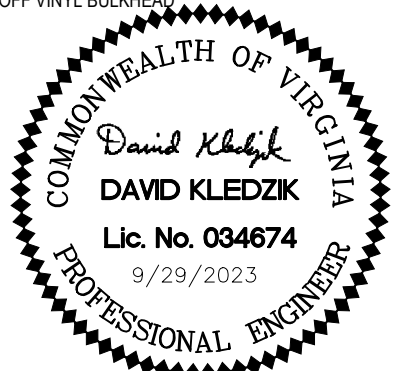
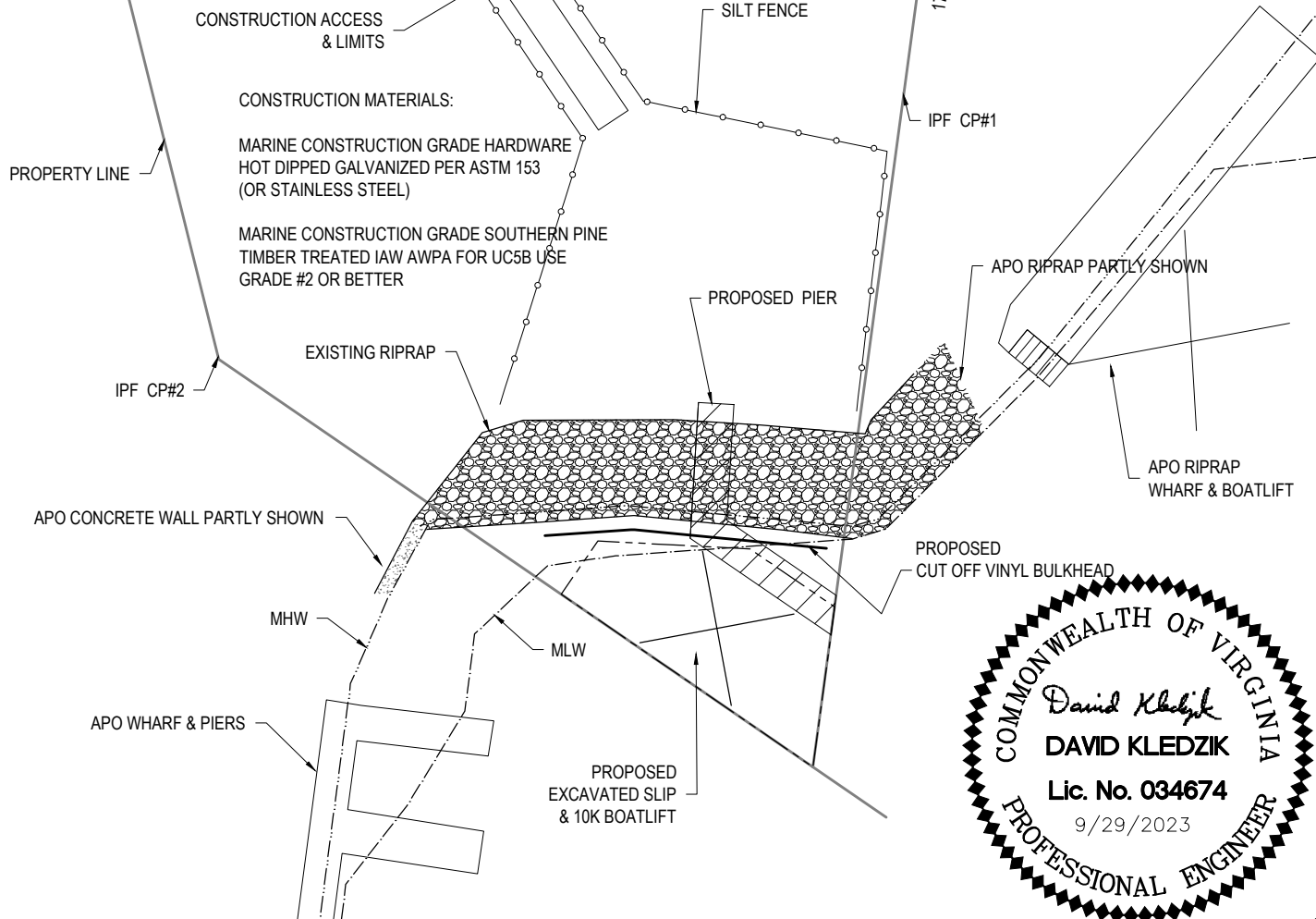
AN IN-LIEU FEE FOR WETLAND COMPENSATION IS CALCULATED  
 15 X \$5.50 = \$82.50    65 X \$5.50 = \$357.50    TOTAL=\$440

\$753.50 PREVIOUSLY PAID IN-LIEU FEE 2022-WTRA-00075

412 SF SUBAQUEOUS DREDGE IMPACTS

### SEQUENCE & TIME LINE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRECONSTRUCTION MEETING
3. INSTALL CONSTRUCTION & ACCESSWAY LIMITS
4. INSTALL SILT FENCE SEAWARD OF SOIL DISTURBANCE
5. REMOVE EXISTING PIER & BOATLIFT
6. INSTALL CUTOFF WALL & PIER
7. EXCAVATE MOORING SLIP & DISPOSE LAWFULLY
8. INSTALL BOATLIFT
9. RESTORE LIMITS WITH IN-KIND REPLACEMENT
10. REMOVE E&S CONTROLS AFTER LAND DISTURBANCE HAS BEEN STABILIZED.



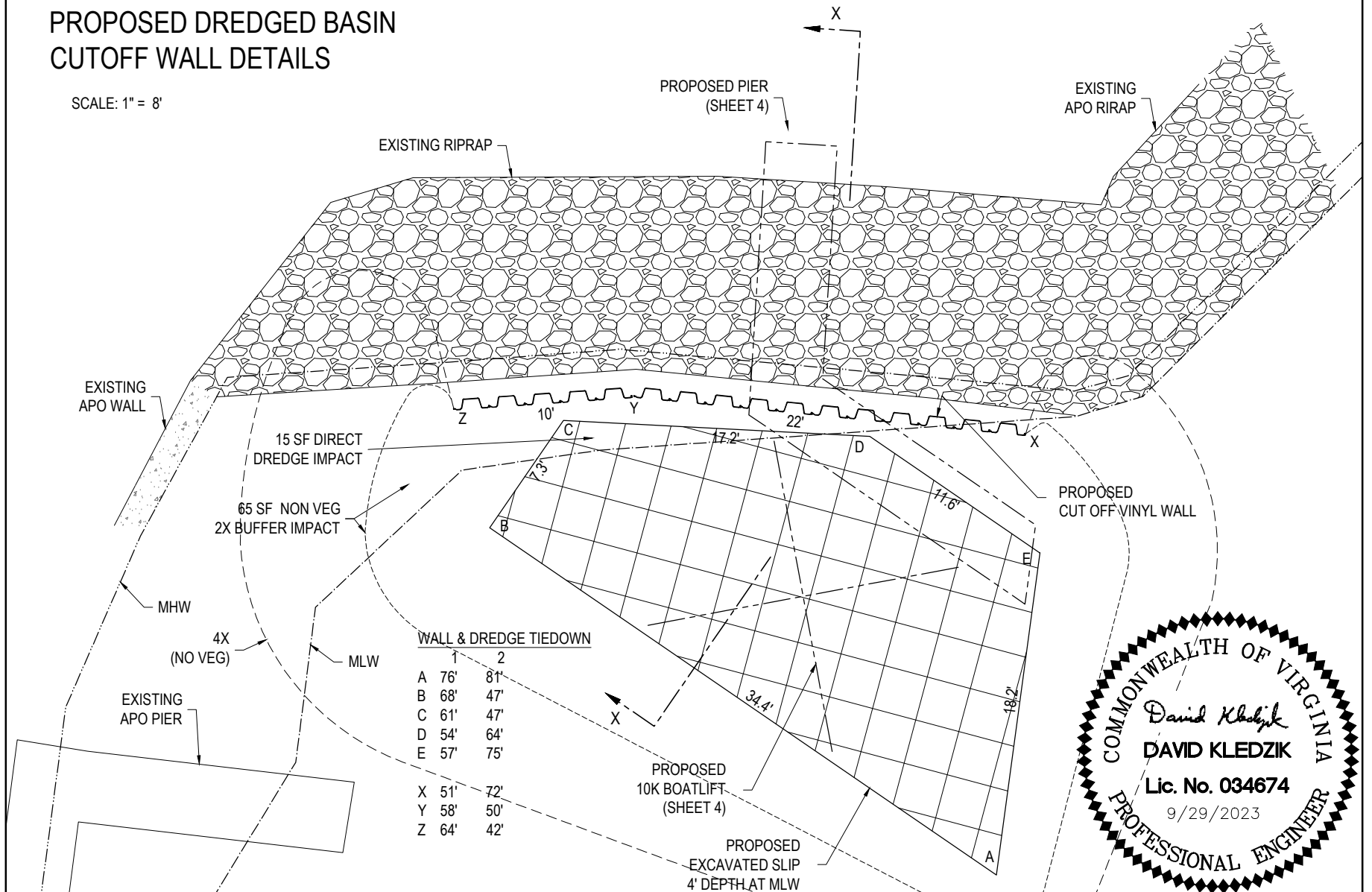
APPLICANT:  
 JAMES E COWAN  
 3181 ADAM KEELING ROAD  
 VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
 1932 CHARLA LEE LN  
 VIRGINIA BEACH, VA 23455  
 PH: (757) 477-4787

PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING  
 DATUM: MLW = 0.00'  
 SHEET 2 OF 6  
 DATE: SEPTEMBER 29, 2023  
 REV-

# PROPOSED DREDGED BASIN CUTOFF WALL DETAILS

SCALE: 1" = 8'



APPLICANT:  
JAMES E COWAN  
3181 ADAM KEELING ROAD  
VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC  
1932 CHARLA LEE LN  
VIRGINIA BEACH, VA 23455  
PH: (757) 477-4787

PROPOSED PROJECT FOR ACCESS &  
WATERCRAFT MOORING

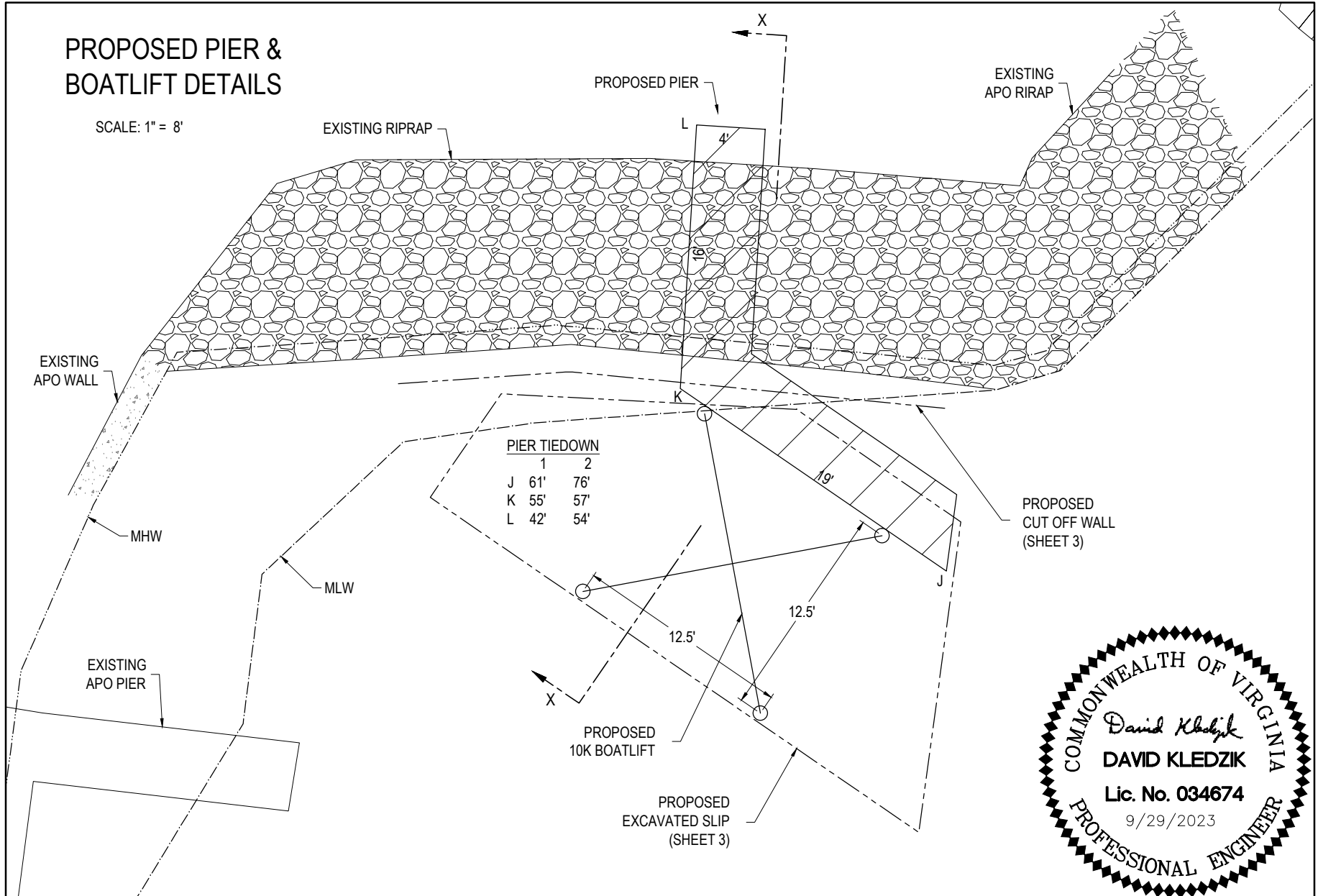
DATUM: MLW = 0.00'

SHEET 3 OF 6  
DATE: SEPTEMBER 29, 2023  
REV-



# PROPOSED PIER & BOATLIFT DETAILS

SCALE: 1" = 8'



APPLICANT:  
 JAMES E COWAN  
 3181 ADAM KEELING ROAD  
 VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC  
 1932 CHARLA LEE LN  
 VIRGINIA BEACH, VA 23455  
 PH: (757) 477-4787

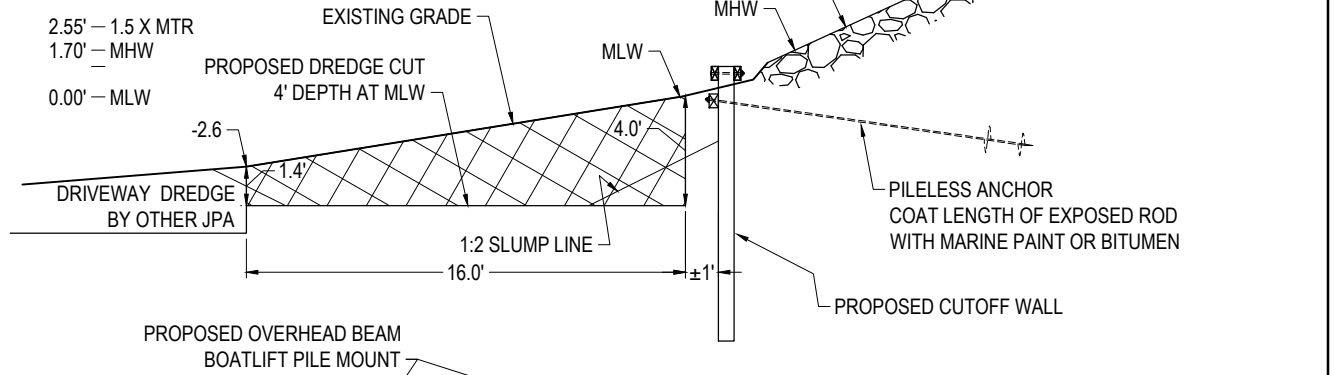
PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 4 OF 6  
 DATE: SEPTEMBER 29, 2023  
 REV-

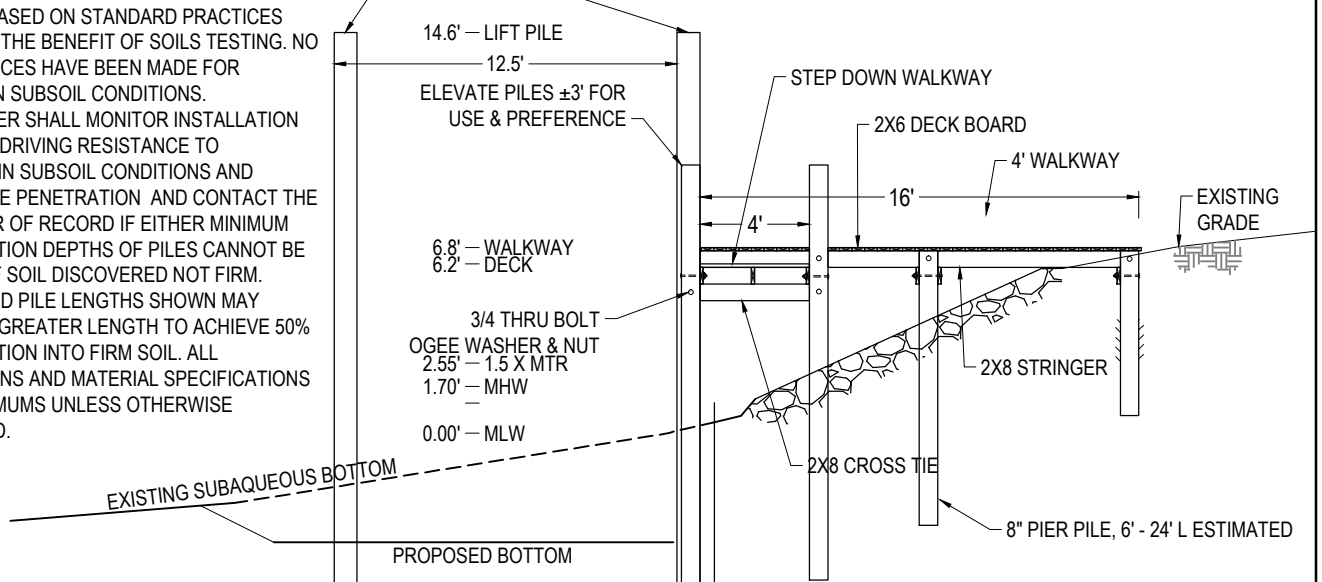
# SECTION X - X PROPOSED DETAILS

SCALE: 1" = 8'



PROPOSED OVERHEAD BEAM  
BOATLIFT PILE MOUNT

DESIGN BASED ON STANDARD PRACTICES WITHOUT THE BENEFIT OF SOILS TESTING. NO ALLOWANCES HAVE BEEN MADE FOR UNKNOWN SUBSOIL CONDITIONS. DEVELOPER SHALL MONITOR INSTALLATION AND PILE DRIVING RESISTANCE TO ASCERTAIN SUBSOIL CONDITIONS AND ADEQUATE PENETRATION AND CONTACT THE ENGINEER OF RECORD IF EITHER MINIMUM PENETRATION DEPTHS OF PILES CANNOT BE MET OR IF SOIL DISCOVERED NOT FIRM. ESTIMATED PILE LENGTHS SHOWN MAY REQUIRE GREATER LENGTH TO ACHIEVE 50% PENETRATION INTO FIRM SOIL. ALL DIMENSIONS AND MATERIAL SPECIFICATIONS ARE MINIMUMS UNLESS OTHERWISE SPECIFIED.



PIER & BOATLIFT MATERIALS:

3/4" THRU BOLT, NUT & WASHER  
#10X3 SCREW  
16d NAIL

8" BUTT DIAMETER PILE, 2.5 PCF CCA  
2" X 8" CROSS TIE. 2.5 PCF CCA  
2" X 8" STRINGER  
2" X 6" DECKBOARD. ACQ OR CA

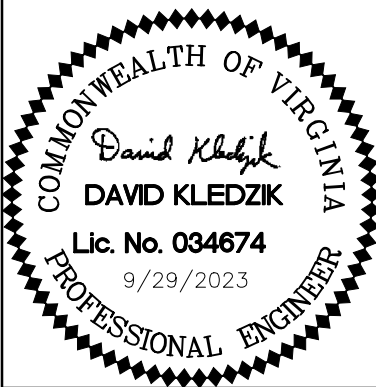
10,000 LB FOUR PILE OVERHEAD BOAT LIFT

10" BUTT DIAMETER PILE, 2.5 PCF CCA

INSTALLED PER MFR RECOMMENDATIONS  
MOUNTING FOOTPRINT VARIES PER MODEL & MFR

50% OR MORE PILE LENGTH EMBEDMENT DRIVEN INTO FIRM SOIL (5' MINIMUM)

BASIN, CUTOFF WALL, WHARF & BOATLIFT PROJECTION VARIES OUT OF PLANE



APPLICANT:  
JAMES E COWAN  
3181 ADAM KEELING ROAD  
VIRGINIA BEACH, VA 23454

## MARINE ENGINEERING LLC

1932 CHARLA LEE LN  
VIRGINIA BEACH, VA 23455  
PH: (757) 477-4787

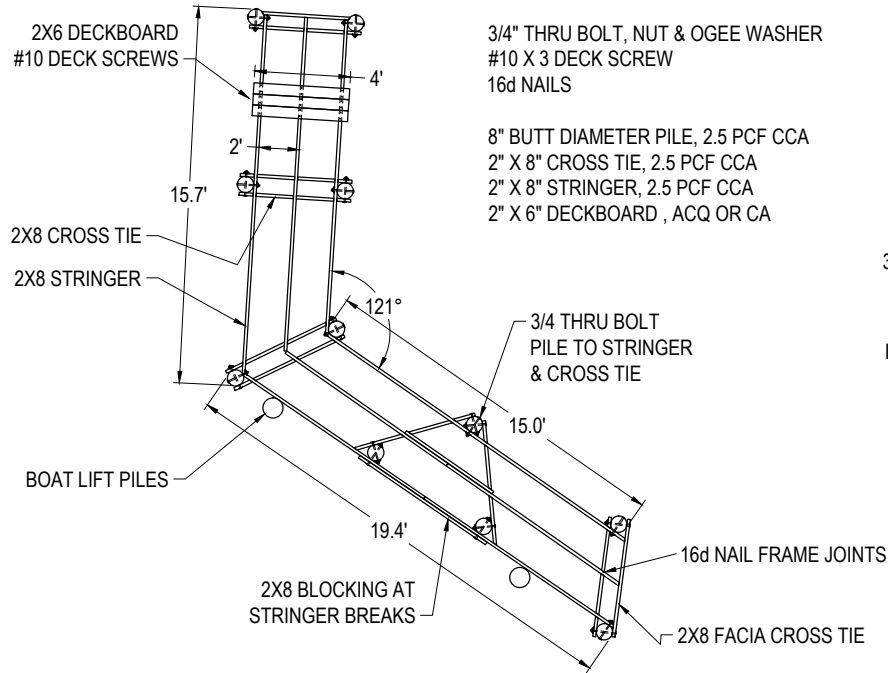
PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 5 OF 6  
DATE: SEPTEMBER 29, 2023  
REV-

# PROPOSED PIER & CUTOFF WALL DETAIL

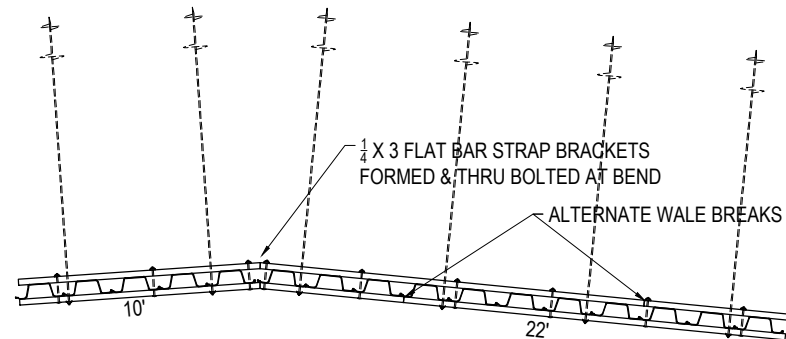
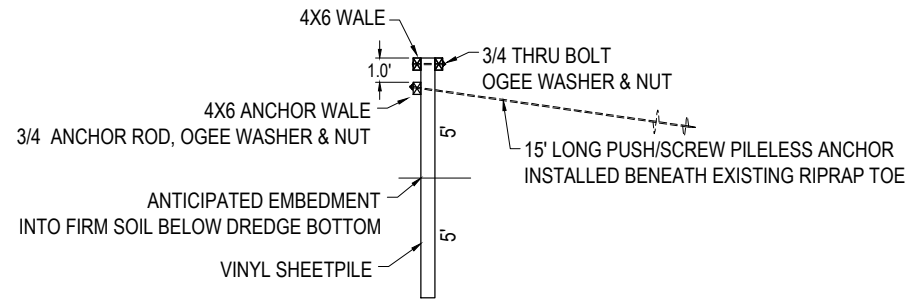
SCALE: 1" = 8"



## PIER MATERIALS:

3/4" THRU BOLT, NUT & OGEE WASHER  
#10 X 3 DECK SCREW  
16d NAILS

8" BUTT DIAMETER PILE, 2.5 PCF CCA  
2" X 8" CROSS TIE, 2.5 PCF CCA  
2" X 8" STRINGER, 2.5 PCF CCA  
2" X 6" DECKBOARD, ACQ OR CA



## CUTOFF WALL MATERIALS:

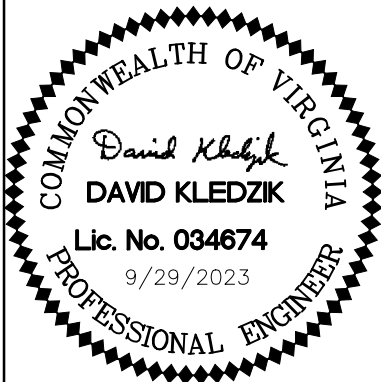
3/4" THRU BOLT, NUT & OGEE WASHER

PILELESS ANCHOR SUCH AS MANTA RAY MR-2, HELICAL  
SCREW 8-10 OR LARGER FOR WEAKER SOILS IF  
ENCOUNTERED

4" X 6" WALE, 2.5 PCF CCA

VINYL SHEETPILE, SEC MOD 10+ IN3

SHEETPILE EMBEDMENT DEPTH BELOW DREDGED BOTTOM FOR  
ANCHORED CUTOFF WALL ANTICIPATED TO BE 5' INTO SANDY SOIL  
FOR PLANNING AND MAY NEED TO BE LENGTHENED UPON  
INSTALLATION TO DETERMINE SUBSOIL PENETRATION RESISTANCE.



APPLICANT:  
JAMES E COWAN  
3181 ADAM KEELING ROAD  
VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC  
1932 CHARLA LEE LN  
VIRGINIA BEACH, VA 23455  
PH: (757) 477-4787

PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 6 OF 6  
DATE: SEPTEMBER 29, 2023  
REV-



License/agency - waterfront

**LICENSE/AGENCY AGREEMENT**

**RE:** Buffer impacts to adjacent property associated with dredging mooring basin.

1. I/we, the undersigned and property owner of 3185 Adam Keeling Rd , hereby authorize James E Cowan to make application in our name to the City of Virginia Beach, Planning Department for the purpose of making certain improvements to the above property owned by us, which improvements are more fully set forth in a copy of the proposed Permit Application attached hereto and incorporated herein by reference. We further authorize to execute the necessary permits and bonds on our behalf if the City of Virginia Beach, Planning Department grants approval for such a permit.
2. We do further grant to the agents of the City of Virginia Beach, Virginia for a period of time until the project is released by the City of Virginia Beach, Planning Department's authorized agent, in writing, the irrevocable right to go upon our said property described above for the purpose of making such improvements deemed necessary to correct or complete any activity referenced on the attached application for Waterfront Construction Permit pursuant to an approved permit(s) from said City. The period of time mentioned above is to commence upon the issuance of a valid permit for said improvements on said property by the City of Virginia Beach, Planning Department.
3. All of the improvements made under any permit issued by the City of Virginia Beach, Planning Department, the Virginia Marine Resources Commission and/or the U. S. Army Corps of Engineers are to be made at the sole expense of James E Cowan including the posting of any required bond or other surety.

D.D. Conkwright m.d.      D.D. Conkwright MD      2/16/23  
(Printed Name of Owner)      (Signature of Owner)      (Date)

James E Cowan      [Signature]      11/6/2023  
(Printed Name of Applicant)      (Signature of Applicant)      (Date)

License/agency - waterfront

**LICENSE/AGENCY AGREEMENT**

RE: Buffer impacts to adjacent property associated with dredging mooring basin.

1. I/we, the undersigned and property owner of 3179 Adam Keeling Rd , hereby authorize James E Cowan to make application in our name to the City of Virginia Beach, Planning Department for the purpose of making certain improvements to the above property owned by us, which improvements are more fully set forth in a copy of the proposed Permit Application attached hereto and incorporated herein by reference. We further authorize to execute the necessary permits and bonds on our behalf if the City of Virginia Beach, Planning Department grants approval for such a permit.
2. We do further grant to the agents of the City of Virginia Beach, Virginia for a period of time until the project is released by the City of Virginia Beach, Planning Department's authorized agent, in writing, the irrevocable right to go upon our said property described above for the purpose of making such improvements deemed necessary to correct or complete any activity referenced on the attached application for Waterfront Construction Permit pursuant to an approved permit(s) from said City. The period of time mentioned above is to commence upon the issuance of a valid permit for said improvements on said property by the City of Virginia Beach, Planning Department.
3. All of the improvements made under any permit issued by the City of Virginia Beach, Planning Department, the Virginia Marine Resources Commission and/or the U. S. Army Corps of Engineers are to be made at the sole expense of James E Cowan including the posting of any required bond or other surety.

Robert Prodan

*RL Prodan*

*11/2/23*

(Printed Name of Owner)

(Signature of Owner)

(Date)

James E Cowan

*James E Cowan*

*11/6/2023*

(Printed Name of Applicant)

(Signature of Applicant)

(Date)

**4. 2023-WTRA-00234**

**Merri B. Tyrrel**

[Applicant & Owner]

2912 Sand Bend Road

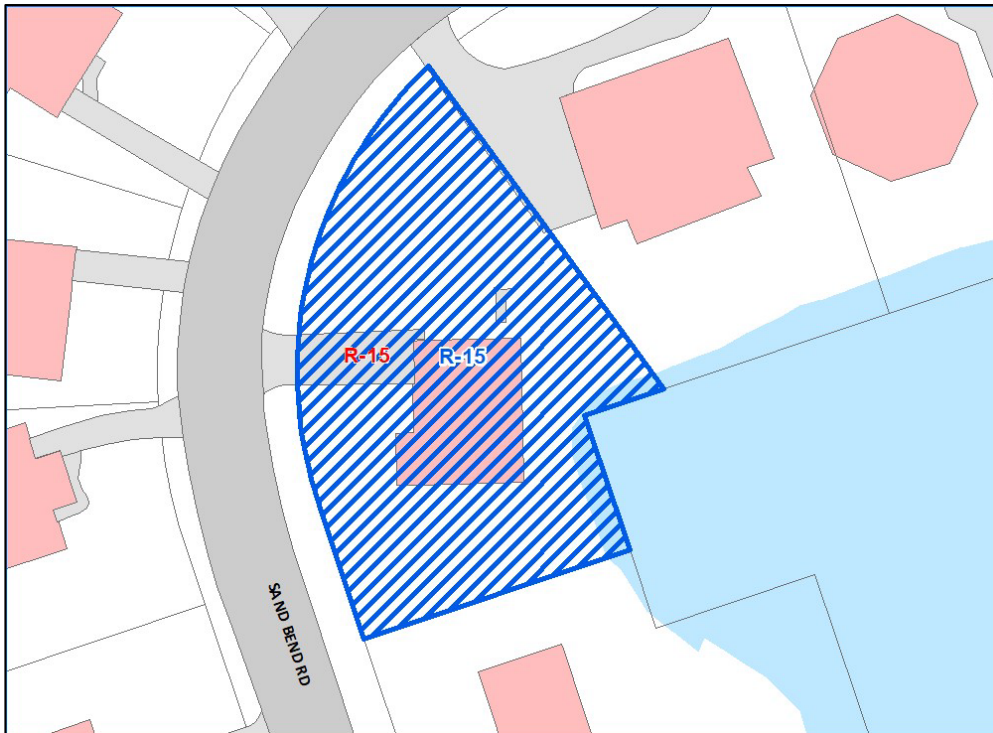
GPIN 2433-33-2881

City Council District: District 2

Waterway – Canal to North Bay

Subdivision – Back Bay Meadows

Request: To construct a bulkhead involving wetlands.



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** Merri B. Tyrrel

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

Robert Simon - Waterfront Consulting, Inc.

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.  
N/A
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.  
N/A
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.

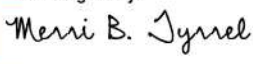
Agent - Robert Simon, Waterfront Consulting, Inc. Engineer - Sean Green, P.E.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

DocuSigned by:  
  
 ACB0FEE23A9B435...

**Applicant Signature**  
Merri B. Tyrrel

**Print Name and Title**  
10/31/2023

**Date**

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	PASDO – PGP Self Verification <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	<i>(Replaces Regional Permit 17 (RP-17) checklist)</i>			
<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>North Bay Inlet</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
VMRC	APPROVED	VMRC 2018-1180	7/24	

### Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
 Merri B. Tyrrel Home ( ) \_\_\_\_\_  
 2912 Sand Bend Road Work ( ) \_\_\_\_\_  
 Virginia Beach, VA 23456 Fax ( ) \_\_\_\_\_  
 Cell (951) 775-0778  
 e-mail mikeandmerri@yahoo.com  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
 Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
 Waterfront Consulting, Inc. Home ( ) \_\_\_\_\_  
 2589 Quality Court, Ste. 323 Work ( ) \_\_\_\_\_  
 Virginia Beach, VA 23454 Fax ( ) \_\_\_\_\_  
 Cell (757) 619-7302  
 e-mail bob@waterfrontconsulting.net  
 State Corporation Commission Name and ID Number (if applicable) 047-4381-1

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

This project was previously approved by the Virginia Beach wetlands board and has expired. The only changes from the original application are to the proposed wharf. The proposed wharf has been shortened to conform to the 10' side yard setback.

The proposed project involves the construction of 96 LF of timber bulkhead with fill to be constructed no more than 2' channelward of the existing failing bulkhead. There will be 42 sf of non vegetated wetlands impacts in the washout areas behind the failing bulkhead. The existing bulkhead will remain.

This project also involves the construction of an 8'x51' open pile timber wharf as shown in the attached drawings. Adjacent to the wharf will be a single pile personal watercraft lift and a (4) pile boatlift. The existing timber pier will be removed.

Wetlands impacts: 42 sf non vegetated  
 Subaqueous impacts: 158 sf

### Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot  
150 W. Brambleton Avenue  
Norfolk, VA 23510

( 757 ) 622-1455

- 7. Give the following project location information:

Street Address (911 address if available) 2912 Sand Bend Road \_\_\_\_\_

Lot/Block/Parcel# Section 3 Lot 4 \_\_\_\_\_

Subdivision Back Bay Meadows \_\_\_\_\_

City / County Virginia Beach \_\_\_\_\_ ZIP Code 23456 \_\_\_\_\_

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
\_\_\_\_\_ 36.72561 / - 75.93948 \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose: Erosion prevention

Secondary purpose: Water access

## Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)
- Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The proposed project involves 42 sf of non vegetated impacts in the washout areas behind the failing bulkhead. The exposed height of the failing bulkhead is ~8' and the proximity to the dwelling does not allow for a living shoreline.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ <u>500,000</u>  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ \_\_\_\_\_

13. Completion date of the proposed work: approximately one year after approval - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Whitley Living Trust	2908 Sand Bend Road	Virginia Beach, VA 23456
Carrollyn Cox	600 Queensgrove Cres	Virginia Beach, VA 23452

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Merri B. Tyrrel

\_\_\_\_\_  
Applicant's Legal Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

DocuSigned by:

*Merri B. Tyrrel*

ACB0FEF23A9B435...

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

10/31/2023

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Merri B. Tyrrel, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon  
(Agent’s Signature)

\_\_\_\_\_  
(Use if more than one agent)

10/31/2023  
(Date)

DocuSigned by:  
Merri B. Tyrrel  
ACB0FF23A9B435  
(Applicant’s Signature)

\_\_\_\_\_  
(Use if more than one applicant)

10/31/2023  
(Date)

### 3. Applicant’s having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Merri B. Tyrrel, have contracted \_\_\_\_\_  
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor’s name or name of firm

\_\_\_\_\_  
Contractor’s or firms address

\_\_\_\_\_  
Contractor’s signature and title

\_\_\_\_\_  
Contractor’s License Number

\_\_\_\_\_  
Applicant’s signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date





**WATERFRONT CONSULTING, INC.**  
**"Specializing in Permit Processing"**

Whitley Living Trust  
2908 Sand Bend Road  
Virginia Beach, VA 23456

**RE: Proposed Bulkhead, Wharf, Boat lift, PWL**  
**Located at: 2912 Sand Bend Road, Virginia Beach, VA 23456**

Dear Whitley Living Trust

This letter is to notify you that your neighbor(s), Merri B. Tyrrel have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Merri B. Tyrrel , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Whitley Living Trust, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Merri B. Tyrrel.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated October 30, 2023  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

Carrollyn Cox  
600 Queensgrove Cres  
Virginia Beach, VA 23452

**RE: Proposed Bulkhead, Wharf, Boat lift, PWL**  
**Located at: 2912 Sand Bend Road, Virginia Beach, VA 23456**

Dear Carrollyn Cox

This letter is to notify you that your neighbor(s), Merri B. Tyrrel have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Merri B. Tyrrel , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Carrollyn Cox, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Merri B. Tyrrel.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated October 30, 2023  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**DEPARTMENT OF THE ARMY**  
**U.S. ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT**  
**23-SPGP-PASDO SELF-VERIFICATION FORM**  
**CATEGORY A PIER STRUCTURES**

Expires: August 21, 2028

Please review the 23-SPGP-PASDO before completing this form. This can only be used for proposed PRIVATE USE structures that comply with the terms and conditions of the 23-SPGP-PASDO located on the Corps website: <https://www.nao.usace.army.mil/Missions/Regulatory/RBregional/> .

1. Has the permittee reviewed the 23-SPGP-PASDO and verified that the proposed structures are in compliance with all the terms, conditions, and limitations of 23-SPGP-PASDO?  
 YES    NO
2. Are the proposed structures for private use only?  
 YES    NO
3. To avoid adverse effects to navigation, do the proposed structures extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?  
 YES    NO
4. If the proposed structures cross wetland vegetation, are they an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?  
 YES    NO    N/A
5. Do the proposed structures include no more than two (2) lifts and no more than two (2) boat slips?  
 YES    NO    N/A
6. Is the open-sided roof structure designed to shelter a boat no more than 700 square feet and/or is the open-sided roof structure or gazebo structure designed to shelter a pier no more than 400 square feet?  
 YES    NO    N/A
7. Are all piles associated with the proposed structure non-steel, no more than 12" in diameter, and will there be no more than 25 piles installed channelward of MHW?  
 YES    NO
8. When operationally feasible, is all work occurring behind cofferdams, turbidity curtains, or other methods used to control turbidity?  
 YES    NO
9. If the proposed structures are to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if 1) piles are to be installed with a cushioned impact hammer and there are fewer than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline; or 2) piles are to be installed with a vibratory hammer and there are fewer than 384 feet between the most channelward pile and MLW on the opposite shoreline? <https://services.dwr.virginia.gov/fwis/> .  
 YES    NO    N/A
10. Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5-year composite?  
<https://mobjack.vims.edu/sav/savwabmap/>  
 YES    NO
11. Has the permittee ensured the construction of the proposed structures will not affect federally listed threatened or endangered species or designated critical habitat?  
 NOAA PRD: <https://www.fisheries.noaa.gov/new-england-mid-atlantic/consultations/section-7-consultations-greater-atlantic-region> ; and  
 US Fish and Wildlife Service: <https://ipac.ecosphere.fws.gov/>  
 YES    NO

- 12. Will the proposed structures be located outside of the following waterbodies: Broad Creek in Middlesex County, Fisherman’s Cove in Norfolk, or the Salt Ponds in Hampton?  
 YES    NO
- 13. Is your project located outside of the Section 408 Review Area boundaries for civil works projects (e.g. federal navigation channels, flood risk management projects, or aquatic ecosystem restoration projects) as depicted on the “Norfolk District Section 408 Review Layer” in the Norfolk District Section 408 Map? <https://www.nao.usace.army.mil/408Review/>  
 YES    NO
- 14. Is your project located outside of any federal property? Federal property can be located on the “NAO Real Estate Data – CWLDM Land Parcel Area” layer on the Norfolk District Section 408 Map? <https://www.nao.usace.army.mil/408Review/> .  
 YES    NO
- 15. Will the proposed structures be located outside of any Designated Trout Waters?  
<https://services.dwr.virginia.gov/fwis/>  
 YES    NO
- 16. If the proposed structures include floatation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?  
 YES    NO    N/A
- 17. Does the permittee recognize this form does not authorize any dredging or filling of waters of the United States (including wetlands) and does not imply that future dredging proposals or any other structures will be approved by the Corps?  
 YES    NO

If you have answered “NO” to any of the questions above, then the Category A Self-Verification of the 23-SPGP-PASDO does NOT apply, and you are required to obtain written authorization from the Corps prior to performing the work.

If you answered “YES” (or “N/A, where applicable) to all of the questions above, you are in compliance with the Category A Self-Verification of the 23-SPGP-PASDO. Please sign below and submit this self-verification form with your completed Joint Permit Application (JPA). This signed form serves as your letter of authorization from the Corps. You WILL NOT receive any other written authorization from the Corps; however, you MAY NOT proceed with construction until you have obtained all other necessary state and local permits.

**By signing below, I certify that I have read and understand all conditions of the Army Corps of Engineers Norfolk District Regulatory Branch 23-SPGP-PASDO, dated August 22, 2023. I accept all of the terms and conditions of the permit, including the limits of federal liability contained in the 23-SPGP-PASDO enclosure. I acknowledge that structures authorized under this permit may be exposed to waves caused by passing vessels. The permittee is solely responsible for the integrity of the permitted structures and any resulting wave damage to such structures or moored vessels. I accept that the United States is not liable in any way for such damage and that the permittee will not seek to involve the United States in any actions or claims regarding such damage.**

Robert E. Simon  
Signature of Property Owner(s) or Agent

10/31/2023  
Date

Proposed work location:  
2912 Sand Bend Road  
Virginia Beach, VA 23456

\_\_\_\_\_  
VMRC Number

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

### 1. Briefly describe your proposed project.

This project also involves the construction of an 8'x51' open pile timber wharf as shown in the attached drawings. Adjacent to the wharf will be a single pile personal watercraft lift and a (4) pile boatlift. The existing timber pier will be removed.

### 2. For private, noncommercial piers:

Do you have an existing pier on your property?  Yes \_\_\_ No

If yes, will it be removed?  Yes \_\_\_ No

Is your lot platted to the mean low water shoreline?  Yes \_\_\_ No

What is the overall length of the proposed structure? 8 feet. BOATLIFT = 12'

Channelward of Mean High Water? 23 feet.

Channelward of Mean Low Water? 23 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 397 square feet.

What is the total size of any and all L- or T-head platforms? n/a sq. ft.

For boathouses, what is the overall size of the roof structure? n/a sq. ft.

Will your boathouse have sides? \_\_\_ Yes \_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

- Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The proposed project involves the construction of 96 LF of timber bulkhead with fill to be constructed no more than 2' channelward of the existing failing bulkhead. There will be 42 sf of non vegetated wetlands impacts in the washout areas behind the failing bulkhead. The existing bulkhead will remain.

Wetlands impacts: 42 sf non vegetated  
Subaqueous impacts: 158 sf

Approximately 20-30 CY of fill below MHW  
Approximately 50-60 CY of fill above MHW

- What is the maximum encroachment channelward of mean high water? 4 feet.  
Channelward of mean low water? 2 feet.  
Channelward of the back edge of the dune or beach? n/a feet.
- Please calculate the square footage of encroachment over:
 

• Vegetated wetlands	<u>0</u>	square feet
• Non-vegetated wetlands	<u>42</u>	square feet
• Subaqueous bottom	<u>158</u>	square feet
• Dune and/or beach	<u>0</u>	square feet
- For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.





# ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2912 Sand Bend Road

APPLICANT'S NAME: Merri B. Tyrrel

APPLICANT'S ADDRESS: 2912 Sand Bend Road

Virginia Beach, VA 23456

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT

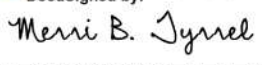
CONSTRUCTION: Bulkhead, Wharf, Boat lift, PWL

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

 11-14-23  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION DATE

Sean E. Green, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

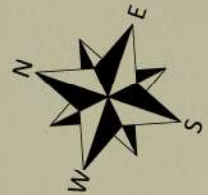
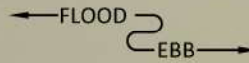
DocuSigned by:  
 10/31/2023  
ACB0FF23A9B435  
SIGNATURE OF APPLICANT DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

NORTH BAY INLET



APO #1  
NOW OR FORMERLY  
WHITLEY LIVING TRUST  
2908 SAND BEND ROAD  
GPIN: 2433-33-3962

EX. BOATHOUSE AND  
WHARF

EX. BULKHEAD

S 79°26'00" W  
30.00'

S 10°34'00" E  
50.58'

MLW & MHW @ EX.  
BULKHEAD EXCEPT  
WHERE NOTED

EX. PIER

MHW

EX. BULKHEAD

EX. DECK

2 STORY FRAME  
#2912 SAND BEND

CONC  
DRIVE

APO #2

NOW OR FORMERLY  
CARROLLYN COX  
2936 SAND BEND ROAD  
GPIN: 2433-33-3720



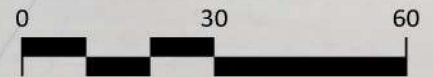
Sean E.  
Green

Digitally signed by:  
Sean E. Green  
Date: 2023.11.14  
20:12:43 -05'00'

EXISTING  
CONDITIONS

SAND BEND ROAD  
50' RIGHT-OF-WAY

N 10°34'00" W  
50.58'



SCALE: 1" = 30'

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PURPOSE: EROSION PREVENTION,  
WATER ACCESS  
DATUM: MLW = -1.30'

- APOS:
- 1. WHITLEY LIVING TRUST
  - 2. CARROLLYN COX



WATERFRONT  
CONSULTING, INC.

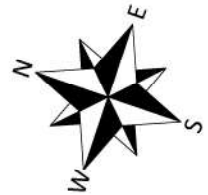
2589 QUALITY COURT, SUITE 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
STONE GREEN CONSULTING, LLC  
4014 MEDINA ROAD #1015, AKRON, OH 44333  
(330) 883-2117

PROPOSED: BULKHEAD, WHARF, BOAT  
LIFT, PWL  
IN: NORTH BAY INLET  
AT: 2912 SAND BEND ROAD  
VIRGINIA BEACH, VA 23456  
APPLICATION BY: MERRI TYRREL

SHEET: 1 OF 11  
DATE: OCTOBER 30, 2023

NORTH BAY INLET



ACCESSWAY = 1,750 SF  
 TOTAL AREA OF DISTURBANCE = 1,750 SF

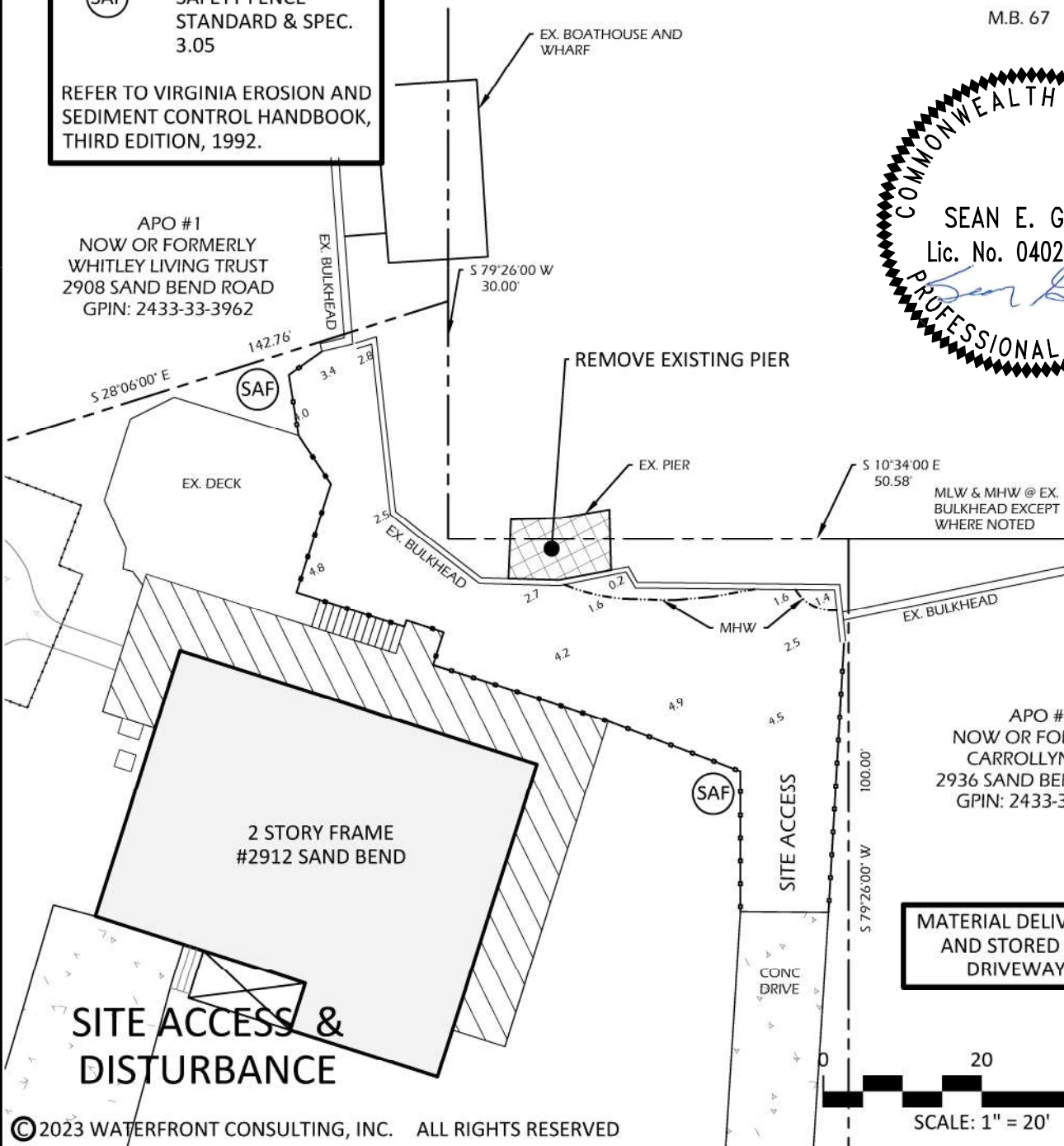
AREA IS APPROXIMATE

(SAF)

TEMPORARY PLASTIC SAFETY FENCE STANDARD & SPEC. 3.05

REFER TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992.

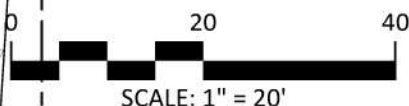
APO #1  
 NOW OR FORMERLY WHITLEY LIVING TRUST  
 2908 SAND BEND ROAD  
 GPIN: 2433-33-3962



S 10°34'00 E 50.58'  
 MLW & MHW @ EX. BULKHEAD EXCEPT WHERE NOTED

APO #2  
 NOW OR FORMERLY CARROLLYN COX  
 2936 SAND BEND ROAD  
 GPIN: 2433-33-3720

MATERIAL DELIVERED AND STORED ON DRIVEWAY



SCALE: 1" = 20'

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PURPOSE: EROSION PREVENTION, WATER ACCESS  
 DATUM: MLW = -1.30'  
 APOS:  
 1. WHITLEY LIVING TRUST  
 2. CARROLLYN COX

**WCI WATERFRONT CONSULTING, INC.**  
 2589 QUALITY COURT, SUITE 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302  
 ENGINEERING SERVICES PROVIDED BY:  
 STONE GREEN CONSULTING, LLC  
 4014 MEDINA ROAD #1015, AKRON, OH 44333  
 (330) 883-2117

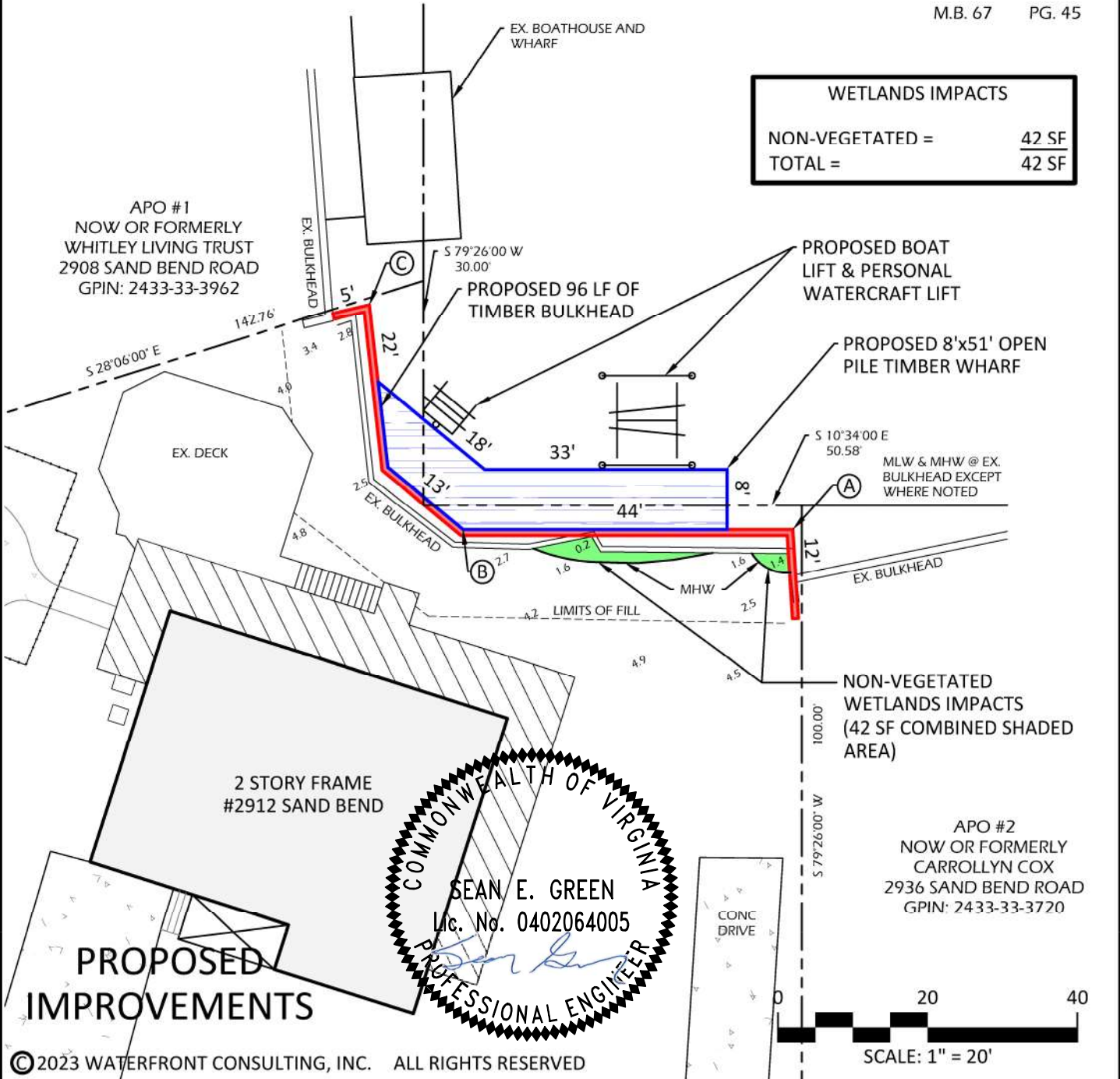
PROPOSED: BULKHEAD, WHARF, BOAT LIFT, PWL  
 IN: NORTH BAY INLET  
 AT: 2912 SAND BEND ROAD  
 VIRGINIA BEACH, VA 23456  
 APPLICATION BY: MERRI TYRREL  
 SHEET: 2 OF 11  
 DATE: OCTOBER 30, 2023

NORTH BAY INLET



SUBAQUEOUS IMPACTS	
BULKHEAD =	158 SF
TOTAL =	158 SF

WETLANDS IMPACTS	
NON-VEGETATED =	42 SF
TOTAL =	42 SF



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PURPOSE: EROSION PREVENTION,  
WATER ACCESS  
DATUM: MLW = -1.30'

APOS:  
1. WHITLEY LIVING TRUST  
2. CARROLLYN COX

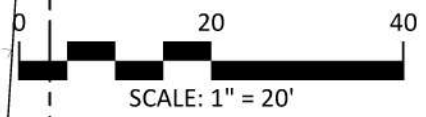
**WCI** WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, SUITE 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

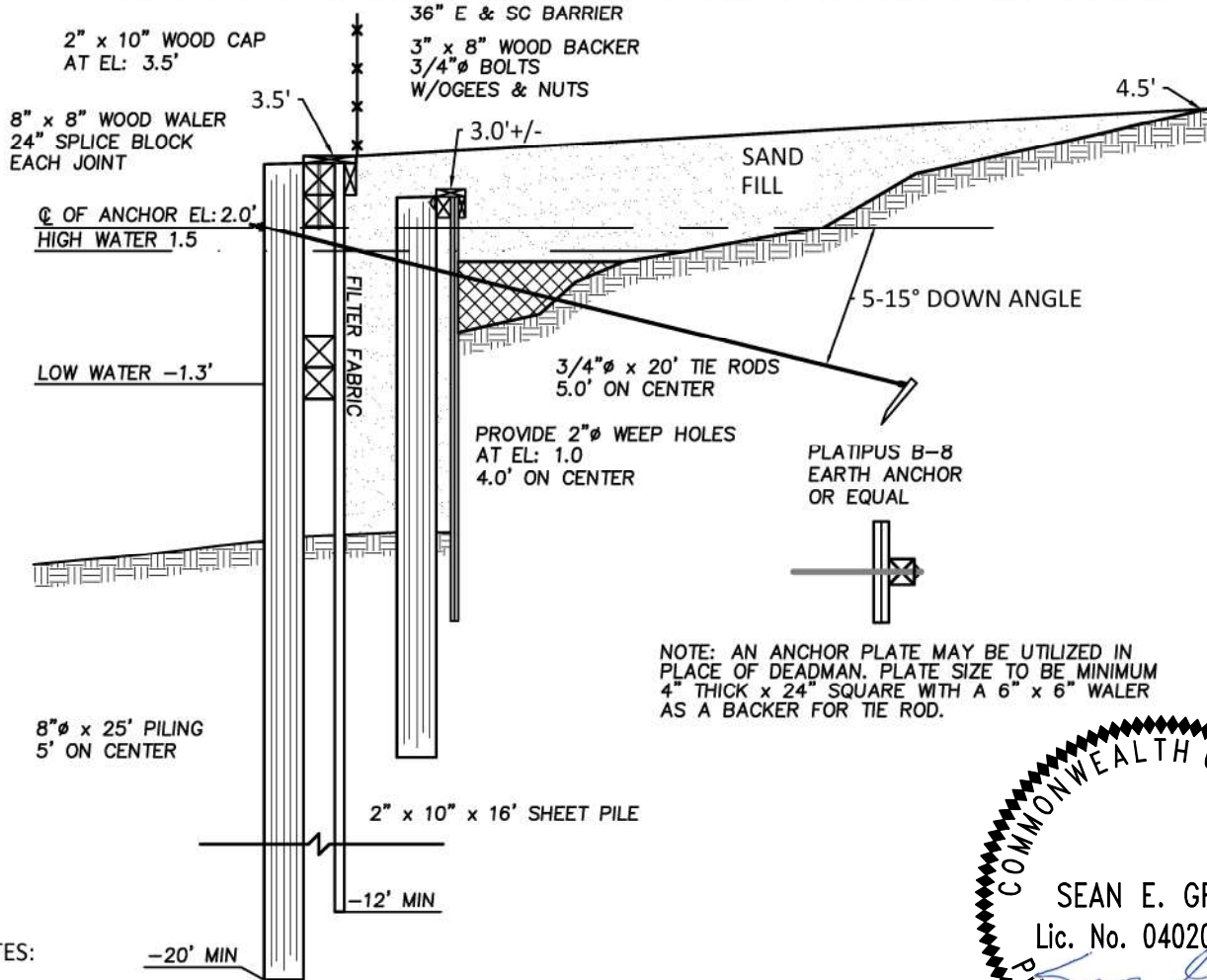
ENGINEERING SERVICES PROVIDED BY:  
STONE GREEN CONSULTING, LLC  
4014 MEDINA ROAD #1015, AKRON, OH 44333  
(330) 883-2117

PROPOSED: BULKHEAD, WHARF, BOAT LIFT, PWL  
IN: NORTH BAY INLET  
AT: 2912 SAND BEND ROAD VIRGINIA BEACH, VA 23456  
APPLICATION BY: MERRI TYRREL

SHEET: 3 OF 11  
DATE: OCTOBER 30, 2023



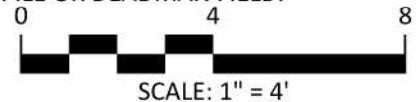
## PROPOSED BULKHEAD CROSS SECTION A-B (42 SF OF NON-VEGETATED IMPACTS)



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: EROSION PREVENTION,  
WATER ACCESS  
DATUM: MLW = -1.30'

- APOS:
1. WHITLEY LIVING TRUST
  2. CARROLLYN COX



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

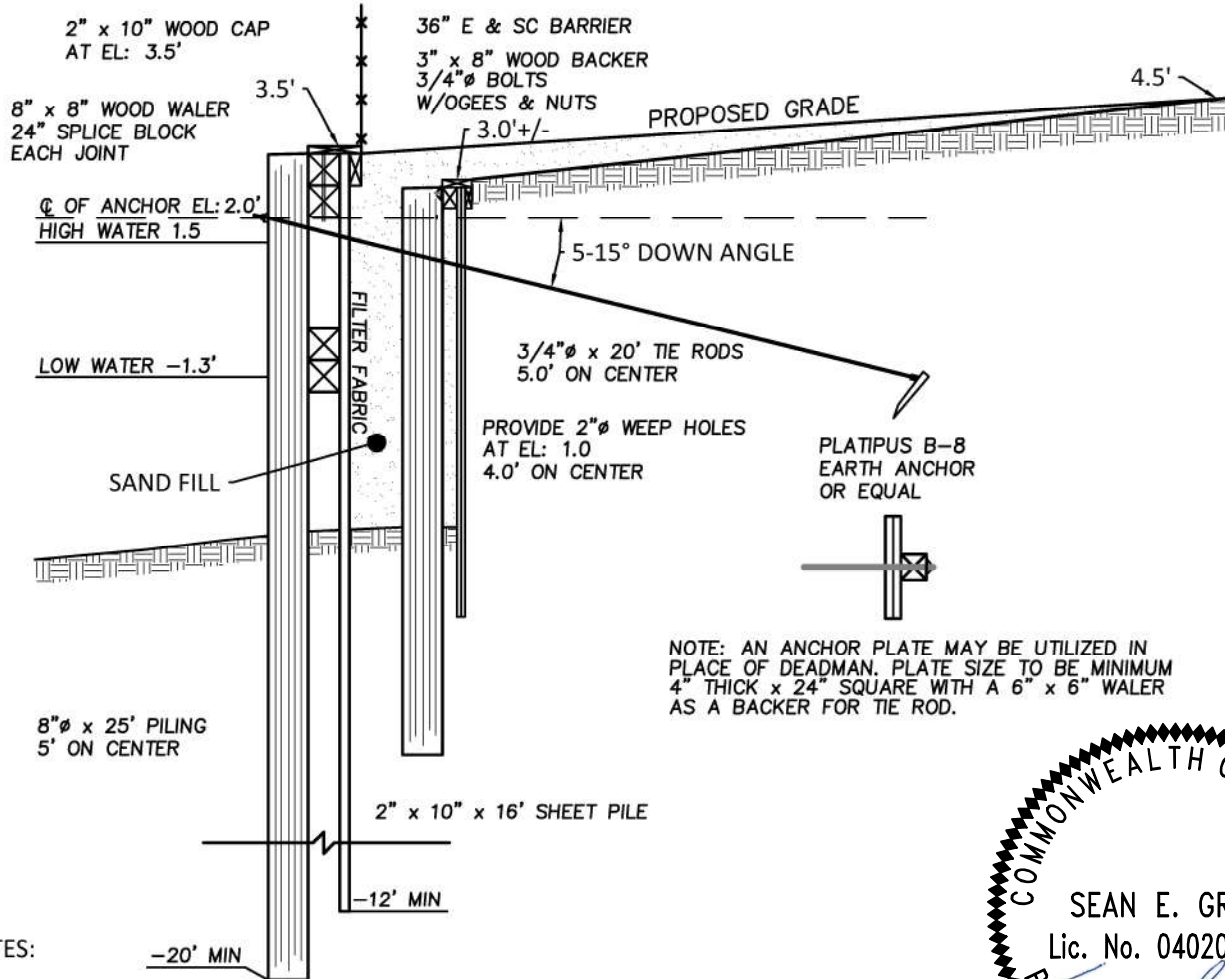
ENGINEERING SERVICES PROVIDED BY:  
STONE GREEN CONSULTING, LLC  
4014 MEDINA ROAD #1015, AKRON, OH 44333  
(330) 883-2117

PROPOSED: BULKHEAD, WHARF, BOAT  
LIFT, PWL  
IN: NORTH BAY INLET  
AT: 2912 SAND BEND ROAD  
VIRGINIA BEACH, VA 23456  
APPLICATION BY: MERRI TYRREL

SHEET: 4 OF 11  
DATE: OCTOBER 30, 2023



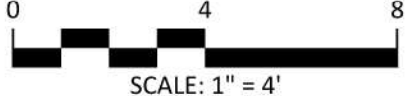
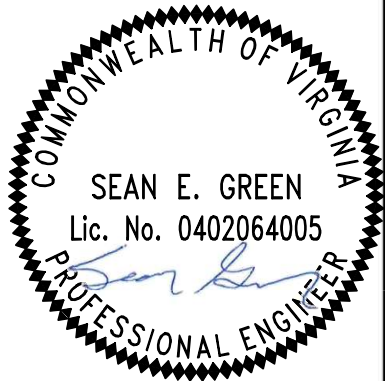
## PROPOSED BULKHEAD CROSS SECTION B-C



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: EROSION PREVENTION,  
WATER ACCESS  
DATUM: MLW = -1.30'

APOS:  
1. WHITLEY LIVING TRUST  
2. CARROLLYN COX

**WATERFRONT  
CONSULTING, INC.**

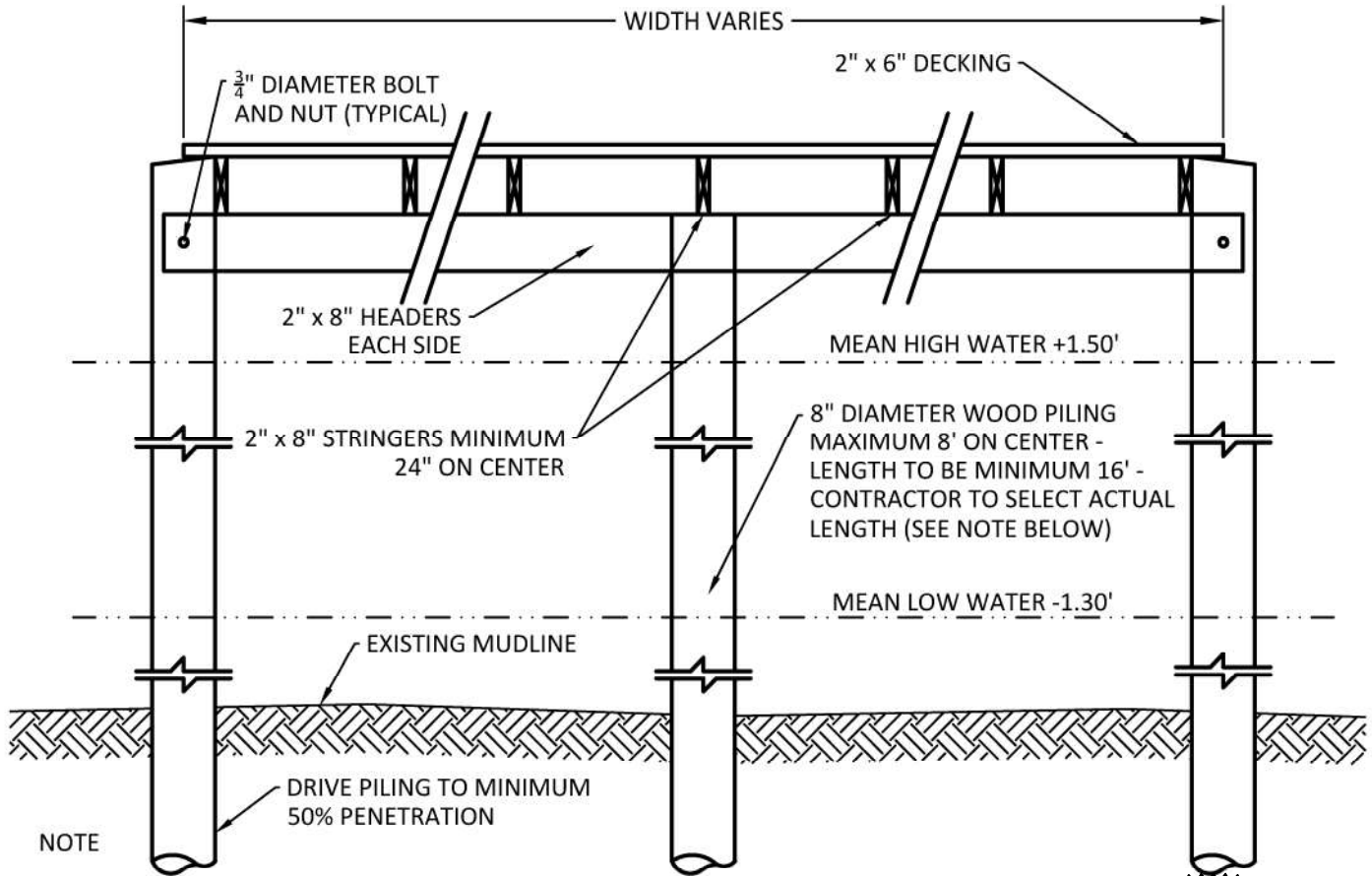
2589 QUALITY COURT, SUITE 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
STONE GREEN CONSULTING, LLC  
4014 MEDINA ROAD #1015, AKRON, OH 44333  
(330) 883-2117

PROPOSED: BULKHEAD, WHARF, BOAT  
LIFT, PWL  
IN: NORTH BAY INLET  
AT: 2912 SAND BEND ROAD  
VIRGINIA BEACH, VA 23456  
APPLICATION BY: MERRI TYRREL

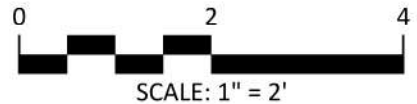
SHEET: 5 OF 11  
DATE: OCTOBER 30, 2023

# PROPOSED WHARF CROSS SECTION



**NOTE**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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WATER ACCESS  
DATUM: MLW = -1.30'

APOS:  
1. WHITLEY LIVING TRUST  
2. CAROLLYN COX



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2589 QUALITY COURT, SUITE 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
STONE GREEN CONSULTING, LLC  
4014 MEDINA ROAD #1015, AKRON, OH 44333  
(330) 883-2117

PROPOSED: BULKHEAD, WHARF, BOAT  
LIFT, PWL  
IN: NORTH BAY INLET  
AT: 2912 SAND BEND ROAD  
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APPLICATION BY: MERRI TYRREL

SHEET: 6 OF 11  
DATE: OCTOBER 30, 2023



## NLAA COMPLIANCE

ITEM	8"PILE	10" PILE	12" PILE		
PIER	8				
BULKHEAD	16				
BOATLIFT		4			
PWL	1				

ALL NOTED PILES ARE CHANNELWARD OF MEAN HIGH WATER AND ARE TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER



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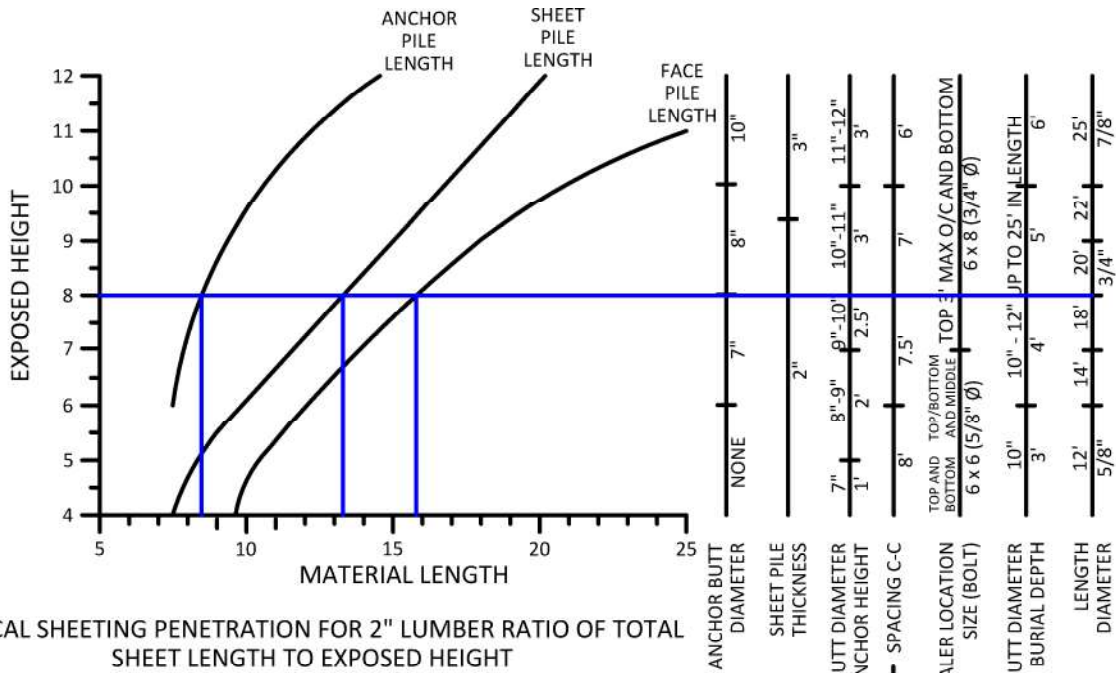
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# BULKHEAD DESIGN NOMOGRAPH

(FLAT BERM/BANK, SANDY SOIL)  
(FROM SOUTHERN PINE COUNCIL MARINE CONSTRUCTION MANUAL)



TYPICAL SHEETING PENETRATION FOR 2" LUMBER RATIO OF TOTAL SHEET LENGTH TO EXPOSED HEIGHT

BANK ANGLE	CLAY/SAND BERM			SAND BERM			FIRM SAND BERM		
	0	10	15	0	10	15	0	10	15
0	1.8	2.1	2.4	1.7	1.9	2.5	1.5	1.7	2.0
10	1.9	2.2	2.5	1.7	2.0	2.8	1.6	1.7	2.1
20				1.8	2.2	3.2	1.6	1.8	2.3

ASSUMES NO SURCHARGE AND NO HYDROSTATIC PRESSURE.

1'-1/2" WEEP HOLES PROVIDED AT 6' ON CENTER AT MEAN LOW LOW WATER OR 6" ABOVE BERM LINE WITH 1 CUBIC FOOT OF STONE WRAPPED IN FILTER FABRIC AS FILTER.

THESE PLANS ARE FOR PERMIT PURPOSES ONLY.

BULKHEAD MATERIAL DIMENSIONS SHOWN ABOVE ARE THE MINIMUMS ACCEPTABLE BASED ON STANDARD DESIGN PRACTICES AND THE VISIBLE SITE CHARACTERISTICS. NO GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED AT THIS SITE. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE ACTUAL EXPOSED HEIGHT OF THE BULKHEAD IS DETERMINED PRIOR TO THE INSTALLATION OF ANY MATERIALS. ACTUAL EXPOSED HEIGHT IS BASED ON DEPTH OF FIRM MATERIAL TO CAP OF BULKHEAD. THE ACTUAL LENGTH OF THE MATERIALS REQUIRED MAY NEED TO BE INCREASED BEYOND THOSE SHOWN IN THESE DRAWINGS.



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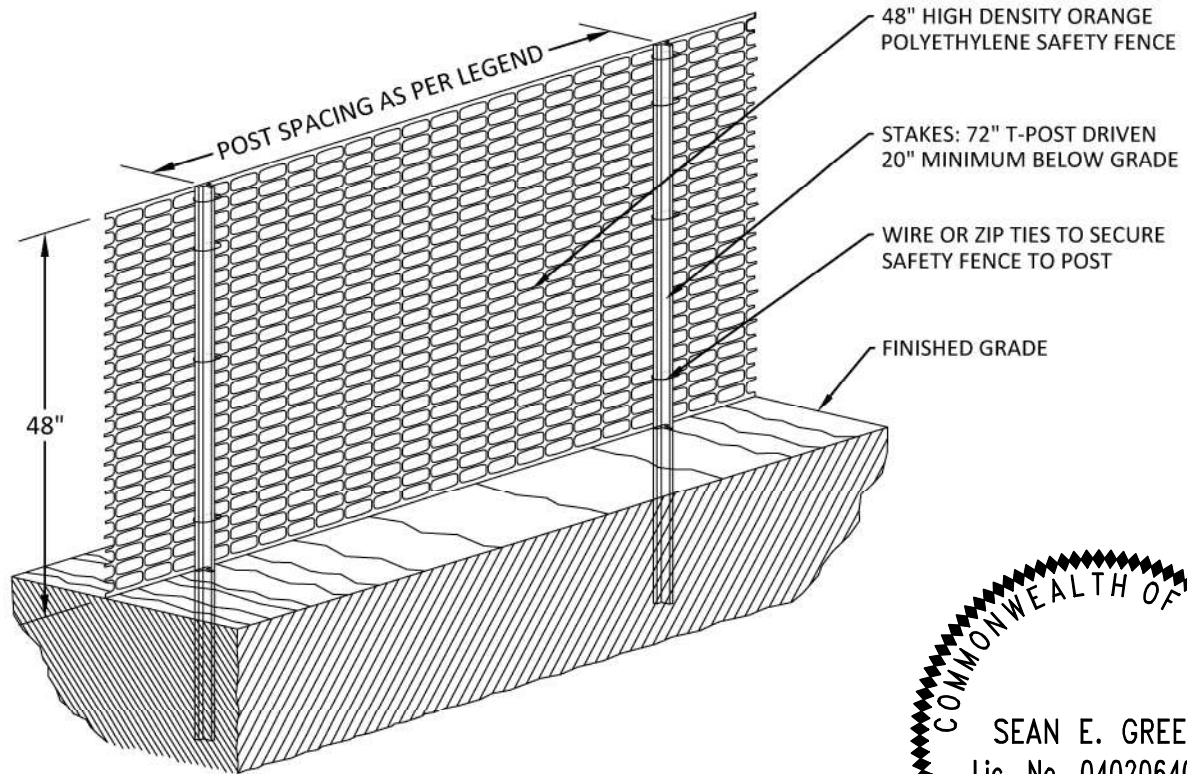
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## 48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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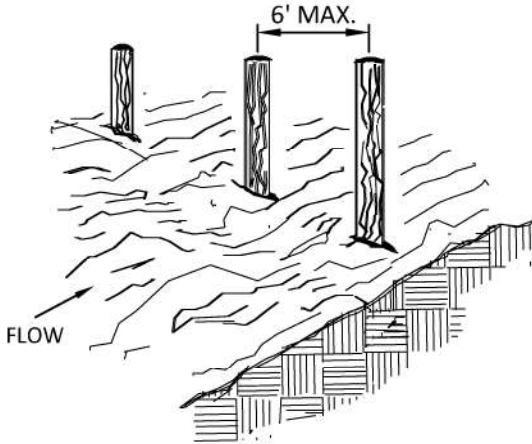
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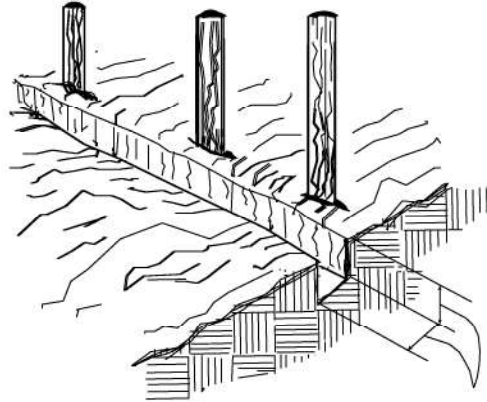
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## CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

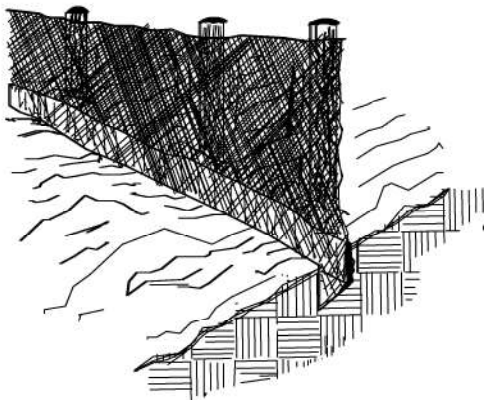
1. SET THE STAKES



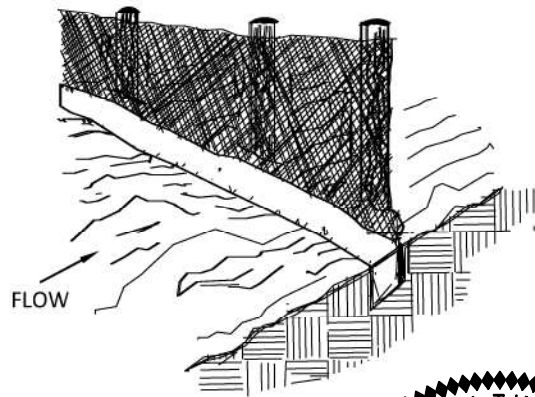
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH



4. BACKFILL AND COMPACT THE EXCAVATED SOIL



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant



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SITE INFORMATION

LEGAL DESCRIPTION: BACK BAY MEADOWS SECTION 3 LOT 4  
 REFERENCE: MAP BOOK 67, PAGE(S) 45, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 2433-33-2881  
 ZONING: R15

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP



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