

Wetlands Board Agenda

August 21, 2023



VIRGINIA BEACH WETLANDS BOARD

PUBLIC HEARING PROCEDURES & AGENDA

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, August 21, 2023** at 10:00 a.m. in the New Council Chamber - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA.

An informal session will be held the same day at 9:00 a.m. in room 2034, City Manager's Conference Room - 2401 Courthouse Drive, Building 1, Second Floor, Virginia Beach, VA. During the informal session, Staff briefs the Board on agenda items. All interested persons are invited to attend. There is no opportunity for citizenry to speak at the briefing session; however, the public is invited to speak at the formal Wetlands Board Public Hearing that follows. For information or to examine copies of proposed plans, ordinances or amendments call (757) 385-4621 or go to virginiabeach.gov/wetlands or visit the Department of Planning and Community Development, 2875 Sabre Street, Suite 500, Virginia Beach, Virginia by appointment. Citizens may also submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vb.gov or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

The Staff reviews some or all of the items on the agenda and suggests that certain conditions be attached for deliberation by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City Ordinances. The administrative comments contained in the attached Staff reports constitutes Staff recommendations for each application and are advisory only. Final determination of the application is made by the Virginia Beach Wetlands Board at the public hearing.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

(If you have any questions, please contact Staff via email at waterfront@vb.gov or call The Department of Planning & Community Development at 757-385-4621)

- 1. WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.
 - a.** An applicant may WITHDRAW an application without the Boards' approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b.** In the case of DEFERRALS, the Board's policy is to defer the item FOR AT LEAST 60 DAYS. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. PLEASE confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.

- 2. REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:
- a.** The applicant or applicant's representative will have 10 minutes to present the case.
 - b.** Next, those who wish to speak in support to the application will have 3 minutes to present their case.
 - c.** If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
 - d.** All other speakers not represented by the spokesperson in opposition will have 3 minutes.
 - e.** The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
 - f.** There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available, and the time will be limited to 3 minutes.
 - g.** The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.

The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

If you require reasonable accommodation for this meeting due to a disability, please call the Department of Planning and Community Development at (757) 385-4621. If hearing impaired, you may contact Virginia Relay at 711 for TDD services.



WETLANDS BOARD AGENDA

Public Hearing Date **August 21, 2023**

9:00 AM INFORMAL STAFF BRIEFING OF PUBLIC HEARING AGENDA ITEMS.

10:00 AM FORMAL REVIEW OF PUBLIC HEARING AGENDA ITEMS.

Please be advised that copies of the proposed plans, ordinances, amendments and/or resolutions associated with this public hearing are also on file and may be examined by appointment at the Department of Planning & Community Development located at 2875 Sabre St, Suite 500, Virginia Beach, VA 23452 or online at virginiabeach.gov/wetlands. For information call (757) 385-4621.

ADMINISTRATIVE AGENDA ITEMS

1. WETLANDS BOARD ADMINISTRATIVE BUSINESS

- A. Approval of the Annual Report to City Council
- B. Amendments to Board's Policies & Procedures

OLD BUSINESS - WETLANDS

2. 2023-WTRA-00133

Charles E. Falk Jr. & Susan M. Falk
[Applicants & Owners]

724 Oriole Drive
GPIN 2418-61-8861
City Council District: District 6

Waterway – Little Neck Creek
Subdivision – Birdneck Point

Request: To construct a bulkhead, rip rap revetment, and plant vegetation involving wetlands.



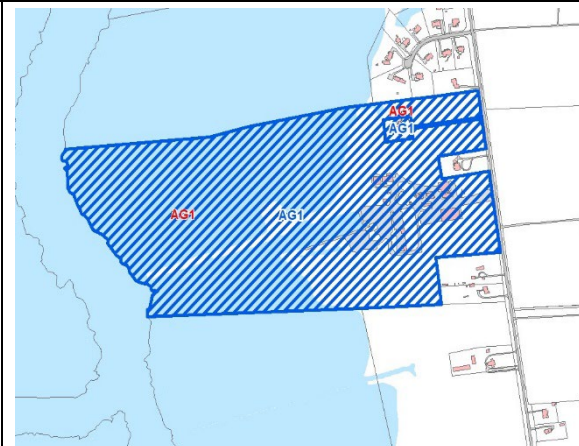
3. 2022-WTRA-00233

JHS GST Trust
[Applicant & Owner]

781 and 809 Princess Anne Road
GPINs 2309-37-6009 and 2309-48-1216
City Council District: District 2

Waterway – Canal to North Landing River
Subdivision – Pungo

Request: To dredge involving wetlands.



NEW BUSINESS – WETLANDS

4. 2023-WTRA-00157

Allen M. & Barbara J. Larar

[Applicants & Owners]

2389 Haversham Close

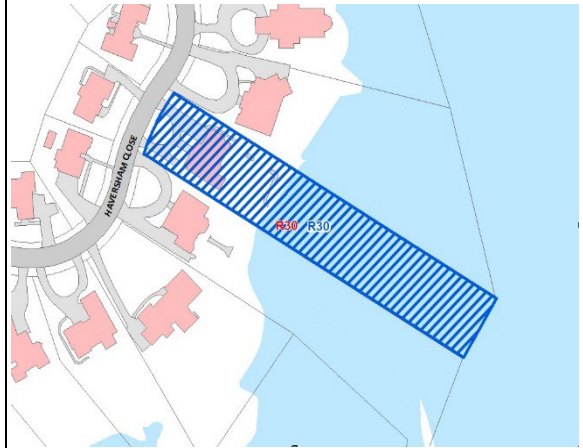
GPIN 2409-14-7744

City Council District: District 8

Waterway – Broad Bay

Subdivision – Broad Bay Point Greens

Request: To construct a rip rap revetment and groin wall involving wetlands.



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2. 2023-WTRA-00133

Charles E. Falk Jr. & Susan M. Falk

[Applicants & Owners]

724 Oriole Drive

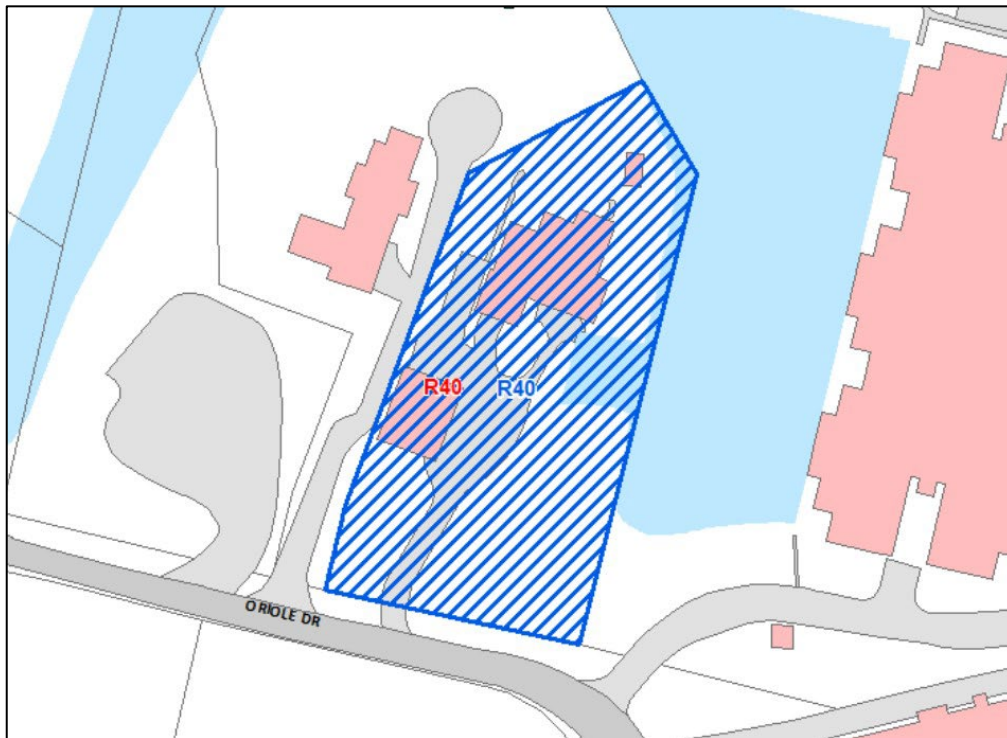
GPIN 2418-61-8861

City Council District: District 6, formerly Lynnhaven

Waterway – Little Neck Creek

Subdivision – Birdneck Point

Request: To construct a bulkhead, rip rap revetment, and plant vegetation involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Charles Falk Jr.

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Waterfront Consulting Inc. - Robert Simon

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions.

PHH Mortgage

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

Scott Bradshaw PCS

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

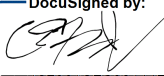
Sean Green - Engineer, Robert Simon - Agent

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:


12F361CFC98444E...
Applicant Signature

Charles Falk Jr.

Print Name and Title

5/22/2023

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: Virginia Beach, VA				
Waterway at project site: Little Neck Creek				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
All	Approved/Boat Lift	1993-0800	06/24/93	

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Charles Falk Jr. Home (____)_____
724 Oriole Drive Work (____)_____
Virginia Beach, VA 23451 Fax (____)_____
Cell (757) 434-8504
e-mail smfalk1@cox.net
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home (____)_____
Work (____)_____
Fax (____)_____
Cell (____)_____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Waterfront Consulting, Inc. Home (____)_____
2589 Quality Court, Ste. 323 Work (757) 425-8244
Virginia Beach, VA 23454 Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The proposed project involves:

- The placement of 165 LF of rip rap revetment landward of the existing failing bulkhead to the north.
- The placement of 31 LF of rip rap revetment between the proposed bulkhead and the existing rip rap to the south.
- An 8'x40' wharf over the proposed rip rap revetment.
- The construction of 126 LF of In-line vinyl bulkhead.
- The construction of 5'x36' floating pier.
- The relocation of a four pile boatlift.
- Installing (6) mooring piles
- The creation of a 378 SF wetland restoration area south of the existing boat slips.

The wharf will use (12) 8" timber piles, the bulkhead will use (27) 8" timber piles, the float will use (3) 10" timber piles, and (6) 10" mooring piles to be driven via a vibratory hammer mounted to an excavator on land.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home (____) _____

Work (____) _____

Fax (____) _____

Cell (____) _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot

(757) 622-1455 _____

150 W. Brambleton Avenue

Norfolk, VA 23510

7. Give the following project location information:

Street Address (911 address if available) 724 Oriole Drive _____

Lot/Block/Parcel# Site A Lot 1 1Ac _____

Subdivision Birdneck Point _____

City / County Virginia Beach, VA _____ ZIP Code 23451 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.858785 / -75.99104 _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary Purpose: Erosion Prevention

Secondary Purpose: Water Access

Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

Silt fencing will be used to prevent runoff. The non-vegetated mud will be converted to non-vegetated rip rap revetment. The proximity of the house and other structures do not allow for a living shoreline in the boat slip or north side of boat slip.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 160,000.00 _____
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 100,000.00 _____

13. Completion date of the proposed work: Approximately 1 year from permit date - _____

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Scott Parr	728 Oriole Drive	Virginia Beach, VA 23451
Condo Association	700 Oriole Drive	Virginia Beach, VA 23451

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Charles Falk Jr.

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:



Applicant's Signature

(Use if more than one applicant)

5/22/2023

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Charles Falk Jr., hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

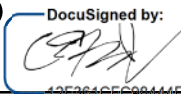
Robert E. Simon, V.P.

(Agent’s Signature)

(Use if more than one agent)

5/22/2023

(Date)



(Applicant’s Signature)

(Use if more than one applicant)

5/22/2023

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Charles Falk Jr., have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

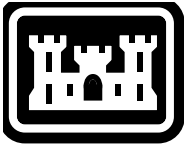
Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date



REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Robert E. Simon, Agent
 Signature of Property Owner(s) or Agent
 Date _____

Proposed work to be located at:
724 Oriole Drive

 Virginia Beach, VA 23451

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The proposed project involves:

- An 8'x40' wharf over the proposed rip rap revetment.
- The construction of 5'x36' floating pier.
- The relocation of a four pile boatlift.
- Installing (6) mooring piles

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes ___ No

If yes, will it be removed? Yes ___ No

Is your lot platted to the mean low water shoreline? Yes ___ No

What is the overall length of the proposed structure? 36 feet.

Channelward of Mean High Water? 36 feet.

Channelward of Mean Low Water? 36 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 180 square feet.

What is the total size of any and all L- or T-head platforms? 180 sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? _____ Yes ___ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The proposed project involves:

- The placement of 165 LF of rip rap revetment landward of the existing failing bulkhead to the north.
 - The placement of 31 LF of rip rap revetment between the proposed bulkhead and the existing rip rap to the south.
 - The construction of 126 LF of In-line vinyl bulkhead.
- There will be 184 Non Vegetated wetlands impacts for the washed out areas behind the existing bulkhead. This area will be converted to Non Vegetated rock habitat.
- There will be 146 Vegetated wetlands impacts for washed out areas behind the existing bulkhead. This area will be mitigated by creating a restoration area south of the existing boat slips.
- 378 SF of wetland area will be restored south of the existing boat slips, which will be 50% vegetated (189 SF) and 50% (189 SF) non vegetated.
- 10-15 CY of fill will be used for this project.

2. What is the maximum encroachment channelward of mean high water? 3 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 146 square feet
- Non-vegetated wetlands 184 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach 0 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

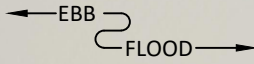
If no, please provide an explanation for the purpose and need for the additional encroachment.



APO #1
NOW OR FORMERLY
SCOTT R. PARR
728 ORIOLE DRIVE
GPIN: 2418-61-7995-0000

APO #2
NOW OR FORMERLY
CONDO ASSOCIATION MASTER
700 ORIOLE DRIVE
GPIN: 2418-71-3841-0000

LITTLE NECK CREEK



EXISTING VINYL BULKHEAD

EXISTING TIMBER BULKHEAD

N 65°18'50" E 112.75'

S 24°41'10" E 59.16'

7.295.00' MHW

S 15°02'00" W

MLW @ EX. BULKHEAD

2 STORY BRICK
#724 ORIOLE

POOL

POOL HOUSE

PAVER WALK

CONCRETE DRIVE

ASPHALT DRIVE

GARAGE

EX. PIER AND LIFT

EXISTING RIPRAP MLW

MHW

10' DRAINAGE & UTILITIES EASEMENT
M.B. 88 PG. 20

10' DEDICATED TO THE CITY OF VIRGINIA BEACH FOR WIDENING

EXISTING TIMBER BULKHEAD

CONCRETE DRAINAGE SWALE

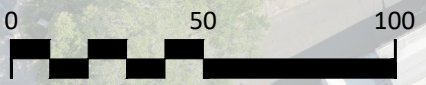
N 22°00'00" E 210.00'

N 15°02'00" W 50.00'

N 74°58'00" W 150.00'

EXISTING CONDITIONS

ORIOLE DRIVE 30' RIGHT-OF-WAY



SCALE: 1" = 50'

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PURPOSE: EROSION CONTROL, ACCESS
DATUM: MLW = 0.00'
APOS:
1. SCOTT R. PARR
2. CONDO ASSOCIATION MASTER

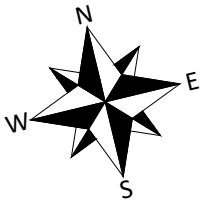
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VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

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(330) 883-2117

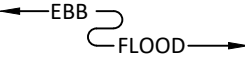
PROPOSED: RIPRAP, WHARF, PIER & MOORING PILES
IN: LITTLE NECK CREEK
AT: 724 ORIOLE DRIVE
VIRGINIA BEACH, VA 23451-4927
APPLICATION BY:
CHARLES E. FALK JR.
SHEET: 1 OF 13
DATE: SEPTEMBER 27, 2022

REV. 7/31/2023



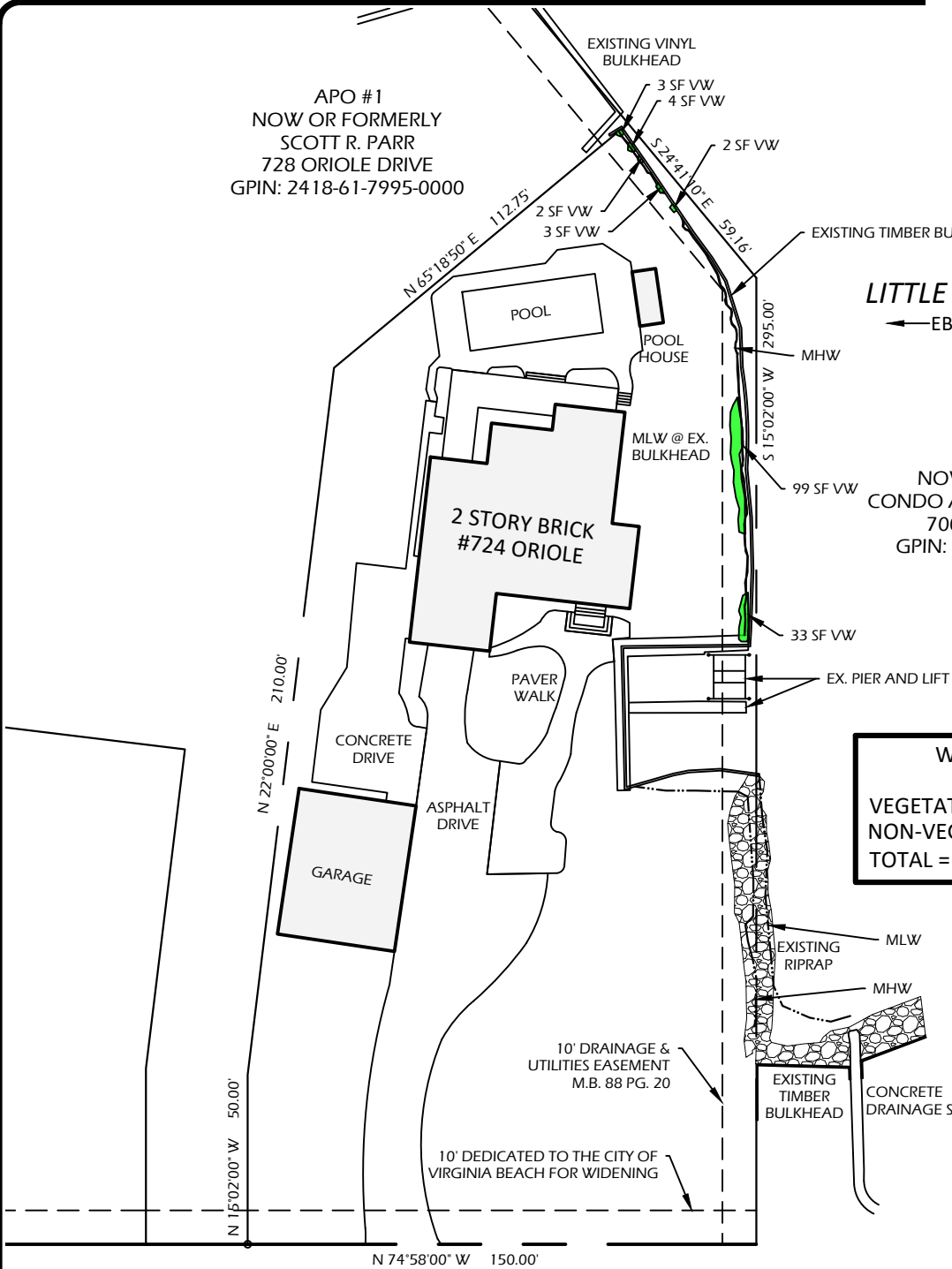
APO #1
NOW OR FORMERLY
SCOTT R. PARR
728 ORIOLE DRIVE
GPIN: 2418-61-7995-0000

LITTLE NECK CREEK



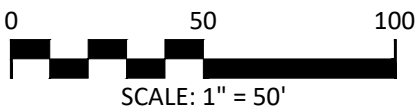
APO #2
NOW OR FORMERLY
CONDO ASSOCIATION MASTER
700 ORIOLE DRIVE
GPIN: 2418-71-3841-0000

WETLANDS IMPACTS	
VEGETATED =	146 SF
NON-VEGETATED =	184 SF
TOTAL =	330 SF



WETLAND IMPACTS

**ORIOLE DRIVE
30' RIGHT-OF-WAY**



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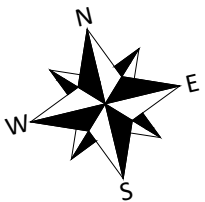
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(330) 883-2117

PROPOSED: RIPRAP, WHARF, PIER & MOORING PILES
IN: LITTLE NECK CREEK
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APPLICATION BY:
CHARLES E. FALK JR.
SHEET: 2 OF 13
DATE: SEPTEMBER 27, 2022

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APO #1
NOW OR FORMERLY
SCOTT R. PARR
728 ORIOLE DRIVE
GPIN: 2418-61-7995-0000

LITTLE NECK CREEK



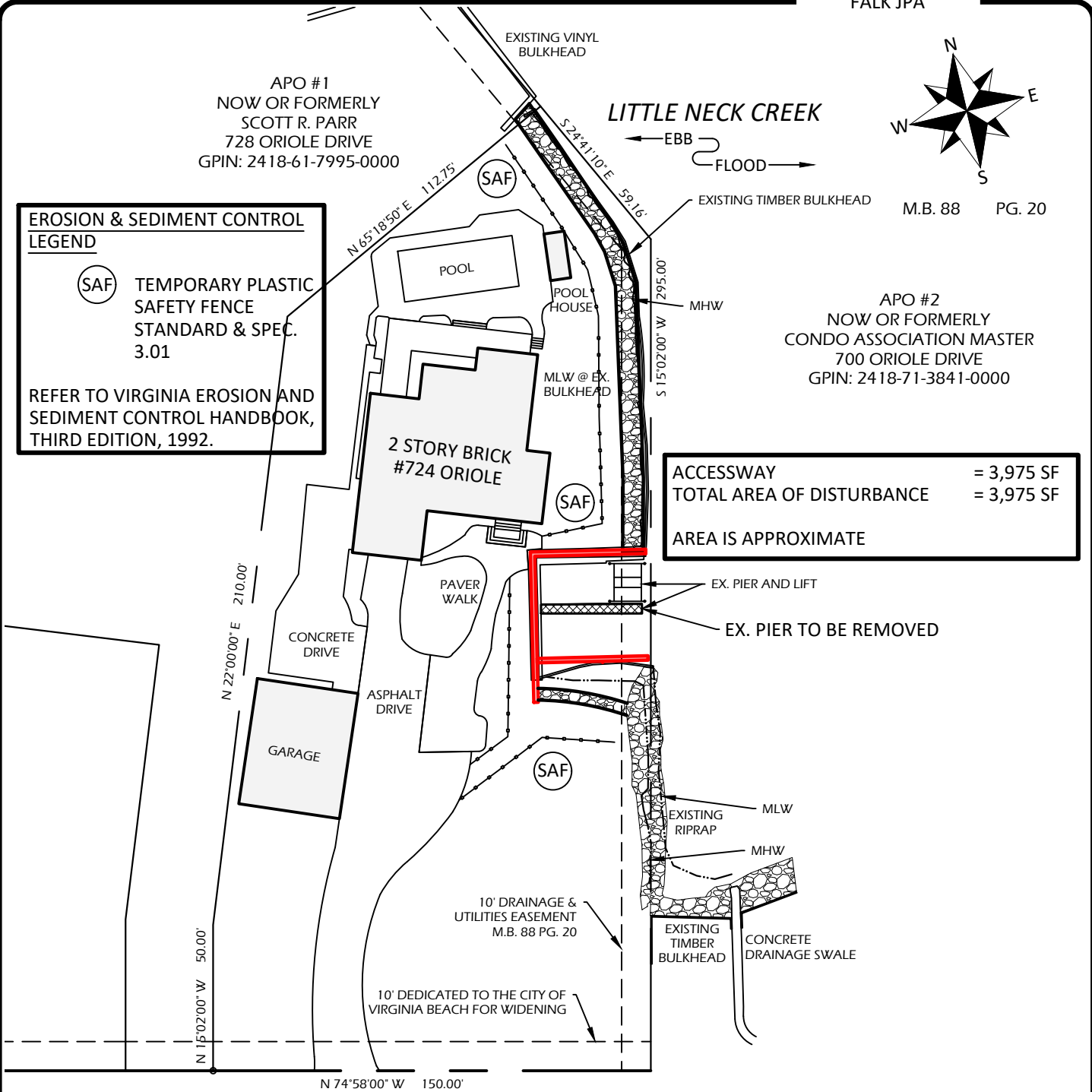
**EROSION & SEDIMENT CONTROL
LEGEND**

(SAF) TEMPORARY PLASTIC
SAFETY FENCE
STANDARD & SPEC.
3.01

REFER TO VIRGINIA EROSION AND
SEDIMENT CONTROL HANDBOOK,
THIRD EDITION, 1992.

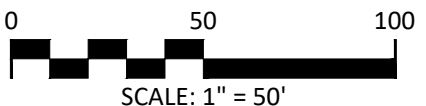
APO #2
NOW OR FORMERLY
CONDO ASSOCIATION MASTER
700 ORIOLE DRIVE
GPIN: 2418-71-3841-0000

ACCESSWAY = 3,975 SF
TOTAL AREA OF DISTURBANCE = 3,975 SF
AREA IS APPROXIMATE



SITE ACCESS & DISTURBANCE

ORIOLE DRIVE
30' RIGHT-OF-WAY



SCALE: 1" = 50'

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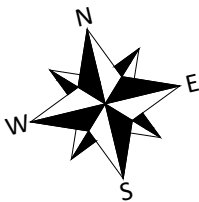
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(330) 883-2117

PROPOSED: RIPRAP, WHARF, PIER &
MOORING PILES
IN: LITTLE NECK CREEK
AT: 724 ORIOLE DRIVE
VIRGINIA BEACH, VA 23451-4927
APPLICATION BY:
CHARLES E. FALK JR.
SHEET: 3 OF 13
DATE: SEPTEMBER 27, 2022

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APO #1
NOW OR FORMERLY
SCOTT R. PARR
728 ORIOLE DRIVE
GPIN: 2418-61-7995-0000

LITTLE NECK CREEK



PROPOSED 165' RIPRAP
LANDWARD OF EXISTING
TIMBER BULKHEAD

PROPOSED 8' x 40' WHARF OVER RIPRAP

ANY SPARTINA ALTRNAFLORA
PRESENT IN THESE AREAS SHALL BE
HARVESTED AND TRANSPLANTED
INTO RESTORATION AREA

PROPOSED 78' VINYL BULKHEAD

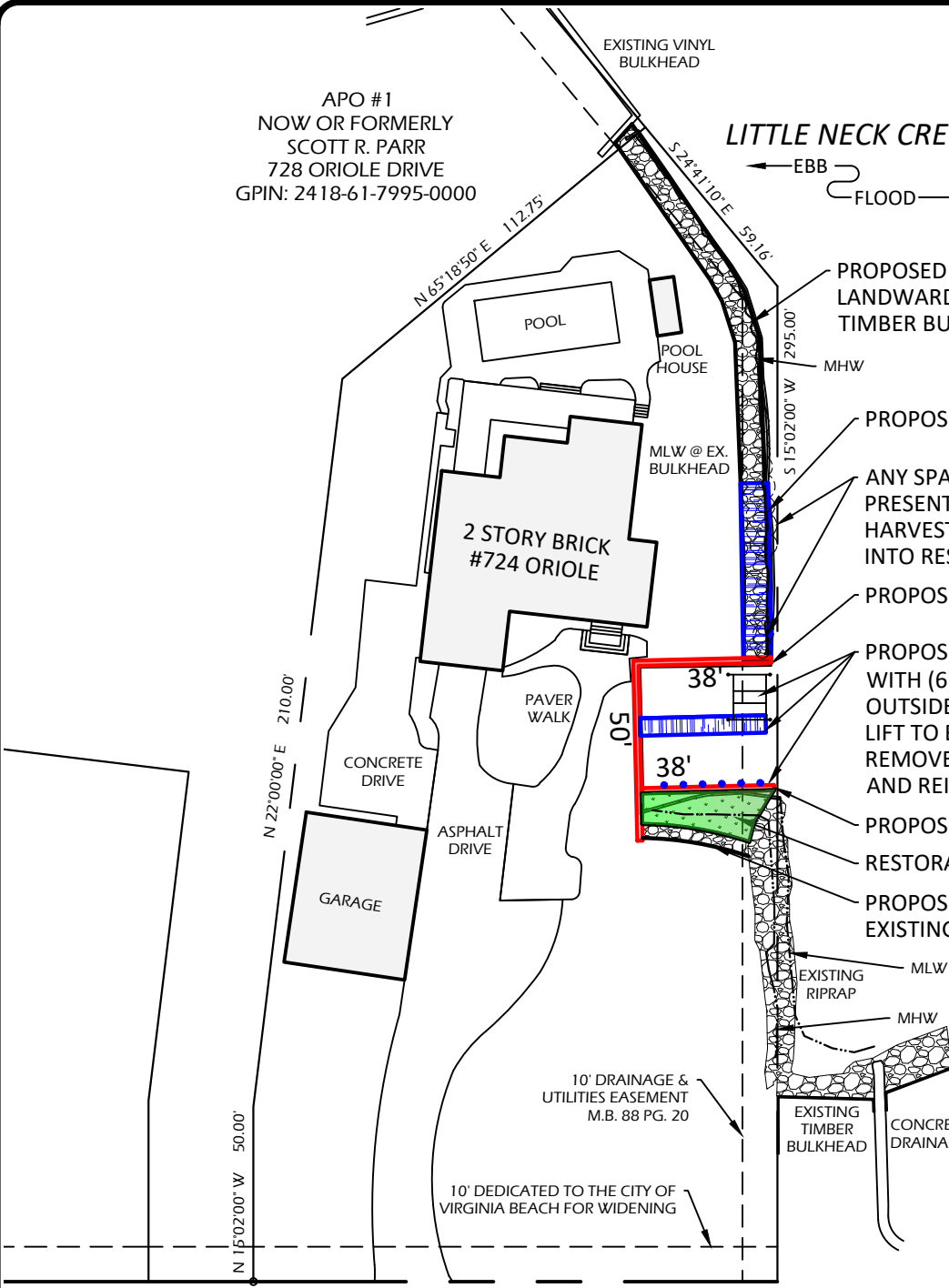
PROPOSED 5' x 36' FLOATING PIER
WITH (6) MOORING PILES AT
OUTSIDE OF SLIP. EXISTING BOAT
LIFT TO BE TEMPORARILY
REMOVED FOR CONSTRUCTION
AND REINSTALLED IN NEW SLIP.

PROPOSED 38' LOWER VINYL BULKHEAD

RESTORATION AREA (378 SF)

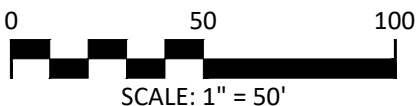
PROPOSED 31 LF RIPRAP TO TIE INTO
EXISTING RIPRAP

APO #2
NOW OR FORMERLY
CONDO ASSOCIATION MASTER
700 ORIOLE DRIVE
GPIN: 2418-71-3841-0000



PROPOSED IMPROVEMENTS

ORIOLE DRIVE 30' RIGHT-OF-WAY



SCALE: 1" = 50'

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PURPOSE: EROSION CONTROL, ACCESS
DATUM: MLW = 0.00'
APOS:
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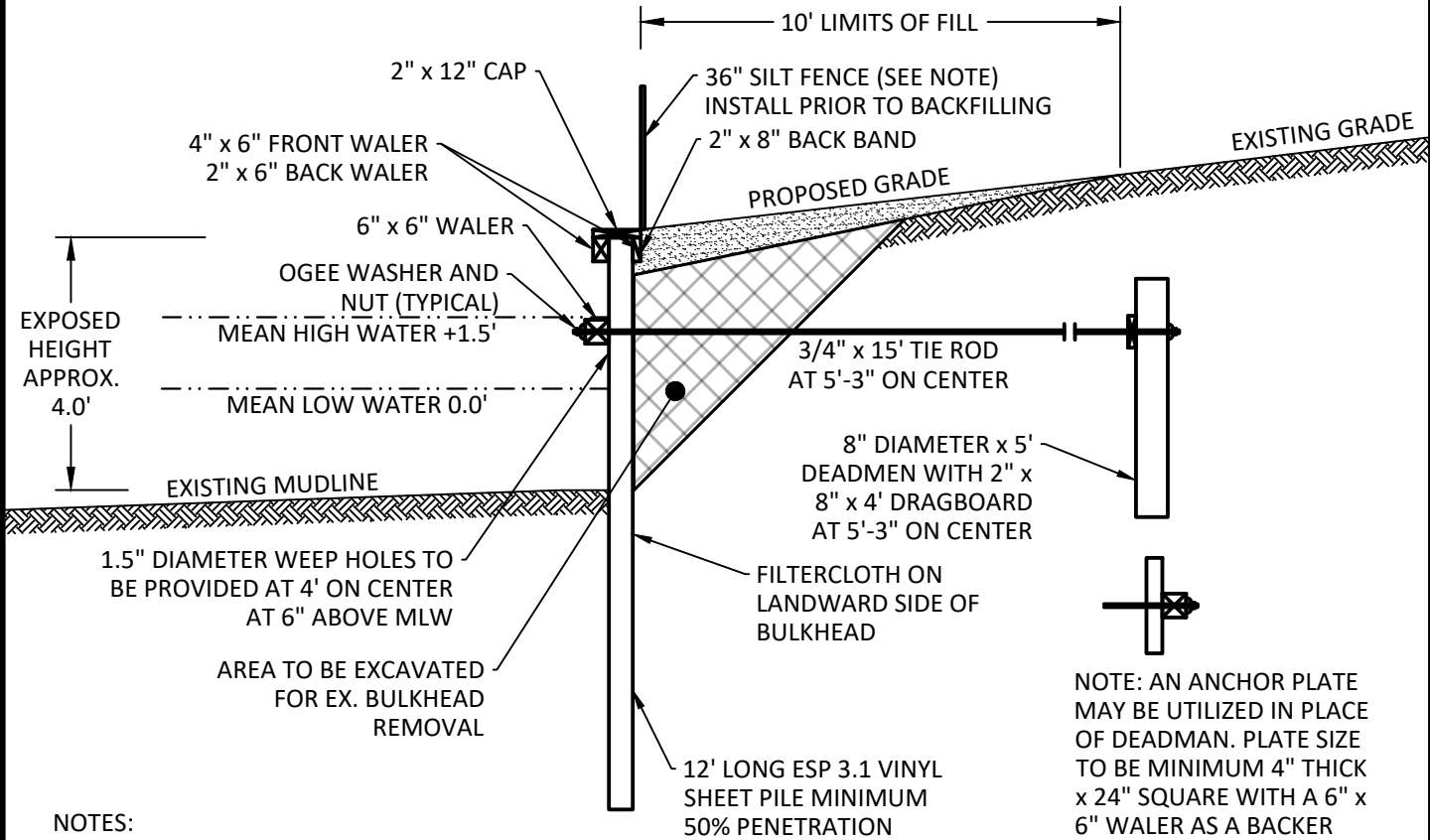


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PROPOSED: RIPRAP, WHARF, PIER & MOORING PILES
IN: LITTLE NECK CREEK
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APPLICATION BY:
CHARLES E. FALK JR.
SHEET: 4 OF 13
DATE: SEPTEMBER 27, 2022

REV. 7/31/2023

PROPOSED IN-LINE BULKHEAD CROSS SECTION

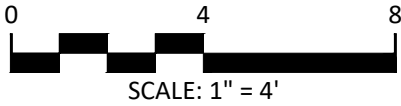


NOTE: AN ANCHOR PLATE MAY BE UTILIZED IN PLACE OF DEADMAN. PLATE SIZE TO BE MINIMUM 4" THICK x 24" SQUARE WITH A 6" x 6" WALER AS A BACKER FOR THE TIE ROD

NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: EROSION CONTROL, ACCESS
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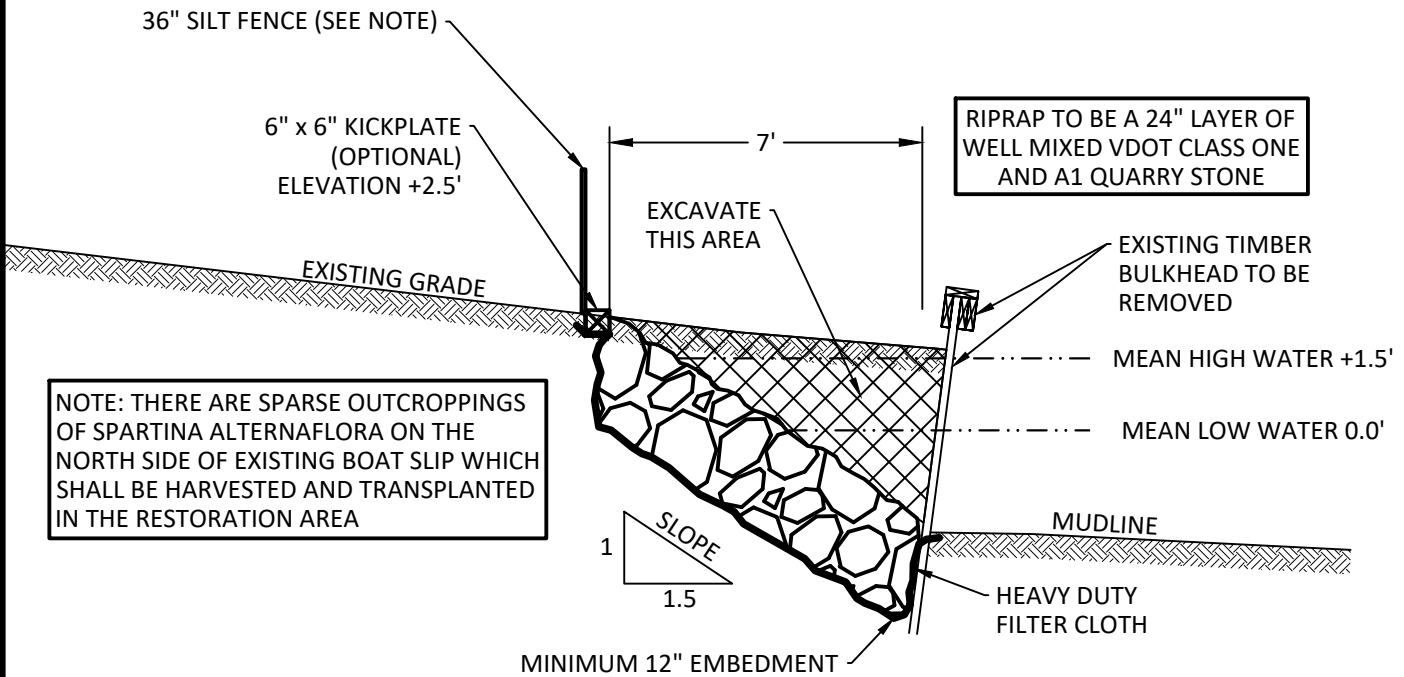
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 IN: LITTLE NECK CREEK
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 VIRGINIA BEACH, VA 23451-4927
 APPLICATION BY:
 CHARLES E. FALK JR.
 SHEET: 5 OF 13
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REV. 7/31/2023

PROPOSED RIPRAP CROSS SECTION

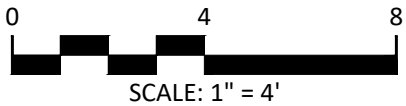


NOTE: THERE ARE SPARSE OUTCROPPINGS OF SPARTINA ALTERNAFLORA ON THE NORTH SIDE OF EXISTING BOAT SLIP WHICH SHALL BE HARVESTED AND TRANSPLANTED IN THE RESTORATION AREA

NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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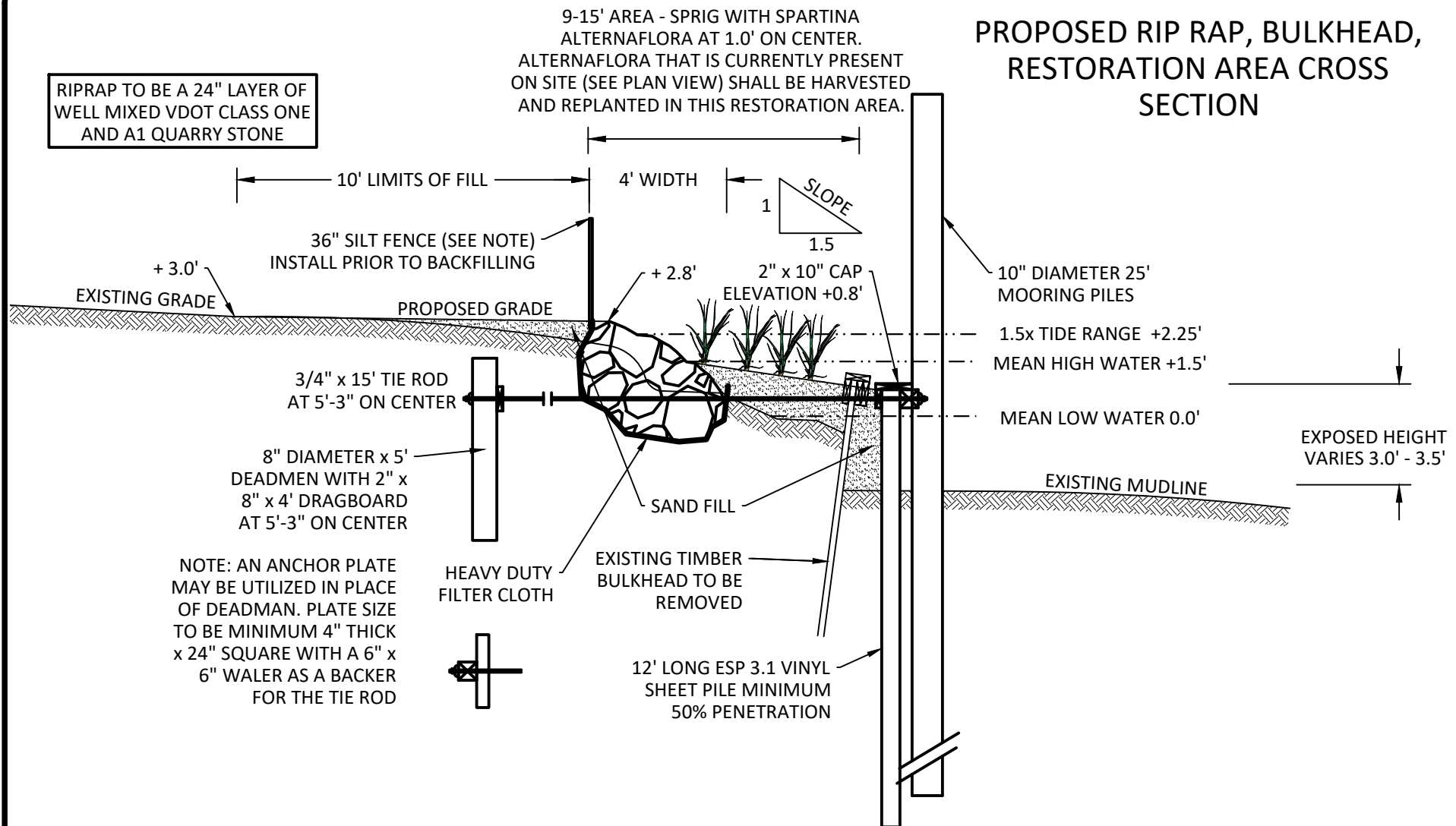
PURPOSE: EROSION CONTROL, ACCESS
 DATUM: MLW = 0.00'
 APOS:
 1. SCOTT R. PARR
 2. CONDO ASSOCIATION MASTER

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 (330) 883-2117

PROPOSED: RIPRAP, WHARF, PIER & MOORING PILES
 IN: LITTLE NECK CREEK
 AT: 724 ORIOLE DRIVE
 VIRGINIA BEACH, VA 23451-4927
 APPLICATION BY:
 CHARLES E. FALK JR.
 SHEET: 6 OF 13
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PROPOSED RIP RAP, BULKHEAD, RESTORATION AREA CROSS SECTION



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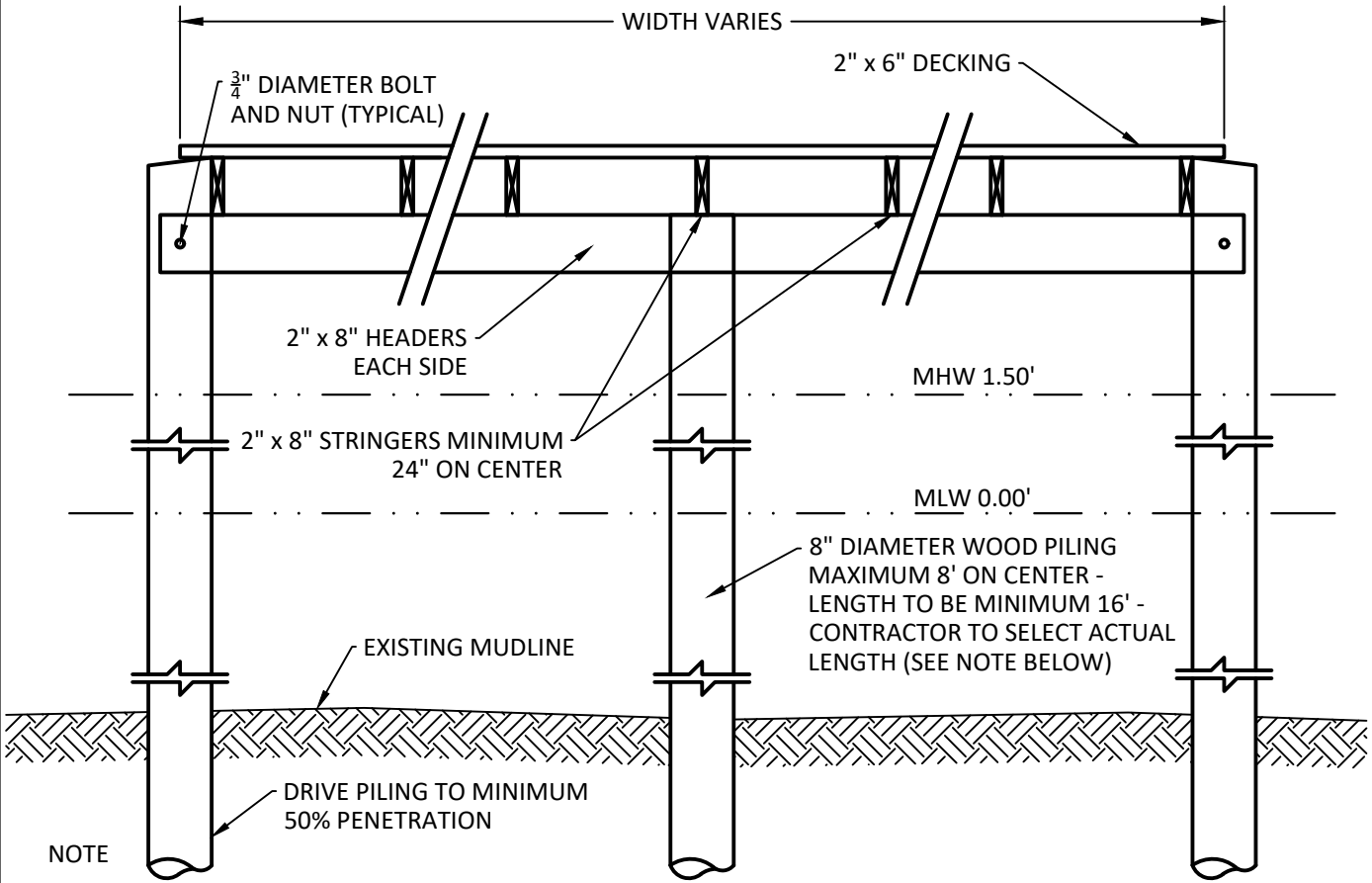
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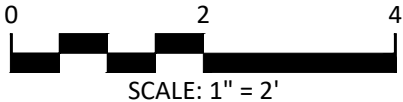
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 IN: LITTLE NECK CREEK
 AT: 724 ORIOLE DRIVE
 VIRGINIA BEACH, VA 23451-4927
 APPLICATION BY:
 CHARLES E. FALK JR.
 SHEET: 7 OF 13
 DATE: SEPTEMBER 27, 2022

PROPOSED WHARF CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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 VIRGINIA BEACH, VA 23451-4927
 APPLICATION BY:
 CHARLES E. FALK JR.
 SHEET: 8 OF 13
 DATE: SEPTEMBER 27, 2022

NLAA COMPLIANCE

ITEM	8"PILE	10" PILE	12" PILE		
WHARF	12				
MOORING		6			
FLOATING PIER		3			

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

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PURPOSE: EROSION CONTROL, ACCESS
 DATUM: MLW = 0.00'
 APOS:
 1. SCOTT R. PARR
 2. CONDO ASSOCIATION MASTER



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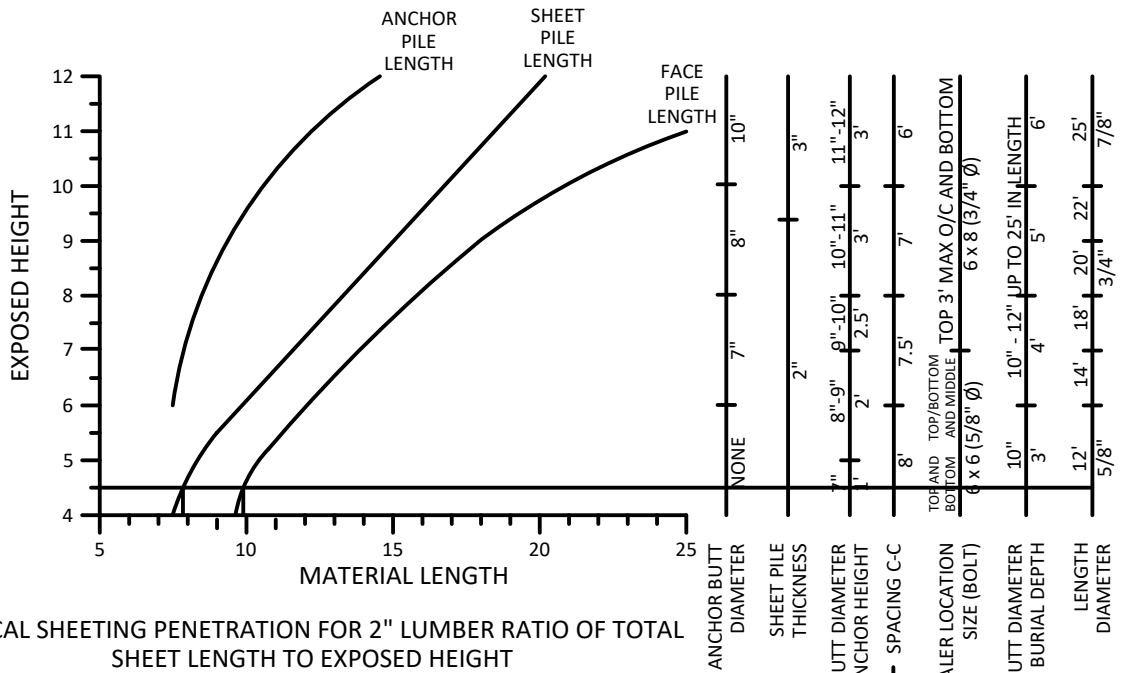
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
 ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIPRAP, WHARF, PIER & MOORING PILES
 IN: LITTLE NECK CREEK
 AT: 724 ORIOLE DRIVE
 VIRGINIA BEACH, VA 23451-4927
 APPLICATION BY:
 CHARLES E. FALK JR.
 SHEET: 9 OF 13
 DATE: SEPTEMBER 27, 2022

REV. 7/31/2023

BULKHEAD DESIGN NOMOGRAPH

(FLAT BERM/BANK, SANDY SOIL)
(FROM SOUTHERN PINE COUNCIL MARINE CONSTRUCTION MANUAL)



TYPICAL SHEETING PENETRATION FOR 2" LUMBER RATIO OF TOTAL SHEET LENGTH TO EXPOSED HEIGHT

BANK ANGLE	CLAY/SAND BERM			SAND BERM			FIRM SAND BERM		
	0	10	15	0	10	15	0	10	15
0	1.8	2.1	2.4	1.7	1.9	2.5	1.5	1.7	2.0
10	1.9	2.2	2.5	1.7	2.0	2.8	1.6	1.7	2.1
20				1.8	2.2	3.2	1.6	1.8	2.3

ASSUMES NO SURCHARGE AND NO HYDROSTATIC PRESSURE.

1'-1/2" WEEP HOLES PROVIDED AT 6' ON CENTER AT MEAN LOW LOW WATER OR 6" ABOVE BERM LINE WITH 1 CUBIC FOOT OF STONE WRAPPED IN FILTER FABRIC AS FILTER.

THESE PLANS ARE FOR PERMIT PURPOSES ONLY.

BULKHEAD MATERIAL DIMENSIONS SHOWN ABOVE ARE THE MINIMUMS ACCEPTABLE BASED ON STANDARD DESIGN PRACTICES AND THE VISIBLE SITE CHARACTERISTICS. NO GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED AT THIS SITE. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE ACTUAL EXPOSED HEIGHT OF THE BULKHEAD IS DETERMINED PRIOR TO THE INSTALLATION OF ANY MATERIALS. ACTUAL EXPOSED HEIGHT IS BASED ON DEPTH OF FIRM MATERIAL TO CAP OF BULKHEAD. THE ACTUAL LENGTH OF THE MATERIALS REQUIRED MAY NEED TO BE INCREASED BEYOND THOSE SHOWN IN THESE DRAWINGS.

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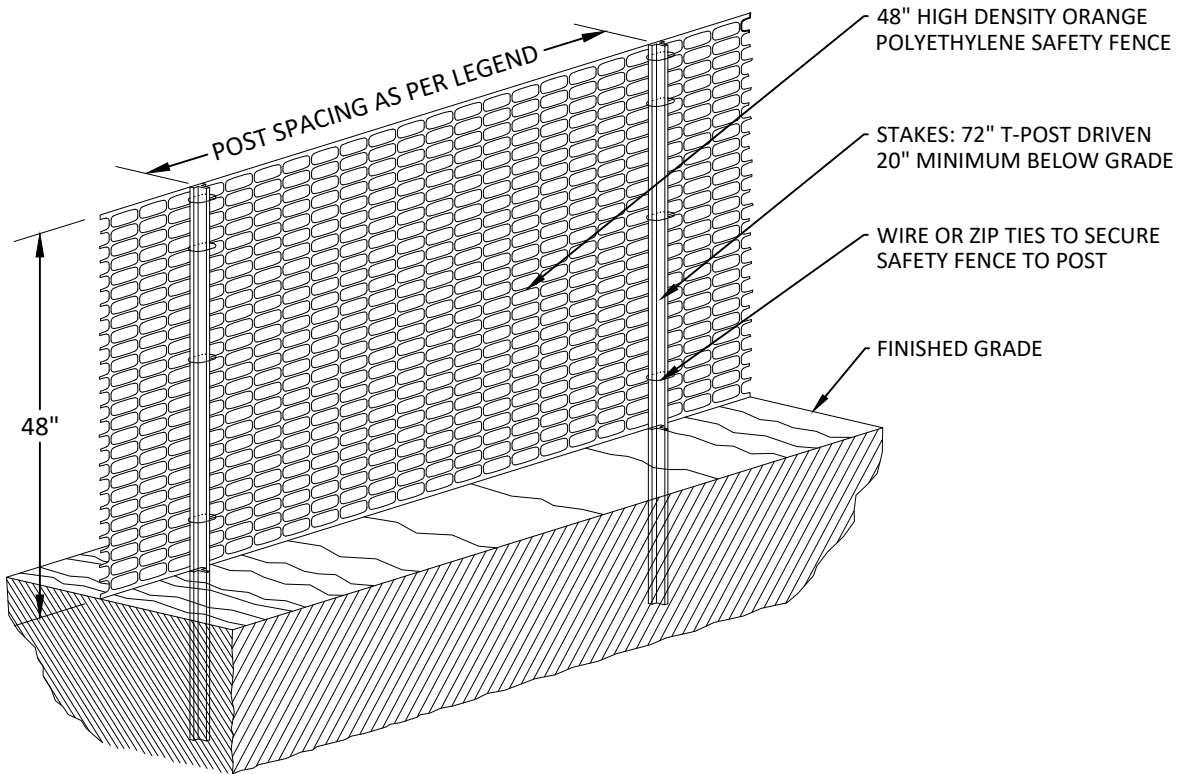
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48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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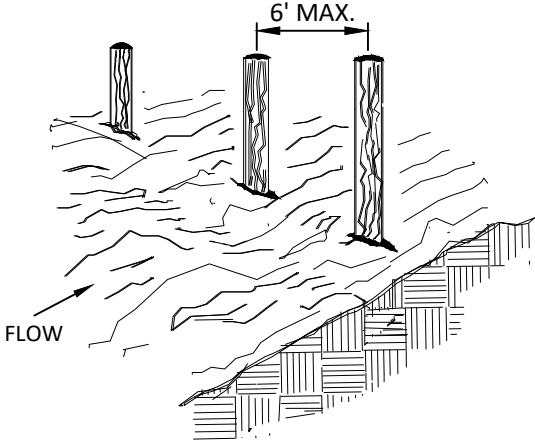
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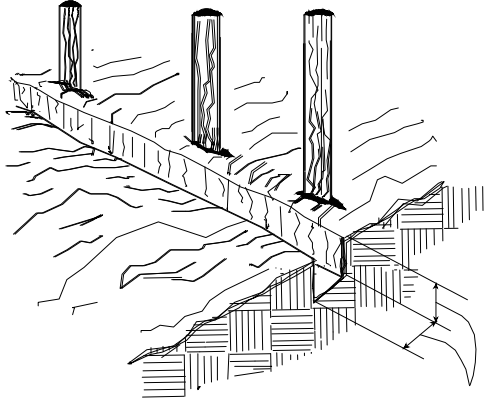
REV. 7/31/2023

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

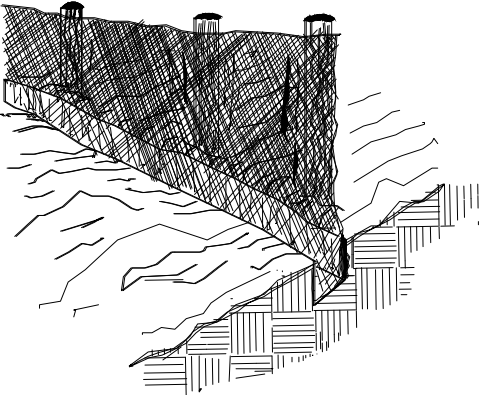
1. SET THE STAKES



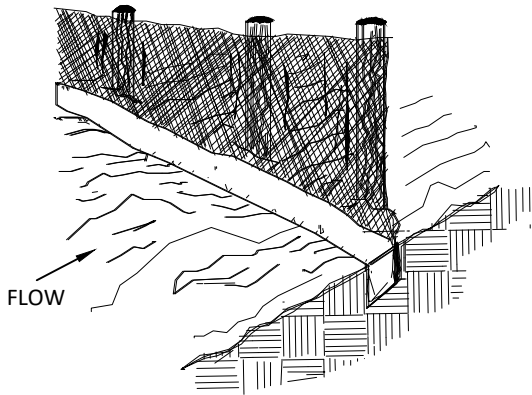
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH



4. BACKFILL AND COMPACT THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2

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APPLICATION BY:
CHARLES E. FALK JR.
SHEET: 12 OF 13
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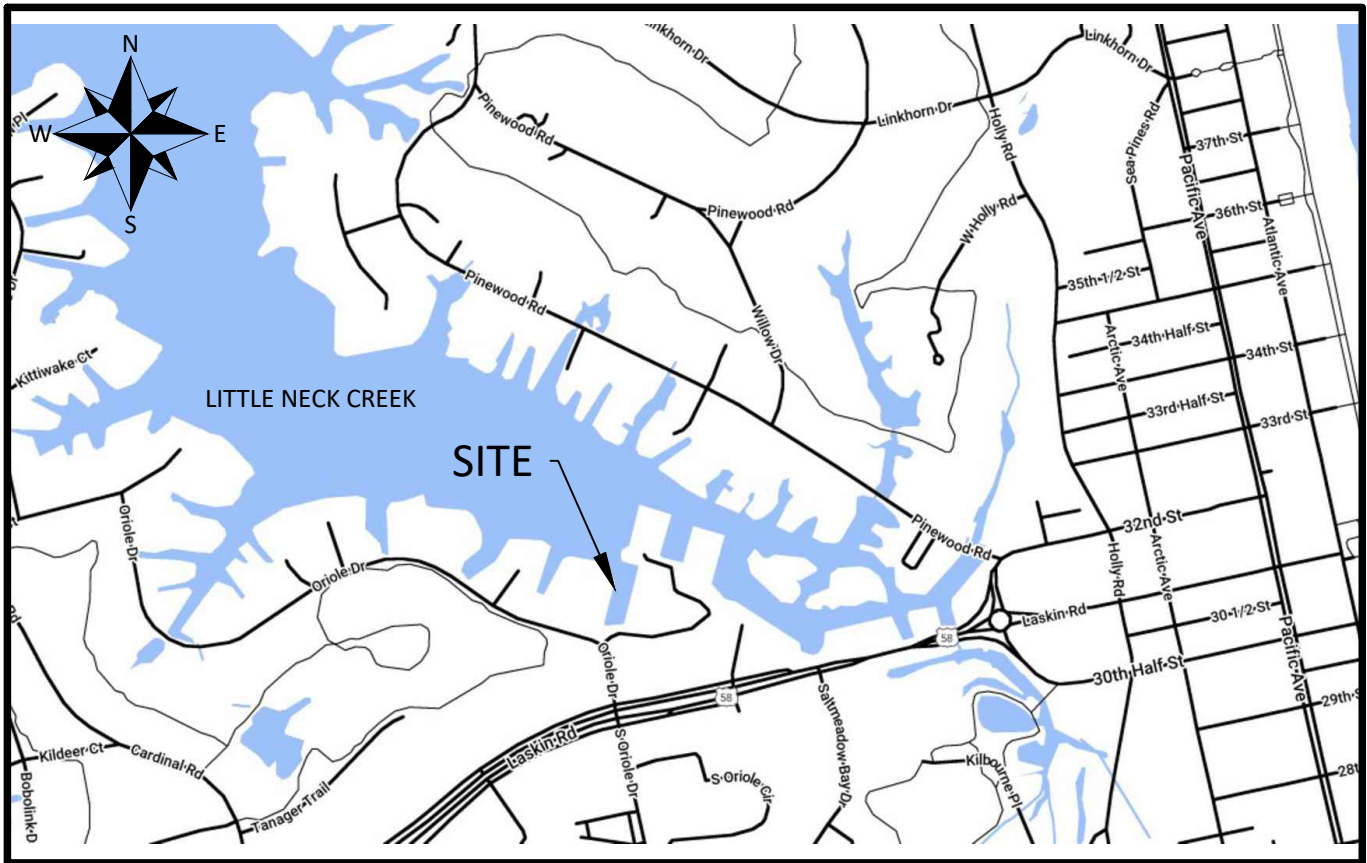
REV. 7/31/2023

SITE INFORMATION

LEGAL DESCRIPTION: BIRDNECK POINT SITE A LOT 1 1 AC
 REFERENCE: MAP BOOK 88, PAGE(S) 20, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: 2418-61-8861
 ZONING: R40

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

SCALE: 1" = 700'

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REV. 7/31/2023

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: _____ DSC Plan # : _____

Location: 724 Oriole Drive GPIN: 2418-61-8861-0000

Watershed: Chesapeake Bay HUC: 02080108

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

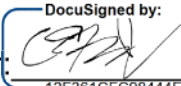
Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  _____ Print Name: Charles Falk Jr.

Signature of Permittee: _____ Print Name: _____

Date: _____

3. 2022-WTRA-00233

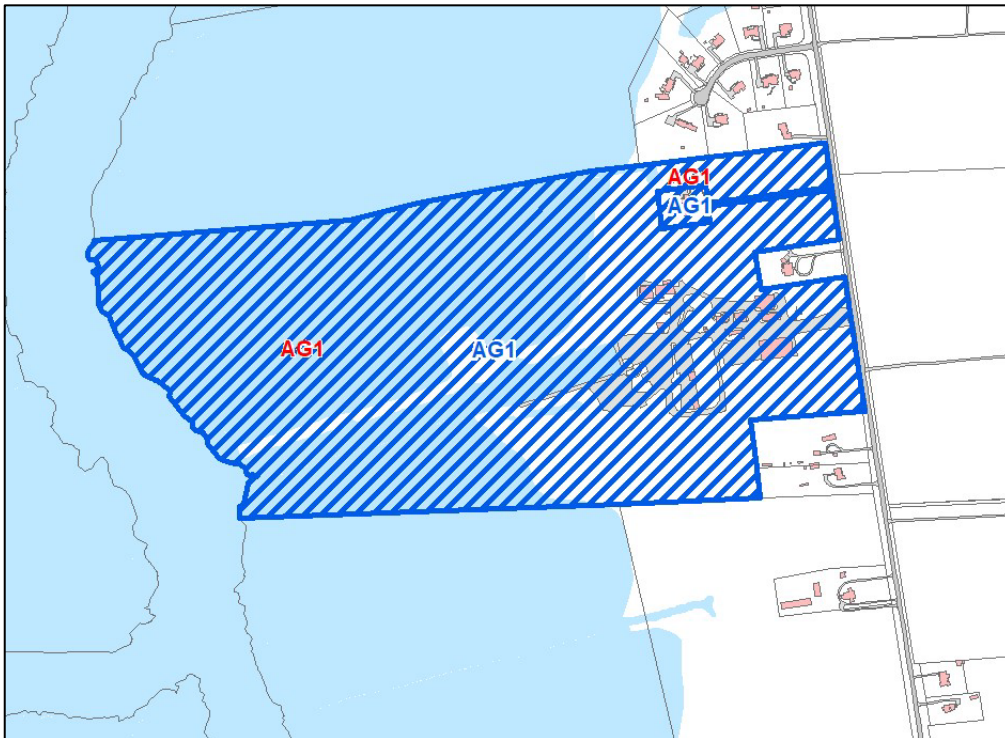
JHS GST Trust

[Applicant & Owner]

781 and 809 Princess Anne Road
GPINs 2309-37-6009 and 2309-48-1216
City Council District: District 2,
formerly Princess Anne

Waterway – Canal to North Landing River
Subdivision – Pungo

Request: To dredge involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name JHS GST Trust

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Waterways

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Gail Salmons, Trustee

- If yes, list the businesses that have a parent-subsidary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsidary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsidary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property? Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the company and individual providing the service.

Salmons Dredging

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Grail E. Salmons

Applicant Signature

Grail E. Salmons

Print Name and Title

Nov 18, 2022

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

FOR AGENCY USE ONLY

	Notes:
JPA# 22-2438	

APPLICANTS

PLEASE PRINT OR TYPE ALL ANSWERS. If a question does not apply to your project, please print N/A (not applicable) in the space provided. **If additional space is needed, attach extra 8 ½ x 11 inch sheets of paper.**

Check all that apply			
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)	SPGP <input type="checkbox"/>	DEQ Reapplication <input type="checkbox"/> Existing permit number: _____	Receiving federal funds <input type="checkbox"/> Agency providing funding: _____
Regional Permit 17 (RP-17) <input type="checkbox"/>			

PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits	Date of Action	If denied, give reason for denial
Private canal was dredged during the mid to late 1960s - prior to accessible permit records.				

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s)				Agent (if applicable)			
Mailing address				Mailing address			
City		State	ZIP Code	City		State	ZIP Code
Phone number w/area code		Fax		Phone number w/area code		Fax	
Mobile		E-mail		Mobile		E-mail	
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)			
Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: _____							

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)

Property owner(s) legal name, if different from applicant			Contractor, if known		
Mailing address			Mailing address		
City	State	ZIP code	City	State	ZIP code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

2. PROJECT LOCATION INFORMATION

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

Street Address (911 address if available)	City/County/ZIP Code
Subdivision	Lot/Block/Parcel #
Name of water body(ies) within project boundaries and drainage area (acres or square miles).	
Tributary(ies) to: _____ Basin: _____ Sub-basin: _____ (Example: Basin: <u>James River</u> Sub-basin: <u>Middle James River</u>)	
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____	
Project type (check one) _____ Single user (private, non-commercial, residential) _____ Multi-user (community, commercial, industrial, government) _____ Surface water withdrawal	
Latitude and longitude at center of project site (decimal degrees): _____ / - _____ (Example: 37.33164/-77.68200)	
USGS topographic map name: _____	
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See http://cfpub.epa.gov/surf/locate/index.cfm): _____ If known, indicate the 10-digit and 12-digit USGS HUCs (see http://dswcapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm): _____	
Name of your project (Example: <i>Water Creek driveway crossing</i>) _____	
Is there an access road to the project? <input checked="" type="checkbox"/> Yes ___ No. If yes, check all that apply: ___ public <input checked="" type="checkbox"/> private <input checked="" type="checkbox"/> improved ___ unimproved	
Total size of the project area (in acres): _____	

2. PROJECT LOCATION INFORMATION (Continued)

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)? Yes No
If so, name those localities:

3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in-stream flows, include the water supply issues that form the basis of the proposed project.

Date of proposed commencement of work (MM/DD/YYYY)
immediat Immediate

Date of proposed completion of work (MM/DD/YYYY)

Are you submitting this application at the direction of any state, local, or federal agency? Yes No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?
 Yes No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property? Yes No
(If yes, please explain)

4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ _____

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ _____

5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.

Failure to provide this information may result in a delay in the processing of your application by VMRC.

Property owner's name	Mailing address	City	State	ZIP code

Name of newspaper having general circulation in the area of the project: _____
Address and phone number (including area code) of newspaper _____

Have adjacent property owners been notified with forms in Appendix A? ____ Yes ____ No (attach copies of distributed forms)

6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

7. HISTORIC RESOURCES INFORMATION

Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.

Are any historic properties located within or adjacent to the project site? ____ Yes ____ No ____ Uncertain
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site? ____ Yes ____ No ____ Uncertain
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district? ____ Yes ____ No ____ Uncertain

If Yes, please indicate which district: _____

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)					
Latitude / Longitude (in decimal degrees)					
Wetland/waters impact area (square feet / acres)					
Dune/beach impact area (square feet)					
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)					
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)					

8. WETLANDS/WATERS IMPACT INFORMATION (Continued)

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>					
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)					
Contributing drainage area in acres or square miles (<i>VMRC cannot complete review without this information</i>)					
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII http://leg1.state.va.us/cgi-bin/legp504.exe?000+reg+9					

For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.

For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS

READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

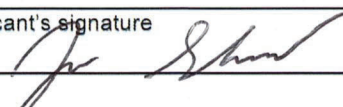
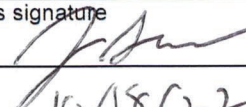
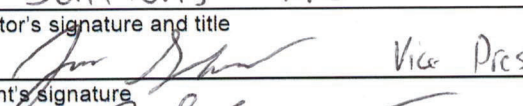
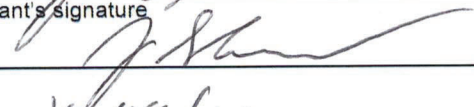
Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	Impacts for natural portion of North Landing River - possible new work <OHW EX, PE, SB, NT 4,530 sf				
Latitude / Longitude (in decimal degrees)	36.6298/76.0525				
Wetland/waters impact area (square feet / acres)	4,530 sf(0.10 a)				
Dune/beach impact area (square feet)	0				
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)	"wind tides" NLR ~ 650 ft Canal ~ 130 ft				
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0 cy				

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)		
Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Legal name & title of Applicant James Howard Salmons	Second applicant's legal name & title, if applicable	
Applicant's signature 	Second applicant's signature	
Date	Date	
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable	
Property owner's signature, if different from Applicant	Second property owner's signature	
Date 10/18/22	Date	
CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S) BEHALF (IF APPLICABLE)		
I (we), <u>James Howard Salmons</u> (and) _____, APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant		
hereby certify that I (we) have authorized <u>Rebecca Francese</u> (and) _____ AGENT'S NAME(S) – complete the second blank if more than one Agent		
to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.		
Applicant's signature 	Second applicant's signature, if applicable	
Date 10/18/22	Date	
Agent's signature and title Rebecca S. Francese	Second agent's signature and title, if applicable	
Date	Date	
Digitally signed by Rebecca S. Francese DN: cn=Rebecca S. Francese, o=Waterway Surveys & Engineering, email=jhs@waterway.net, c=US Date: 2022.11.07 08:58:58 -05'00'		
CONTRACTOR'S KNOWLEDGEMENT (IF APPLICABLE)		
I (we), <u>James Salmons</u> (and) _____, APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant		
have contracted <u>Salmons Inc</u> (and) _____ CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor		
to perform the work described in this Joint Permit Application, signed and dated _____.		
I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.		
Contractor's name or name of firm (printed/typed) <u>Salmons Inc</u>	Contractor's or firm's mailing address <u>P.O. Box 57008</u>	
Contractor's signature and title  Vice Pres	Contractor's license number <u>2705-07342A</u>	Date <u>10/18/22</u>
Applicant's signature 	Second applicant's signature, if applicable	
Date 10/18/22	Date 10/18/22	

16. BEACH NOURISHMENT (Continued)

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

17. DREDGING, MINING, AND EXCAVATING

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands								
Non-vegetated wetlands								
Subaqueous land								
Totals								

Is this a one-time dredging event? ___Yes ___No If "no", how many dredging cycles are anticipated: _____
 (___ initial cycle in cu. yds.) (___ subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

Will the dredged material be used for any commercial purpose or beneficial use? ___Yes ___No
 If yes, please explain:

If this is a maintenance dredging project, what was the date that the dredging was last performed? _____
 Permit number of original permit: _____ (It is important that you attach a copy of the original permit.)

17. DREDGING, MINING, AND EXCAVATING (Continued)

For mining projects: On separate sheets of paper, explain the operation plans, including: 1) the frequency (e.g., every six weeks), duration (i.e., April through September), and volume (in cubic yards) to be removed per operation; 2) the temporary storage and handling methods of mined material, including the dimensions of the containment berm used for upland disposal of dredged material and the need (or no need) for a liner or impermeable material to prevent the leaching of any identified contaminants into ground water; 3) how equipment will access the mine site; and 4) verification that dredging: a) will not occur in water body segments that are currently on the effective Section 303(d) Total Maximum Daily Load (TMDL) priority list ([available at http://www.deq.virginia.gov/Programs/Water/WaterQualityInformationTMDLs/TMDL/TMDLDevelopment/TMDLProgramPriorities.aspx](http://www.deq.virginia.gov/Programs/Water/WaterQualityInformationTMDLs/TMDL/TMDLDevelopment/TMDLProgramPriorities.aspx)) or that have an approved TMDL; b) will not exacerbate any impairment; and c) will be consistent with any waste load allocation/limit/conditions imposed by an approved TMDL (see, "What's in my backyard" or subsequent spatial files at <http://www.deq.virginia.gov/ConnectWithDEQ/VEGIS.aspx> to determine the extent of TMDL watersheds and impairment segments).

Have you applied for a permit from the Virginia Department of Mines, Minerals and Energy? Yes No If Yes:
Existing permit number: _____ Date permit issued: _____

Contributing drainage area: _____ square miles	Average stream flow at site (flow rate under normal rainfall conditions): _____ cfs
--	---

18. FILL (not associated with backfilled shoreline structures) AND OTHER STRUCTURES (other than piers and boathouses) IN WETLANDS OR WATERS, OR ON DUNES/BEACHES

Source and composition of fill material (percentage sand, silt, clay, rock):

Provide documentation (i.e., laboratory results or analytical reports) that *fill* material from *off-site* locations is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site). Documentation is not necessary for fill material obtained from on-site areas.

Explain the purpose of the filling activity and the type of structure to be constructed over the filled area (if any):

Describe any structure that will be placed in wetlands/waters or on a beach dune and its purpose:

Will the structure be placed on pilings? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total area occupied by any structure. _____ Square Feet
How far will the structure be placed channelward from the back edge of the dune? _____ feet	How far will the structure be placed channelward from the back edge of the beach? _____ feet

19. NONTIDAL STREAM CHANNEL MODIFICATIONS FOR RESTORATION OR ENHANCMENT, or TEMPORARY OR PERMANENT RELOCATIONS

If proposed activities are being conducted for the purposes of compensatory mitigation, please attach separate sheets of paper providing all information required by the most recent version of the stream assessment methodology approved by the Norfolk District of the U.S. Army Corps of Engineers and the Virginia Department of Environmental Quality, in lieu of completing the questions below. Required information outlined by the methodology can be found at:
<http://www.nao.usace.army.mil/Missions/Regulatory/UnifiedStreamMethodology.aspx> or
<http://www.deq.virginia.gov/Programs/Water/WetlandsStreams/Mitigation.aspx>.

For all projects proposing stream restoration provide a completed Natural Channel Design Review Checklist and Selected Morphological Characteristics form. These forms and the associated manual can be located at:
<https://www.fws.gov/chesapeakebay/StreamReports/NCD%20Review%20Checklist/Natural%20Channel%20Design%20Checklist%20Doc%20V2%20Final%2011-4-11.pdf>

Has the stream restoration project been designed by a local, state, or federal agency? Yes No. If yes, please include the name of the agency here: _____.

Is the agency also providing funding for this project? Yes No

Stream dimensions at impact site (length and average width in linear feet, and area in square feet):
L: _____ (feet) AW: _____ (feet) Area: _____ (square feet)

Contributing drainage area: _____ acres or _____ square miles

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: 781 & 809 Princess Anne Road, Pungo Subdivision

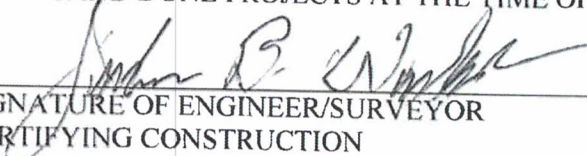
APPLICANT'S NAME: JHS GST Trust

APPLICANT'S ADDRESS: 809 Princess Anne Road

Virginia Beach, VA 23457

OWNER'S NAME
(IF DIFFERENT FROM APPLICANT): Same

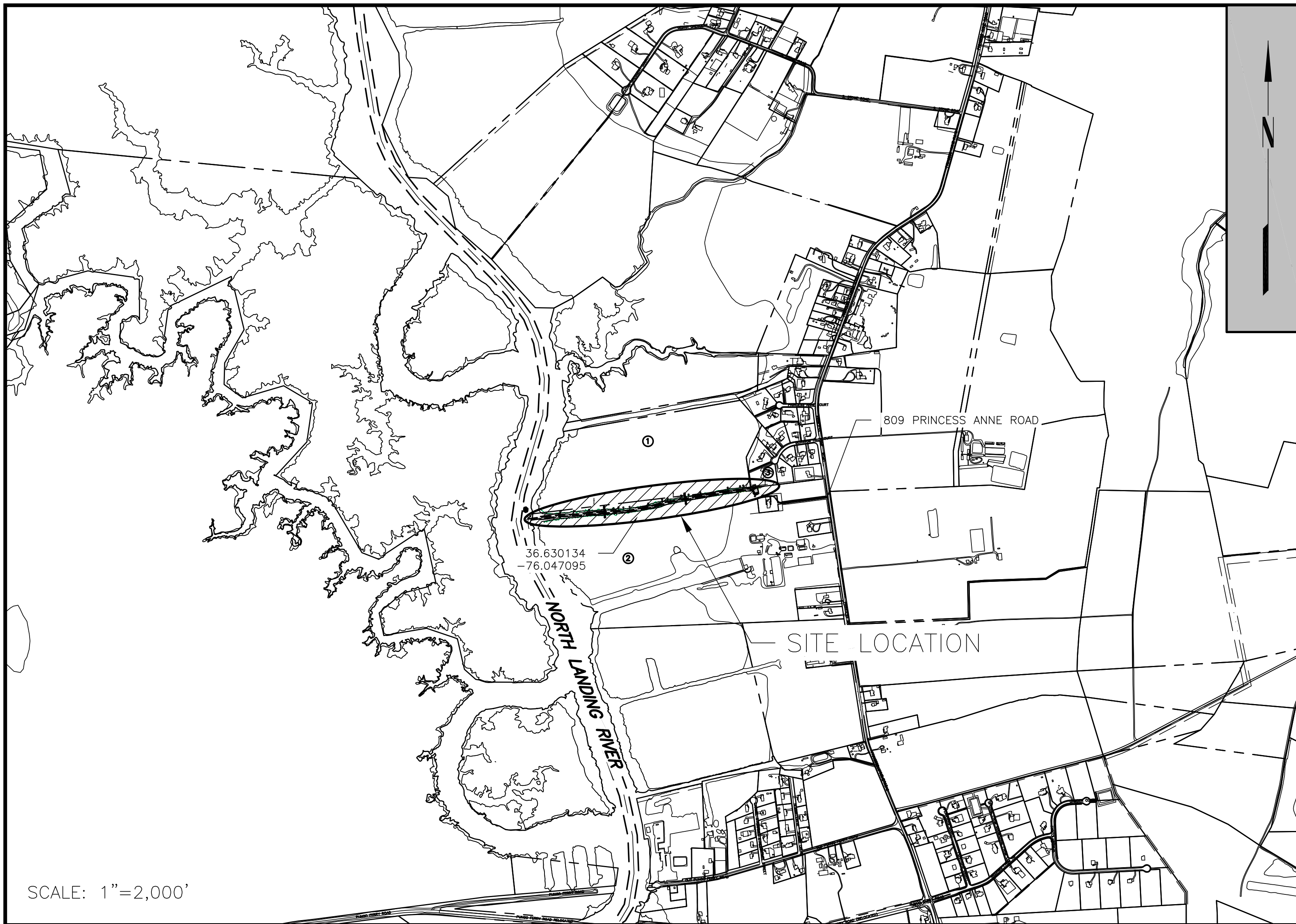
- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.


SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION 07/06/2023
DATE

John B. Walsh, P.E.
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION


SIGNATURE OF OWNER 7.7.23
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.



NOTES:

1. TOPOGRAPHIC FEATURES COMPOSITED FROM FIELD SURVEYS BY WATERWAY SURVEYS & ENGINEERING, LTD. ON JULY 2021.
2. COORDINATES ARE IN U.S. SURVEY FEET REFERRED TO THE VIRGINIA STATE GRID (SOUTH ZONE) BASED ON NAD83/93.
3. ELEVATIONS ARE IN FEET AND ARE REFERRED NAVD88.
4. BENCHMARK IS A BRASS DISK SET IN CONCRETE ON THE NORTH SIDE OF PUNGO FERRY ROAD EAST OF THE CONCRETE BRIDGE. ELEV.=13.94' NAVD88.
5. THIS LINE WAS NOT SURVEYED BY WATERWAY SURVEYS AND ENGINEERING, LTD. LINE IS THE EXTENSION OF THE SOUTHERN BOUNDARY FROM THE CITY OF VIRGINIA BEACH GIS 2019 OF BLOSSOM HILL ESTATES WESTWARD TO THE NORTH LANDING RIVER.

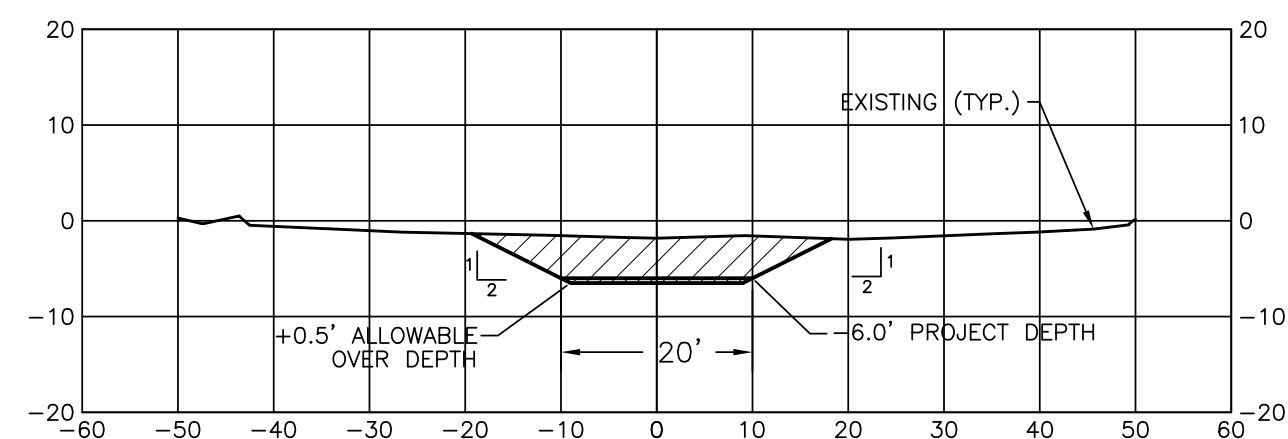
ADJACENT PROPERTY OWNERS:

- ① NATURE CONSERVANCY
- ② JHS GST TRUST
- ③ DOUGLAS H BROWN, JR

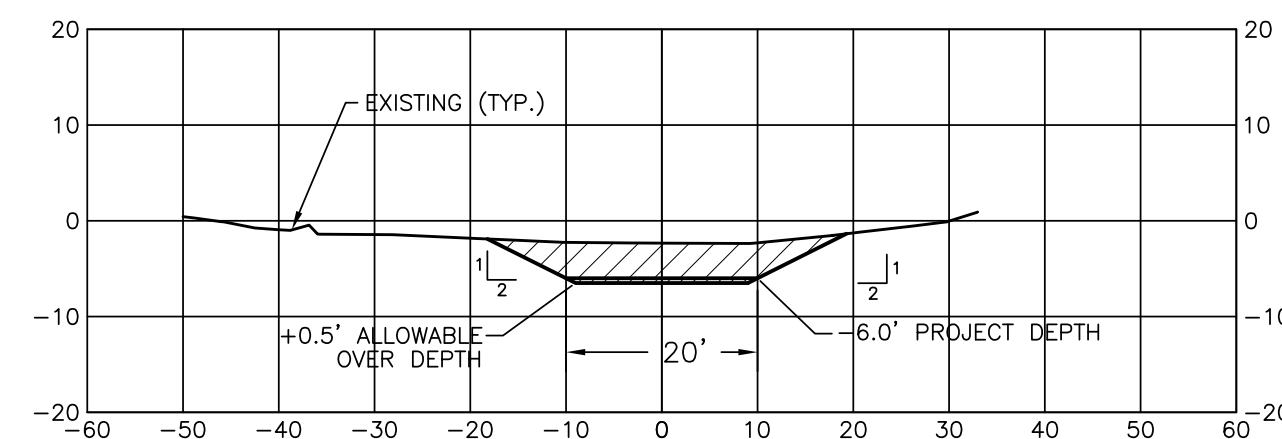
SHEET INDEX:

- JPA-01 LOCATION, CROSS SECTIONS AND NOTES
- JPA-02 PLAN VIEW

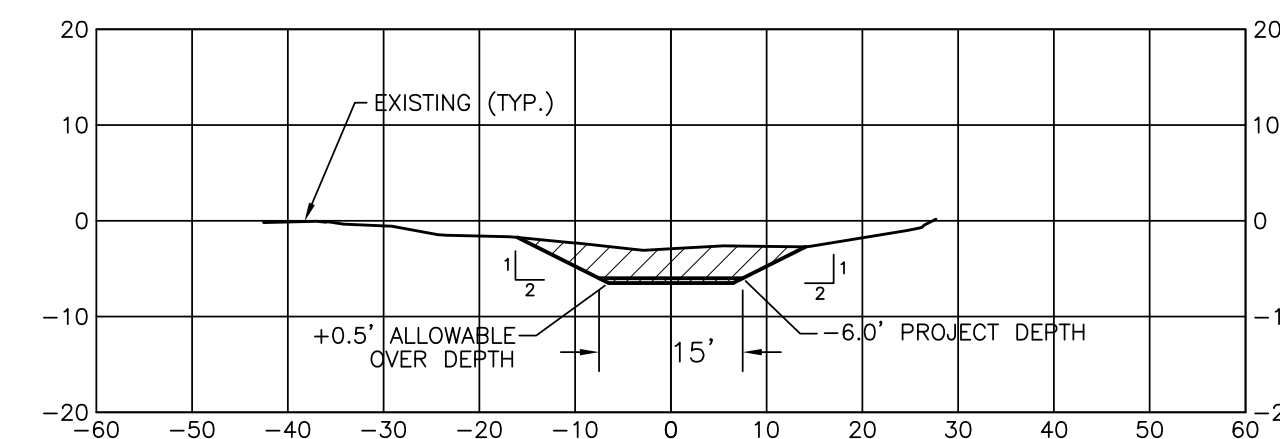
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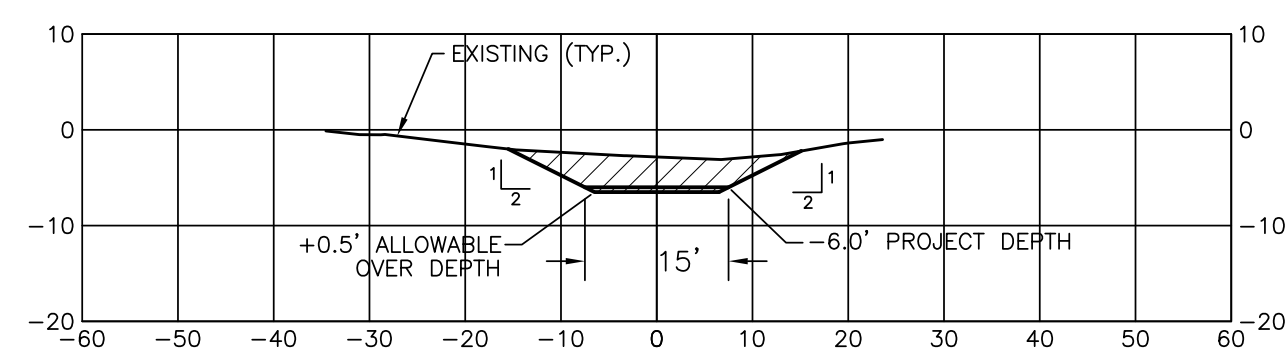
3+25



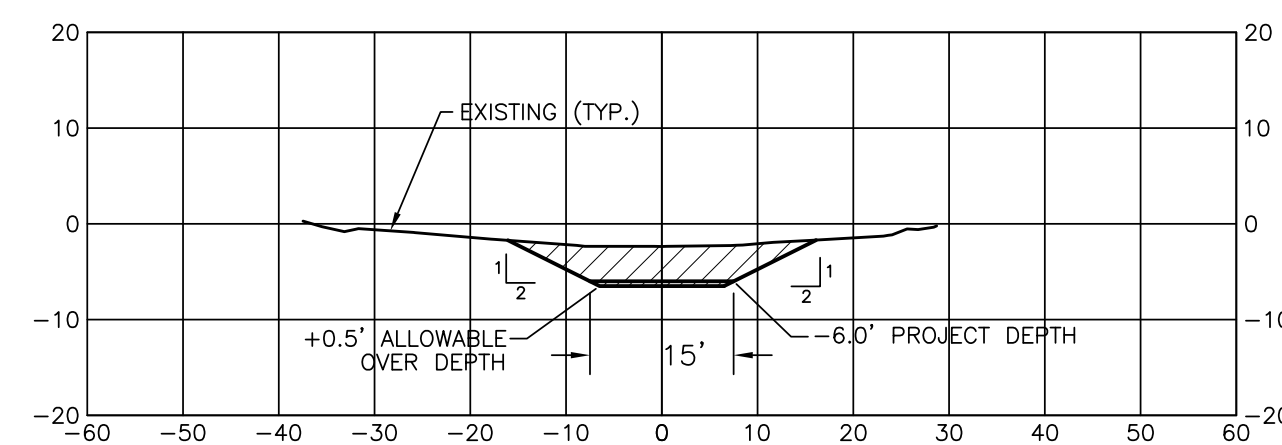
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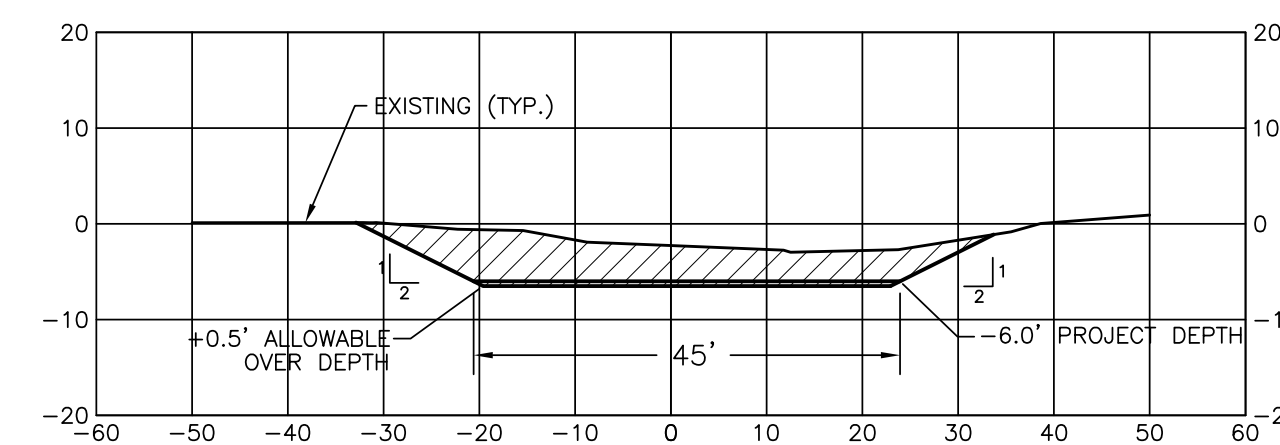
15+75



22+25

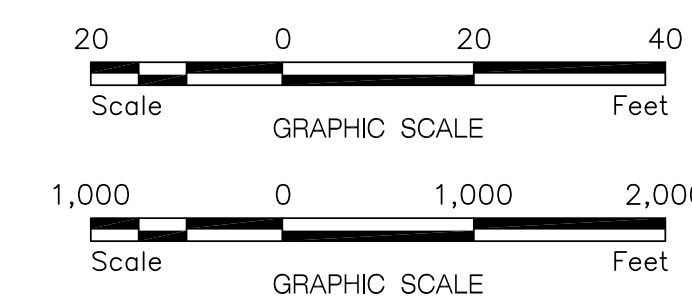


27+75



31+13

SCALE: 1"=20'



DATE	DESCRIPTION OF REVISION	BY	CHKD.
06/16/23	REVISED NOTE 5		

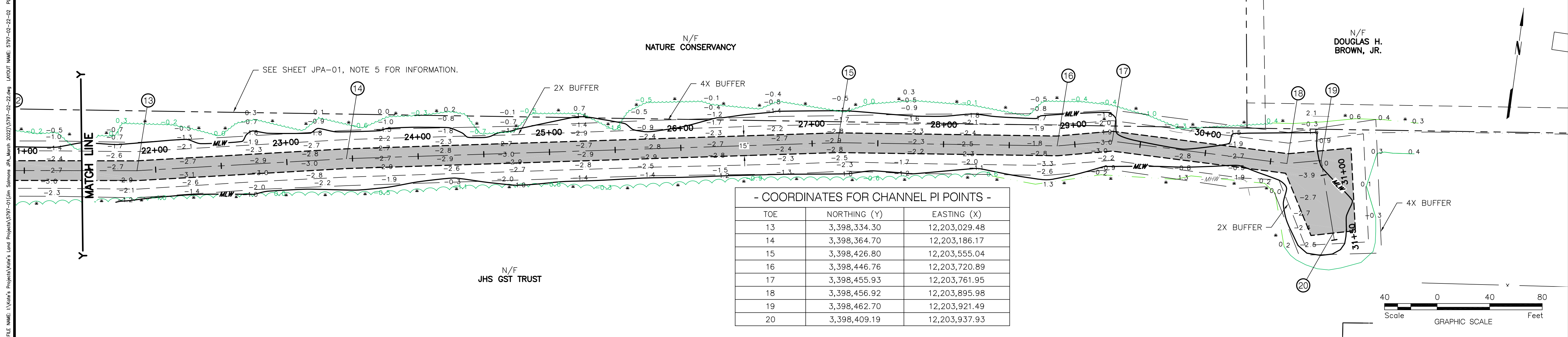
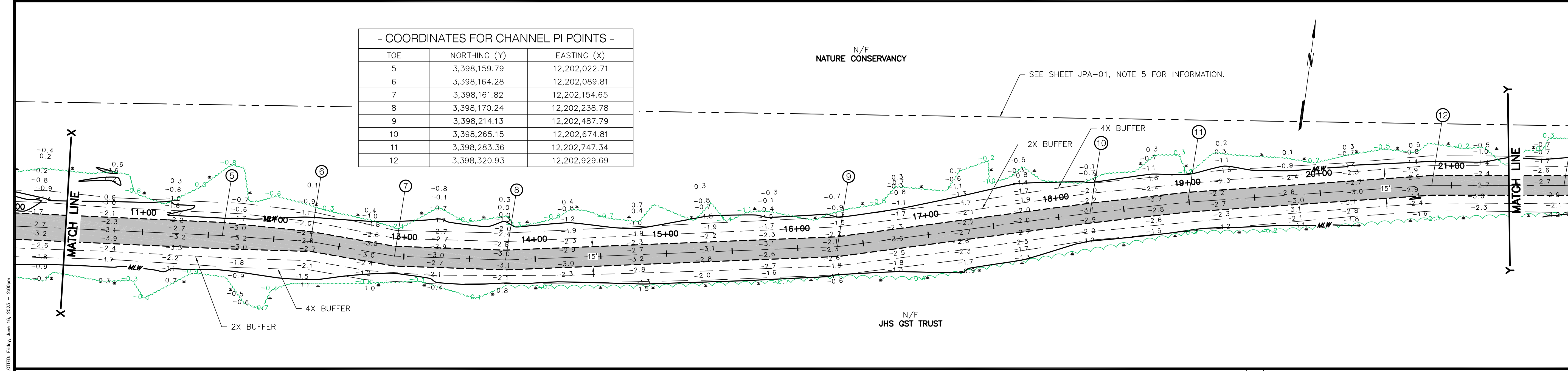
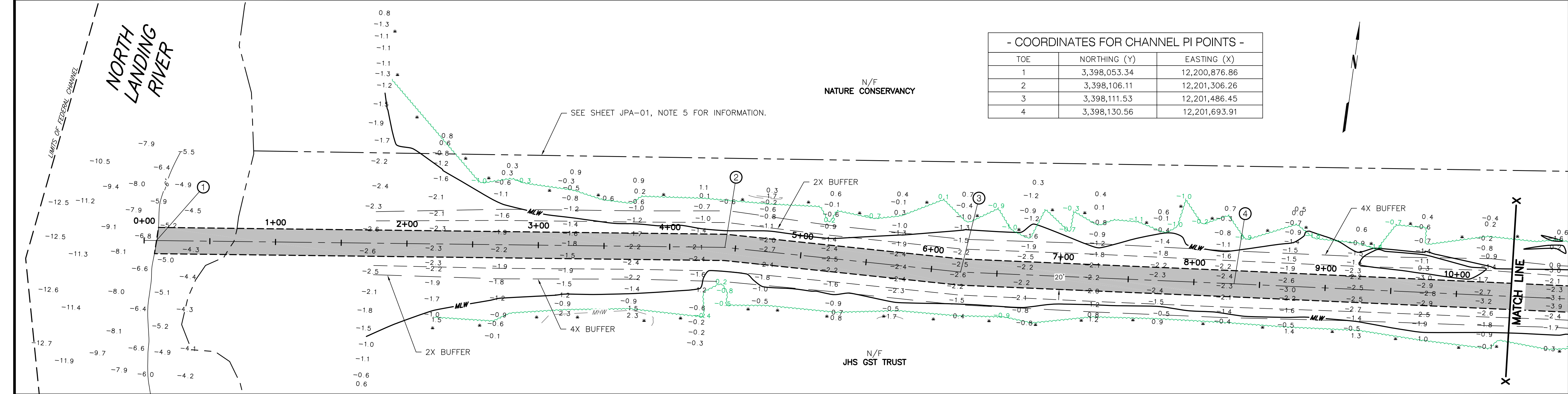
Waterway
 Surveys & Engineering, Ltd.
 321 Cleveland Place, Virginia Beach, Va. 23462
 Tel: (757) 490-1691 Fax: (757) 490-1348

JIM SALMONS
 VIRGINIA BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 LOCATION, CROSS SECTIONS AND NOTES
 NORTH LANDING RIVER

JOHN B. WALSH
 Lic. No. 11964
 11/14/2022
 PROFESSIONAL ENGINEER

SURVEYED J.D.D.	DESIGNED R.S.F.
DRAWN E.M.L./K.T.	REVIEWED R.S.F.
SCALE AS SHOWN	DATE 11/14/22
DRAWING NO. 5797-02-22-01	
JPA-01	
SHEET 1 OF 2	

FILE NAME: I:\Year's Projects\Year's Land Projects\0977-01\Jim Salmons JPA_March_2022\0977-02-22.dwg LAYOUT NAME: 5797-02-22-01 PLOTTED: Friday, June 16, 2023 - 1:59pm



NO.	DATE	BY	DESCRIPTION OF REVISION

Waterway
 Surveys & Engineering, Ltd.
 321 Cleveland Place, Virginia Beach, Va. 23462
 Tel: (757) 490-1691 Fax: (757) 490-1348

JIM SALMONS
 VIRGINIA BEACH, VIRGINIA
 JOINT PERMIT APPLICATION
 PLAN VIEW
 NORTH LANDING RIVER

COMMONWEALTH OF VIRGINIA
 JOHN B. WALSH
 Lic. No. 11964
 11/14/2022
 PROFESSIONAL ENGINEER

SURVEYED	DESIGNED
J.D.D.	N/A
DRAWN	REVIEWED
E.M.L./K.T.	R.S.F.
SCALE	DATE
1"=40'	11/14/22
DRAWING NO.	5797-00-22-02
JPA-02	
SHEET 2 OF 2	

FILE NAME: I:\Year's Projects\Year's Land Projects\5797-00-22-02.dwg LAYOUT NAME: 5797-02-22-02 PLOTTED: Friday, June 16, 2023 - 2:00pm

ADDITIONAL INFORMATION/REVISIONS Received by VMRC June 20, 2023 /blh



321 Cleveland Place, Virginia Beach, VA 23462
Phone (757) 490-1691 Fax (757) 490-1348

16 June 2023

RE: Salmons Farms North Boundary Location

To Whom it may concern:

The northern boundary of the Salmons Property (GPIN 2309 37 6009 0000) extending westerly beyond the southwest corner of Lot 5, Amended Subdivision Plat of Blossom Hill Estates (Map Book 216, Page 70-71) has not been surveyed by Waterway Surveys & Engineering, Ltd.

The current description of this line by the adjoining property on the North, The Nature Conservancy – Deed Book 3123, Page 1150, only describes its boundaries by reference to “Lot 21-A” as shown on “Subdivision of Lot 21, Blossom Hill Estates M.B. 216, Pg. 71” recorded in Map Book 221, Page 39. These plats do not depict or describe the extents of Lot 21-A, but it is shown only as a remainder parcel abutting the buildable lots (5, 6, 7, 13, and 14) of Blossom Hill Estates.

The previous description of this line in conveyance from William A. Cox, III, Sole Acting Trustee to Blossom Hill Estates, Ltd. reads: “Beginning at a cedar on the West side of a road now or formerly known as Pungo Road, a corner of property now or formerly owned by Batter and Guynn and running along a line of marked tree (sic) to North River;”.

Salmons deed (ex. Inst. 20200611000499600) describe this line only by “call for adjoiner”; “on the North by the lands now or formerly owned by W. J. Lawrence”.

Given the lack of accurate title descriptions and physical evidence to locate this boundary, Waterway Surveys & Engineering, Ltd. considers the property line (for the portion defined in first paragraph above) to be currently indeterminate.

In this Surveyor’s opinion, and presently lacking any evidence to the contrary, the boundary line would be best established as an extension of the recorded southern line of Blossom Hill Estates westward to the North Landing River.

Russell C. Sanderson, LS PLS
Waterway Surveys & Engineering, Ltd.



SALMONS PRIVATE DREDGING PROJECT OCTOBER, 2022

Project Location

The Salmons Private Dredging project is located at 809 Princess Anne Road in Virginia Beach. The man-made canal was excavated during the 1960's prior to formal permit requirements.

Purpose & Need

To restore navigational depths in the private canal. The attached sheets JPA-01, JPA-02, and JPA-02-Attachment accompany the JPA form and provide the project details and the project impacts.

Proposed Project

The proposed project includes the maintenance dredging of a 3,150 ft channel with toe widths ranging from 15 ft to 20 ft. The design depth is -6.5 ft NAVD, which matches ambient contours in the North Landing River. The estimated volume is 10,000 cy. This project will meet the purpose and need and minimize impacts to vegetated wetlands.

Avoidance and Minimization

The canal ranges in width from 50 ft to 100 ft between the PFO and EME wetland areas (Wetland Attachment). The design channel width was minimized to the most practicable extent possible and numerous PIs (bends) in the channel were added to reduce impacts to vegetated wetlands within the 4x buffer area. (There are no vegetated impacts in the 2x buffer.) The dredging will impact 820 sf of vegetated wetlands within the 4x buffer.

The North Landing River is non-tidal and water levels are driven by winds. The northerly winds blow the water out of Back Bay and lower the water level, while the southerly winds hold the water into Back Bay increasing the water level. The Virginia Marine Resources Commission (VMRC) and the Virginia Beach Wetlands Board established datums to represent tidal elevations in Back Bay. They use an elevation of +1.5 ft NAVD to represent MHW and -1.3 ft NAVD to represent MLW. The Corps does not recognize the established tidal datums and thus for federal regulatory purposes an elevation of +1.5 ft NAVD is used to represent OHW.

The JPA-02-Attachment includes the 2x and 4x buffers with the established impacts. The shaded green shows the impacts to vegetated wetlands within the 4x buffer and the light brown shade shows impacts to "non-vegetated" wetlands within the 2x buffer. The estimated impact to non-vegetated wetlands within the 2x buffer is 1,545 sf. Note that the Corps considers this area subaqueous since it is non-tidal and therefore is not considered a wetland environment.

Compensation and Mitigation

The Owner proposes to purchase credits for impacts to vegetated wetlands through the Virginia Beach Wetlands Board as part of their review or through an established bank. The Owner does not propose to mitigate for 1,545 sf of “non-vegetated” wetlands since the Corps considers the area to be subaqueous.

Environmental Justice

There are no environmental justice issues associated with this project. The private canal is located in a rural area of Virginia Beach that has been owned by the same family for more than a century.

Threatened and Endangered Species

The only listed species is the Northern Long Eared Bat. Note that there will not be any tree clearing associated with this project, therefore, there will not be any impacts to critical habitat.

Historical and Cultural Resources.

Attachment III provides the results from the VCRIS database search. Two resources were located within ~1/4 mile of the dredging area. Site 134-0367 is located about 1,500 ft south and site 134-0370 is located about 2,000 ft to the northeast. The dredging will not have any direct impact (dredging construction) or indirect impact (viewshed/noise) of these properties.

Dredging Plan

The material will be excavated (mechanically dredged) and placed in scow barges for transport to a transfer area at the shoreline. The transfer area will take place either in the private basin or at the Salmons yard south of the private basin. The material will then be hauled to selected farm fields for disposal.

Subaquatic Vegetation

There is no subaquatic vegetation in the dredging area.

Shellfish Leases

There are no shellfish leases in the dredging area.

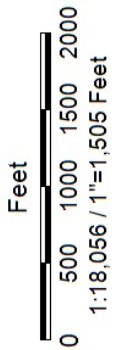
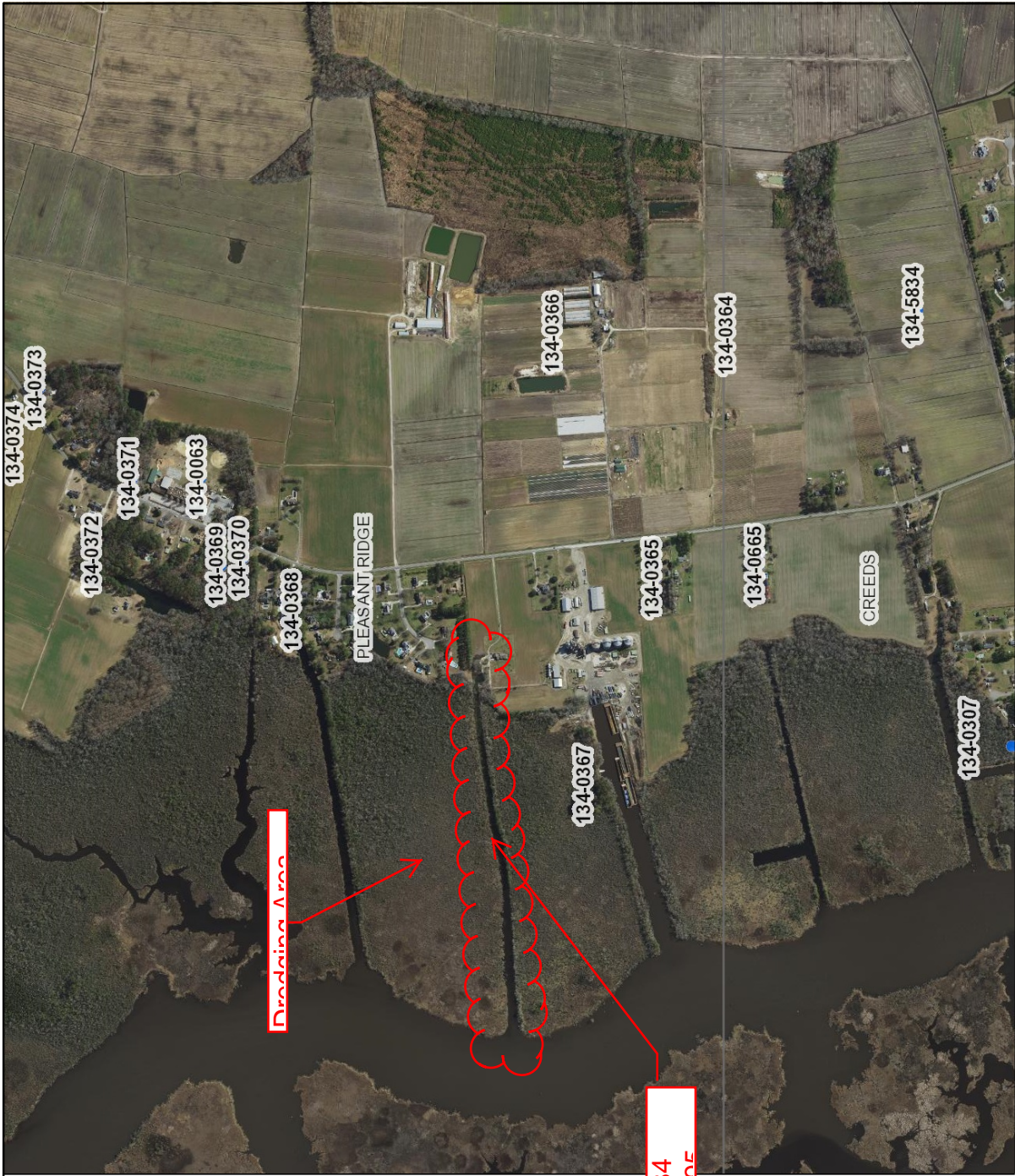
Salmons Private Canal Dredging Project - National Wetlands Inventory



Legend

- Architecture Labels
- Public View Architecture Points
- Public View Historic Districts
- County Boundaries
- Topo Quad Grid

36.630134
 76.047005



Title: Jim Salmons Private Dredging

Date: 10/10/2022

DISCLAIMER: Records of the Virginia Department of Historic Resources (DHR) have been gathered over many years from a variety of sources and the representation depicted is a cumulative view of field observations over time and may not reflect current ground conditions. The map is for general information purposes and is not intended for engineering, legal or other site-specific uses. Map may contain errors and is provided "as-is". More information is available in the DHR Archives located at DHR's Richmond office.

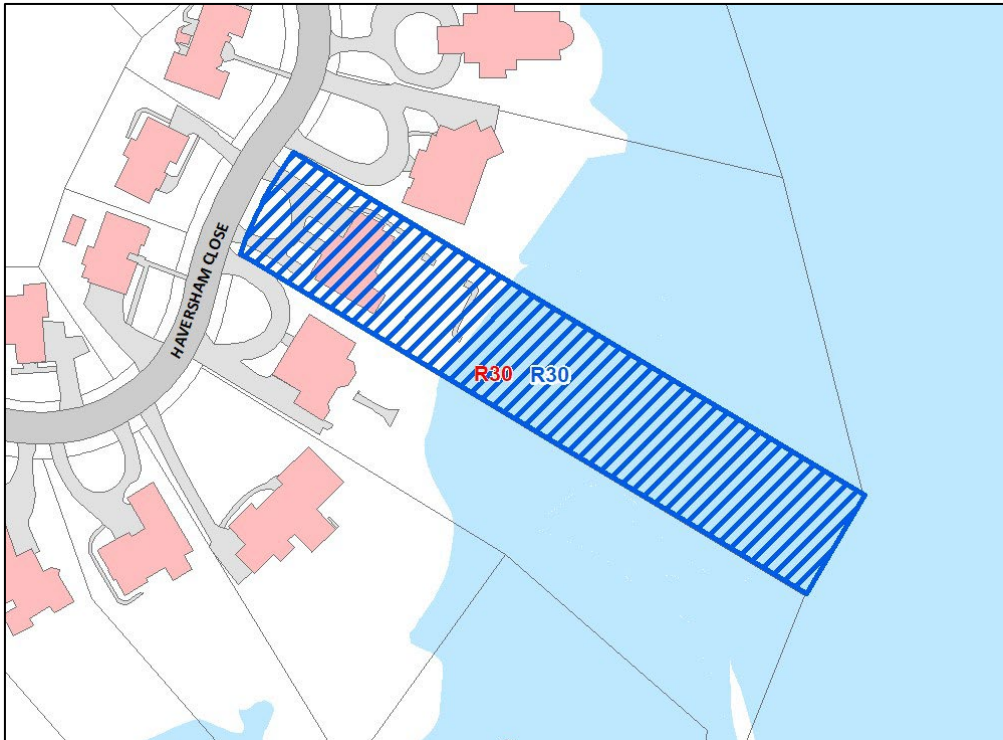
Notice if AE sites: Locations of archaeological sites may be sensitive the National Historic Preservation Act (NHPA), and the Archaeological Resources Protection Act (ARPA) and Code of Virginia §2.2-3705.7 (10). Release of precise locations may threaten archaeological sites and historic resources.

4. 2023-WTRA-00157
Allen M. & Barbara J. Larar
[Applicants & Owners]

2389 Haversham Close
GPIN 2409-14-7744
City Council District: District 8, formerly Lynnhaven

Waterway – Broad Bay
Subdivision – Broad Bay Point Greens

Request: To construct a rip rap revetment and groin wall involving wetlands.



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Allen & Barbara Larar

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Robert Simon - Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.

N/A

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

N/A

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the engineer/surveyor/agent.

Agent - Robert Simon, Waterfront Consulting, Inc. Engineer - Sean E. Green, P.E. Stone Green Consulting, LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

4F5C06578D3C438...
Applicant Signature

Allen & Barbara Larar

Print Name and Title

7/5/2023

Date

- Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 23-1562

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input checked="" type="checkbox"/>			
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Ferebee Cove</u>				
<i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i>				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Allen & Barbara Larar 2389 Haversham Close Virginia Beach, VA 23454	Home (757) 351-3440 Work () _____ Fax () _____ Cell () _____ e-mail <u>poqaml@gmail.com</u>
State Corporation Commission Name and ID Number (if applicable) _____	

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

	Home () _____ Work () _____ Fax () _____ Cell () _____ e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____	

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:

Waterfront Consulting, Inc. 2589 Quality Court, Ste. 323 Virginia Beach, VA 23454	Home () _____ Work (757) 425-8244 Fax (757) 425-8244 Cell (757) 619-7302 e-mail <u>bob@waterfrontconsulting.net</u>
State Corporation Commission Name and ID Number (if applicable) <u>047-4381-1</u>	

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove the existing boat lift, construct a 6'x24' pier addition, install (20) 10" timber piles with anchors, construct approximately 22 LF of groin wall, construct approximately 101 LF of granite quarry stone riprap with new timber sheeting lag bolted to the existing bulkhead, and install a new four pile boat lift as shown in the permit drawings.

The pier addition will use (3) 8" timber piles, the boat lift will use (4) 10" timber piles, the bulkhead will use (20) 10" timber piles, and the groin wall will use (8) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on a barge.

Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address: _____

Contact Information:
 Home (____) _____
 Work (____) _____
 Fax (____) _____
 Cell (____) _____
 email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address: _____ Telephone number _____
 Virginian Pilot (757) 622-1455
 150 W. Brambleton Avenue
 Norfolk, VA 23510

- 7. Give the following project location information:
 Street Address (911 address if available) 2389 Haversham Close
 Lot/Block/Parcel# Lot 60, Phase 1, Broad Bay Point Greens
 Subdivision Broad Bay Point Greens
 City / County Virginia Beach ZIP Code 23454
 Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.89552 / -76.04224 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary Purpose: Shoreline Stabilization
 Secondary Purpose: Boating Access

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
A living shoreline was not considered at the site due to the height of the existing bulkhead, infrastructure behind the bulkhead, and dredged basin along the toe of the riprap adjacent to the groin wall. There are 444 SF of NVW rock on mud impacts that are self mitigating and 160 SF VW impacts that will be compensated for with an in-lieu fee.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ TBD
Approximate cost of that portion of the project that is channelward of mean low water:
\$ TBD
13. Completion date of the proposed work: Approximately 1 year from permit date - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Jeanne P. West Trust
Haversham LLC

2385 Haversham Close
2828 Shipps Corner Road

Virginia Beach, VA 23454
Virginia Beach, VA 23453

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

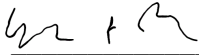
In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Allen & Barbara Larar

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:



Applicant's Signature

(Use if more than one applicant)

7/5/2023

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Allen & Barbara Larar, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

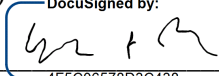
(Agent’s Signature)

(Use if more than one agent)

7/5/2023

(Date)

DocuSigned by:



(Applicant’s Signature)

(Use if more than one applicant)

7/5/2023

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Allen & Barbara Larar, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

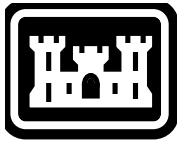
Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date



**U.S. Army Corps
Of Engineers**
Norfolk District

REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Robert E. Simon, V.P.

Proposed work to be located at:
2389 Haversham Close, Virginia Beach, VA 23454

Signature of Property Owner(s) or Agent

Date 7/5/2023

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The project is to remove the existing boat lift, construct a 6'x24' pier addition, and install a new four pile boat lift as shown in the permit drawings.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes ___ No

If yes, will it be removed? ___ Yes No

Is your lot platted to the mean low water shoreline? Yes ___ No

What is the overall length of the proposed structure? 33 feet.

Channelward of Mean High Water? 33 feet.

Channelward of Mean Low Water? 25 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 144 square feet.

What is the total size of any and all L- or T-head platforms? 337 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides? ___ Yes ___ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to install (20) 10" timber piles with new anchors, construct approximately 22 LF of groin wall and construct approximately 101 LF of granite quarry stone riprap with new timber sheeting lag bolted to the existing bulkhead as shown in the permit drawings.

There will be no fill placed below the plane of MHW and approximately 0.014 acres of aquatic impact.

2. What is the maximum encroachment channelward of mean high water? 6 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? N/A feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 160 square feet
- Non-vegetated wetlands 444 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach N/A square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

- 5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

Rip Rap - Class 1 & A1 quarry stone, heavy duty filter cloth

Bulkhead - Timber piles and sheet piles and H.D. galvanized hardware

- 6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:
 Core (inner layer) material 75-150 pounds per stone Class size 1 & A1
 Armor (outer layer) material 75-150 pounds per stone Class size 1 & A1

- 7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2389 Haversham Close

APPLICANT'S NAME: Allen & Barbara Larar

APPLICANT'S ADDRESS: 2389 Haversham Close

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Bulkhead Sheets, Piles, Riprap, Pier Addition, & Boat Lift

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



7/21/2023

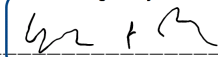
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DocuSigned by:



7/5/2023

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

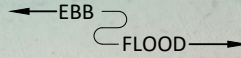
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

LARAR JPA



BROAD BAY

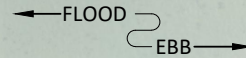


M.B. 188 PG. 8

S 26°45'41" W
103.45'
(TIE LINE ONLY)

MLW

FEREBEE COVE



EXISTING
CONDITIONS



SCALE: 1" = 80'

MHW

MLW

EX. PIER, LIFT, &
FLOAT OF WEST

570'±
EX. PIER, FLOAT,
AND BOAT LIFT

585'±

EX. FLOATS
& PIER

EX. BKHD OF
WEST
EX. MARSH

EX. BKHD

EX. BKHD OF
HAVERSHAM LLC
EX. MARSH

APO #1
NOW OR FORMERLY
JEANNE P. WEST TRUST
2385 HAVERSHAM CLOSE
GPIN: 2409-14-8863

S 50°46'17" E

2 STY. FR
#2389

S 50°46'17" E

APO #2
NOW OR FORMERLY
HAVERSHAM LLC
2593 HAVERSHAM CLOSE
GPIN: 2409-14-6639

PF

PF

R=326.74'
L=101.61'

HAVERSHAM CLOSE
50' RIGHT-OF-WAY

PURPOSE: SHORELINE STABILIZATION
DATUM: MLW = 0.0'

APOS:

1. HAVERSHAM LLC
2. JEANNE P. WEST TRUST

REV:

ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

CONSULTING SERVICES PROVIDED BY:
WATERFRONT CONSULTING, INC.
2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454
PHONE: (757) 619-7302

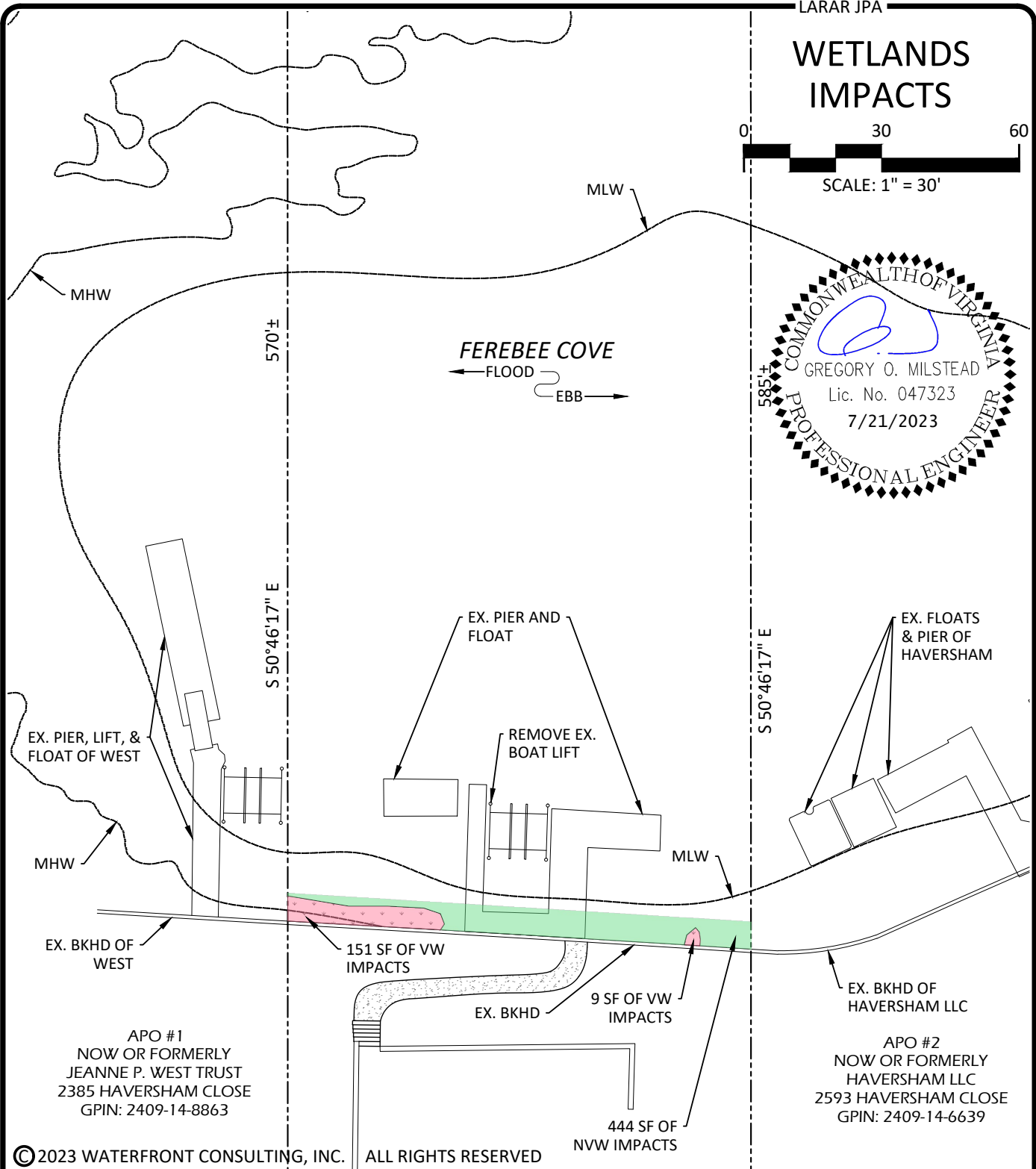
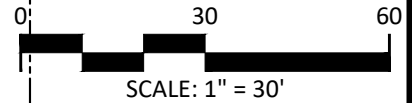
PROPOSED: RIPRAP, GROIN WALL, PIER,
& BOAT LIFT

IN: FEREBEE COVE
AT: 2389 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454

APPLICATION BY:
ALLEN & BARBARA LARAR
SHEET: 1 OF 9
DATE: JULY 3, 2023

LARAR JPA

WETLANDS IMPACTS



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PURPOSE: SHORELINE STABILIZATION
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 2. JEANNE P. WEST TRUST
 REV:

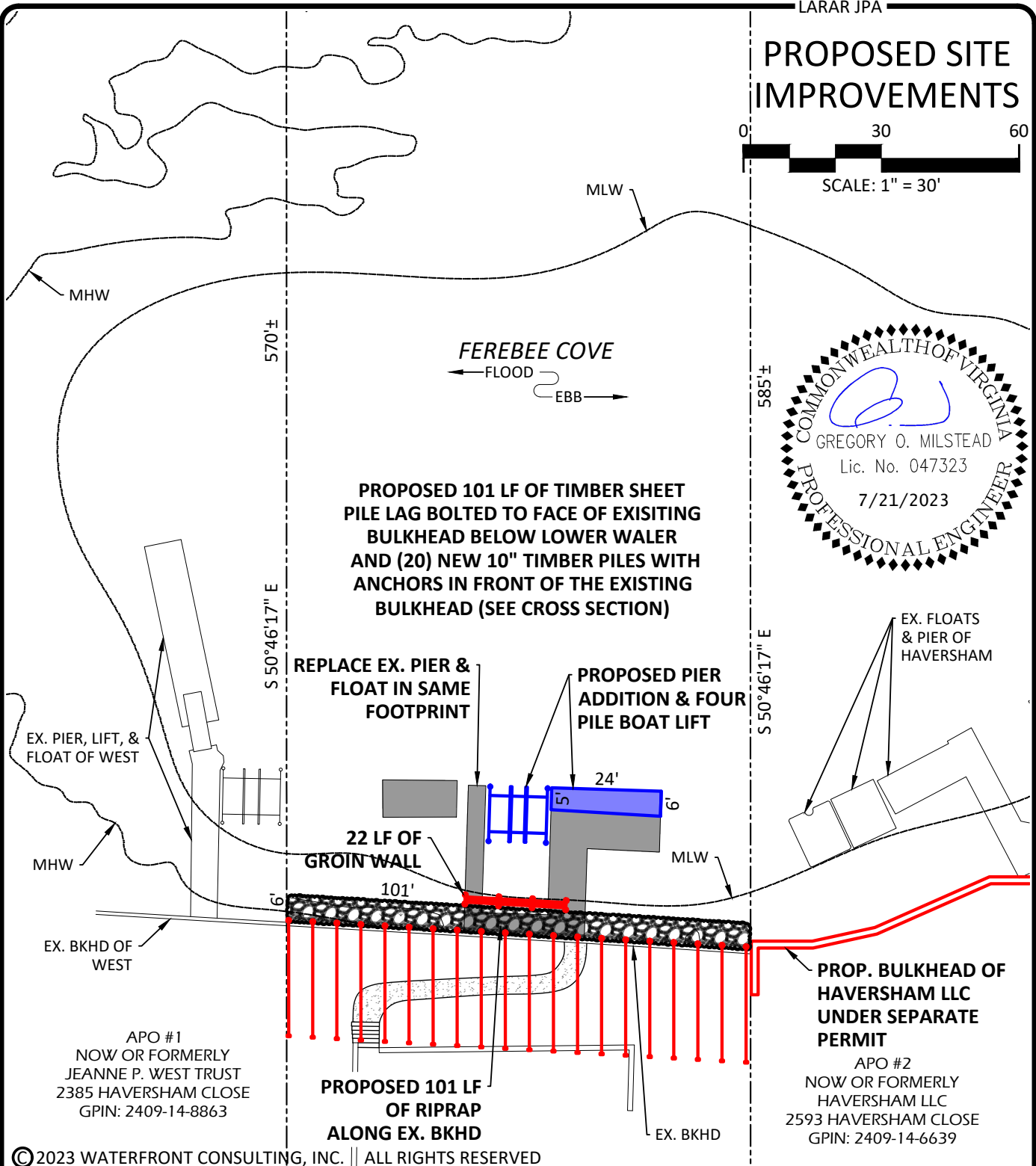
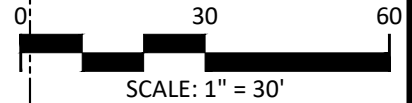
ENGINEERING SERVICES PROVIDED BY:

 P.O BOX 6663
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 VIRGINIA 23456
 (757) 575-3715
 CONSULTING SERVICES PROVIDED BY:
 WATERFRONT CONSULTING, INC.
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PROPOSED: RIPRAP, GROIN WALL, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 2 OF 9
 DATE: JULY 3, 2023

LARAR JPA

PROPOSED SITE IMPROVEMENTS



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
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 2. JEANNE P. WEST TRUST

ENGINEERING SERVICES PROVIDED BY:

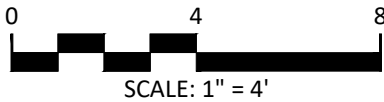


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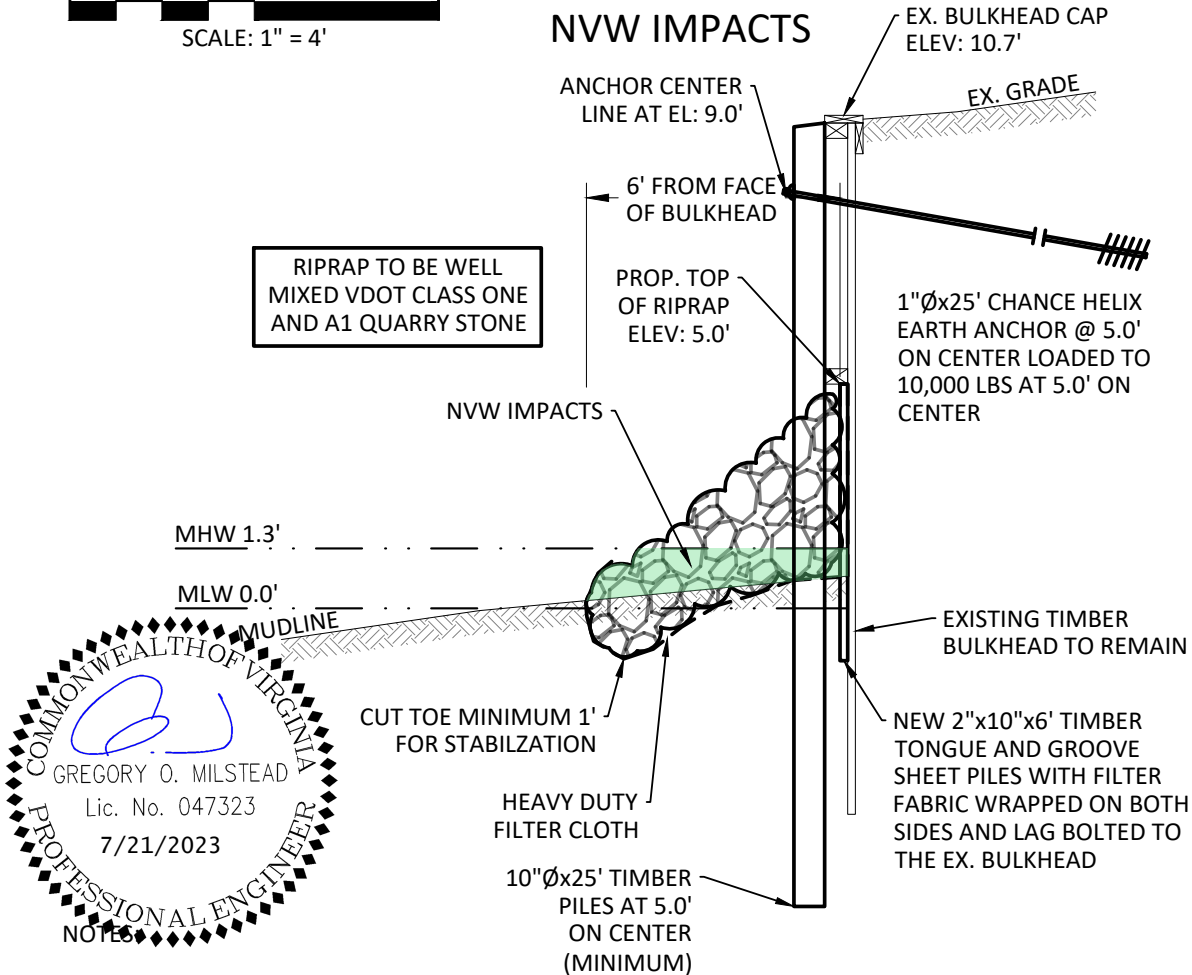
PROPOSED: RIPRAP, GROIN WALL, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 3 OF 9
 DATE: JULY 3, 2023

REV:



PROPOSED RIPRAP CROSS SECTION NVW IMPACTS

RIPRAP TO BE WELL MIXED VDOT CLASS ONE AND A1 QUARRY STONE



1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.
4. ANY SHELLFISH IMPACTED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE STRUCTURE(S), PRESERVED IN THE WATER COLUMN, AND RETURNED/PLACED ON THE COMPLETED OR EXISTING RIP RAP ON SITE APPLICABLE AT A SIMILAR PLACE IN THE WATER COLUMN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
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ENGINEERING SERVICES PROVIDED BY:

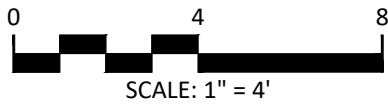


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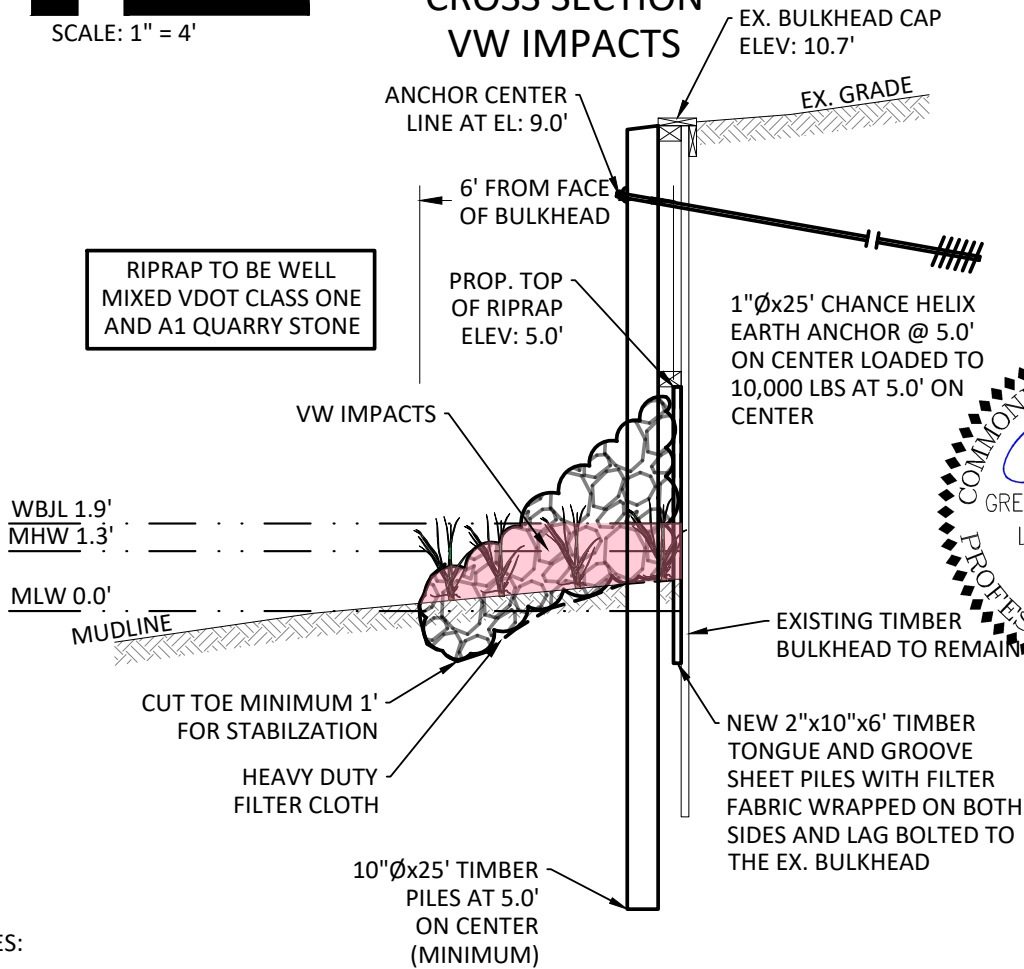
PROPOSED: RIPRAP, GROIN WALL, PIER, & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 4 OF 9
 DATE: JULY 3, 2023

CONSULTING SERVICES PROVIDED BY:
 WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454
 PHONE: (757) 619-7302

REV:



PROPOSED RIPRAP CROSS SECTION VW IMPACTS



NOTES:

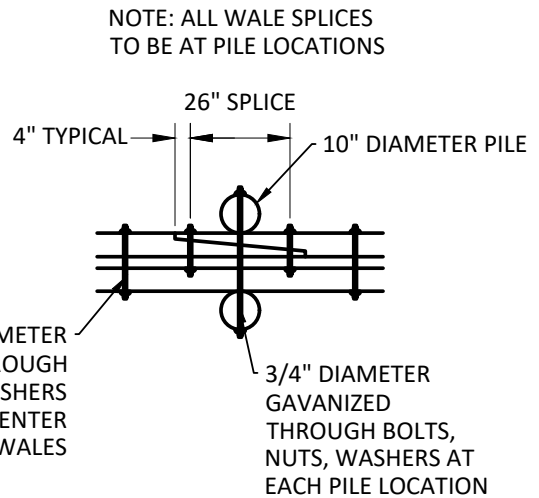
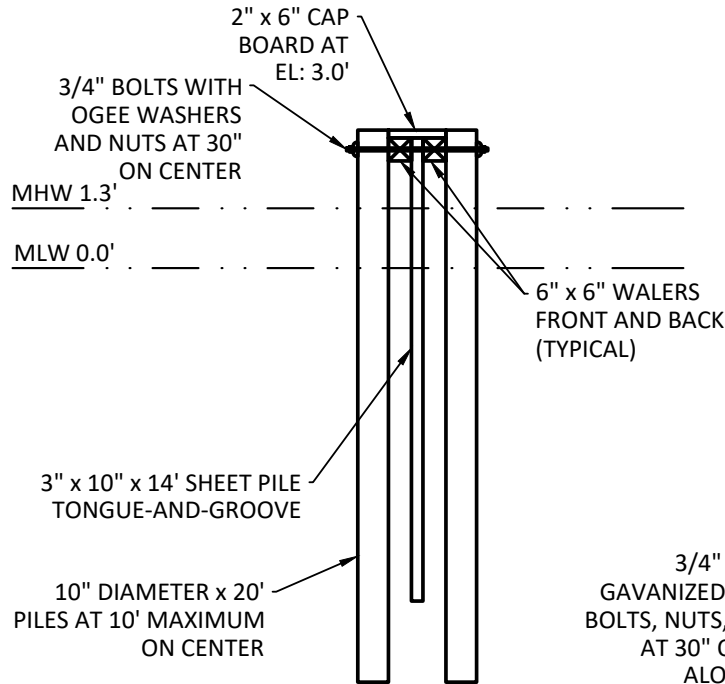
1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.
4. ANY SHELLFISH IMPACTED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE STRUCTURE(S), PRESERVED IN THE WATER COLUMN, AND RETURNED/PLACED ON THE COMPLETED OR EXISTING RIP RAP ON SITE APPLICABLE AT A SIMILAR PLACE IN THE WATER COLUMN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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<p>PURPOSE: SHORELINE STABILIZATION DATUM: MLW = 0.0' APOS: 1. HAVERSHAM LLC 2. JEANNE P. WEST TRUST</p>	<p>ENGINEERING SERVICES PROVIDED BY:  P.O BOX 6663 VIRGINIA BEACH VIRGINIA 23456 (757) 575-3715</p> <p>CONSULTING SERVICES PROVIDED BY: WATERFRONT CONSULTING, INC. 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454 PHONE: (757) 619-7302</p>	<p>PROPOSED: RIPRAP, GROIN WALL, PIER, & BOAT LIFT IN: FEREBEE COVE AT: 2389 HAVERSHAM CLOSE VIRGINIA BEACH, VA 23454 APPLICATION BY: ALLEN & BARBARA LARAR SHEET: 5 OF 9 DATE: JULY 3, 2023</p>
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PROPOSED GROIN WALL CROSS SECTION

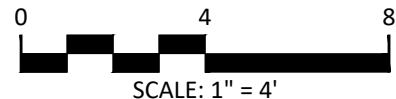


NOTE: ALL WALE SPLICES TO BE AT PILE LOCATIONS

NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.
4. ANY SHELLFISH IMPACTED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED FROM THE STRUCTURE(S), PRESERVED IN THE WATER COLUMN, AND RETURNED/PLACED ON THE COMPLETED OR EXISTING RIP RAP ON SITE APPLICABLE AT A SIMILAR PLACE IN THE WATER COLUMN.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. JEANNE P. WEST TRUST

ENGINEERING SERVICES PROVIDED BY:



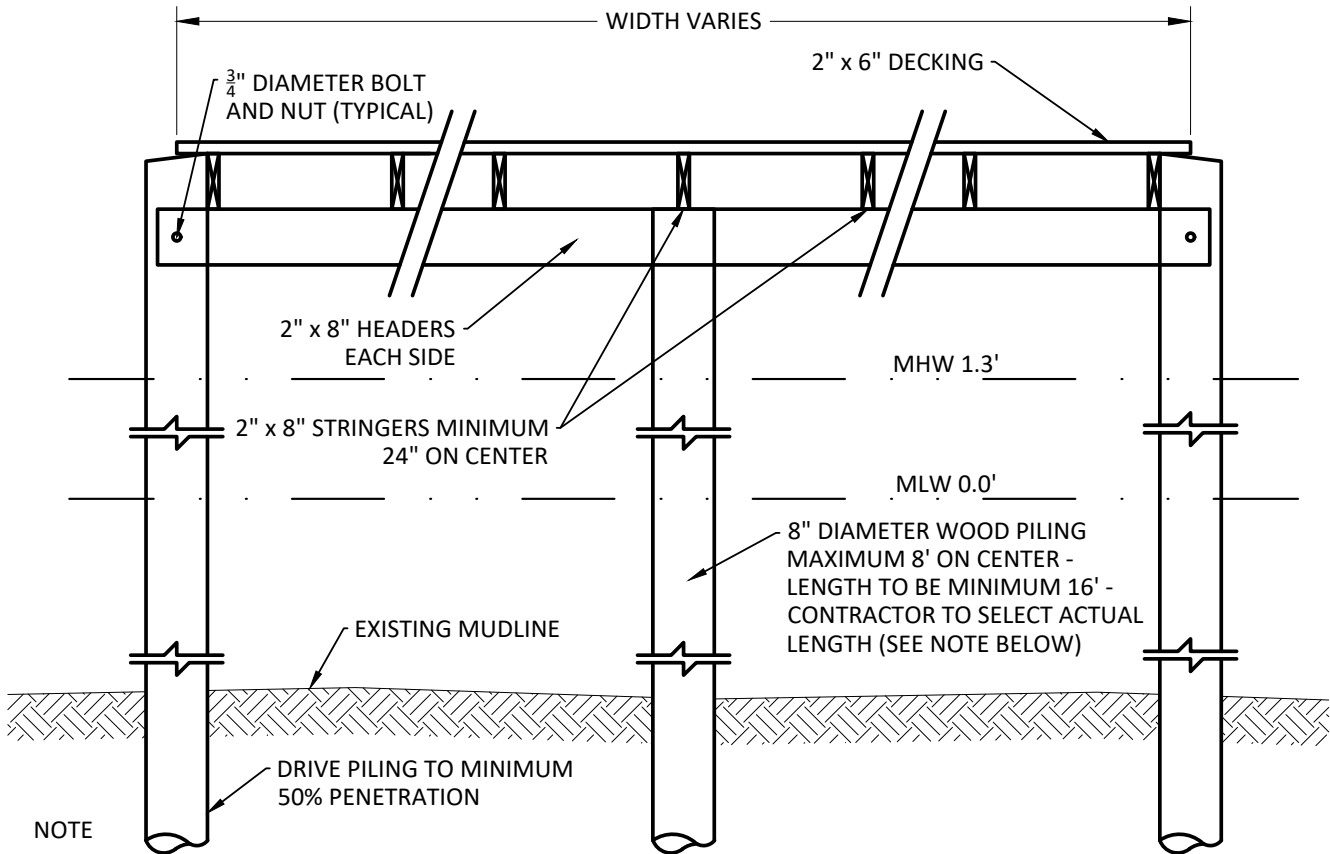
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 VIRGINIA 23456
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:
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 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454
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PROPOSED: RIPRAP, GROIN WALL, PIER,
 & BOAT LIFT
 IN: FEREBEE COVE
 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 6 OF 9
 DATE: JULY 3, 2023

REV:

PROPOSED PIER CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWP
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
 1. HAVERSHAM LLC
 2. JEANNE P. WEST TRUST

ENGINEERING SERVICES PROVIDED BY:



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PROPOSED: RIPRAP, GROIN WALL, PIER,
 & BOAT LIFT
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 AT: 2389 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 7 OF 9
 DATE: JULY 3, 2023

REV:

NLAA COMPLIANCE

ITEM	8"PILE	10" PILE	12" PILE		
PIER	3				
BOAT LIFT		4			
GROIN		8			
BULKHEAD		20			

ALL NOTED PILES ARE CHANNELWARD OF MEAN HIGH WATER AND ARE TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER



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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
 APOS:
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ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663
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CONSULTING SERVICES PROVIDED BY:
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 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454
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PROPOSED: RIPRAP, GROIN WALL, PIER,
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 IN: FEREBEE COVE
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 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 8 OF 9
 DATE: JULY 3, 2023

REV:

ADDITIONAL INFORMATION/REVISIONS Received by VMRC July 31, 2023 /blh

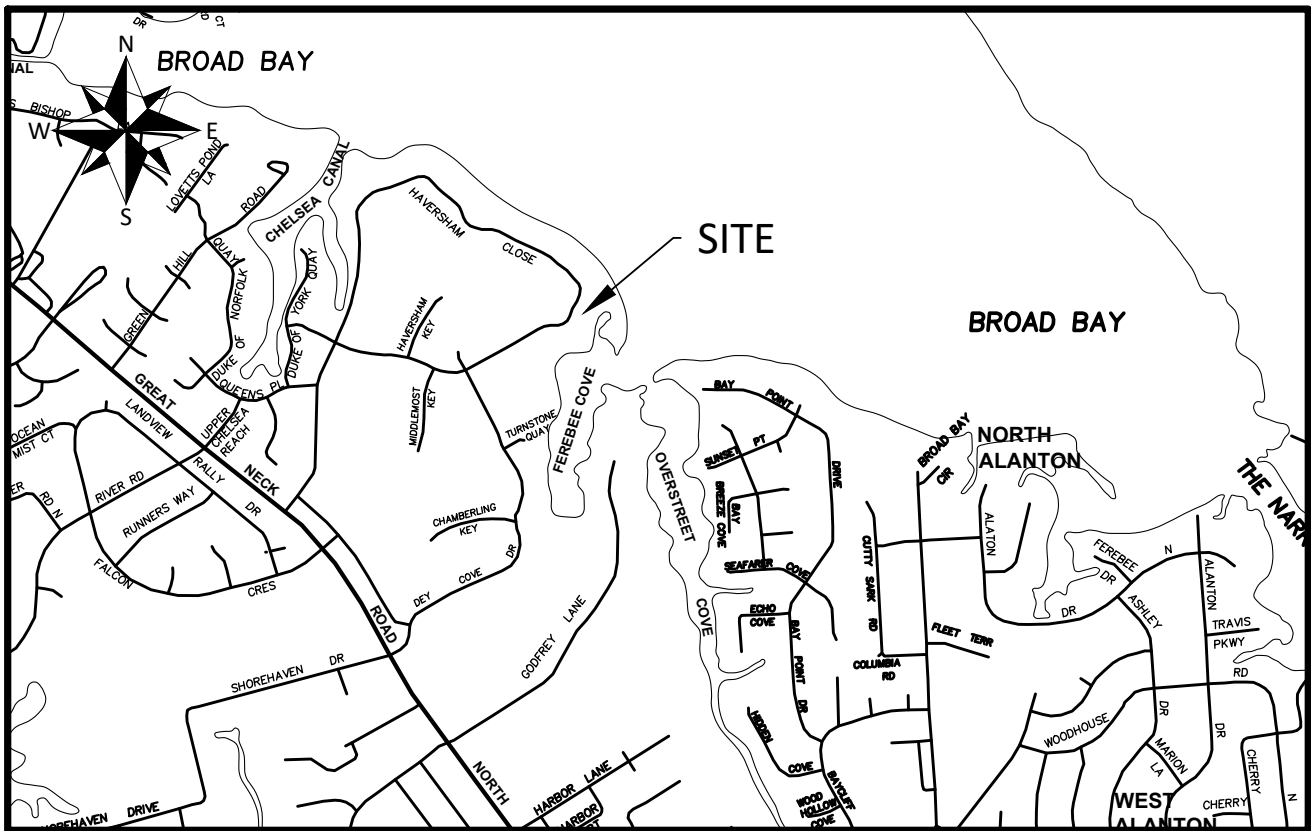
SITE INFORMATION

LEGAL DESCRIPTION: **LOT 60, PHASE 1, BROAD BAY POINT GREENS**
 REFERENCE: **MAP BOOK 188, PAGE 8**, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: **2409-14-7744**
 ZONING: **R-30 RESIDENTIAL**



SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

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PURPOSE: SHORELINE STABILIZATION
 DATUM: MLW = 0.0'
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 2. JEANNE P. WEST TRUST

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 APPLICATION BY:
 ALLEN & BARBARA LARAR
 SHEET: 9 OF 9
 DATE: JULY 3, 2023

REV:



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

Jeanne P. West Trust
2385 Haversham Close
Virginia Beach, VA 23454

**RE: Proposed Bulkhead Sheets, Piles, Riprap, Pier Addition, & Boat Lift
Located at: 2389 Haversham Close, Virginia Beach, VA 23454**

Dear Jeanne P. West Trust

This letter is to notify you that your neighbor(s), Allen & Barbara Larar have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from receiving this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Allen & Barbara Larar , Applicant

Office: (757) 425-8244 Mobile: (757) 619-7302 bob@waterfrontconsulting.net
2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC July 31, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Jeanne P. West Trust, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Allen & Barbara Larar.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated July 3, 2023
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

Haversham LLC
2828 Shipps Corner Road
Virginia Beach, VA 23453

**RE: Proposed Bulkhead Sheets, Piles, Riprap, Pier Addition, & Boat Lift
Located at: 2389 Haversham Close, Virginia Beach, VA 23454**

Dear Haversham LLC

This letter is to notify you that your neighbor(s), Allen & Barbara Larar have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Allen & Barbara Larar , Applicant

Office: (757) 425-8244 Mobile: (757) 619-7302 bob@waterfrontconsulting.net
2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC July 31, 2023 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Haversham LLC, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Allen & Barbara Larar.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated July 3, 2023
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.