

Wetlands Board Agenda

October 17, 2022



A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, October 17, 2022 at 10:00 a.m. in the New Council Chamber - 2401 Courthouse Drive, Building 1, Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m. in the City Manager's Conference Room 2034. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vbgov.com or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at www.vbgov.com/wetlands for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at www.vbgov.com/wetlands. For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.

THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
 - a. An applicant may **WITHDRAW** an application without the Board's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

* Deferral
** Withdrawal

- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

* Deferral
** Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

NEW BUSINESS – WETLANDS

1. 2021-WTRA-00358

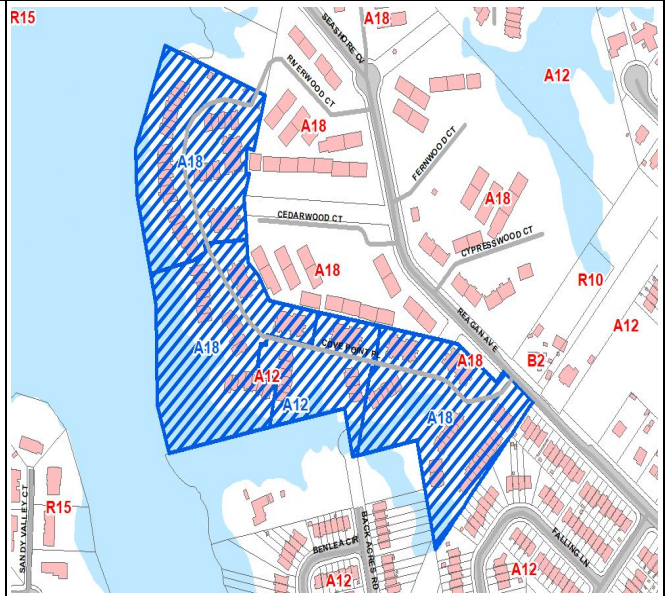
River Cove Owners Association

[Applicant & Owner]

To construct rip rap revetment involving wetlands

2615, 2601, 2532, 2504 Cove Point Place
(GPINs 1497-68-6607, 1497-68-7331,
1497-78-1221, 1497-78-5148)

Waterway – Eastern Branch Lynnhaven River
Subdivision – Herons Cove
City Council District: District 8, formerly Beach



2. 2022-WTRA-00183

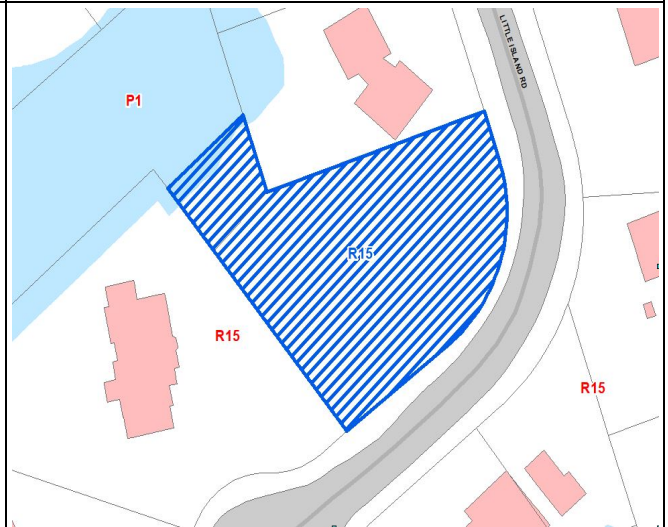
Gregory and Aimee C. Kram

[Applicants & Owners]

To construct a boat ramp and return walls involving wetlands

3221 Little Island Road
(GPINs 2433-40-6227, 2433-40-5332)

Waterway – Back Bay
Subdivision – Back Bay Meadows
City Council District: District 2, formerly Princess Anne



* Deferral
** Withdrawal

NEW BUSINESS – WETLANDS (CONTINUED)

3. 2022-WTRA-00193

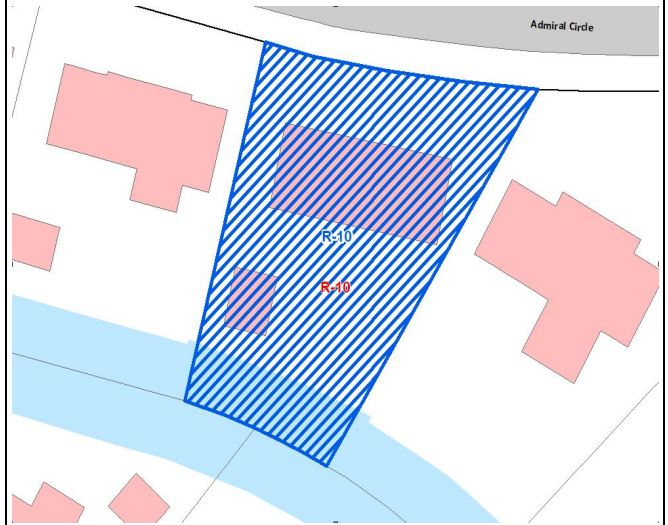
Kyle C. Harrison

[Applicant & Owner]

To construct a bulkhead involving wetlands

2205 Admiral Circle
(GPIN 1590-70-6439)

Waterway – Canal to Long Creek
Subdivision – Cape Henry Shores
City Council District: District 8, formerly
Lynnhaven



4. 2022-WTRA-00206

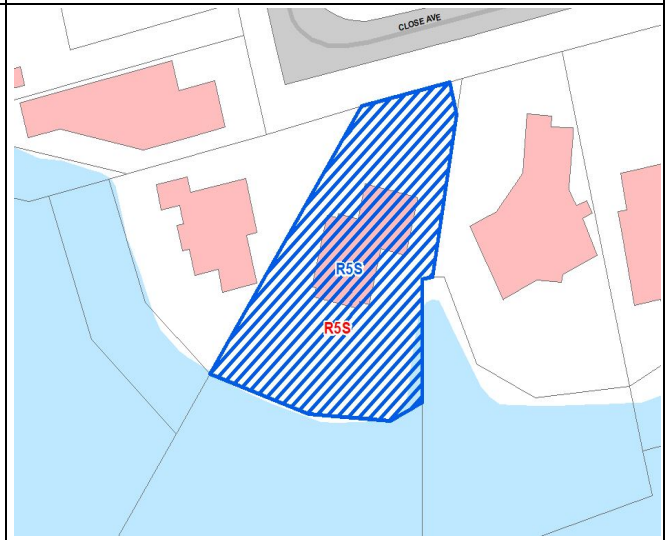
Matthew D. Rankin and Heather M. St. John

[Applicants & Owners]

To construct rip rap revetment and floating pier involving wetlands

818 Close Avenue
(GPIN 2417-90-6729)

Waterway – Lake Rudee
Subdivision – Shadow Lawn Heights
City Council District: District 5, formerly
Beach



5. 2022-WTRA-00207

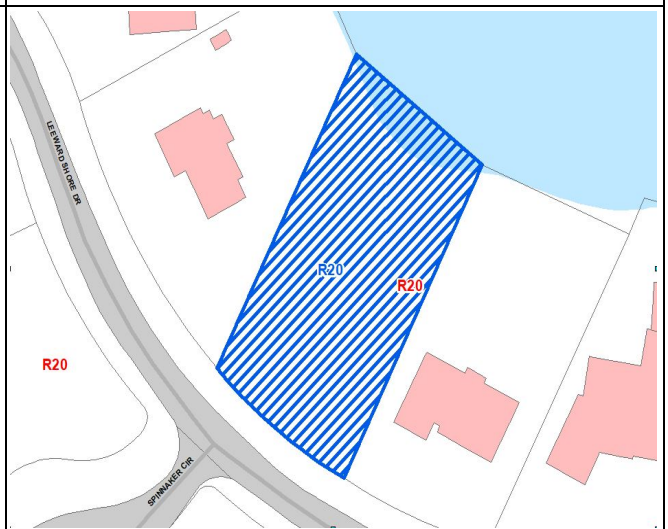
Timothy D. Siviter

[Applicant & Owner]

To construct rip rap revetment involving wetlands

2220 Leeward Shore Drive
(GPIN 2409-19-8659)

Waterway – Long Creek
Subdivision – Bay Island
City Council District: District 8, formerly
Lynnhaven



* Deferral

** Withdrawal

NEW BUSINESS – WETLANDS (CONTINUED)

6. 2022-WTRA-00208

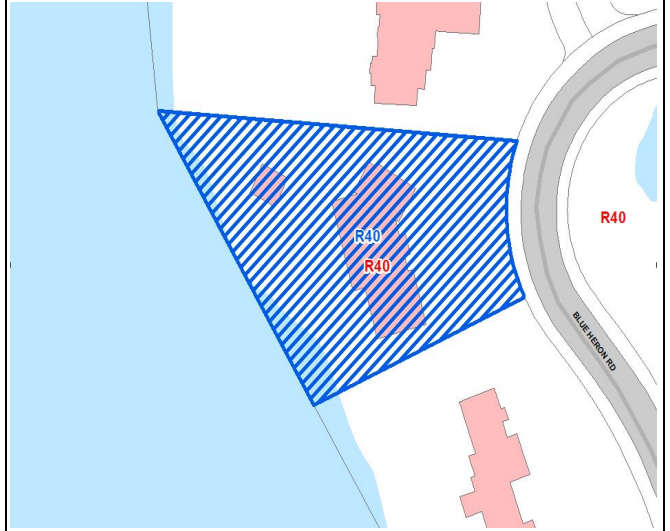
Gordon Family Trust

[Applicant & Owner]

To construct a bulkhead and return wall involving wetlands

1413 Blue Heron Road
(GPIN 1498-58-3694)

Waterway – Eastern Branch of Lynnhaven River
Subdivision – Shorehaven
City Council District: District 8, formerly Lynnhaven



TENTATIVE 2023 WETLANDS BOARD PUBLIC HEARING DATES

Tuesday	January 17	Monday	July 17
Monday	February 20	Monday	August 21
Monday	March 20	Monday	September 18
Monday	April 17	Monday	October 16
Monday	May 15	Monday	November 20
Wednesday	June 21	Monday	December 18

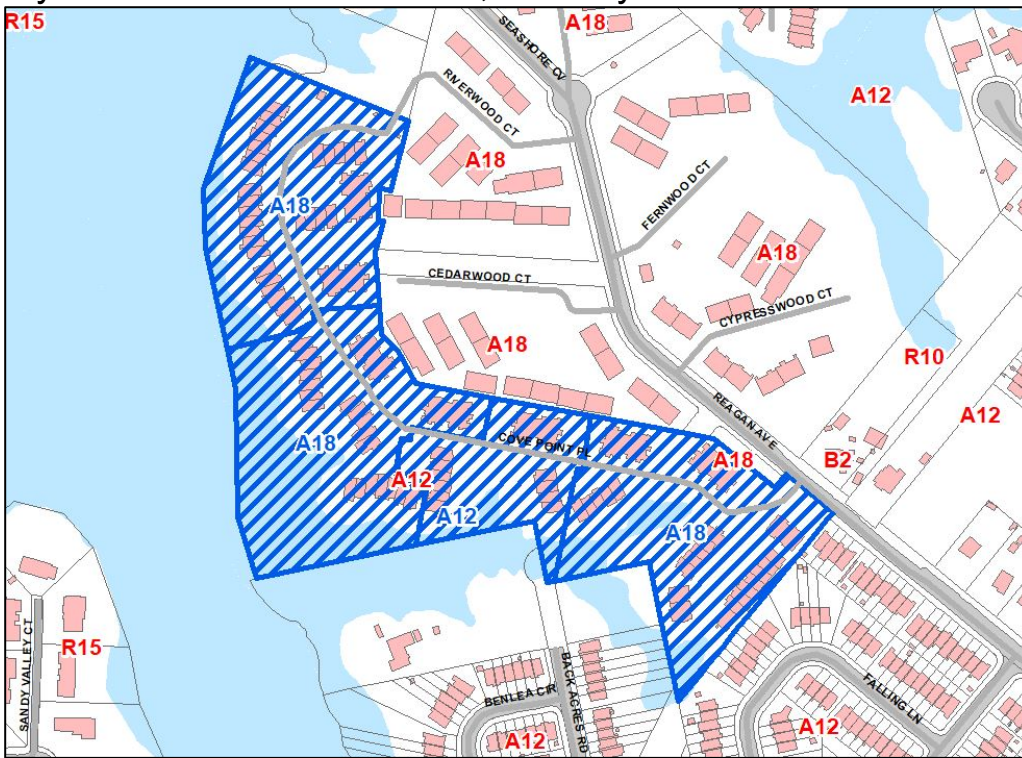
Due to the ongoing Covid-19 Pandemic, please check the Wetlands Board website at www.vbgov.com/wetlands for the most updated meeting information.

* Deferral
** Withdrawal

1. 2021-WTRA-00358
River Cove Owners Association
[Applicant & Owner]

To construct rip rap revetment involving wetlands
2615, 2601, 2532, 2504 Cove Point Place
(GPINs 1497-68-6607, 1497-68-7331, 1497-78-1221, 1497-78-5148)

Waterway – Eastern Branch Lynnhaven River
Subdivision – Herons Cove
City Council District: District 8, formerly Beach



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Rive Cove Owners Asscoaiton

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Acelution, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Carol Maxwell-President

Jackie Gilmartin-Vice President

Tammy Christy- Member at Large

Robert McDonald - Member at Large

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the firm and individual providing the service.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Rita Phipps on Behalf of the Board of Directors
 Applicant Signature

Rita Phipps Association manager
 Print Name and Title

9/7/22
 Date

- Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature
			Print Name

Continue to Next Page for Owner Disclosure

Disclosure Statement



Owner Disclosure

Owner Name River Cove Owners Association

Applicant Name Rive Cove Owners Asscoaition

Is the Owner a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Carol Maxwell-President

Jackie Gilmartin-Vice President

Tammy Christy- Member at Large

Robert McDonald - Member at Large

- If **yes**, list the businesses that have a parent-subsiary³ or affiliated business entity⁴ relationship with the Owner. (Attach a list if necessary)

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

³ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

⁴ "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Owner Services Disclosure

1. Does the Owner have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?
 Yes No
 - If **yes**, identify the financial institutions providing the service.

2. Does the Owner have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?
 Yes No
 - If **yes**, identify the company and individual providing the service.

3. Does the Owner have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No
 - If **yes**, identify the firm and individual providing the service.

4. Does the Owner have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No
 - If **yes**, identify the firm and individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No
 - If **yes**, identify the purchaser and purchaser's service providers.

6. Does the Owner have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
 - If **yes**, identify the company and individual providing the service.

7. Does the Owner have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
 - If **yes**, identify the firm and individual providing the service.

Disclosure Statement



8. Is the Owner receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the firm and individual providing legal the service.

Owner Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Rita Phipps on Behalf of the Board of Directors
Owner Signature

Rita Phipps Association Manager
Print Name and Title

9/7/22
Date

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Acelution Inc.
632 Hampton Highway
Yorktown VA 23693

Home () _____
Work (757) 224-0113 _____
Fax (757) 251-6688 _____
Cell (757) 477-1113 _____
e-mail dan@needace.com _____

State Corporation Commission Name and ID Number (if applicable) Acelution Inc. 7352446

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

River Cove Point Assoc. c/o The Select Group
2224 Virginia Beach Blvd, Suite 201, Virginia
Beach, VA 23454

Home () _____
Work (757) 486-6000 _____
Fax () _____
Cell () _____
e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable):

Contact Information:
Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Install approx. (9) TN of class A1 riprap with toe and geotextile fabric 4' channelward of MHW along the existing bulkhead from the north property line south for approx. 20LF, 2' tall on a 1:2 slope. Install approx. (17) TN of class A1 riprap 8' wide, 2' tall on a 1:2 slope for approx. 50LF to extend 8' channelward of MHW at the base of the existing vegetative grasses. Install approx. 50LF of 6' tall white aluminum fencing at the north property line.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Acelution Inc.
632 Hampton Highway
Yorktown, VA 23693

Contact Information:

Home () _____
Work (757) 224-0113
Fax (757) 251-6688
Cell (757) 477-1113
email dan@needace.com

State Corporation Commission Name and ID Number (if applicable) Acelution Inc. 7352446

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginia Pilot
150 West Brambleton Avenue
Norfolk, VA 23510

Telephone number

(757) 446-9000

7. Give the following project location information:

Street Address (911 address if available) 2653 Cove Point Place (Backside of units)

Lot/Block/Parcel# 14976866070000

Subdivision River Cove Point

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.852565 / -76.060403 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary: Erosion control

Secondary: Prevent trespassing

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
Walking mats will be utilized to minimize ground disturbance up to the shoreline and then riprap is to be placed by hand to minimize disturbance of vegetative grasses.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 22,400.00
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 0
13. Completion date of the proposed work: 90 Days upon approval of permit - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.
Shawa Kung -2577 Back Acres Road, VA Beach, VA 23454
Community Housing Partners/448 Depot Street NE, Christiansburg, VA 24073

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.


CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Acelution Inc.

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

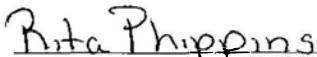


Applicant's Signature

(Use if more than one applicant)

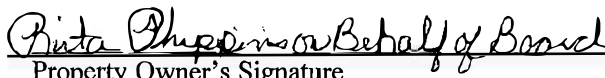
12/7/2021

Date



Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)



Property Owner's Signature

(Use if more than one owner)

12/7/21

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), _____, hereby certify that I (we) have authorized _____
(Applicant's legal name(s)) (Agent's name(s))
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all
standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

(Agent's Signature)

(Use if more than one agent)

(Date)

(Applicant's Signature)

(Use if more than one applicant)

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), River Cove Point, have contracted Acelution Inc
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated 12/7/21.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Acelution Inc.
Contractor's name or name of firm

632 Hampton Highway Yorktown VA 23693

Contractor's or firms address

[Signature]
CEO
Contractor's signature and title

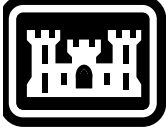
2705140467

Contractor's License Number

Ante Phippinson Behalf of the Board
Applicant's signature

(use if more than one applicant)

12/7/21
Date



Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed PRIVATE USE structure(s) that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat ≤ 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier ≤ 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, the prospective permittee will adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline.
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission's Habitat Management Division?
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters of the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Proposed work to be located at:

Quita Shipp on Behalf of the Board 2655 Cove Point Place, Virginia Beach, VA
Signature of Property Owner(s) or Agent

Date 12/7/21

VMRC Number: _____

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? ____ Yes ____ No

If yes, will it be removed? ____ Yes ____ No

Is your lot platted to the mean low water shoreline? ____ Yes ____ No

What is the overall length of the proposed structure? _____ feet.

Channelward of Mean High Water? _____ feet.

Channelward of Mean Low Water? _____ feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands _____ square feet.

Tidal vegetated wetlands _____ square feet.

Submerged lands _____ square feet.

What is the total size of any and all L- or T-head platforms? _____ sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? ____ Yes ____ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
 - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
 - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
 - B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
 - C) Will the facility be equipped to off-load sewage from boats? _____.
 - D) How many wet slips are proposed? _____. How many are existing? _____.
 - E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet

6. For **boat ramps**, what is the overall length of the structure? _____ feet.
 From Mean High Water? _____ feet.
 From Mean Low Water? _____ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install approx. (9) TN of class A1 riprap with toe and geotextile fabric 4' channelward of MHW along the existing bulkhead from the north property line south for approx. 20LF, 2' tall on a 1:2 slope. Install approx. (17) TN of class A1 riprap 8' wide, 2' tall on a 1:2 slope for approx. 50LF to extend 8' channelward of MHW at the base of the existing vegetative grasses.

2. What is the maximum encroachment channelward of mean high water? 8 feet.
Channelward of mean low water? 0' feet.
Channelward of the back edge of the dune or beach? n/a feet.

3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 16 square feet
 - Non-vegetated wetlands 480 square feet
 - Subaqueous bottom 0 square feet
 - Dune and/or beach 0 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 50 pounds per stone Class size A1
 Armor (outer layer) material 50 pounds per stone Class size A1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material

0	cubic yards channelward of mean low water
26	cubic yards landward of mean low water
26	cubic yards channelward of mean high water
0	cubic yards landward of mean high water

- Area to be covered

0	square feet channelward of mean low water
440	square feet landward of mean low water
26	cubic yards channelward of mean high water
0	cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): Class A1 granite

- Method of transportation and placement:
Georgia buggy from parking lot to shoreline and placing the stone by hand

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at
<http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

The installation of the sill is to provide erosion protection and save the vegetative grasses

Part 3 – Appendices (continued)

Appendix C: Crossings in, on, over, or under, waters, submerged lands, tidal wetlands and/or dunes and beaches, including but not limited to, bridges, walkways, pipelines and utility lines.

1. What is the purpose and method of installation of the crossing?

2. What is the width of the waterway and/or wetlands to be crossed
from mean high water to mean high water (tidal waters)? _____ feet.
from mean low water to mean low water (tidal waters)? _____ feet.
from ordinary high water to ordinary high water (non-tidal waters)? _____ feet.

3. For bridges (footbridges, golf cart bridges, roadway bridges, etc.), what is the width of the structure over the tidal wetlands, dunes/beaches and/or submerged lands? _____square feet.

4. For overhead crossings:
 - a. What will be the height above mean high water? _____ feet.
 - b. If there are other overhead crossings in the area, what is the minimum height? _____ feet.
 - c. If the proposed crossing is an electrical line, please confirm the total number of electrical circuits: _____

5. For buried crossings, what will be the depth below the substrate? _____feet. Will the proposed utility provide empty conduits for any additional utilities that may propose to co-locate at a later date? _____Yes _____No.

6. Will there be any excavation or fill required for placement of abutments, piers, towers, or other permanent structures on State-owned submerged lands, tidal wetlands, and dunes/beaches? _____Yes _____ No.

If yes, please provide the following:

- a. Amount of excavation in wetlands _____ cubic yards
_____ square feet

- b. Amount of excavation in submerged land _____ cubic yards
_____ square feet

- c. Amount of excavation in dune/beach _____ cubic yards
_____ square feet

- d. Amount of fill in wetlands _____ cubic yards
_____ square feet

- e. Amount of fill in submerged lands _____ cubic yards
_____ square feet

- f. Amount of fill in dune/beach _____ cubic yards
_____ square feet

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

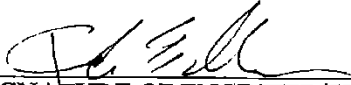
PROJECT LOCATION: 2653 Cove Point Pl, VA Beach, VA 23454

APPLICANT'S NAME: River Cove Owners Association

APPLICANT'S ADDRESS: 2653 Cove Point Pl, VA Beach, VA 23454

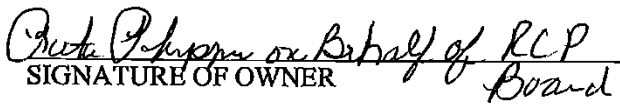
OWNER'S NAME
(IF DIFFERENT FROM APPLICANT): _____

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

	9/6/22
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION	DATE

Collins Engineering, Inc.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

	9/13/22
SIGNATURE OF OWNER	DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.

RIVER COVE POINT RIPRAP REVETMENT

VIRGINIA BEACH, VIRGINIA

JUNE 2022

PREPARED BY:

COLLINS ENGINEERS INC

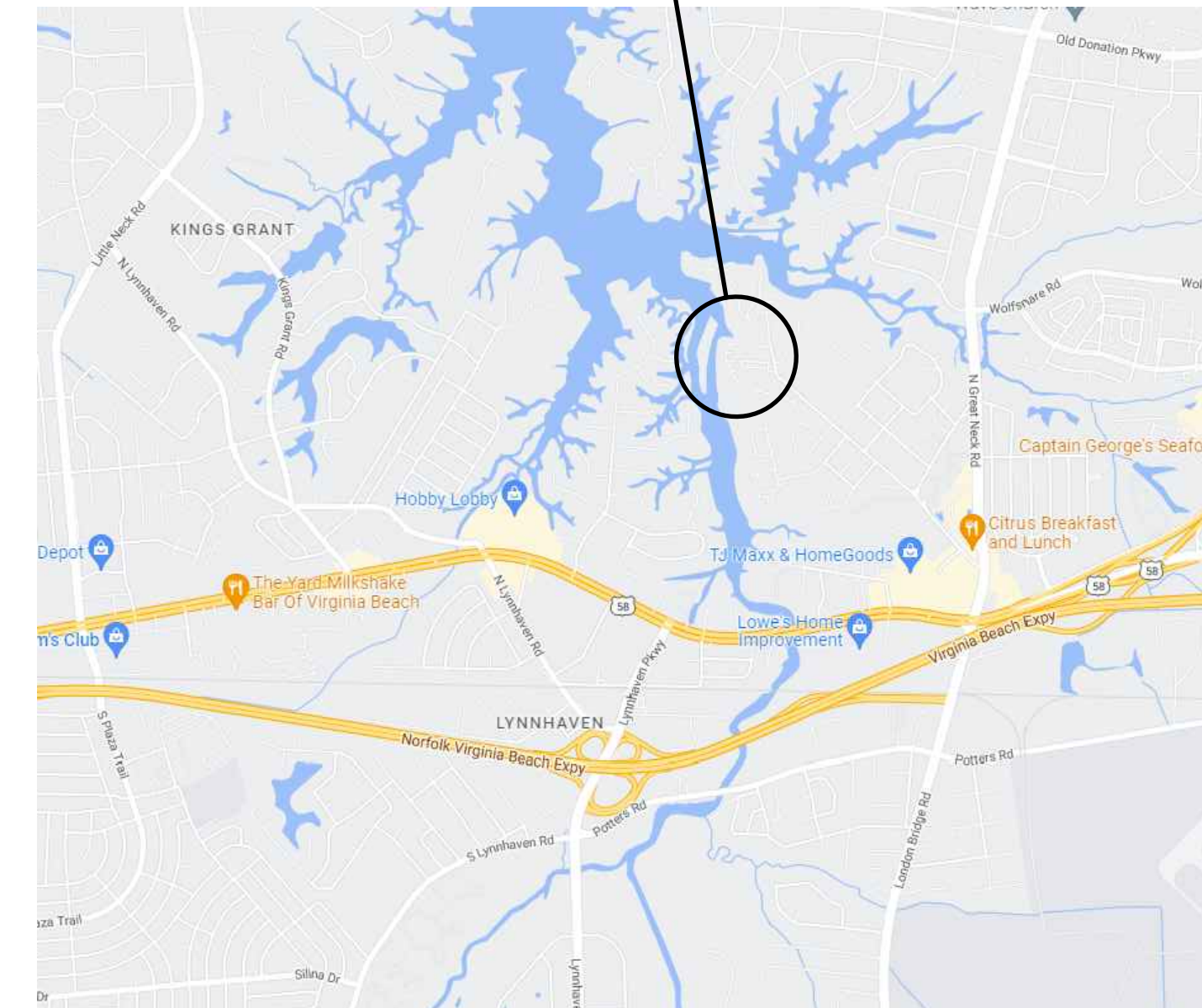
PROJECT LOCATION



VICINITY MAP

DRAWING INDEX		
SHEET NO.	DRAWING NO.	TITLE
1 OF 5	T01	TITLE SHEET
2 OF 5	G01	GENERAL NOTES
3 OF 5	S01	EXISTING PLAN AND SECTIONS
4 OF 5	S02	REVTMENT PLAN AND SECTIONS
5 OF 5	S03	PROPOSED FENCE ELEVATION

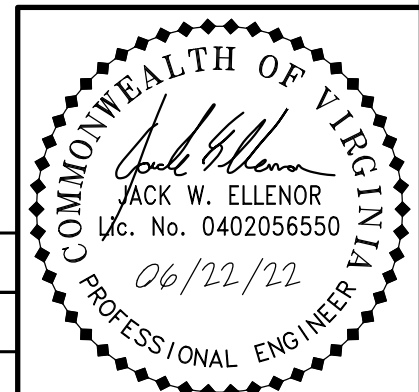
PROJECT LOCATION



LOCATION MAP

ISSUED FOR CONSTRUCTION

REV	DESCRIPTION	DATE	APPROVED
1	PLAN WATERLINE ELEVATIONS	07/06/22	APPROVED
REVISIONS			



GENERAL NOTES:

1. SECTION INCLUDES:
 - 1.1. ORNAMENTAL RACKABLE WELDED STEEL FENCE SYSTEM.
2. RELATED SECTION:
 - 2.1. SECTION 03 30 00 CAST-IN-PLACE CONCRETE
 - 2.2. SECTION 31 30 00 EARTHWORK
3. REFERENCES:
 - 3.1. ASTM A123 HOT TIP ELECTROPLATING
 - 3.2. ASTM A500 SEAMLESS GRADE A METAL TUBING
 - 3.3. ASTM B117-97 SALT SPRAY CORROSION TEST
 - 3.4. ASTM F593-02e2 STAINLESS STEEL FASTENERS
 - 3.5. ASTM F1908 RESIDENTIAL OUTDOOR SWIMMING POOLS
 - 3.6. ASTM F2049 STANDARD SAFETY PERFORMANCE FOR FENCE
 - 3.7. ASTM F2408 STANDARD SPECIFICATION FOR ORNAMENTAL FENCES
4. WARRANTY
 - 4.1. FORTRESS FENCE PRODUCTS VERSAI MATERIALS INCLUDE A 20-YEAR LIMITED WARRANTY, FROM THE DATE OF PURCHASE, FOR DEFECTS IN MATERIAL AND WORKMANSHIP, INCLUDING PROTECTION AGAINST CRACKING, PEELING, BLISTERING AND CORROSION (RUSTING). REFER TO 20 YEAR WARRANTY SHEET.
5. THE OWNER/CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITTING PRIOR TO THE BEGINNING OF WORK.
6. CONTRACTOR SHALL COMPLY WITH CITY, STATE, AND FEDERAL AUTHORITIES EROSION CONTROL MEASURES AND REGULATIONS CONCERNING WORKING IN THE VICINITY OF WETLANDS. ALL COSTS FOR ALL EROSION CONTROL MEASURES MUST BE INCLUDED BY THE CONTRACTOR. OWNER SHALL BE RESPONSIBLE FOR ALL FEES AND COSTS ASSOCIATED WITH THE VIRGINIA MARINE RESOURCE COMMISSION'S JOINT PERMIT APPLICATION (JPA) ACQUISITION AS WELL AS LOCAL WETLAND BOARD'S REQUIREMENTS AND FEES.
7. ANY FUEL, OIL, PAINT OR HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER.
8. COST OF ALL REQUIRED, PERMITS, CITY, STATE OR FEDERAL GOVERNMENT IS THE RESPONSIBILITY OF THE OWNER.
9. CONTRACTOR TO VERIFY EXISTING MUD LINE ELEVATION, NOTIFY ENGINEER IMMEDIATELY IF ELEVATION DIFFERS FROM THAT SHOWN.
10. CONTRACTOR TO PROVIDE AND PAY FOR ALL UTILITIES REQUIRED FOR CONSTRUCTION OPERATIONS.
11. CONTRACTOR SHALL COORDINATE ALL ACTIVITIES AND SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
12. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH STRUCTURAL CONDITIONS OF THE EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE STRUCTURES. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR PROPER ERECTION OF STRUCTURAL MEMBERS.
13. ALL DIMENSIONS, ELEVATIONS AND STATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE.
14. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.
15. THE CONTRACTOR SHALL SUBMIT MANUFACTURER'S DATA OF ALL MATERIAL FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.
16. ALL FEDERAL, STATE, AND LOCAL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED.
17. ALL APPLICABLE FEDERAL, STATE, AND LOCAL ENVIRONMENTAL PROTECTION STANDARDS, LAWS AND REGULATIONS ARE TO BE STRICTLY FOLLOWED.
18. MATERIALS SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED.
19. TERRATEX N08 GEOTEXTILE FABRIC SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
20. ALL EROSION CONTROL MEASURES SHOWN ON THE EROSIONS CONTROL PLAN MUST BE INSTALLED PRIOR TO GRADING OR COMMENCING ANY CONSTRUCTION ACTIVITY.
21. EARTH BALANCE IS SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL CALCULATE NECESSARY IMPORT/EXPORT OF MATERIALS TO ACHIEVE A BALANCED SITE.
22. CONTRACTOR TO FIELD VERIFY ALL EXISTING GRADES AT MATCH POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR POSSIBLE REDESIGN, IF NECESSARY.
23. TOTAL AREA OF DISTURBED WETLANDS: 16 SF
24. TOTAL AREA OF RIPRAP: 750 SF
25. TOTAL VOLUME OF RIP RAP BELOW MLW: 0 CF
26. TOTAL VOLUME OF RIP RAP BETWEEN MLW AND WETLAND UPPER LIMIT: 1250 CF

FENCE MATERIAL:

1. MANUFACTURER:

FORTRESS FENCE PRODUCTS
1720 NORTH FIRST STREET
GARLAND, TX 75040
PHONE: (844) 909-1999 FAX: (972) 644-3720
WEBSITE: WWW.FORTRESSFENCE.COM
EMAIL: SPECIFICATIONS@FORTRESSFENCE.COM
2. MATERIALS:
 - 2.1. RAILS AND PICKETS ARE GRADE A COLD ROLLED 45,000 PSI STEEL.
 - 2.2. RAILS ARE FORMED U-CHANNEL AND PICKETS ARE ROLLED FORMED AND WELDING TUBING BOTH CONFORMING TO ASTM A500 WITH G-60 ZINC COATING (0.60 OZ/FT²) TOTAL INSIDE AND OUTSIDE SURFACES IN ACCORDANCE WITH THE ASTM A123 HOT DIPPED ELECTROPLATING PROCESS.
3. COMPONENTS:
 - 3.1. RAILS: 1 1/8" (LEG) x 1 1/8" (WEB), 14 GAUGE FORMED U-CHANNEL ASTM 500 GALVANIZED STEEL.
 - 3.2. PICKETS: 3/4" SQUARE 16 GAUGE ASTM A500 GALVANIZED WELDED AND FORMED STEEL TUBING FOR 4'-5" & 6" TALL PANELS, 14 GAUGE ASTM A500 GALVANIZED WELDED AND FORMED STEEL TUBING FOR 7' & 8" TALL PANELS.
 - 3.3. POSTS: 2 1/2" SQUARE 16 GAUGE, 14 GAUGE, OR 3" SQUARE 14 GAUGE ASTM A500 GALVANIZED FORMED AND WELDED STEEL TUBING WITH POWDER COATED FACTORY FINISH.
 - 3.4. FASTENERS: ALL NUTS, BOLTS, AND SHEET METAL SCREWS ARE STAINLESS STEEL CONFORMING TO ASTM F593-02e2 STANDARD.
4. STYLE:
 - 4.1. FORTRESS FENCE PRODUCT'S VERSAI COMMERCIAL (V2) FENCE IS MADE IN: FLAT TOP (FT), FLAT TOP BOTTOM (FT/FB), POOL (PL), EXTENDED PICKET (EXT), EXTENDED PICKET FLAT BOTTOM (EXT/FB), PRESSED SPEAR (SP), PRESSED SPEAR FLAT BOTTOM (SPFB), CURVED TOP (CT), AND CURVED TOP FLAT BOTTOM (CT/FB).
 - 4.2. 3/8" AIR SPACE BETWEEN PICKETS.
 - 4.3. VERSAI ASSURANCE (V2) COMMERCIAL PANEL, 3" AIR SPACE BETWEEN PICKETS.
5. FABRICATION:
 - 5.1. FENCE PANELS ARE FULLY ASSEMBLED AND FABRICATED WITH RAIL LENGTH OF 90 1/2" AND PICKET HEIGHTS OF 34", 40", 46", 48", 54", 58", 70", 82" AND 94". ALL PANELS COMPLY WITH REQUIREMENTS INDICATED FOR MATERIALS, THICKNESS DESIGN, AND DETAILS OF CONSTRUCTION.
 - 5.2. PICKETS ARE WELDED TO THE RAILS WITH A PATENTED PIN HINGE SYSTEM WHICH ALLOWS THE PANEL TO RAKE WITHOUT METAL FATIGUE OR DAMAGED TO THE FINISH.
 - 5.3. ALL WELDED CONNECTIONS COMPLY WITH AWS STANDARDS FOR RECOMMENDED PRACTICE IN SHOP WELDING.
 - 5.4. ALL COMPONENTS ARE ACCURATELY CUT AND DRILLED TO RECEIVE HARDWARE, FASTENERS AND ACCESSORIES.
 - 5.5. PANELS SHALL BE CAPABLE OF SUPPORTING A 300 LB. LOAD (APPLIED AT MID-SPAN) WITHOUT PERMANENT DEFORMATION. PANELS SHALL BE RACKABLE TO A 30" CHANGE IN GRADE.
6. FINISH:

- 6.1. MATERIALS ARE COATED WITH THE FORTRESS SHIELD PROCESS INCLUDING GALVANIZATION, ZINC PHOSPHATE, ELECTRODEPOSITION (E-COAT), AND ARCHITECTURAL GRADE POWDER COAT.
- 6.2. METAL PARTS ARE ASSEMBLED AND FINISHED INDIVIDUALLY PRIOR TO SHIPMENT.
- 6.3. GALVANIZED STEEL FENCE COMPONENTS ARE CLEANED WITH A NON-PETROLEUM SOLVENT FOLLOWED BY THE APPLICATION OF A SEALING ZINC PHOSPHATE COATING.
- 6.4. IMMEDIATELY AFTER SEALING, A TWO-STEP FINISHING PROCESS CONSISTING OF:
 - 6.4.1. AN ELECTROSTATIC DIPPING PROCESS IN A LEAD FREE HIGH CORROSION RESISTANCE EPOXY RESIN LEAVING A COATING OF APPROXIMATELY 20 MICRONS.
 - 6.4.2. A THERMOSETTING CARBOXY POLYESTER RESIN TOP COAT WITH A MINIMUM DRY FILM THICKNESS 60 TO 70 MICRONS. THE SECOND COATING WILL BE APPLIED BY THE ELECTROSTATIC SPRAY PROCESS.

GATE MATERIAL:

1. PREPARATION
 - 1.1. STAKE LAYOUT SHOWING LOCATIONS OF ALL GATES AND POSTS. CONTACT "CALL BEFORE YOU DIG" PRIOR TO BEGINNING ANY EXCAVATION WORK.
2. INSTALLATION
 - 2.1. INSTALL FENCES IN ACCORDANCE WITH WRITTEN INSTRUCTIONS AND IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
 - 2.2. CONCRETE SET POSTS: DRILL HOLE IN FIRM SOIL. POSTS HOLES WILL BE A MINIMUM OF 36" DEEP (ENVIRONMENTAL CONDITIONS OR LOCAL CODES MAY REQUIRE A GREATER DEPTH). FENCE POST SHALL BE SPACED 95"±1/4" ON-CENTER TO ACCOMMODATE INSTALLATION OF BRACKETS ON 2 1/2" SQUARE POST. FOR NON-LEVEL INSTALLATIONS, THE ON-CENTER POST SPACING MUST BE MEASURED ALONG THE GRADE.
 - 2.3. INSTALLATION IS TO CONFORM TO THE SPECIFICATIONS REFERENCED IN THIS SPECIFICATION.
 - 2.4. INSTALL FORTRESS BRACKETS ONTO FENCE SECTION AND POSTS AS INDICATED IN PRINTED INSTRUCTIONS FOR SPECIFIC FENCE STYLE. ATTACH FENCE SECTIONS TO BRACKETS WITH APPROVED FASTENERS AND TECHNIQUES TO INSURE THAT FENCE SECTIONS ARE PARALLEL TO GRADE WITHIN 1/4" IN 12 FEET.
 - 2.5. GATE INSTALLATION: INSTALL IN ACCORDANCE WITH PRINTED INSTRUCTIONS. DO NOT MOUNT GATE FROM WALL OF A STRUCTURE. PROVIDE GATE POST ON BOTH SIDES OF A GATE. FOR DOUBLE DRIVE GATE INSTALLATION, PROVIDE CONCRETE CENTER DROP TO FOUNDATION DEPTH AND DROP ROD RETAINERS AT CENTER. LUBRICATE TO INSURE SMOOTH OPERATION AND VERIFY PROPER LATCH OPERATION.
3. INSTALLATION
 - 3.1. REMOVING ALL CUTTING AND DRILLING CHIPS THAT ARE ATTACHED TO THE FENCING, POST, BRACKETS OR ADDITIONS TO PREVENT CORROSION.
 - 3.2. REPAIR SCRATCHES AND OTHER INSTALLATION-INCURRED DAMAGE. USING A SPRAY PAINT OF THE APPROPRIATE COLOR THAT INCLUDES A ZINC ADDITIVE, REPAINT AND SEAL ANY SCRATCHES OR HOLES DRILLED IN THE FENCING, POST, BRACKETS, OR ADDITIONS TO PREVENT RUST FROM FORMING. CLEAN UP DEBRIS AND UNUSED MATERIAL, AND REMOVE FROM SITE.

LINE OF FENCE POSTS	PANEL HEIGHTS
2.5" x 16 GA	UP TO & INCLUDING 6' HEIGHT
2.5" x 14 GA	7' & 8"

SPACING	FLAT TOP, SPEAR TOP, EXTENDED PICKET AND CURVED TOP 8" NOMINAL (90.5" RAIL)					
POST SIZE	2.5"	3"	2.5"	2.5"	2.5"	3"
BRACKET TYPE	ONE DIRECTION FLAT AMOUNT (EX-106)	TWO DIRECTION LINE (EX-206)	THREE DIRECTION UNIVERSAL (EX-306)	SWIVEL FLAT MOUNT (EXS-106)		
POST SETTINGS ± 1/4" O.C.	95"	95.5"	95"	95"	95.5"	

GATE LEAF	GATE HEIGHT		
	UP TO & INCLUDING 4'	OVER 4' UP TO & INCLUDING 6'	7' & 8'
UP TO 4'	2.5"x14 GA	3"x12 GA	3"x12 GA
4'-1" TO 6'	3"x12 GA	3"x12 GA	4"x11 GA
6'-1" TO 8'	3"x12 GA	4"x11 GA	95.5"

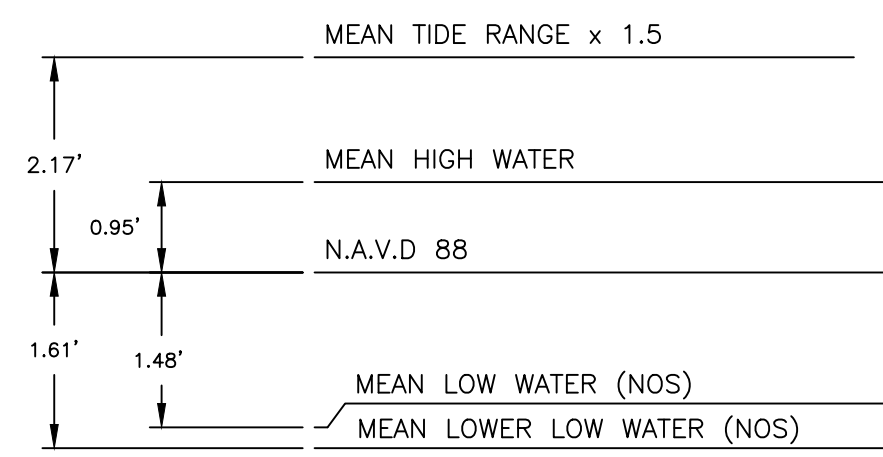
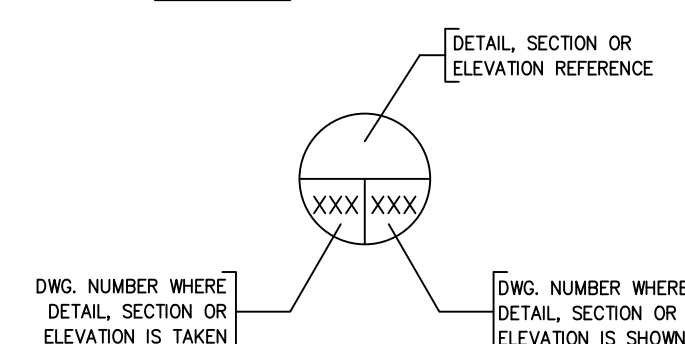


DIAGRAM OF DATUM PLANE

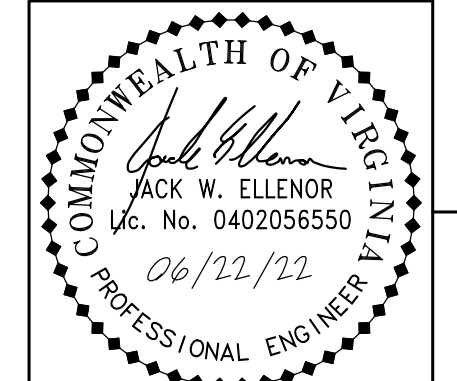
NOTE: DATUM PLANE ELEVATIONS WERE DETERMINED BY NOAA AT SEWELLS POINT, VIRGINIA.

LEGEND:



ELEVATION, SECTION, OR DETAIL SYMBOL

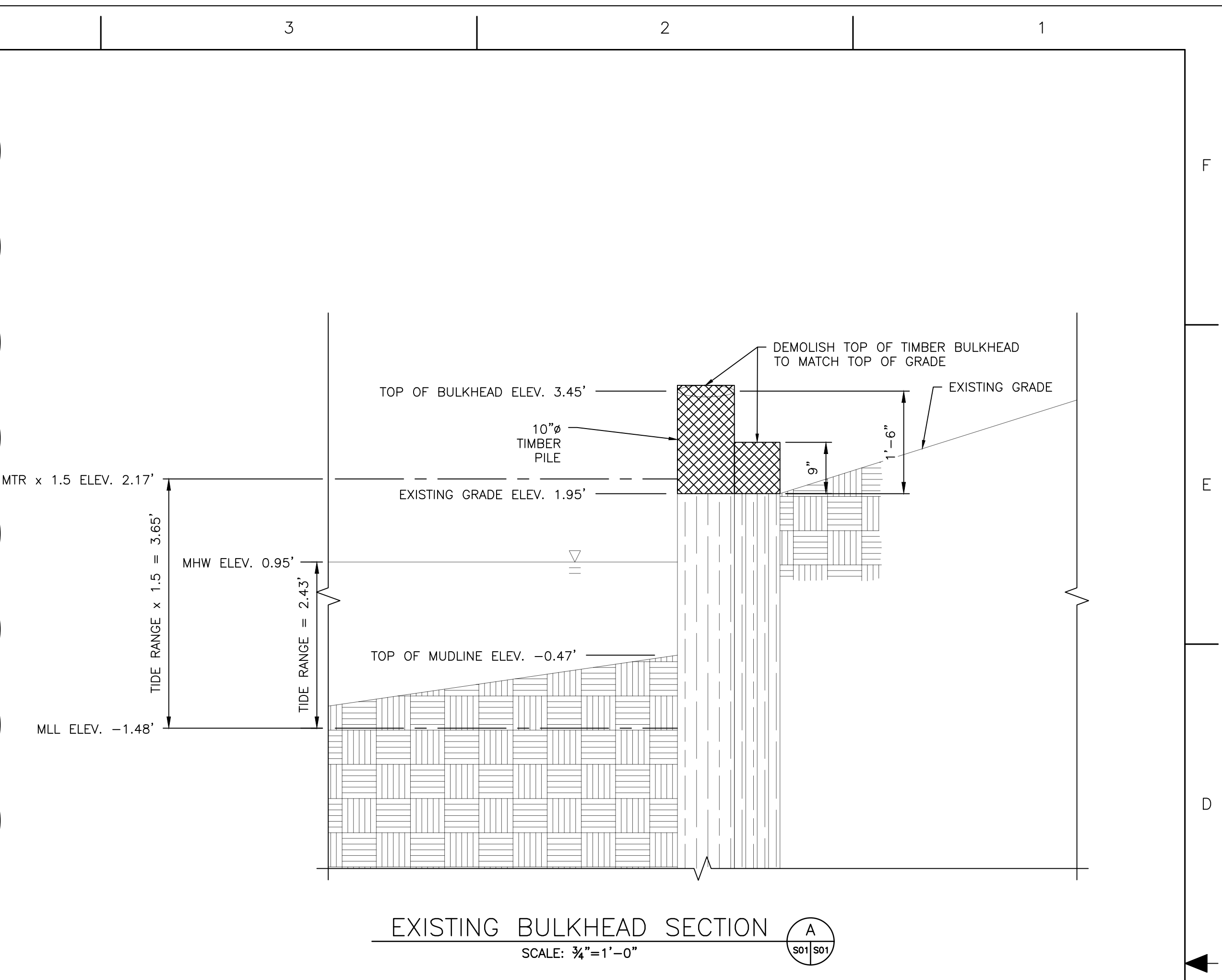
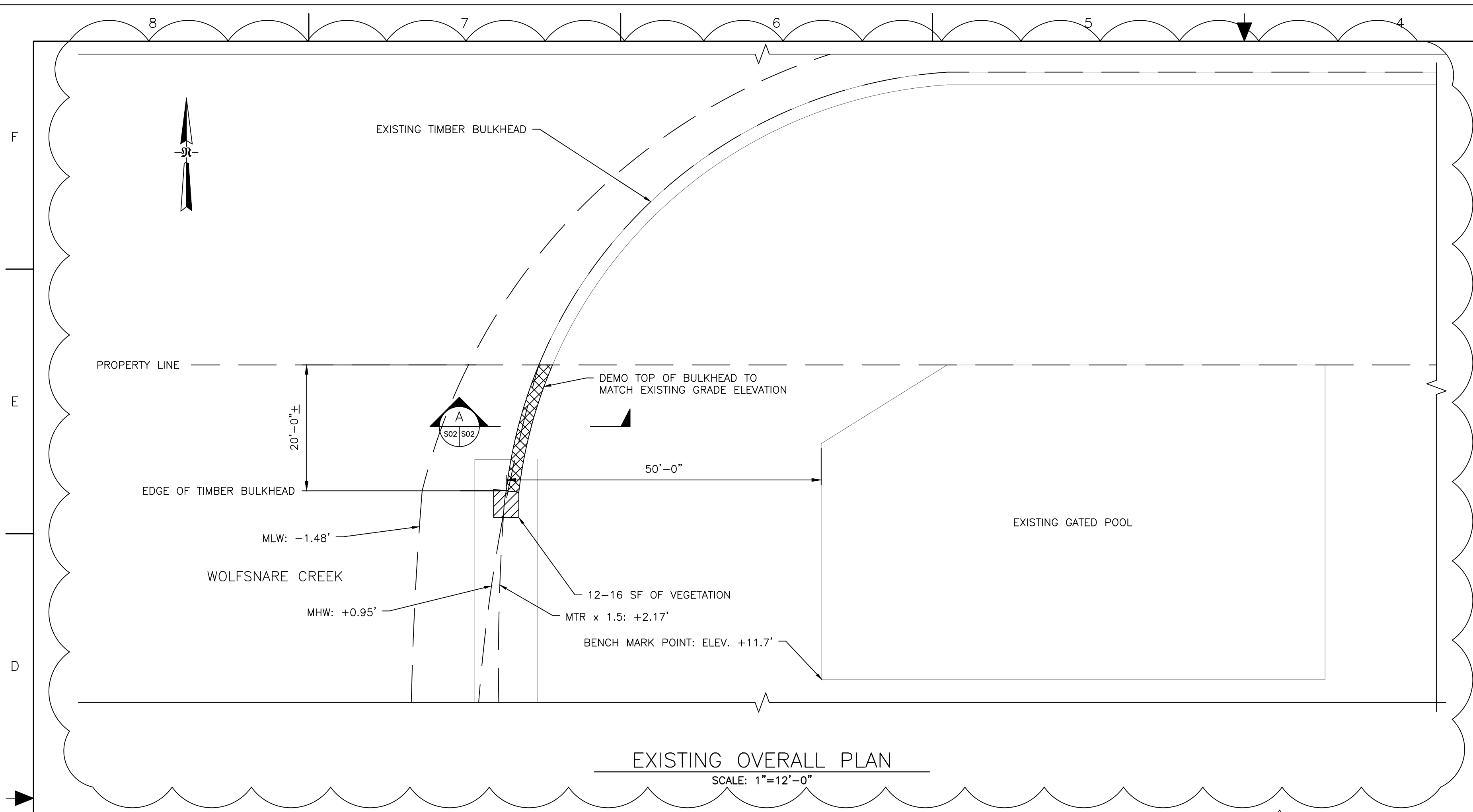
ISSUED FOR CONSTRUCTION



RIVER COVE POINT RIPRAP REVETMENT		COLLINS ENGINEERS		745 BLUECRAB RD, SUITE B NEWPORT NEWS, VA 23606 757-873-0251 WWW.COLLINSENGR.COM	
DESIGNED BY:	D. A. MARTINEZ	SCALE:	AS NOTED	PROJECT NO.:	13873
DRAWN BY:	D. A. MARTINEZ	CHECKED BY:	J. ELLENOR	DRAWING NO.:	G01
CHECKED BY:	J. ELLENOR	DATE:	JUNE 2022	SHEET NO.:	2 OF 5

1	PLAN WATERLINE ELEVATIONS	07/06/22	APPROVED
REV	DESCRIPTION	DATE	APPROVED
REVISIONS			

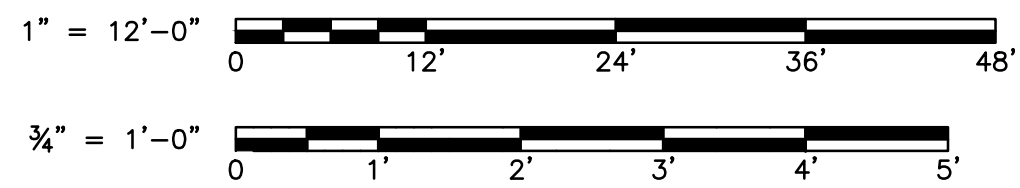
GENERAL NOTES



- LEGEND:**
- VEGETATIVE IMPACT
 - DEMOLITION
 - WATERLINE ELEVATIONS

- NOTES:**
1. A 36" WIRE REINFORCED SILT FENCE WILL BE PROPERLY INSTALLED (STAKED AND TRENCHED) SEAWARD OF ALL DISTURBED AREAS AND AT THE TOP OF THE NEW BULKHEAD OR RIPRAP PRIOR TO BACKFILLING AND MAINTAINED AT THE CONCLUSION OF EACH WORK DAY UNTIL A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE VIRGINIA EROSION CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY INSPECTORS.
 3. ALL EXCAVATED MATERIAL AND CONSTRUCTION DEBRIS WILL BE DISPOSED OF IN A LAWFUL MANNER.
 4. ONLY ENOUGH BULKHEAD WILL BE REMOVED EACH DAY THAT CAN BE SECURED TO PREVENT ANY EROSION IN THE WATERWAY.

ISSUED FOR CONSTRUCTION

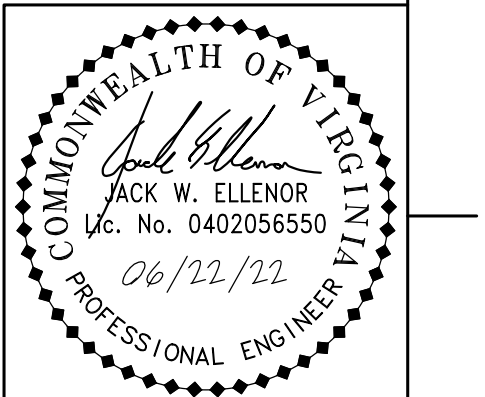


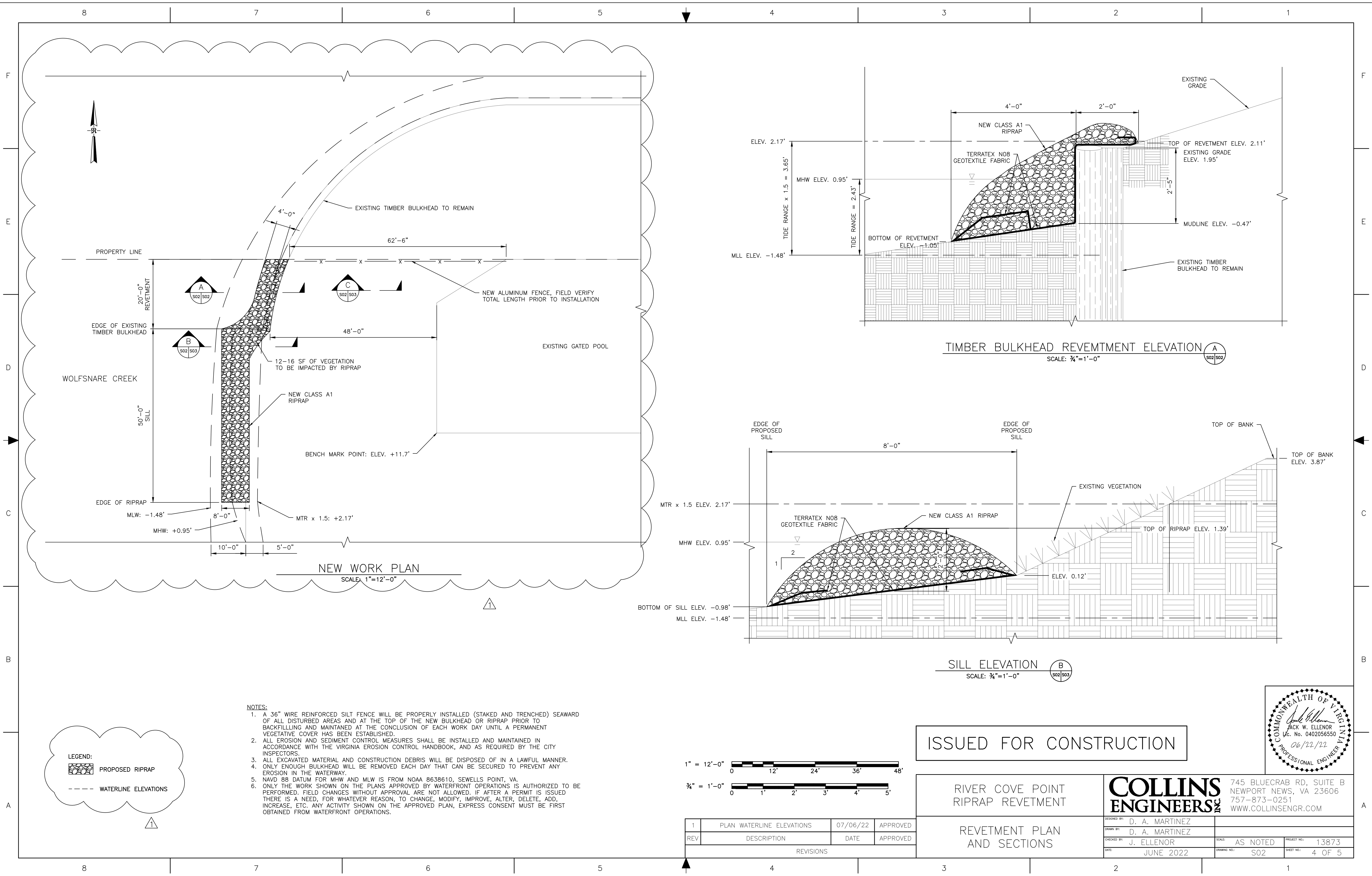
REV	DESCRIPTION	DATE	APPROVED
1	PLAN WATERLINE ELEVATIONS	07/06/22	APPROVED
REVISIONS			

RIVER COVE POINT
RIPRAP REVETMENT

EXISTING PLAN AND SECTION

COLLINS ENGINEERS		745 BLUECRAB RD, SUITE B NEWPORT NEWS, VA 23606 757-873-0251 WWW.COLLINSENGR.COM	
		DESIGNED BY: D. A. MARTINEZ	PROJECT NO.: 13873
DRAWN BY: D. A. MARTINEZ	SCALE: AS NOTED	SHEET NO.: 3 OF 5	
CHECKED BY: J. ELLENOR	DATE: JUNE 2022	DRAWING NO.: S01	



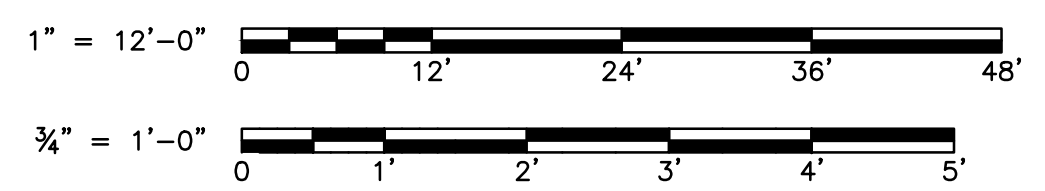


LEGEND:

PROPOSED RIPRAP

WATERLINE ELEVATIONS

- NOTES:**
1. A 36" WIRE REINFORCED SILT FENCE WILL BE PROPERLY INSTALLED (STAKED AND TRENCHED) SEAWARD OF ALL DISTURBED AREAS AND AT THE TOP OF THE NEW BULKHEAD OR RIPRAP PRIOR TO BACKFILLING AND MAINTAINED AT THE CONCLUSION OF EACH WORK DAY UNTIL A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE VIRGINIA EROSION CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY INSPECTORS.
 3. ALL EXCAVATED MATERIAL AND CONSTRUCTION DEBRIS WILL BE DISPOSED OF IN A LAWFUL MANNER.
 4. ONLY ENOUGH BULKHEAD WILL BE REMOVED EACH DAY THAT CAN BE SECURED TO PREVENT ANY EROSION IN THE WATERWAY.
 5. NAVD 88 DATUM FOR MHW AND MLW IS FROM NOAA 8638610, SEWELLS POINT, VA.
 6. ONLY THE WORK SHOWN ON THE PLANS APPROVED BY WATERFRONT OPERATIONS IS AUTHORIZED TO BE PERFORMED. FIELD CHANGES WITHOUT APPROVAL ARE NOT ALLOWED. IF AFTER A PERMIT IS ISSUED THERE IS A NEED, FOR WHATEVER REASON, TO CHANGE, MODIFY, IMPROVE, ALTER, DELETE, ADD, INCREASE, ETC. ANY ACTIVITY SHOWN ON THE APPROVED PLAN, EXPRESS CONSENT MUST BE FIRST OBTAINED FROM WATERFRONT OPERATIONS.



ISSUED FOR CONSTRUCTION

RIVER COVE POINT
RIPRAP REVETMENT

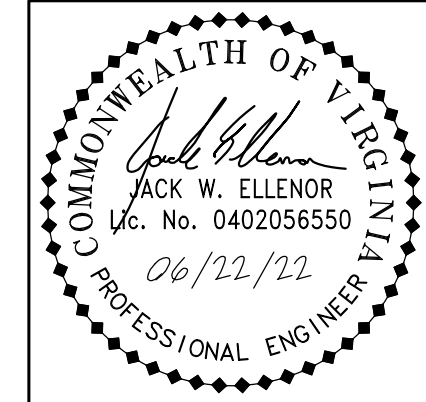
REVETMENT PLAN
AND SECTIONS

COLLINS ENGINEERS

745 BLUECRAB RD, SUITE B
NEWPORT NEWS, VA 23606
757-873-0251
WWW.COLLINSENGR.COM

DESIGNED BY: D. A. MARTINEZ
DRAWN BY: D. A. MARTINEZ
CHECKED BY: J. ELLENOR
DATE: JUNE 2022

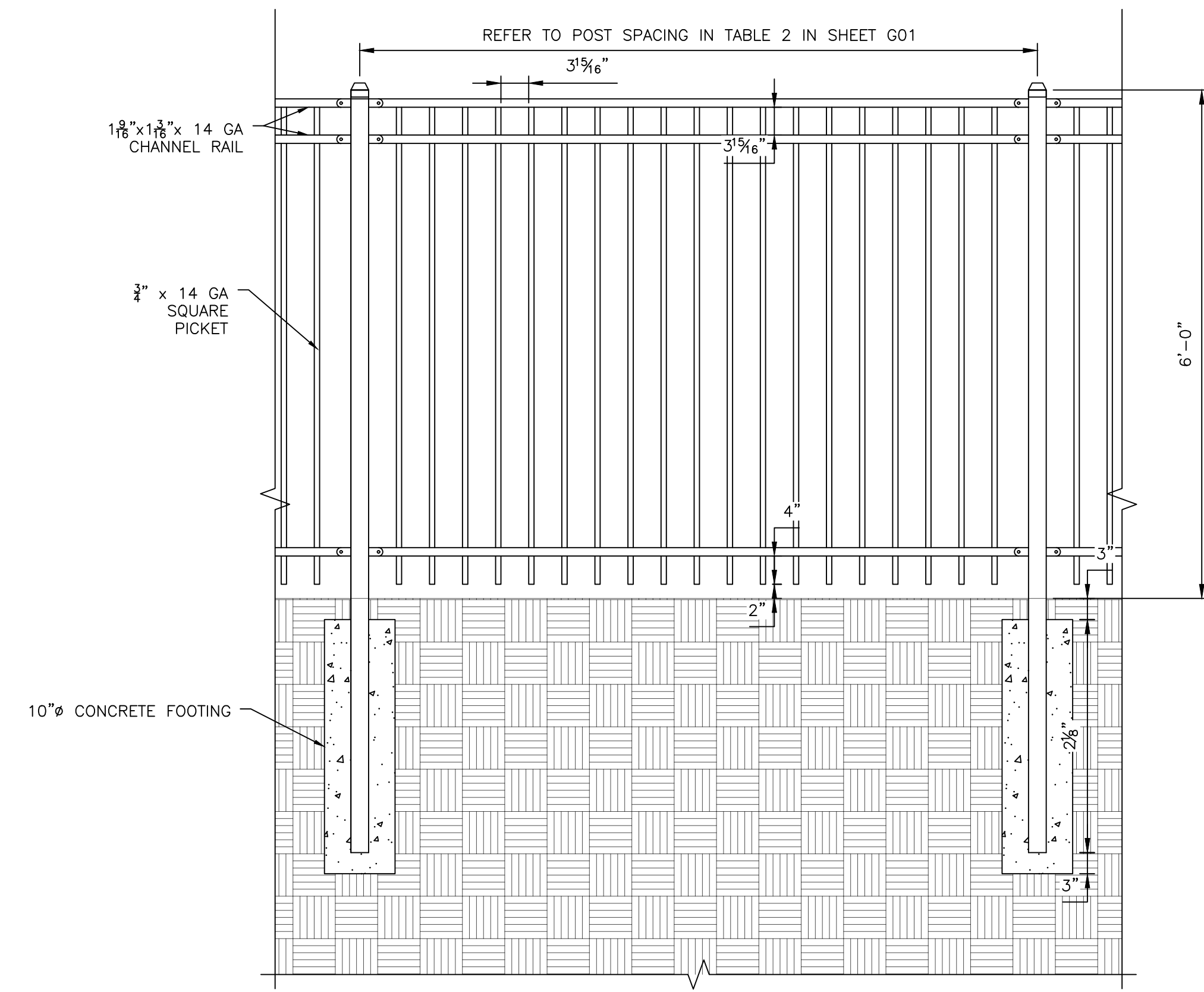
SCALE: AS NOTED
PROJECT NO.: 13873
DRAWING NO.: S02
SHEET NO.: 4 OF 5



REV	DESCRIPTION	DATE	APPROVED
1	PLAN WATERLINE ELEVATIONS	07/06/22	APPROVED
REVISIONS			

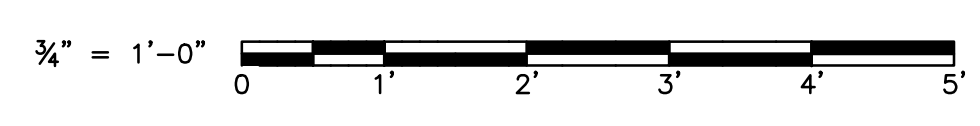
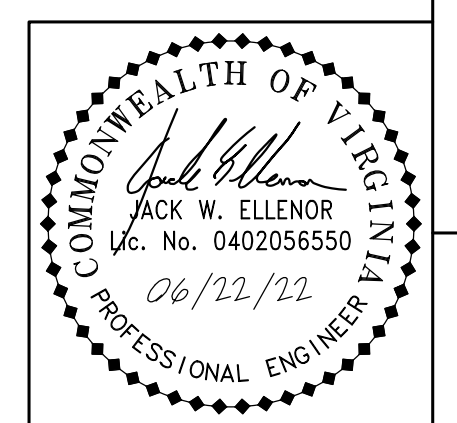
8 7 6 5 4 3 2 1

F
E
D
C
B
A



PROPOSED FENCE ELEVATION E
SCALE: 3/4" = 1'-0"

ISSUED FOR CONSTRUCTION



RIVER COVE POINT RIPRAP REVETMENT		COLLINS ENGINEERS 745 BLUECRAB RD, SUITE B NEWPORT NEWS, VA 23606 757-873-0251 WWW.COLLINSENGR.COM	
DESIGNED BY: D. A. MARTINEZ		SCALE: AS NOTED	PROJECT NO.: 13873
DRAWN BY: D. A. MARTINEZ		DATE: JUNE 2022	DRAWING NO.: S03
CHECKED BY: J. ELLENOR		SHEET NO.: 5 OF 5	

REV	DESCRIPTION	DATE	APPROVED
1	PLAN WATERLINE ELEVATIONS	07/06/22	
REVISIONS			

8 7 6 5 4 3 2 1

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), SKAWA Kung, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of RIVER COVE Point.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9-24-21
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

[Signature]
Adjacent/nearby property owner's signature(s)

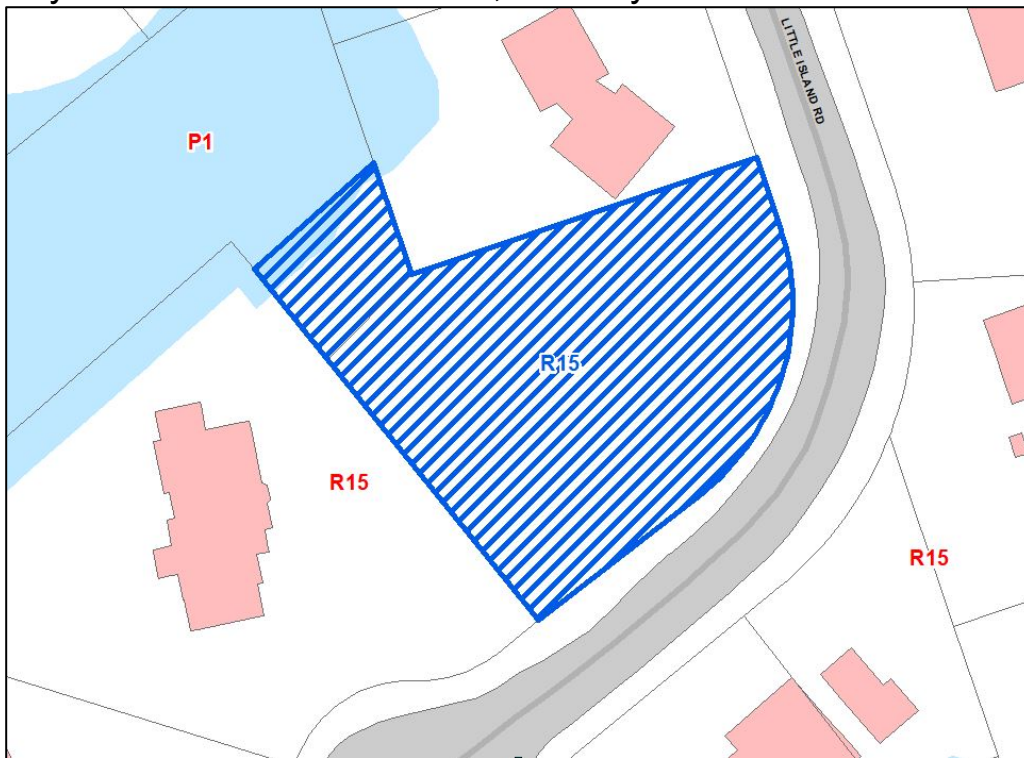
09-24-21
Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

2. 2022-WTRA-00183
Gregory and Aimee C. Kram
[Applicants & Owners]

To construct a boat ramp and return walls involving wetlands
3221 Little Island Road
(GPINs 2433-40-6227, 2433-40-5332)

Waterway – Back Bay
Subdivision – Back Bay Meadows
City Council District: District 2, formerly Princess Anne



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Gregory Kram

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

WCI - Robert Simon, V.P.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.

ATLANTIC BAY MORTGAGE

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

NONE

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the engineer/surveyor/agent.
- Engineer - Sean Green P.E. Agent - Robert Simon

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

 B536F849AFD9432
Applicant Signature
 Gregory Kram

Print Name and Title
 8/22/2022

Date

- Is the applicant also the owner of the subject property? Yes No
- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications					
<input type="checkbox"/>	No changes as of	Date		Signature	
				Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-1773

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u><i>Check all that apply</i></u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Back Bay</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Gregory Kram 3221 Little Island Road Virginia Beach, VA 23456	Home (____) _____ Work (____) _____ Fax (____) _____ Cell (757) 619-2980 e-mail <u>gkplumbingvb@yahoo.com</u>
State Corporation Commission Name and ID Number (if applicable) _____	

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

	Home (____) _____ Work (____) _____ Fax (____) _____ Cell (____) _____ e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____	

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:

Waterfront Consulting, Inc. 2589 Quality Court, Ste. 323 Virginia Beach, VA 23454	Home (____) _____ Work (757) 425-8244 Fax (757) 425-8244 Cell (757) 619-7302 e-mail <u>bob@waterfrontconsulting.net</u>
State Corporation Commission Name and ID Number (if applicable) <u>047-4381-1</u>	

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The proposed project involves the construction of a 12'x26' boat ramp with timber return walls on each side. This project will also involve the construction of a 5'x20' open pile timber pier with an 8'x20' L-head.

This project will involve 106 SF of Non-vegetated Wetlands impacts and 50 SF of Sub-aqueous Impacts.

The pier will use (13) 8" timber piles and the PWC lift will use (1) 10" timber pile that will be driven via a vibratory hammer mounted to an excavator on land.

Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address: _____

Contact Information:
 Home (____) _____
 Work (____) _____
 Fax (____) _____
 Cell (____) _____
 email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address: _____ Telephone number _____
 Virginian Pilot (757) 622-1455
 150 W. Brambleton Avenue
 Norfolk, VA 23510

- 7. Give the following project location information:
 Street Address (911 address if available) 3221 Little Island Road
 Lot/Block/Parcel# Section 4 Lot 31
 Subdivision Back Bay Meadows
 City / County Virginia Beach ZIP Code 23456
 Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.71571594 / -75.93523772 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary Purpose: Water Access

Part 1 - General Information (continued)

- 9. Proposed use (check one):
 - Single user (private, non-commercial, residential)
 - Multi-user (community, commercial, industrial, government)

- 10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The boat ramp will go through NVW from the removal of the riprap. There will be 106 SF of NVW impacts that will be compensated for with an in-lieu fee.

- 11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

- 12. Approximate cost of the entire project (materials, labor, etc.): \$ 40,000.00
 Approximate cost of that portion of the project that is channelward of mean low water: \$ 15,000.00

- 13. Completion date of the proposed work: Approximately 1 year from permit date - _____

- 14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Robert Allen	3233 Little Island Road	Virginia Beach, VA 23456
Charles Griffith, Jr.	6039 Edgewood Terrace	Alexandria, VA 22307
Bradford Harrell	3217 Little Island Road	Virginia Beach, VA 23456

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

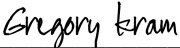
CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Gregory Kram

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:

B535F849AED9432...

Applicant's Signature

(Use if more than one applicant)

8/22/2022

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Gregory Kram, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent’s Signature)

(Use if more than one agent)

(Date)

Signed by:
Gregory Kram

B535F849AED9432...
(Applicant’s Signature)

(Use if more than one applicant)

8/22/2022

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Gregory Kram, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

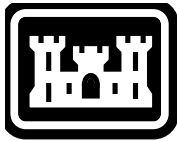
Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date



**U.S. Army Corps
Of Engineers**
Norfolk District

REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Robert E. Simon, Agent

Proposed work to be located at:
at 3221 Little Island Road, Virginia Beach, VA

Signature of Property Owner(s) or Agent

Date 8/22/2022

Virginia Beach, VA 23456

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The proposed project involves the construction of a 12'x26' boat ramp with timber return walls on each side. This project will also involve the construction of a 5'x20' open pile timber pier with an 8'x20' L-head.

This project will involve 106 SF of Non-vegetated Wetlands impacts and 50 SF of Sub-aqueous Impacts.

2. For private, noncommercial piers:

Do you have an existing pier on your property? ___ Yes No

If yes, will it be removed? ___ Yes ___ No

Is your lot platted to the mean low water shoreline? Yes ___ No

What is the overall length of the proposed structure? 20 feet.

Channelward of Mean High Water? 15 feet.

Channelward of Mean Low Water? 7 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 118 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 114 square feet.

What is the total size of any and all L- or T-head platforms? 157 sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? ___ Yes ___ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
 - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
 - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
 - B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
 - C) Will the facility be equipped to off-load sewage from boats? _____.
 - D) How many wet slips are proposed? _____. How many are existing? _____.
 - E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet
6. For **boat ramps**, what is the overall length of the structure? ²⁶ _____ feet.
- From Mean High Water? ⁹ _____ feet.
- From Mean Low Water? ³ _____ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 3221 Little Island Road

APPLICANT'S NAME: Gregory Kram

APPLICANT'S ADDRESS: 3221 Little Island Road

Virginia Beach, VA 23456

ENGINEER OF RECORD: Sean Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: Boat Ramp and Fixed Pier

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



9/15/22

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Sean Green, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DocuSigned by:



8/22/2022

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

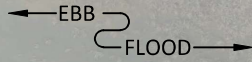
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



BACK BAY



SCALE: 1" = 40'

M.B. 62 PG. 26

APO #3
NOW OR FORMERLY
CHARLES D. GRIFFITH JR.
GPIN: 2432-39-8030

MEAN LOW WATER
MEAN HIGH WATER

EXISTING BULKHEAD

EXISTING PIERS

EXISTING RIPRAP

APO #2
NOW OR FORMERLY
BRADFORD W. HARRELL
3217 LITTLE ISLAND ROAD
GPIN: 2433-40-5399

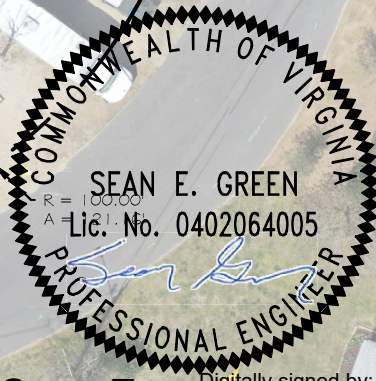
APO #1
NOW OR FORMERLY
ROBERT ALLEN AND SALLY LAWANA
EVANS REVOCABLE LIVING TRUST
3233 LITTLE ISLAND ROAD
GPIN: 2433-40-4281

PIN (f)

3 STORY FRAME
#3221

5' DRAINAGE AND UTILITY EASEMENT GRANTED TO CVB

PIN (f)



SEAN E. GREEN

Lic. No. 0402064005

Sean E. Green
PROFESSIONAL ENGINEER

Sean E.
Green

Digitally signed by:
Sean E. Green
Date: 2022.09.15 13:39:13 -05'00'

EXISTING
CONDITIONS

LITTLE ISLAND ROAD
50' RIGHT-OF-WAY

© 2022 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED

PURPOSE: BOATING ACCESS
DATUM: MLW = 0.00'
APOS:

1. ROBERT ALLEN AND SALLY LAWANA EVANS R.L.T.
2. BRADFORD W. HARRELL
3. CHARLES D. GRIFFITH JR.



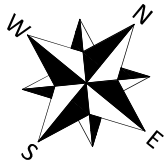
WATERFRONT
CONSULTING, INC.

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
4014 MEDINA ROAD #1015, AKRON, OH 44333
(330) 883-2117

PROPOSED: BOAT RAMP, PIER
IN: BACK BAY
AT: 3221 LITTLE ISLAND ROAD
VIRGINIA BEACH, VA 23456-4412
APPLICATION BY:
GREGORY KRAM

SHEET: 1 OF 10
DATE: MAY 11, 2022



M.B. 62 PG. 26

BACK BAY



APO #3
NOW OR FORMERLY
CHARLES D. GRIFFITH JR.
GPIN: 2432-39-8030

ACCESSWAY = 1,900 SF
TOTAL AREA OF DISTURBANCE = 1,900 SF
AREA IS APPROXIMATE

ALL EXCAVATED MATERIALS TO BE
DISPOSED OF IN A LEGAL MANNER

MEAN LOW WATER
MEAN HIGH WATER

EXISTING BULKHEAD

EXISTING PIERS

EXISTING RIPRAP

REMOVE 67 SF OF
EXISTING RIPRAP
EXCAVATE 175 SF
UPLAND AREA

SAF

APO #2
NOW OR FORMERLY
BRADFORD W. HARRELL
3217 LITTLE ISLAND ROAD
GPIN: 2433-40-5399

**EROSION & SEDIMENT CONTROL
LEGEND**



TEMPORARY PLASTIC
SAFETY FENCE
STANDARD & SPEC.
3.01

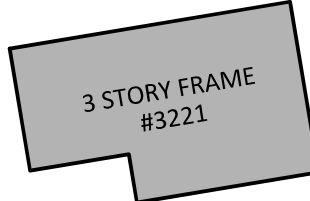
REFER TO VIRGINIA EROSION AND
SEDIMENT CONTROL HANDBOOK,
THIRD EDITION, 1992.

APO #1
NOW OR FORMERLY
ROBERT ALLEN AND SALLY LAWANA
EVANS REVOCABLE LIVING TRUST
3233 LITTLE ISLAND ROAD
GPIN: 2433-40-4281

185.00' N
100.60' E

SITE ACCESS

SAF



3 STORY FRAME
#3221

5' DRAINAGE AND UTILITY EASEMENT GRANTED TO CVB
N 79°26'00" E 150.00'
S 10°34' E 30.00'

S 58°51'00" W 88.00'

**SITE ACCESS &
DISTURBANCE**

LITTLE ISLAND ROAD
50' RIGHT-OF-WAY



SCALE: 1" = 40'

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PURPOSE: BOATING ACCESS
DATUM: MLW = 0.00'
APOS:

1. ROBERT ALLEN AND SALLY LAWANA EVANS R.L.T.
2. BRADFORD W. HARRELL
3. CHARLES D. GRIFFITH JR.



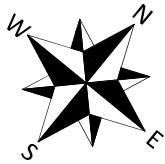
**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
4014 MEDINA ROAD #1015, AKRON, OH 44333
(330) 883-2117

PROPOSED: BOAT RAMP, PIER
IN: BACK BAY
AT: 3221 LITTLE ISLAND ROAD
VIRGINIA BEACH, VA 23456-4412
APPLICATION BY:
GREGORY KRAM

SHEET: 2 OF 10
DATE: MAY 11, 2022



M.B. 62 PG. 26

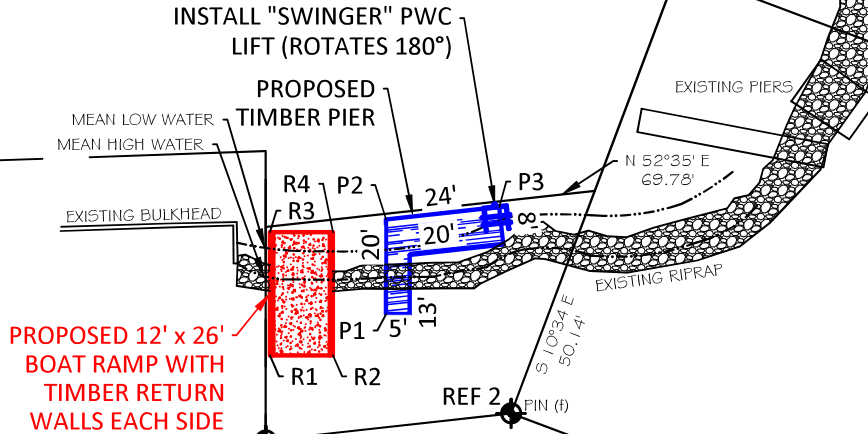
BACK BAY



APO #3
NOW OR FORMERLY
CHARLES D. GRIFFITH JR.
GPIN: 2432-39-8030

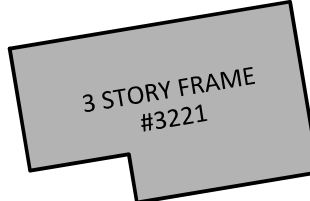
WETLANDS IMPACTS	
VEGETATED =	0 SF
NON-VEGETATED =	106 SF
TOTAL =	106 SF

SUBAQUEOUS IMPACTS	
BOAT RAMP =	50 SF
TOTAL =	50 SF



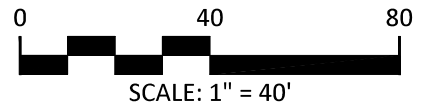
APO #2
NOW OR FORMERLY
BRADFORD W. HARRELL
3217 LITTLE ISLAND ROAD
GPIN: 2433-40-5399

APO #1
NOW OR FORMERLY
ROBERT ALLEN AND SALLY LAWANA
EVANS REVOCABLE LIVING TRUST
3233 LITTLE ISLAND ROAD
GPIN: 2433-40-4281



PROPOSED IMPROVEMENTS

LITTLE ISLAND ROAD
50' RIGHT-OF-WAY



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PURPOSE: BOATING ACCESS
DATUM: MLW = 0.00'
APOS:

1. ROBERT ALLEN AND SALLY LAWANA EVANS R.L.T.
2. BRADFORD W. HARRELL
3. CHARLES D. GRIFFITH JR.



WATERFRONT CONSULTING, INC.

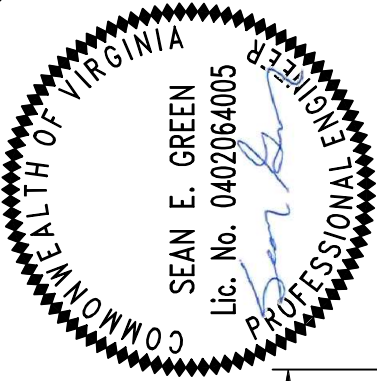
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(330) 883-2117

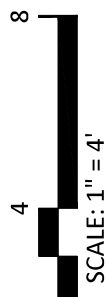
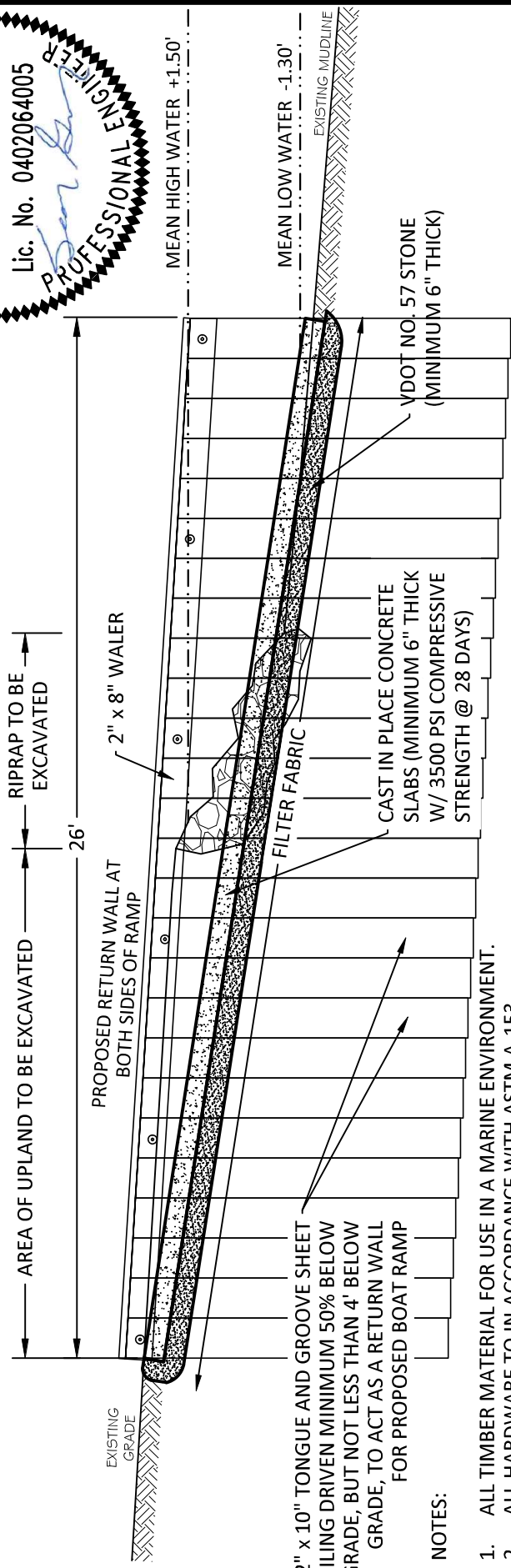
PROPOSED: BOAT RAMP, PIER
IN: BACK BAY
AT: 3221 LITTLE ISLAND ROAD
VIRGINIA BEACH, VA 23456-4412
APPLICATION BY:
GREGORY KRAM

SHEET: 3 OF 10
DATE: MAY 11, 2022

KRAM JPA



PROPOSED BOAT RAMP AND RETURN WALLS CROSS SECTION



2" x 10" TONGUE AND GROOVE SHEET PILING DRIVEN MINIMUM 50% BELOW GRADE, BUT NOT LESS THAN 4' BELOW GRADE, TO ACT AS A RETURN WALL FOR PROPOSED BOAT RAMP

NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO IN ACCORDANCE WITH ASTM A-153.
3. NEW RETURN WALLS SHALL BE PLACED AT ALIGNMENT SHOWN.
4. PROVIDE THICKENED SLAB EDGES ALONG PERIMETER OF RAMP.
5. PROVIDE RAKE FINISH ON NEW BOAT RAMP.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.

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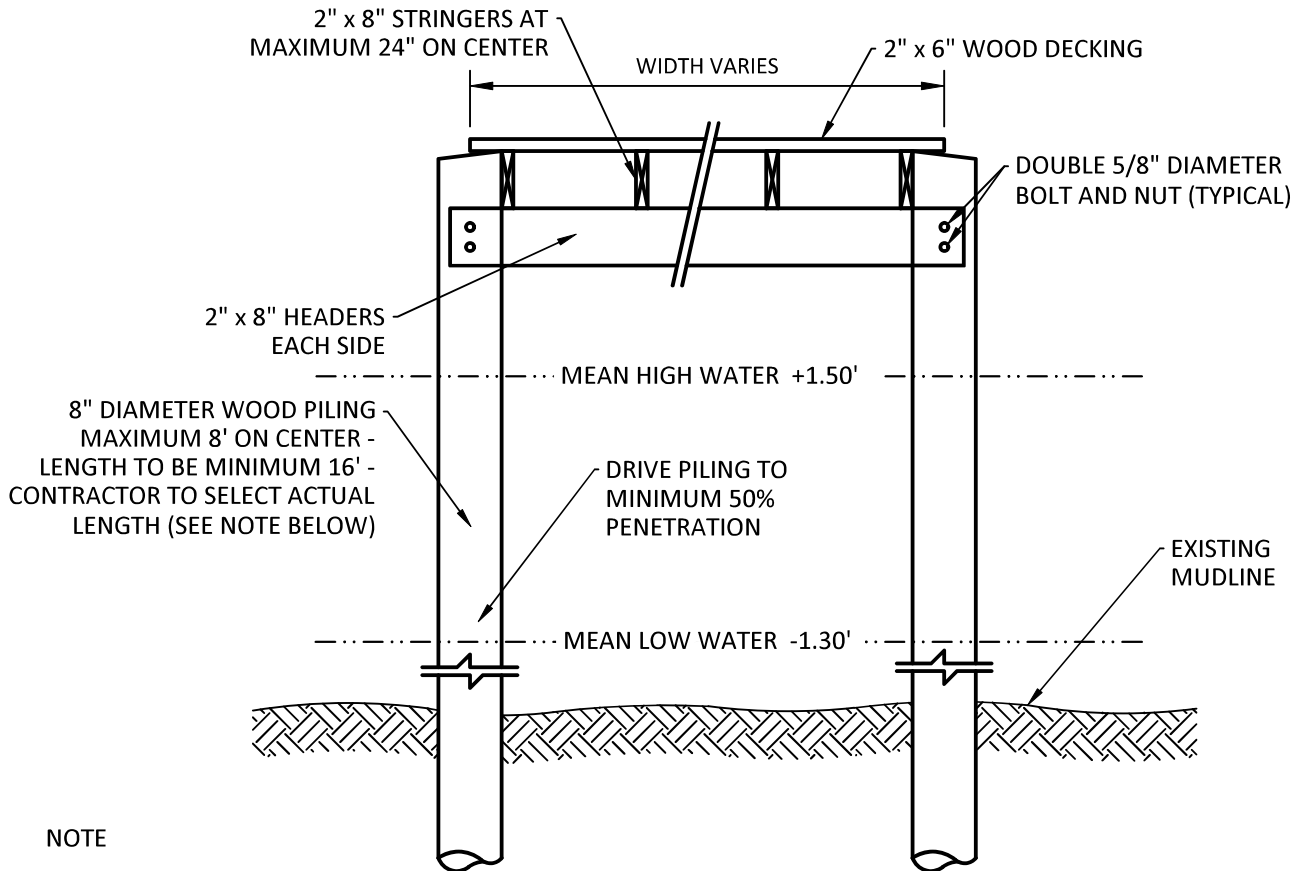
PURPOSE: BOATING ACCESS
 DATUM: MLW = 0.00'
 APOS:
 1. ROBERT ALLEN AND SALLY LAWANA
 EVANS R.L.T.
 2. BRADFORD W. HARRELL
 3. CHARLES D. GRIFFITH JR.



WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
 ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

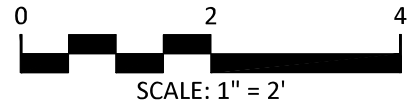
PROPOSED: BOAT RAMP, PIER
 IN: BACK BAY
 AT: 3221 LITTLE ISLAND ROAD
 VIRGINIA BEACH, VA 23456-4412
 APPLICATION BY:
 GREGORY KRAM
 SHEET: 4 OF 10
 DATE: MAY 11, 2022

PROPOSED PIER CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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SHEET: 5 OF 10
 DATE: MAY 11, 2022

NLAA COMPLIANCE

ITEM	8"PILE	10" PILE	12" PILE		
PIER	13				
PWC LIFT		1			

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

TABLE OF CONTROLS (IN FEET)

REFERENCE POINT	R1	R2	R3	R4	P1	P2	P3
1 (PIN FOUND)	18	23	44	46	37	53	70
2 (PIN FOUND)	52	39	64	54	34	49	44



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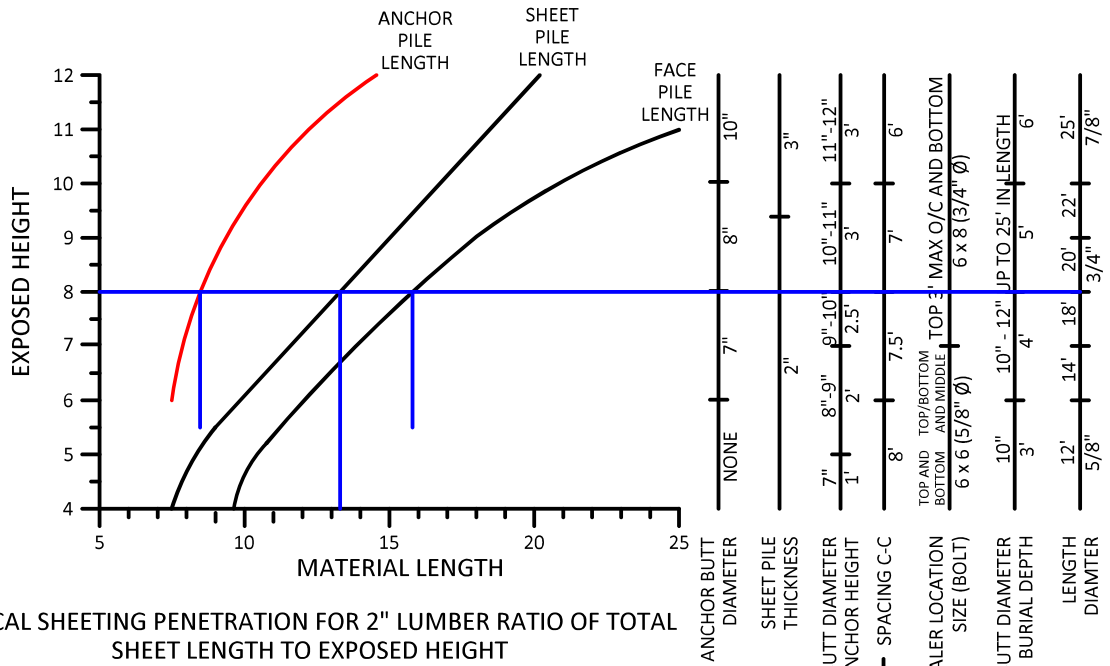
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SHEET: 6 OF 10
DATE: MAY 11, 2022

BULKHEAD DESIGN NOMOGRAPH

(FLAT BERM/BANK, SANDY SOIL)
(FROM SOUTHERN PINE COUNCIL MARINE CONSTRUCTION MANUAL)



TYPICAL SHEETING PENETRATION FOR 2" LUMBER RATIO OF TOTAL SHEET LENGTH TO EXPOSED HEIGHT

BANK ANGLE	CLAY/SAND BERM			SAND BERM			FIRM SAND BERM		
	0	10	15	0	10	15	0	10	15
0	1.8	2.1	2.4	1.7	1.9	2.5	1.5	1.7	2.0
10	1.9	2.2	2.5	1.7	2.0	2.8	1.6	1.7	2.1
20				1.8	2.2	3.2	1.6	1.8	2.3

ASSUMES NO SURCHARGE AND NO HYDROSTATIC PRESSURE.

1'-1/2" WEEP HOLES PROVIDED AT 6' ON CENTER AT MEAN LOW LOW WATER OR 6" ABOVE BERM LINE WITH 1 CUBIC FOOT OF STONE WRAPPED IN FILTER FABRIC AS FILTER.

THESE PLANS ARE FOR PERMIT PURPOSES ONLY. BULKHEAD MATERIAL DIMENSIONS SHOWN ABOVE ARE THE MINIMUMS ACCEPTABLE BASED ON STANDARD DESIGN PRACTICES AND THE VISIBLE SITE CHARACTERISTICS. NO GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED AT THIS SITE. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE ACTUAL EXPOSED HEIGHT OF THE BULKHEAD IS DETERMINED PRIOR TO THE INSTALLATION OF ANY MATERIALS. ACTUAL EXPOSED HEIGHT IS BASED ON DEPTH OF FIRM MATERIAL TO CAP OF BULKHEAD. THE ACTUAL LENGTH OF THE MATERIALS REQUIRED MAY NEED TO BE INCREASED BEYOND THOSE SHOWN IN THESE DRAWINGS.



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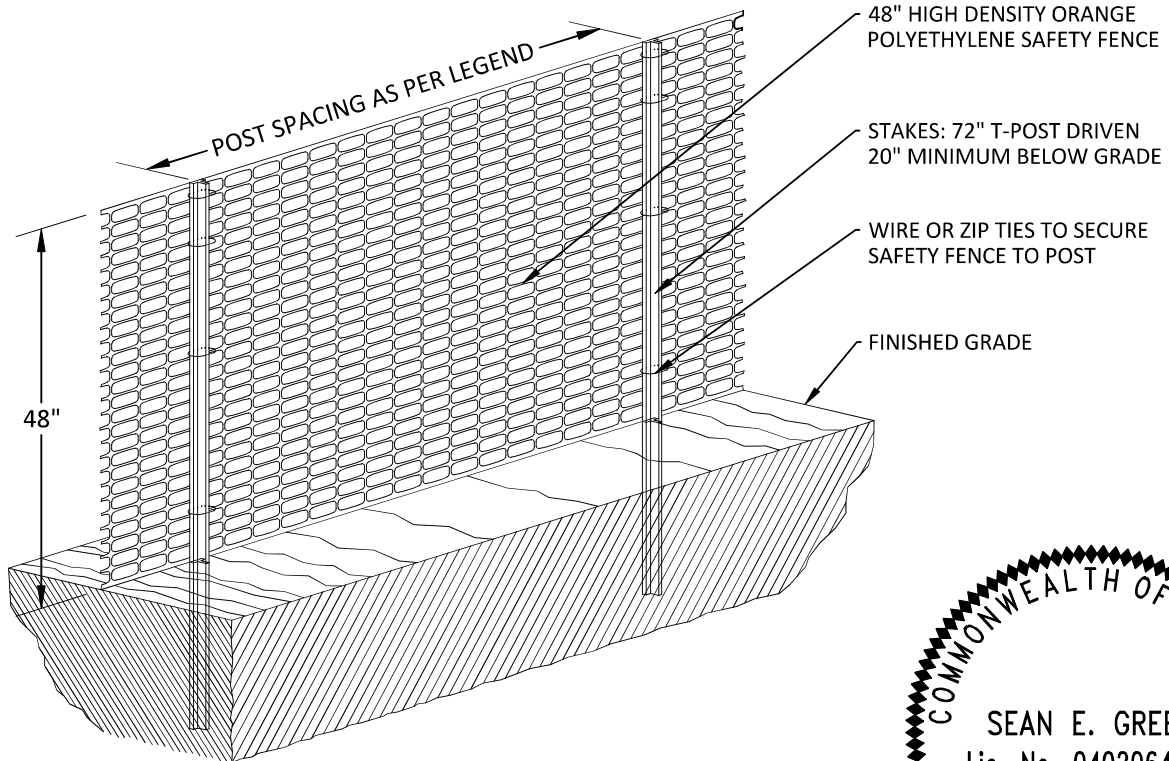
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GREGORY KRAM

SHEET: 7 OF 10
DATE: MAY 11, 2022

48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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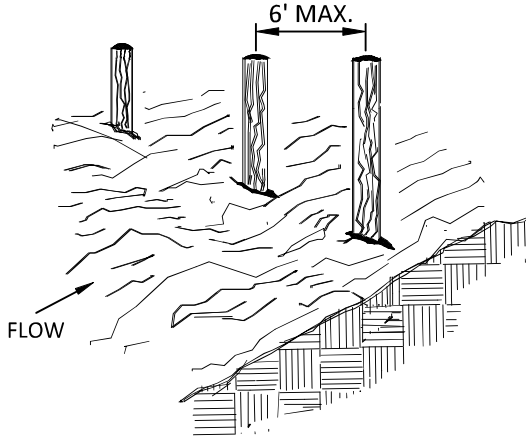
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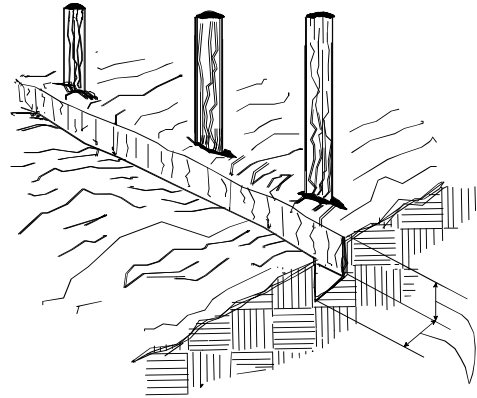
SHEET: 8 OF 10
 DATE: MAY 11, 2022

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

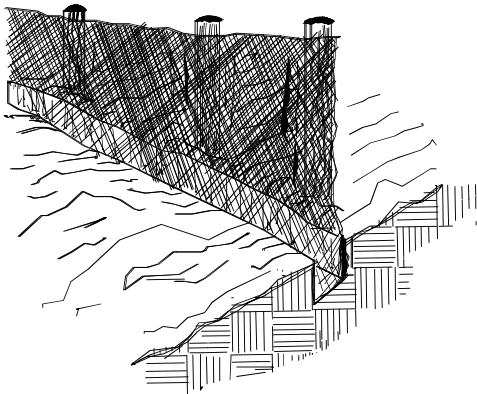
1. SET THE STAKES



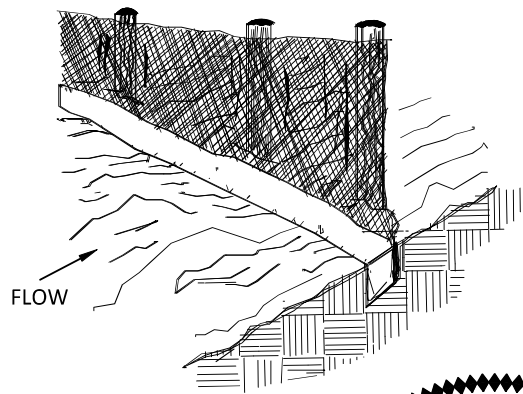
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH



4. BACKFILL AND COMPACT THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant



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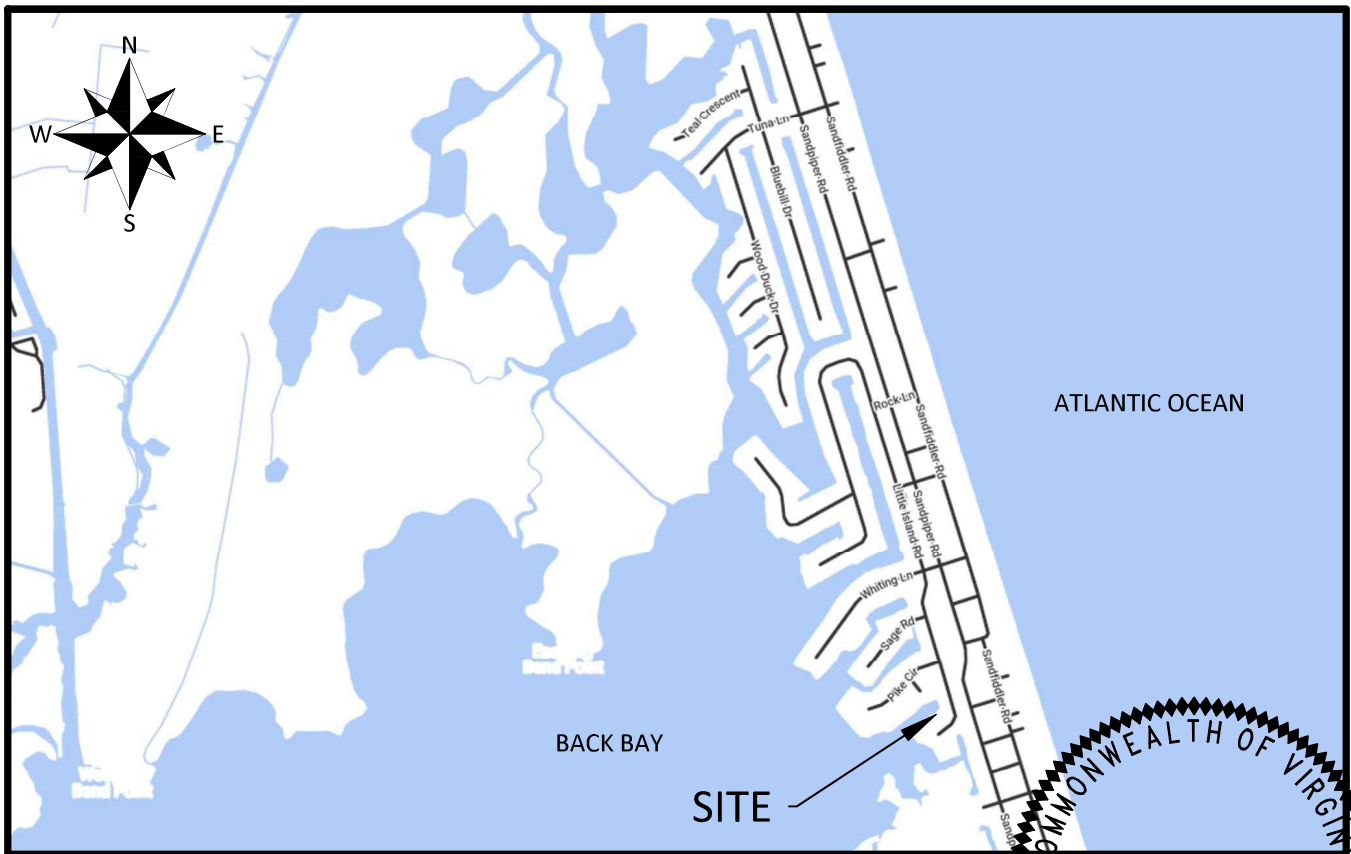
SHEET: 9 OF 10
DATE: MAY 11, 2022

SITE INFORMATION

LEGAL DESCRIPTION: BACK BAY MEADOWS - SECTION 4 LOT 31 & PARCEL B 0.063 AC (BY DEED)
 REFERENCE: MAP BOOK 62, PAGE(S) 26, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: 2433-40-6227 & 2433-40-5332
 ZONING: R-15

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

SCALE: 1" = 2,000'



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WCI WATERFRONT CONSULTING, INC.
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 VIRGINIA BEACH, VA 23456-4412
 APPLICATION BY:
 GREGORY KRAM

SHEET: 10 OF 10
 DATE: MAY 11, 2022



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

August 29, 2022

Robert Allen
3233 Little Island Road
Virginia Beach, VA 23456

RE: Proposed Boat Ramp and Fixed Pier
Located at 3221 Little Island Road, Virginia Beach, VA 23456

Dear Robert Allen

This letter is to notify you that your neighbor(s), Gregory Kram have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Gregory Kram , Applicant

Office: (757) 425-8244 Mobile: (757) 619-7302 bob@waterfrontconsulting.net
2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC September 15, 2022 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Robert Allen, own land next to (across the water
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Gregory Kram.
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 5/11/2022
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner’s signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

August 29, 2022

Charles Griffith, Jr.
6039 Edgewood Terrace
Alexandria, VA 22307

RE: Proposed Boat Ramp and Fixed Pier
Located at 3221 Little Island Road, Virginia Beach, VA 23456

Dear Charles Griffith, Jr.

This letter is to notify you that your neighbor(s), Gregory Kram have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Gregory Kram , Applicant

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2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC September 15, 2022 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Charles Griffith, Jr., own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Gregory Kram.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 5/11/2022
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

August 29, 2022

Bradford Harrell
3217 Little Island Road
Virginia Beach, VA 23456

RE: Proposed Boat Ramp and Fixed Pier
Located at 3221 Little Island Road, Virginia Beach, VA 23456

Dear Bradford Harrell

This letter is to notify you that your neighbor(s), Gregory Kram have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: Gregory Kram , Applicant

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2589 Quality Court, Ste. 323 Virginia Beach, VA 23454

ADDITIONAL INFORMATION/REVISIONS Received by VMRC September 15, 2022 /blh

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Bradford Harrell, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Gregory Kram.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 5/11/2022
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

3. 2022-WTRA-00193

Kyle C. Harrison

[Applicant & Owner]

To construct a bulkhead involving wetlands

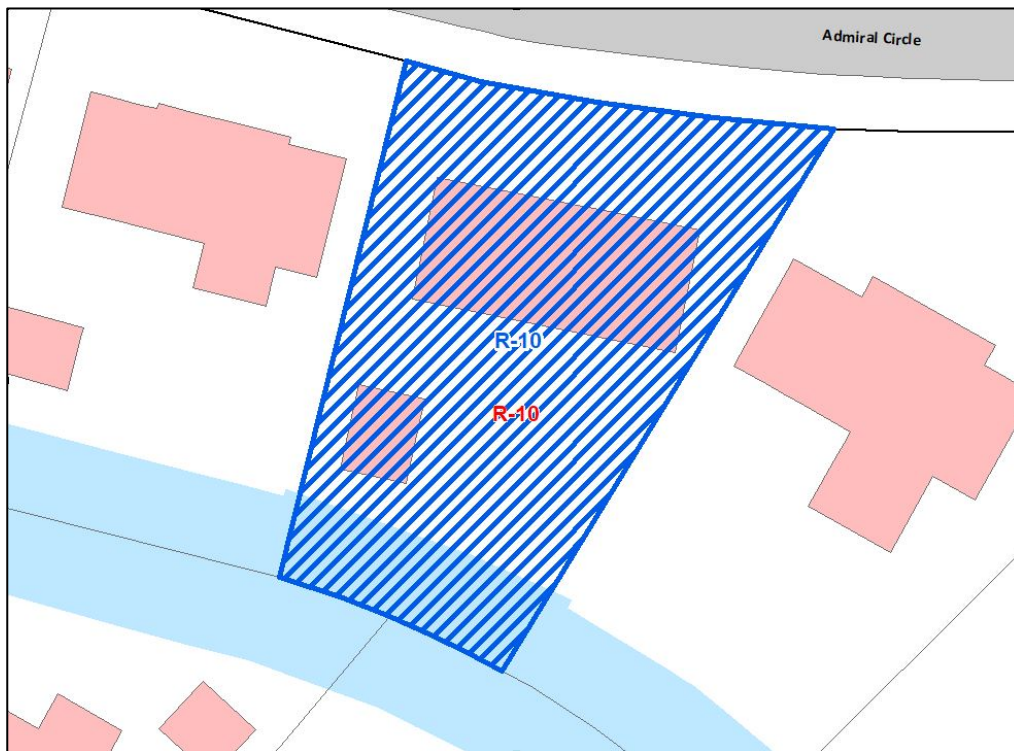
2205 Admiral Circle

(GPIN 1590-70-6439)

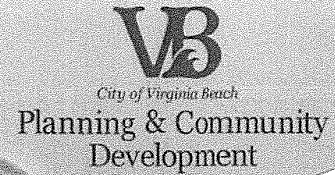
Waterway – Canal to Long Creek

Subdivision – Cape Henry Shores

City Council District: District 8, formerly Lynnhaven



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Kyle C. Harrison

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Billy Garrington

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions.

Truist First mortgage

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the construction contractor.

Sean O'Donnell

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the engineer/surveyor/agent.

Gallup Surveyors and Engineers

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

KC Harrison

Applicant Signature

Kyle C Harrison - Owner

Print Name and Title

7/28/2022

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-1876

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ- VWP permit writer will be assigned)</i>				
County or City in which the project is located: Virginia Beach _____				
Waterway at project site: Canal from Lynnhaven River _____				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
- | | |
|---|--|
| Kyle C. Harrison
2205 Admiral Circle
Virginia Beach, VA 23451
kharrisonplus4@gmail.com | Home () _____
Work (757) 793-1594
Fax () _____
Cell () _____
e-mail _____ |
|---|--|
- State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
- | | |
|--|---|
| | Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____ |
|--|---|
- State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
- | | |
|--|---|
| Billy Garrington
471 Southside Road
Virginia Beach, VA 23451 | Home () _____
Work () _____
Fax (757) 478-4245
Cell () _____
e-mail jgarrington1@cox.net |
|--|---|
- State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Install a vinyl bulkhead seaward of an existing failed timber bulkhead. Site access will be through the yard and from the seaward side via barge. No trees or shrubs will be lost to construction. There are three trees near the bulkhead that the contractor will work around. The sheetpile and face piles will be driven via vibratory hammer. A living shoreline approach cannot be met due to the narrowness of the canal and the close proximity of an existing garage. The canal is too narrow to place rip rap and a marsh seaward of the existing bulkhead. Rip rap and marsh cannot be placed landward of the existing bulkhead since there is a garage that would conflict. It is also doubtful any proposed marsh could get established due to the existing tree canopy.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot
 150 W. Brambleton Avenue
 Norfolk, VA 23510

Telephone number

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 2205 Admiral Circle
 Lot/Block/Parcel# Lot 36 Resub of lots 35 and 36
 Subdivision Cape Henry Shores
 City / County Virginia Beach ZIP Code 23451
 Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36-54-39.81 / - 76-03-18.89 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to halt erosion. Secondary purpose is to provide water access.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

No clearing. Minimal construction footprint defined by safety fence.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 42,350
Approximate cost of that portion of the project that is channelward of mean low water: \$42,350
13. Completion date of the proposed work: Feb 15 - 2023

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

1. Vincent C. and Mary T. Nolan
2201 Admiral Circle
Virginia Beach, VA 23451
2. Daniel M. and Jocelyn L. Leahey
2128 E. Kendall Circle
Virginia Beach, VA 23451
3. Edwin N. and Olga H. Pleasants
2132 E. Kendall Circle
Virginia Beach, VA 23451
4. Gregory M. Gibson
2209 Admiral Circle
Virginia Beach, VA 23451

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Kyle C. Harrison

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

X KC Harrison
Applicant's Signature

(Use if more than one applicant)

X 8/10/22
Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Kyle C. Harrison, hereby certify that I (we) have authorized Billy Garrington & David R. Butler
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

D.R. Butler
(Agent's Signature)

Billy Garrington
(Use if more than one agent)

8-4-22
(Date)

x KC Harrison
(Applicant's Signature)

(Use if more than one applicant)

x 8/10/22
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

2. For private, noncommercial piers:

- Do you have an existing pier on your property? Yes No
- If yes, will it be removed? Yes No
- Is your lot platted to the mean low water shoreline? Yes No
- What is the overall length of the proposed structure? 70 feet.
 - Channelward of Mean High Water? 0 feet.
 - Channelward of Mean Low Water? 0 feet.
- What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands 0 square feet.
 - Tidal vegetated wetlands 0 square feet.
 - Submerged lands n/a (landside) square feet.
- What is the total size of any and all L- or T-head platforms? 0 sq. ft.
- For boathouses, what is the overall size of the roof structure? _____ sq. ft.
- Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

Part 3 – Appendices (continued)

3. For **USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
 - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
 - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Not yet purchased				

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
 - B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
 - C) Will the facility be equipped to off-load sewage from boats? _____.
 - D) How many wet slips are proposed? _____. How many are existing? _____.
 - E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet
6. For **boat ramps**, what is the overall length of the structure? _____ feet.
- From Mean High Water? _____ feet.
- From Mean Low Water? _____ feet.
- Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.
- Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install 72.5 L.F. of vinyl bulkhead in front of an existing failed timber bulkhead. Place 27 c.y. of sand behind the wall as backfill. Sand will be provided from an upland source. 33 s.f. of non vegetated wetlands will be lost. The wetlands that exist are the result of water along the landward side of the existing bulkhead where it has failed. The new bulkhead will be placed 1.75' seaward of the existing wall.

2. What is the maximum encroachment channelward of mean high water? 3.75 feet.
Channelward of mean low water? 1.75 feet.
Channelward of the back edge of the dune or beach? n/a feet.

3. Please calculate the square footage of encroachment over:

• Vegetated wetlands	<u>0</u>	square feet
• Non-vegetated wetlands	<u>33</u>	square feet
• Subaqueous bottom	<u>127</u>	square feet
• Dune and/or beach	<u>n/a</u>	square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2205 ADMIRAL CIRCLE

APPLICANT'S NAME: KYLE C. HARRISON

APPLICANT'S ADDRESS: 2205 ADMIRAL CIRCLE
VIRGINIA BEACH, VA 23451

ENGINEER OF RECORD: DAVID R. BUTLER

PROFESSIONAL ENGINEER/SURVEYOR
CERTIFYING PROJECT
CONSTRUCTION:

DAVID R. BUTLER

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

D. R. Butler

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

8.4.22

DATE

DAVID R. BUTLER

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

x KC Harrison

SIGNATURE OF APPLICANT

8/10/22

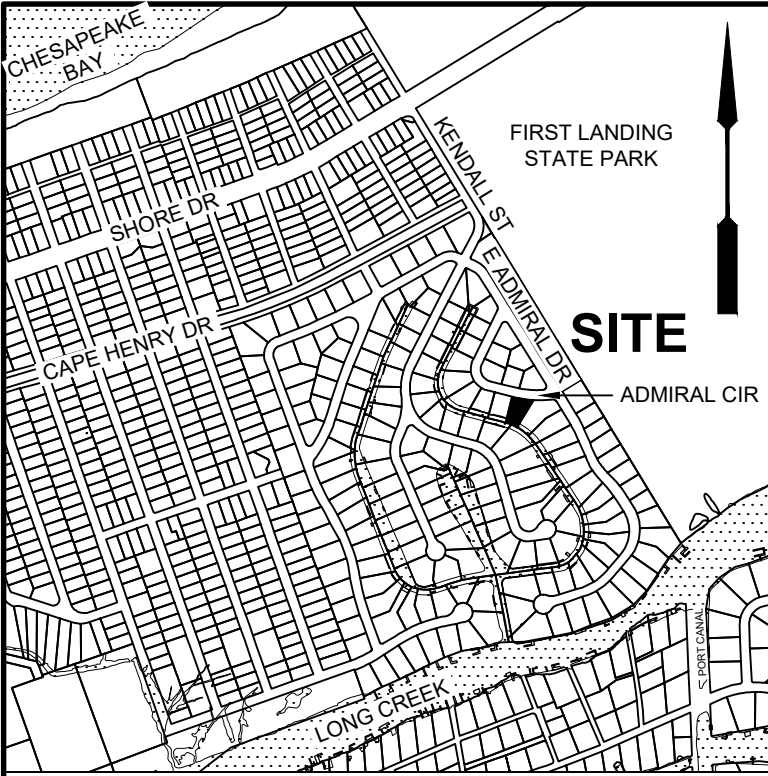
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



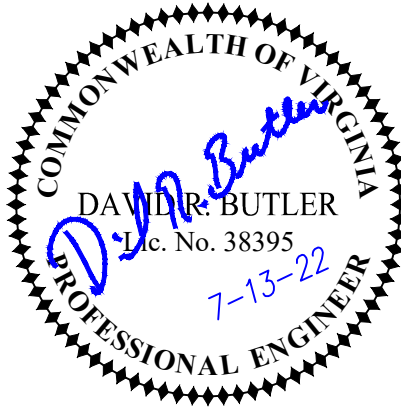
LOCATION MAP SCALE: 1"=1000'

SITE DATA

1. **SITE ADDRESS:** 2205 ADMIRAL CIRCLE
VIRGINIA BEACH, VA. 23451
2. **LEGAL:** LOT 36, RESUBDIVISION OF LOTS 35 & 36,
AMENDED SUBDIVISION OF CAPE HENRY SHORES,
SECTION ONE, M.B. 67, PG. 43
3. **GPIN:** 1590-70-6439
4. **VERTICAL DATUM:** NAVD 88
5. **ZONED:** R-10 (RESIDENTIAL MEDIUM DENSITY)
6. THE PHYSICAL FEATURES SHOWN WERE
OBTAINED FROM A TOPOGRAPHIC SURVEY
PREPARED BY TIM FALLON LAND SURVEYING, PLLC
DATED APRIL 26, 2022.
7. **ELEV. OF MLW (NAVD 88):** -1.1
ELEV. OF MHW (NAVD 88): 0.4
SOURCE: VIRGINIA INSTITUTE OF MARINE SCIENCE
8. THIS PLAN WAS PERFORMED WITHOUT THE
BENEFIT OF A TITLE REPORT AND MAY NOT SHOW
ANY AND/OR ALL EASEMENTS OR RESTRICTIONS
THAT MAY EFFECT SAID PROPERTY AS SHOWN.
9. 5' UTILITIES & DRAINAGE EASEMENT ALONG ALL
SIDES AND REAR PER M.B. 67, PG. 43.
10. ALL CONSTRUCTION TO BE PERFORMED FROM THE
SEAWARD SIDE VIA BARGE AND FROM LANDWARD
SIDE.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	ADJACENT OWNERS MAP
3	EXISTING CONDITIONS
4	ENLARGEMENT PLAN
5-6	WHARF PLAN
7-8	WHARF SECTIONS
9	WHARF DETAILS
10	BOAT HOUSE
11	BULKHEAD SECTION
12	NOTES AND DETAILS

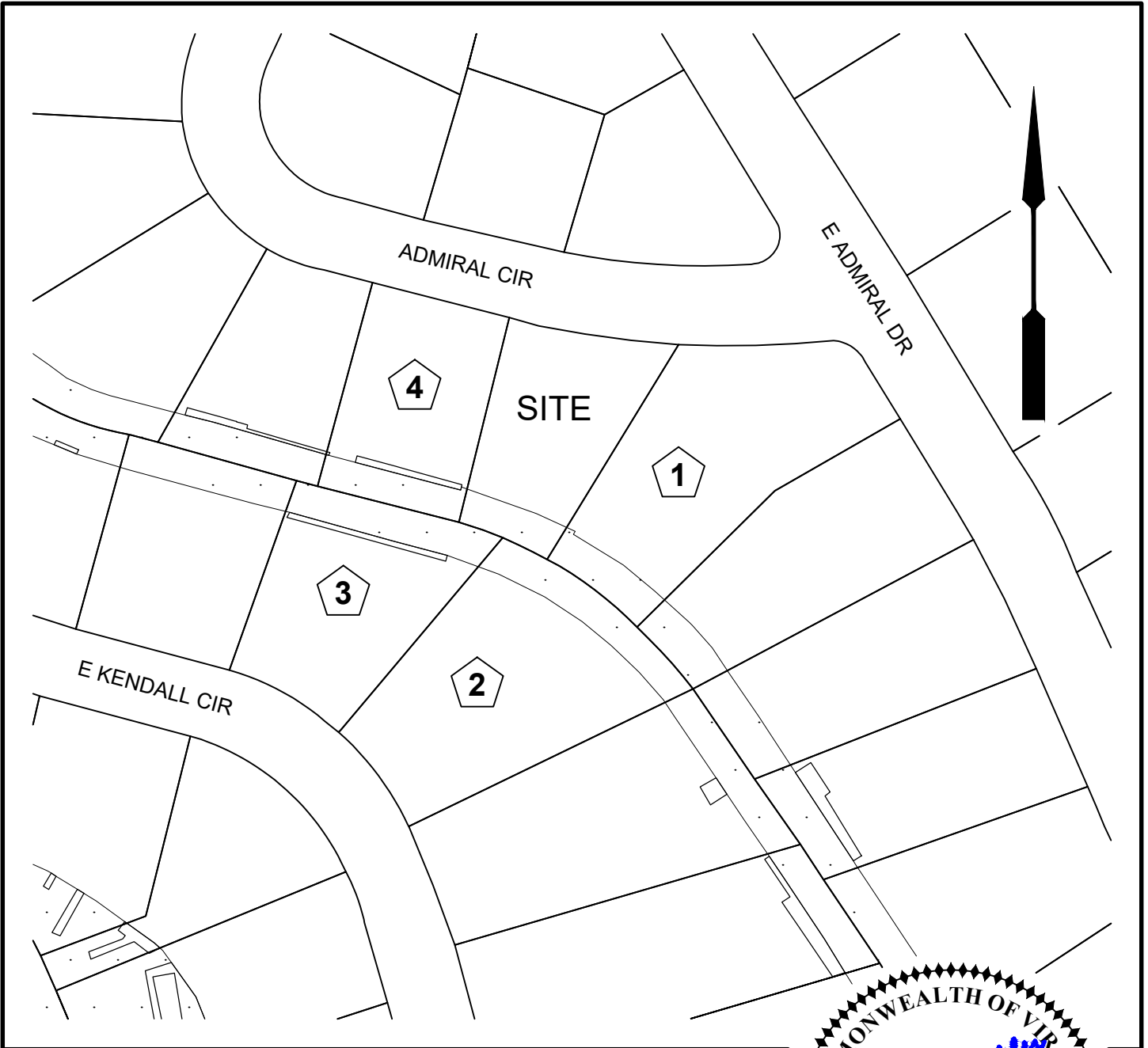


OWNER/DEVELOPER
 KYLE C. HARRISON
 2205 ADMIRAL CIRCLE
 VIRGINIA BEACH, VA. 23451
 (757) 793-1594
 kharrisonplus4@gmail.com

GALLUP
SURVEYORS & ENGINEERS
 323 FIRST COLONIAL ROAD
 VIRGINIA BEACH, VIRGINIA 23454
 (757)428-8132 FAX (757)425-2390

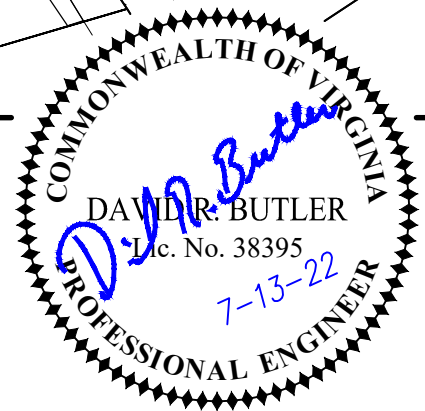
PROJECT: INSTALL BULKHEAD, WHARF & BOAT LIFT

REVISION SCHEDULE		COVER SHEET	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 1 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		

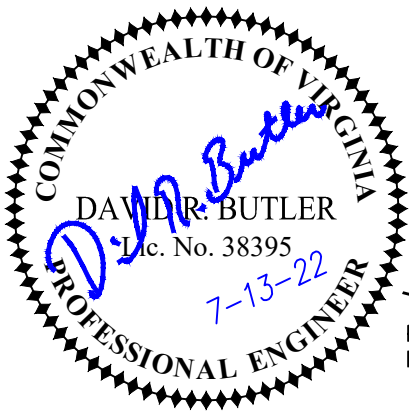


ADJACENT PROPERTY OWNERS:

- ① VINCENT C. NOLAN & MARY T. NOLAN
- ② DANIEL M. LEAHEY & JOCELYN L. LEAHEY
- ③ EDWIN N. PLEASANTS & OLGA H. PLEASANTS
- ④ GREGORY M. GIBSON



REVISION SCHEDULE		ADJACENT OWNERS MAP 1" = 100'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 2 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



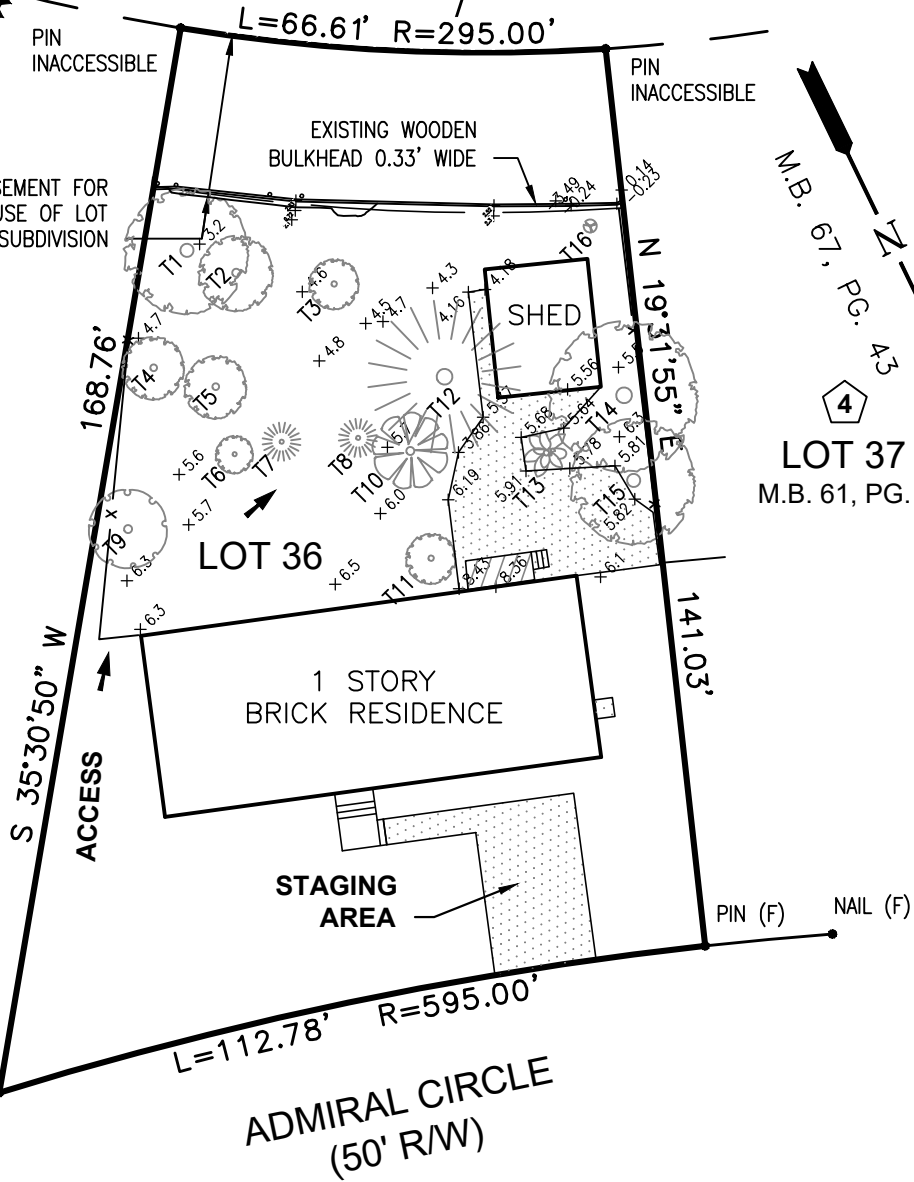
2
LOT 57
 M.B. 61, PG. 1

3
LOT 56
 M.B. 61, PG. 1

25' OF 50' EASEMENT FOR
 DRAINAGE & USE OF LOT
 OWNERS WITHIN THIS SUBDIVISION

1
LOT 35
 M.B. 61, PG. 1

M.B. 67, PG. 43
 4
LOT 37
 M.B. 61, PG. 1



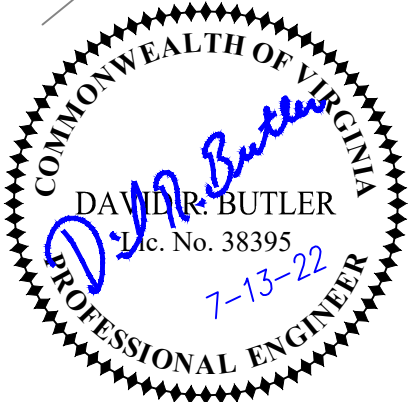
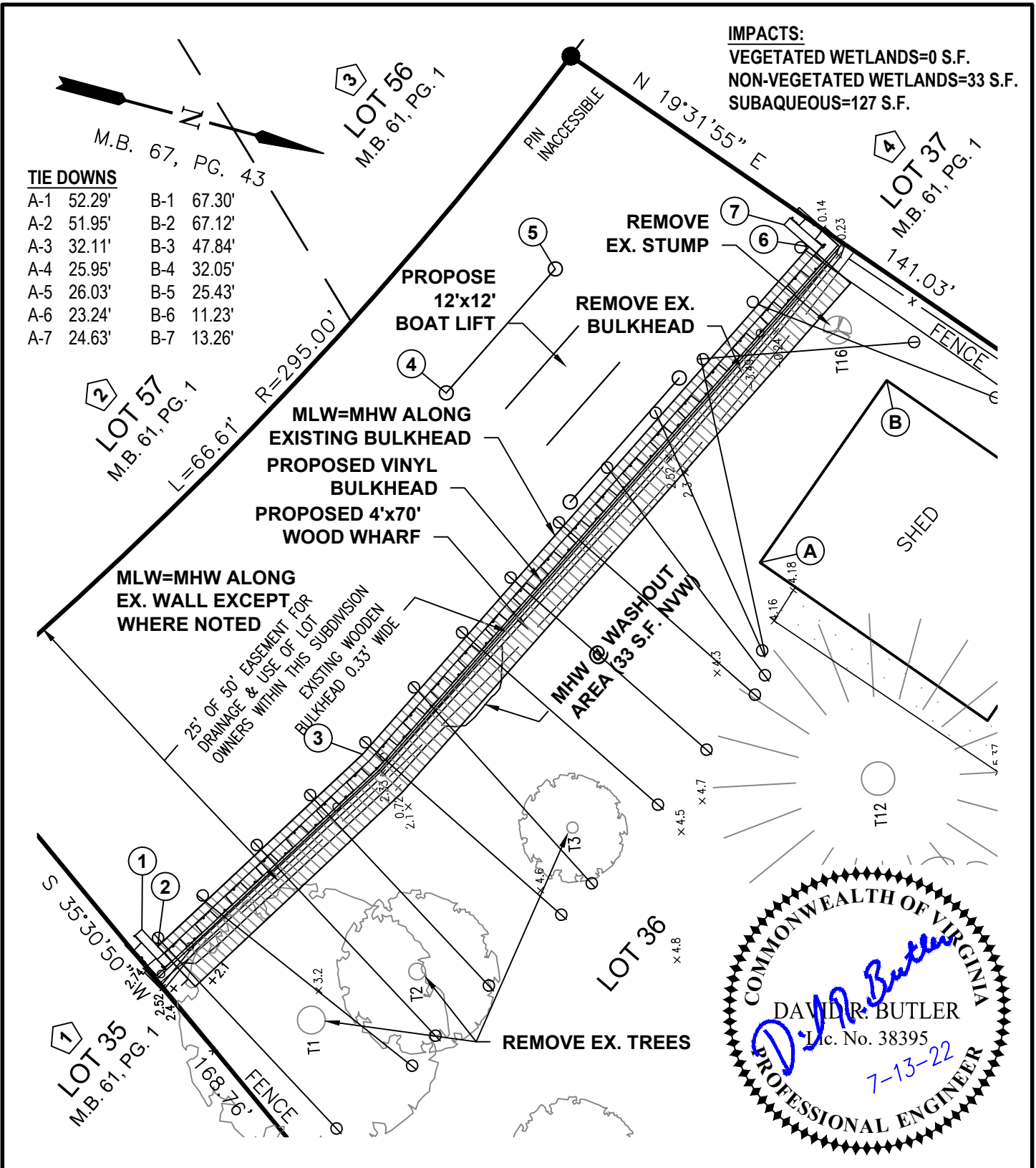
SEE SHEET 12 FOR TREE TABLE

REVISION SCHEDULE		EXISTING CONDITIONS	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 3 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS	1" = 40'	

IMPACTS:
 VEGETATED WETLANDS=0 S.F.
 NON-VEGETATED WETLANDS=33 S.F.
 SUBAQUEOUS=127 S.F.

TIE DOWNS

A-1	52.29'	B-1	67.30'
A-2	51.95'	B-2	67.12'
A-3	32.11'	B-3	47.84'
A-4	25.95'	B-4	32.05'
A-5	26.03'	B-5	25.43'
A-6	23.24'	B-6	11.23'
A-7	24.63'	B-7	13.26'

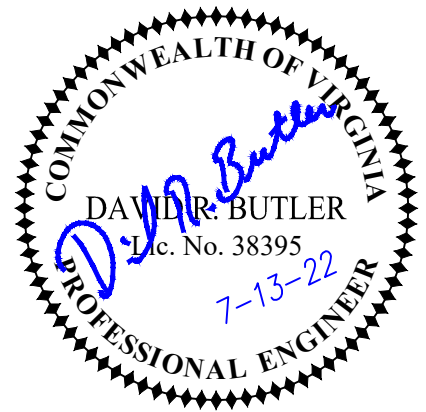
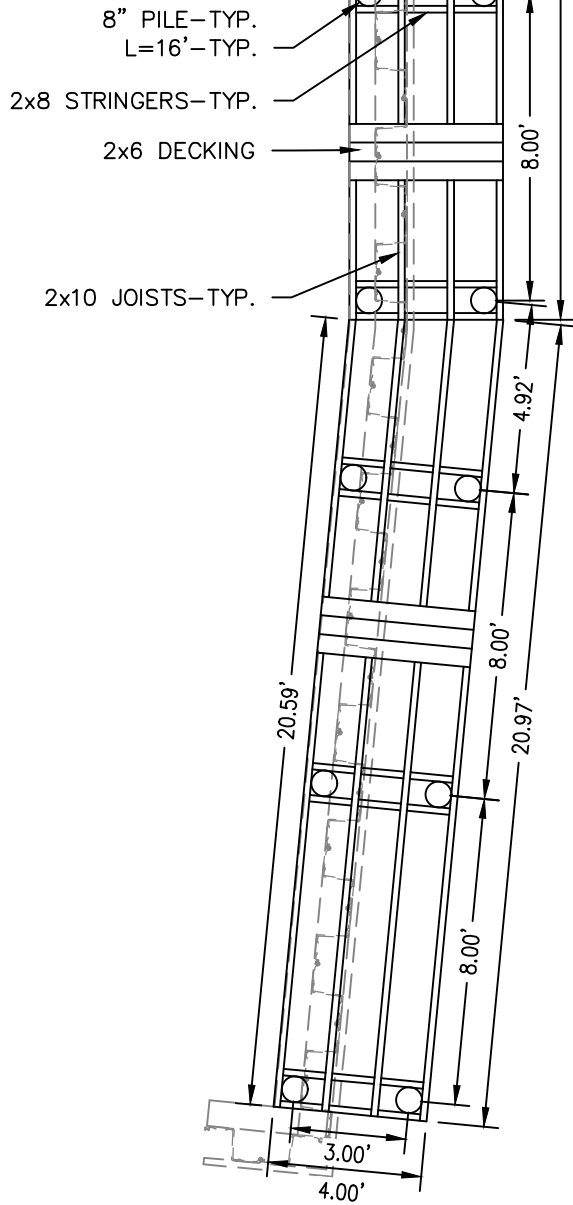


REVISION SCHEDULE		ENLARGEMENT PLAN 1" = 10'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 4 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		

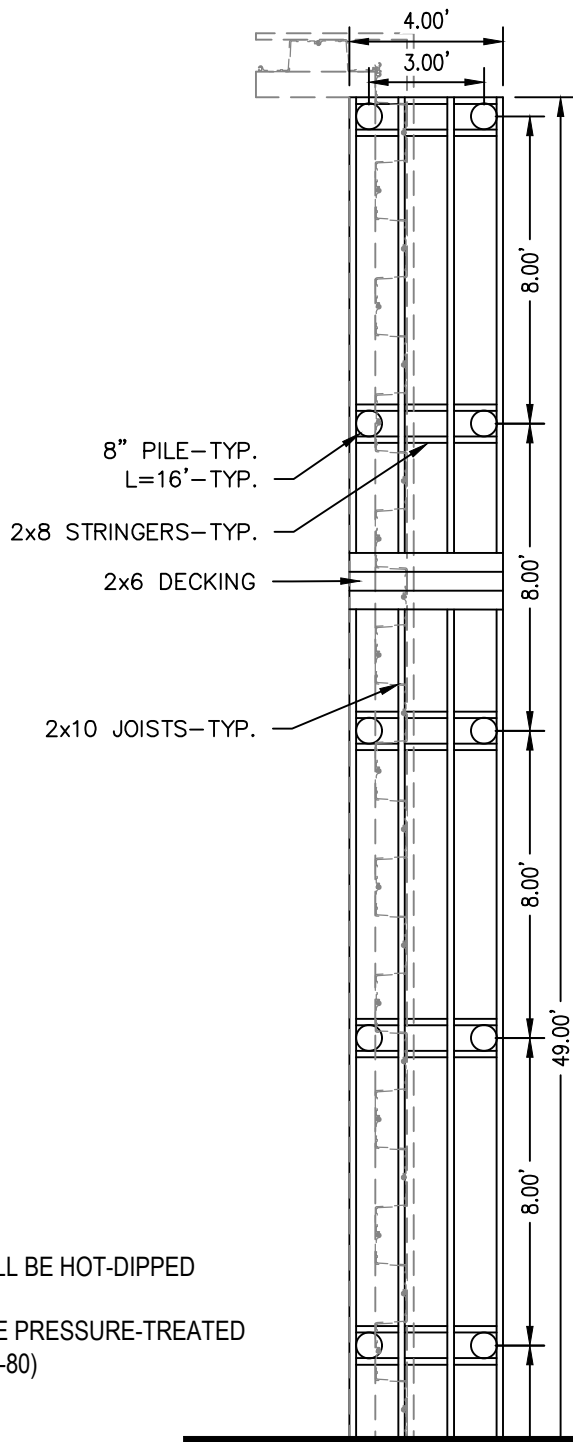
MATCHLINE - SEE SHEET 6

NOTE

1. ALL HARDWARE SHALL BE HOT-DIPPED GALV. (ASTM-A153)
2. ALL TIMBER SHALL BE PRESSURE-TREATED AT 2.5#/CF CCA. (MLP-80)

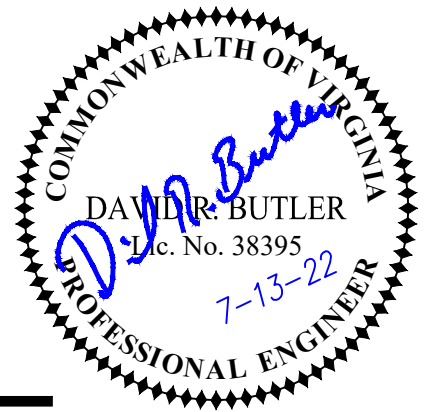


REVISION SCHEDULE		WHARF PLAN 1" = 5'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 5 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



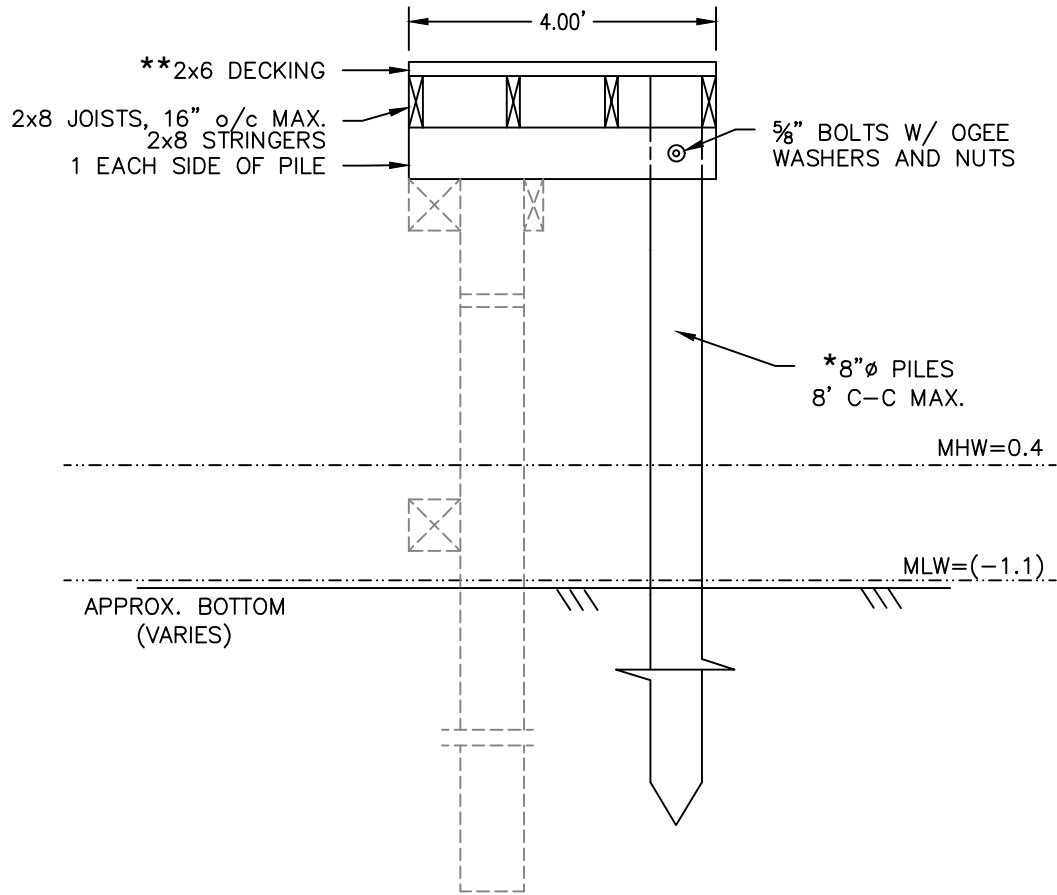
NOTE

1. ALL HARDWARE SHALL BE HOT-DIPPED GALV. (ASTM-A153)
2. ALL TIMBER SHALL BE PRESSURE-TREATED AT 2.5#/CF CCA. (MLP-80)



MATCHLINE - SEE SHEET 5

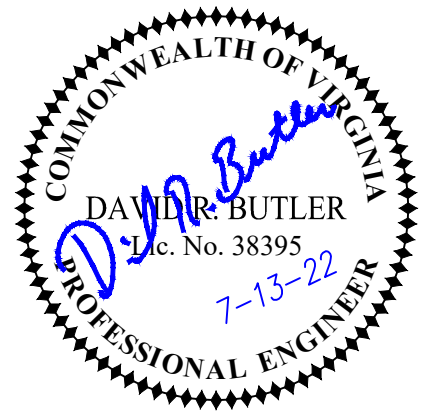
REVISION SCHEDULE		WHARF PLAN 1" = 5'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 6 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



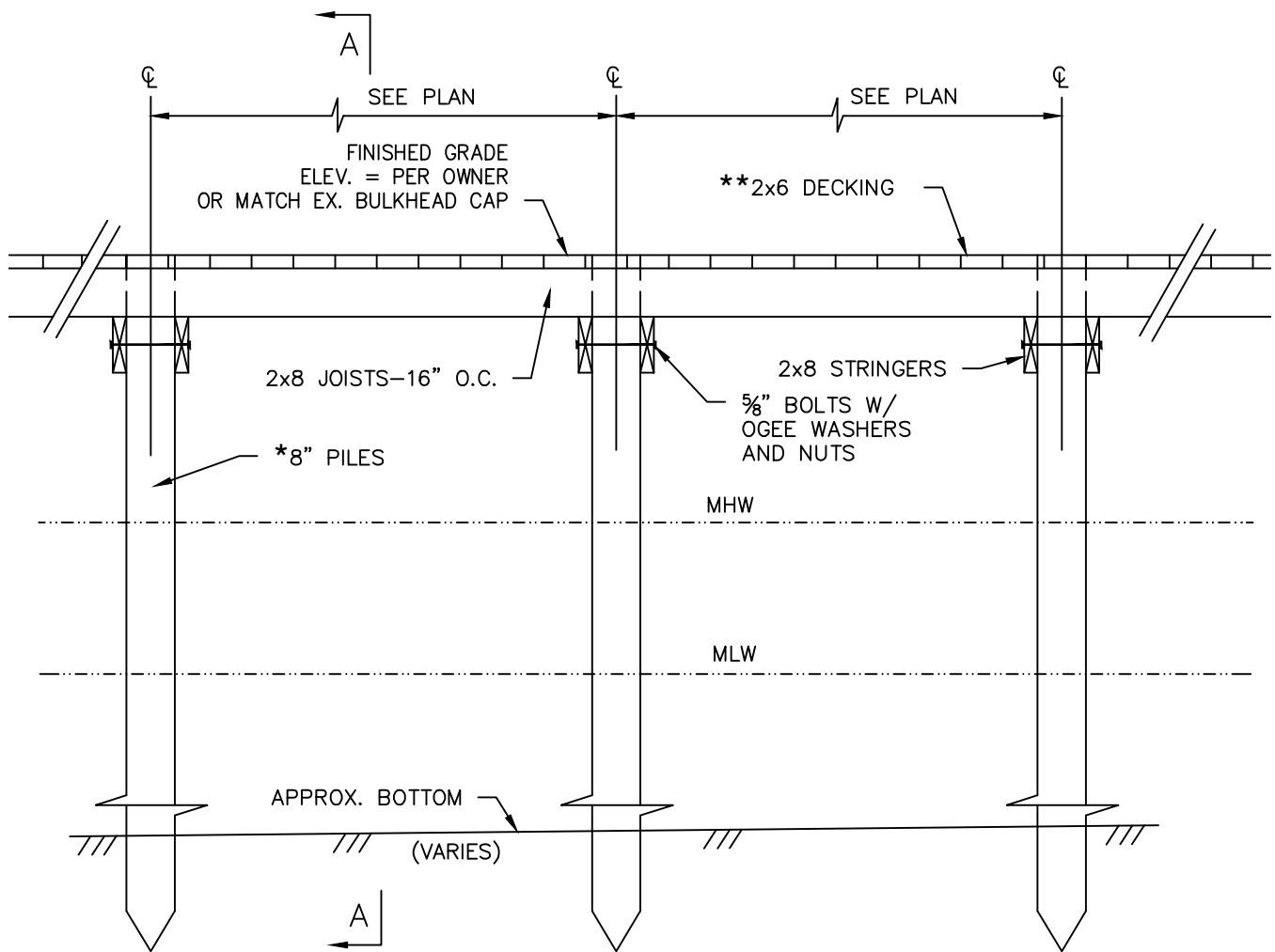
**PROPOSED WHARF
SECTION A-A**

NOTES

1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT.
2. ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED.
3. ALL PILES SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 2.5 LBS. PER CUBIC FOOT.
- * FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE. (NO SOIL BORINGS WERE PROVIDED)
- ** OR UTILIZE THRU-FLOW COMPOSITE OR EQUAL DECK MATERIAL



REVISION SCHEDULE		WHARF SECTION 1" = 2.5'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 7 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



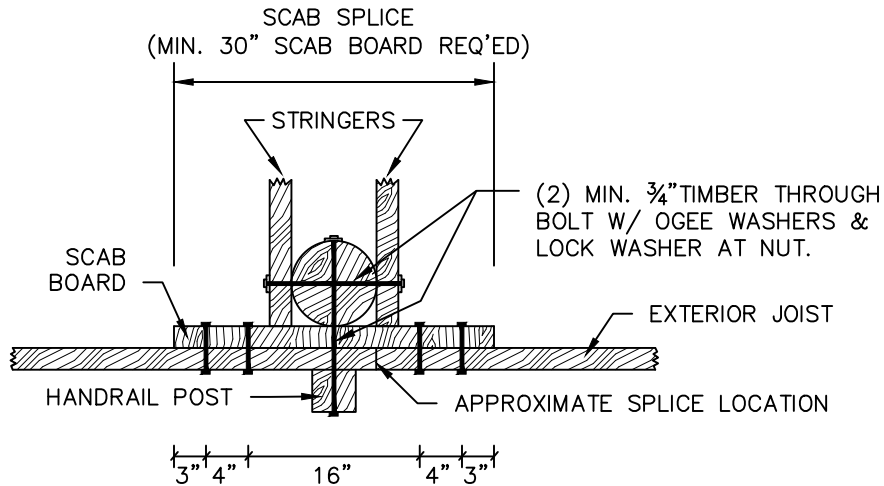
**PROPOSED VIEW
TYPICAL SECTION**

NOTES

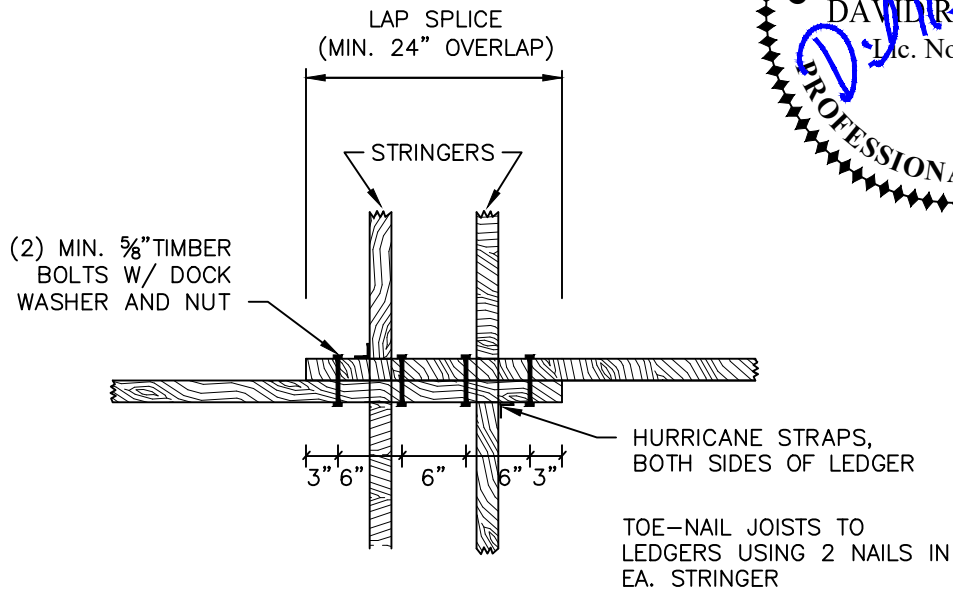
1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT.
 2. ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED.
 3. ALL PILES SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 2.5 LBS. PER CUBIC FOOT.
- * FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE. (NO SOIL BORINGS WERE PROVIDED)
 - ** OR UTILIZE THRU-FLOW COMPOSITE OR EQUAL DECK MATERIAL



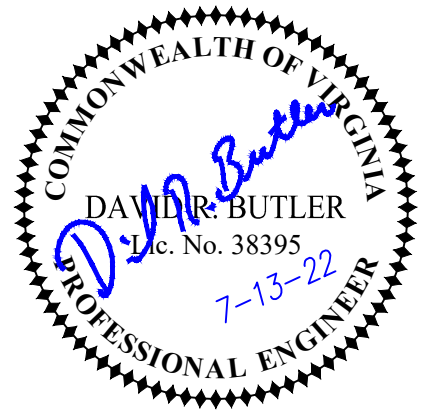
REVISION SCHEDULE		WHARF SECTION 1" = 2.5'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 8 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



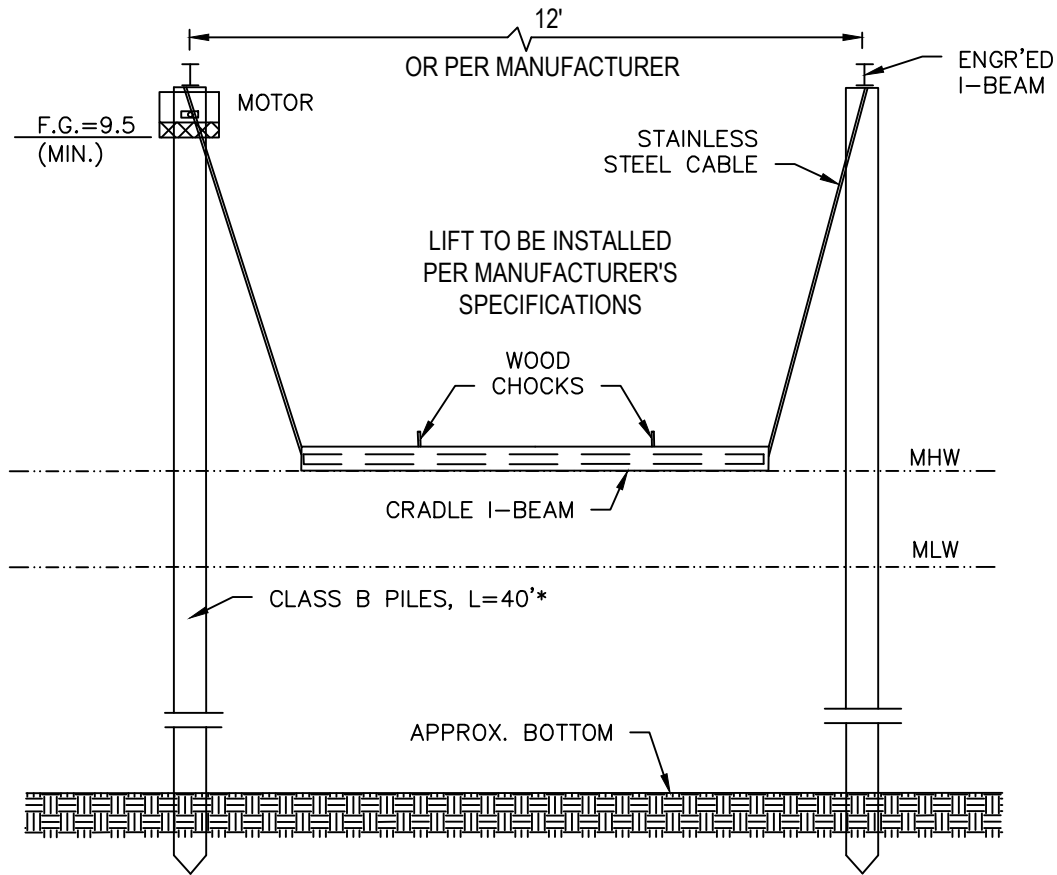
**SCAB SPLICE
DETAIL**



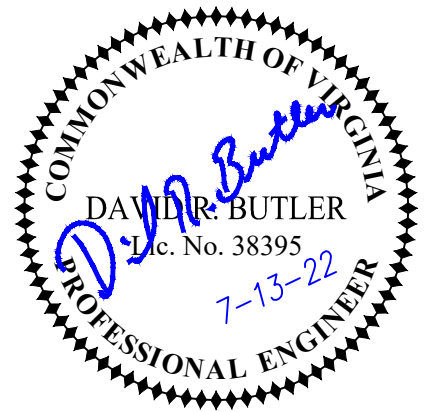
**LAP SPLICE
DETAIL**



REVISION SCHEDULE		WHARF DETAILS 1" = 1.5'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 9 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		



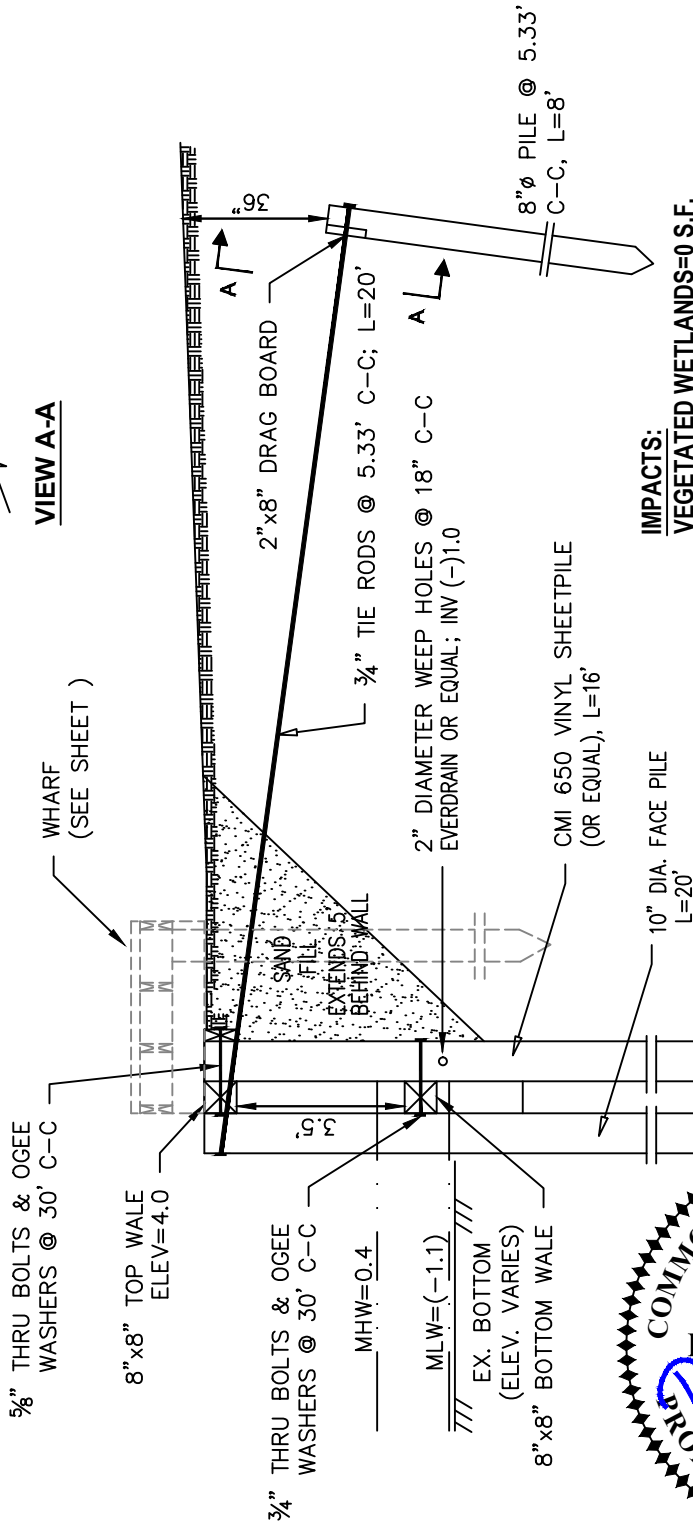
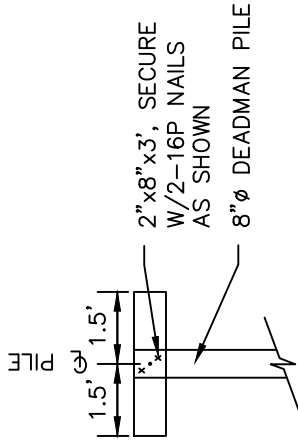
ALL PILING CCA 2.5 PCF (MLP-80)
 ALL HARDWARE H.D. GALV. ASTM-A153
 WOOD CHOCKS TO BE CCA 2.5 PCF (MLP-80)



* BOAT LIFT PILES SHALL BE THE LENGTH SPECIFIED OR DRIVEN TO MIN.
 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE, WHICHEVER
 IS GREATEST. (NO SOUNDINGS OR SOIL BORINGS WERE PROVIDED)

REVISION SCHEDULE		BOAT LIFT 1" = 4'	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 10 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		

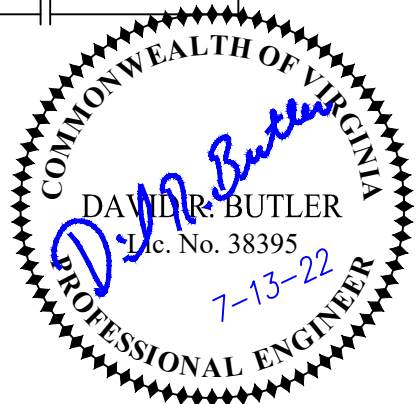
NOTE: DRAWINGS ARE FOR PERMIT PURPOSES ONLY AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. BULKHEAD LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



IMPACTS:
 VEGETATED WETLANDS=0 S.F.
 NON-VEGETATED WETLANDS=33 S.F.
 SUBAQUEOUS=127 S.F.

NOTES

1. ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED.
2. ALL TIMBER SHALL BE SALT-TREATED AT 2.5#/CF CCA.
3. TIE BACK ROD SHALL BE PAINTED WITH 2 COATS OF MARINE GRADE EPOXY.
4. SHEET PILE SHALL BE THE LENGTH SPECIFIED OR DRIVEN TO A MIN. OF 50% EMBEDMENT INTO FIRM MATERIAL, WHICHEVER IS GREATEST.
5. LOWER WALES AND WEEP HOLES TO BE INSTALLED DURING A TIDE LOWER THAN SHOWN ON THIS SECTION.
6. PREFORMED DRAINAGE FABRIC SHALL BE TENSAR DC 1100 OR EQUIV.



REVISION SCHEDULE	
DATE	COMMENT
9-13-22	ADD IMPACTS

BULKHEAD SECTION
 1" = 4'

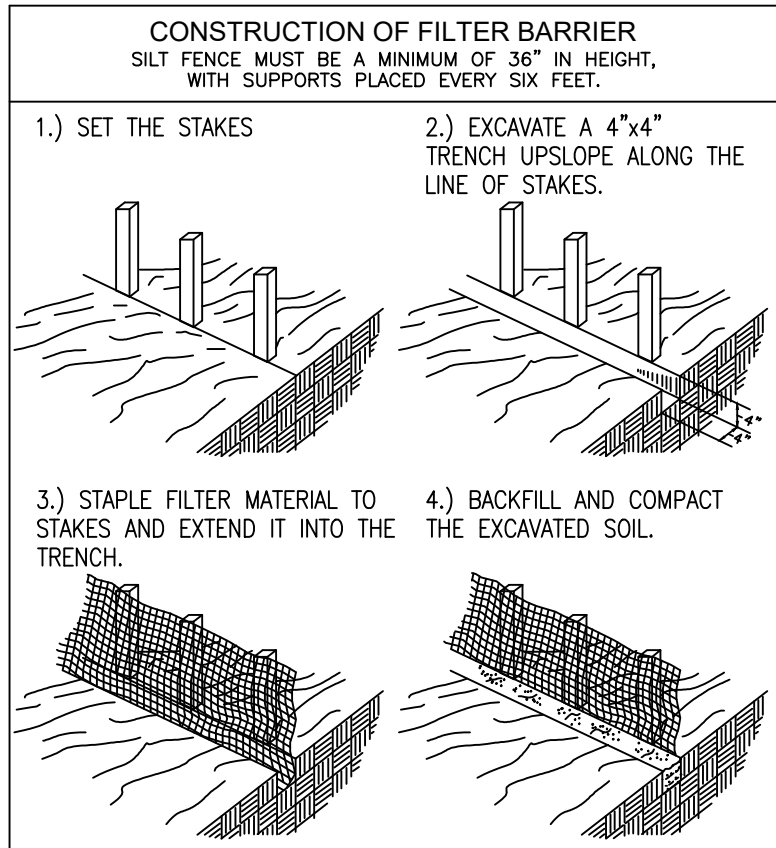
PROJECT: BULKHEAD, WHARF & BOATLIFT
BY: KYLE C. HARRISON
IN: A CANAL OF LONG CREEK
DATE: JULY 12, 2022
SHEET: 11 OF 12

CONSTRUCTION SEQUENCE

1. OBTAIN ALL REQUIRED PERMITS.
2. INSTALL SAFETY FENCE
3. REMOVE TREES
4. REMOVE OLD BULKHEAD
5. CONSTRUCT NEW BULKHEAD
6. CONSTRUCT WHARF
7. INSTALL BOAT LIFT
8. INSTALL SILT FENCE
9. SEED & MULCH DISTURBED AREAS

TREE TABLE

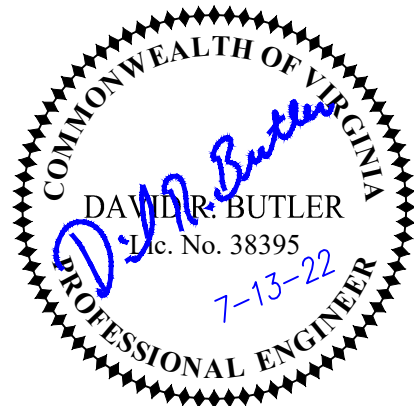
KEY	SIZE	SPECIES
T1	20"	OAK
T2	12"	OAK
T3	8"	OAK
T4	10"	OAK
T5	10"	OAK
T6	6"	OAK
T7	6"	PINE
T8	6"	PINE
T9	12"	CREPE MYRTLE
T10	12"	BIRCH
T11	8"	OAK
T12	24"	PINE
T13	8"	MAGNOLIA
T14	24"	OAK
T15	20"	OAK
T16		STUMP



NOTE:
ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER

TURFGRASS PLANTING SPECIFICATIONS

TURF TYPE	TIME OF YEAR TO SEED	SEEDING RATE	COMMENTS
KENTUCKY 31 FESCUE	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	8 LB. PER 1000 SQ. FT.	MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
NARROW LEAFED FESCUES	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	6 LB. PER 1000 SQ. FT.	IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
BERMUDA (HULLED)	5-1 - 9-15 (OR SOD DURING THIS SAME TIME PERIOD)	2 LB. PER 1000 SQ. FT.	



REVISION SCHEDULE		NOTES & DETAILS	PROJECT: BULKHEAD, WHARF & BOATLIFT BY: KYLE C. HARRISON IN: A CANAL OF LONG CREEK DATE: JULY 12, 2022 SHEET: 12 OF 12
DATE	COMMENT		
9-13-22	ADD IMPACTS		

4. 2022-WTRA-00206

Matthew D. Rankin and Heather M. St. John

[Applicants & Owners]

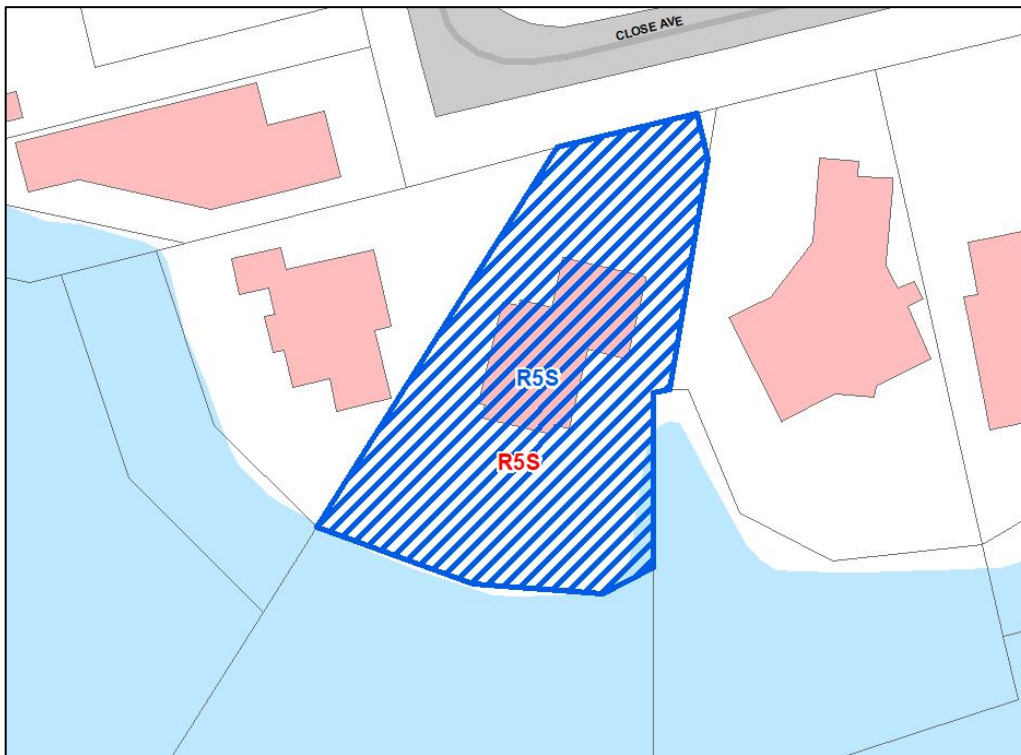
To construct rip rap revetment and floating pier involving wetlands

818 Close Avenue
(GPIN 2417-90-6729)

Waterway – Lake Rudee

Subdivision – Shadow Lawn Heights

City Council District: District 5, formerly Beach



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Matthew D. Rankin & Heather M. St. John

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsidary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsidary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsidary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If yes, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If yes, identify the financial institutions.
-

2. Does the applicant have a real estate broker/agent/realtor for current and anticipated future sales of the subject property?

Yes No

- If yes, identify the real estate broker/realtor.
-

3. Does the applicant have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm or individual providing the service.
-

4. Does the applicant have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm or individual providing the service.
-

5. Is there any other pending or proposed purchaser of the subject property? Yes No

- If yes, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc. & Stone Green Consulting LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Matthew D. Rankin

Heather M. St. John

Applicant Signature

Matthew D. Rankin & Heather M. St. John

Print Name and Title

8/2/2022

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: Virginia Beach				
Waterway at project site: Lake Rudee				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Matthew D. Rankin & Heather M. St. John Home () _____
818 Close Avenue Work () _____
Virginia Beach, VA 23451 Fax () _____
Cell (757) 449-8044
e-mail matt.rankin@yahoo.com
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Waterfront Consulting, Inc. Home () _____
2589 Quality Court, Ste. 323 Work (757) 425-8244
Virginia Beach, VA 23454 Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove the existing riprap rubble, (11) salt bush, pier, gangway, and floating pier, construct approximately 148 LF of granite quarry stone riprap revetment in the same footprint, construct a 16'x24' pier, install a 8'x64' floating pier with gangway, and install a four pile boat lift as shown in the permit drawings.

The pier will use (12) 8" timber piles, the float will use (3) 10" timber piles, and the boat lift will use (4) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on land or barge.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 818 Close Avenue _____

Lot/Block/Parcel# Lot D-1, Block 53, Shadow Lawn Heights _____

Subdivision Shadow Lawn _____

City / County Virginia Beach _____ ZIP Code 23451 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.82820 / - 75.98263 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is to replace the existing revetment with a properly constructed revetment.

The secondary purpose of the project is recreational boating access.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
A living shoreline was not considered at the site due the proximity of the City SSD channel to the existing revetment and the proximity of the existing house and deck to the shoreline. A living shoreline would not be conducive at this site and would not have the proper area to achieve the slope necessary to function. Therefore, replacing the existing riprap with a revetment that is constructed properly with filter fabric is proposed. There are (11) salt bush that are in the footprint of the revetment that would need to be removed for proper placement of the filter fabric. There will also be 542 SF of rock on rock NVW impacts that are self mitigating. Also, the proposed float will sit on mud flats during low tide. Approximately 430 SF of float will have NVW impacts. All impacts needing mitigated will be compensated for with an in-lieu fee.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 120,000.00
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 20,000.00
13. Completion date of the proposed work: Approximately 1 year from permit date - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Peter M. Cummings, Jr.
City of Virginia Beach
Dwayne L. Ross

600 Ala Moana Blvd, Apt. 2603
2401 Courthouse Drive
305 Twilight Lane

Honolulu, HI 96813
Virginia Beach, VA 23456
Virginia Beach, VA 23451

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

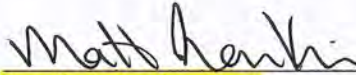
PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

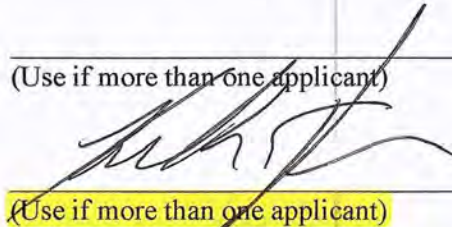
Matthew D. Rankin & Heather M. St. John

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature


(Use if more than one applicant)

8/2/22

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Matthew D. Rankin & Heather M. St. John, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

August 1, 2022

(Date)

Matthew Rankin

(Applicant's Signature)

(Use if more than one applicant)

8/2/22

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Matthew D. Rankin & Heather M. St. John, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The proposed project involves the construction of a 16'x24' open pile timber pier with a gangway to a 8'x64' floating pier. This project will include a boat lift.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes ___ No

If yes, will it be removed? Yes ___ No

Is your lot platted to the mean low water shoreline? Yes ___ No

What is the overall length of the proposed structure? 24 feet.

Channelward of Mean High Water? 22 feet.

Channelward of Mean Low Water? 5 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 667 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 75 square feet.

What is the total size of any and all L- or T-head platforms? 500 sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? ___ Yes ___ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

This project proposes 148 LF of quarry stone rip rap revetment. The existing rubble will be removed.

2. What is the maximum encroachment channelward of mean high water? 5 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 11 square feet
 - Non-vegetated wetlands 542 square feet
 - Subaqueous bottom 0 square feet
 - Dune and/or beach square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 818 Close Avenue

APPLICANT'S NAME: Matthew D. Rankin & Heather M. St. John

APPLICANT'S ADDRESS: 818 Close Avenue

Virginia Beach, VA 23451

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Riprap, Pier, Floating Pier, & Boat Lift

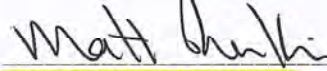
AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.


SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

9/19/22
DATE

Sean E. Green, P.E.
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION


SIGNATURE OF APPLICANT

9/2/22
DATE

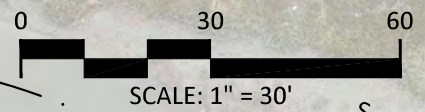
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

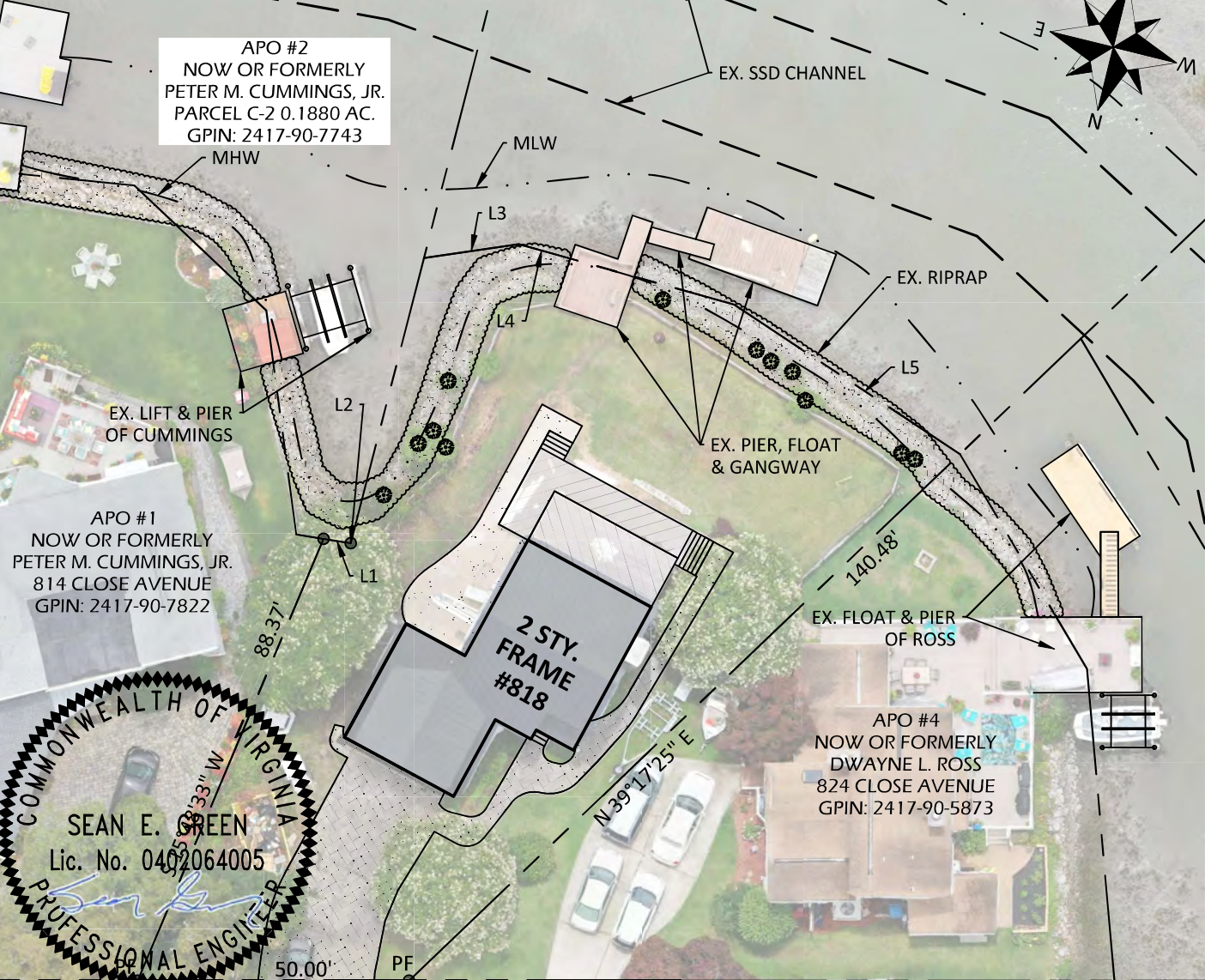
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

APO #3
 NOW OR FORMERLY
 CITY OF VIRGINIA BEACH
 1.002 AC MORE OR LESS
 GPIN: 2417-90-7608



APO #2
 NOW OR FORMERLY
 PETER M. CUMMINGS, JR.
 PARCEL C-2 0.1880 AC.
 GPIN: 2417-90-7743



APO #1
 NOW OR FORMERLY
 PETER M. CUMMINGS, JR.
 814 CLOSE AVENUE
 GPIN: 2417-90-7822

APO #4
 NOW OR FORMERLY
 DWAYNE L. ROSS
 824 CLOSE AVENUE
 GPIN: 2417-90-5873



Sean E. Green
 Digitally signed by: Sean E. Green
 Date: 2022.09.19 14:45:33 -05'00'

LINE TABLE		
L1	N 87°51'05" W	5.07'
L2	S 07°24'22" W	54.28'
L3	S 74°43'48" W	17.70'
L4	N 81°18'30" W	41.14'
L5	N 63°30'36" W	49.95'

EXISTING CONDITIONS
 CLOSE AVENUE
 50' RIGHT-OF-WAY
 REF: M.B. 93, PG. 21

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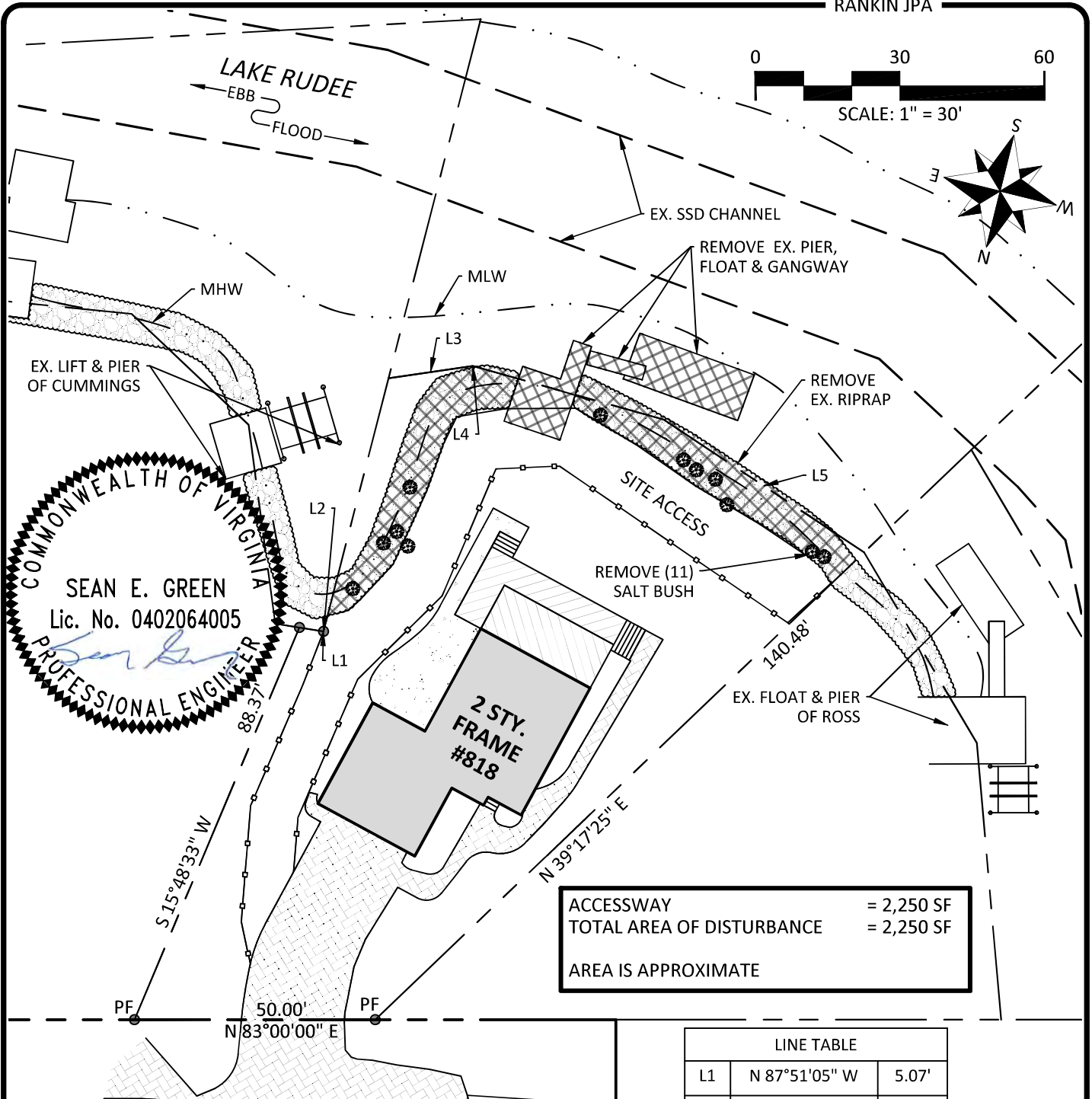
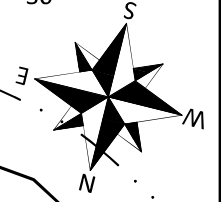
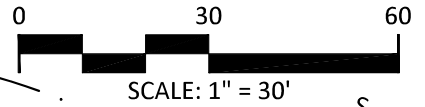
PURPOSE: MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. PETER M. CUMMINGS, JR.
 2. PETER M. CUMMINGS, JR.
 3. CITY OF VIRGINIA BEACH
 4. DWAYNE L. ROSS

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: PIER, FLOAT, GANGWAY,
 BOAT LIFT, & RIPRAP
 IN: LAKE RUDEE
 AT: 818 CLOSE AVENUE
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 1 OF 9
 DATE: AUGUST 1, 2022

REV:



COMMONWEALTH OF VIRGINIA
SEAN E. GREEN
 Lic. No. 0402064005
 PROFESSIONAL ENGINEER

ACCESSWAY = 2,250 SF
 TOTAL AREA OF DISTURBANCE = 2,250 SF
 AREA IS APPROXIMATE

LINE TABLE		
L1	N 87°51'05" W	5.07'
L2	S 07°24'22" W	54.28'
L3	S 74°43'48" W	17.70'
L4	N 81°18'30" W	41.14'
L5	N 63°30'36" W	49.95'

SITE ACCESS & DEMOLITION

CLOSE AVENUE
 50' RIGHT-OF-WAY
 REF: M.B. 93, PG. 21

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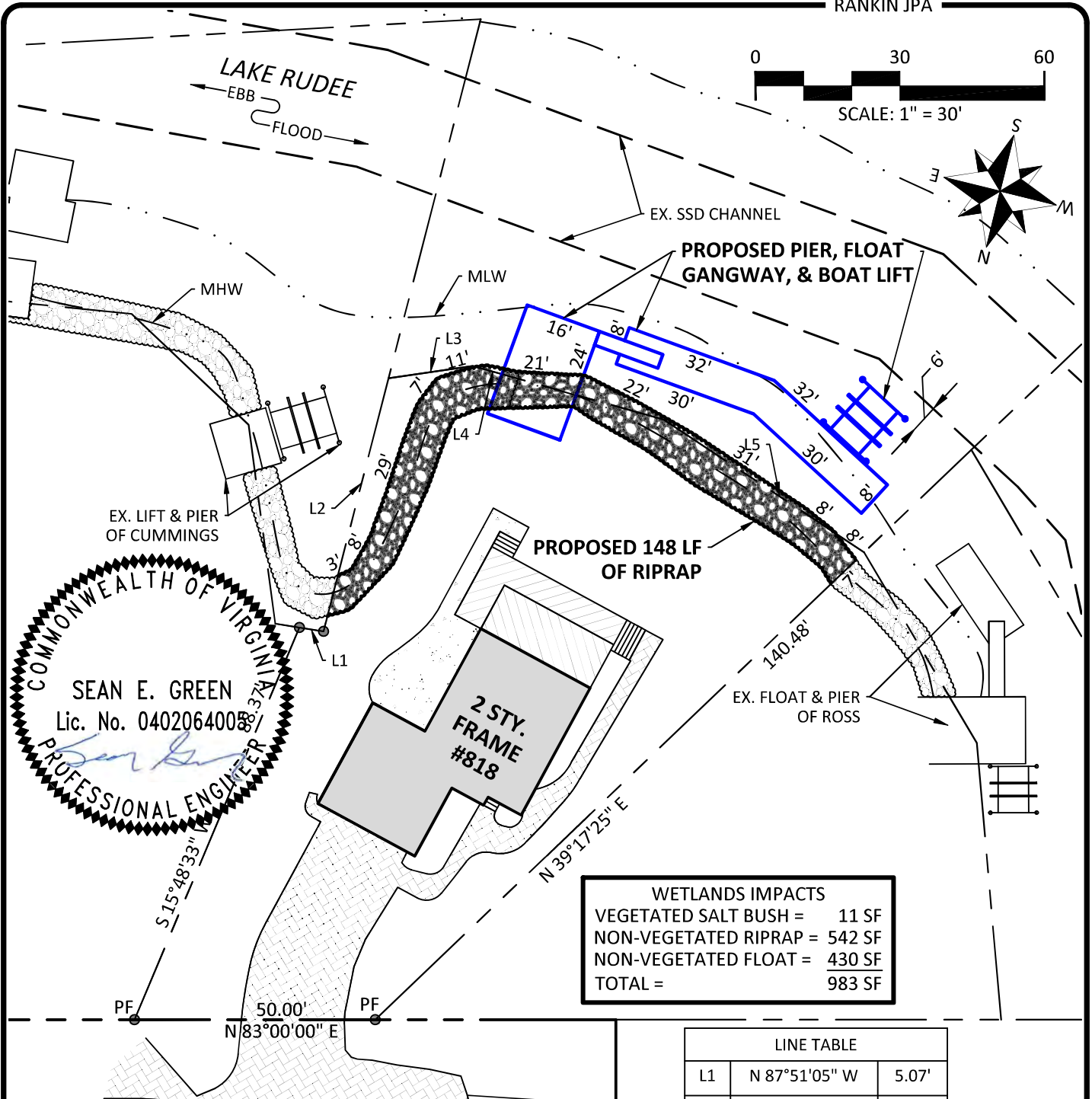
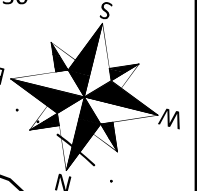
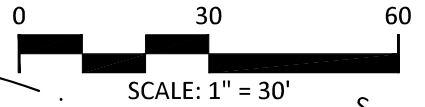
- PURPOSE: MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
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 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 2 OF 9
 DATE: AUGUST 1, 2022

REV:



COMMONWEALTH OF VIRGINIA
 SEAN E. GREEN
 Lic. No. 0402064008
 PROFESSIONAL ENGINEER

WETLANDS IMPACTS	
VEGETATED SALT BUSH =	11 SF
NON-VEGETATED RIPRAP =	542 SF
NON-VEGETATED FLOAT =	430 SF
TOTAL =	983 SF

LINE TABLE		
L1	N 87°51'05" W	5.07'
L2	S 07°24'22" W	54.28'
L3	S 74°43'48" W	17.70'
L4	N 81°18'30" W	41.14'
L5	N 63°30'36" W	49.95'

PROPOSED SITE IMPROVEMENTS CLOSE AVENUE
 50' RIGHT-OF-WAY
 REF: M.B. 93, PG. 21

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WATERFRONT CONSULTING, INC.

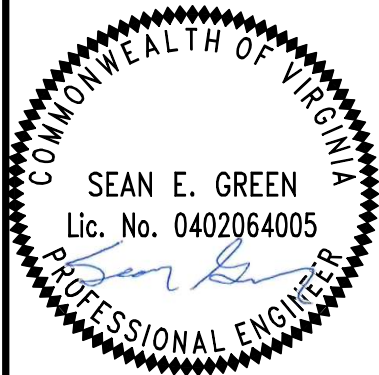
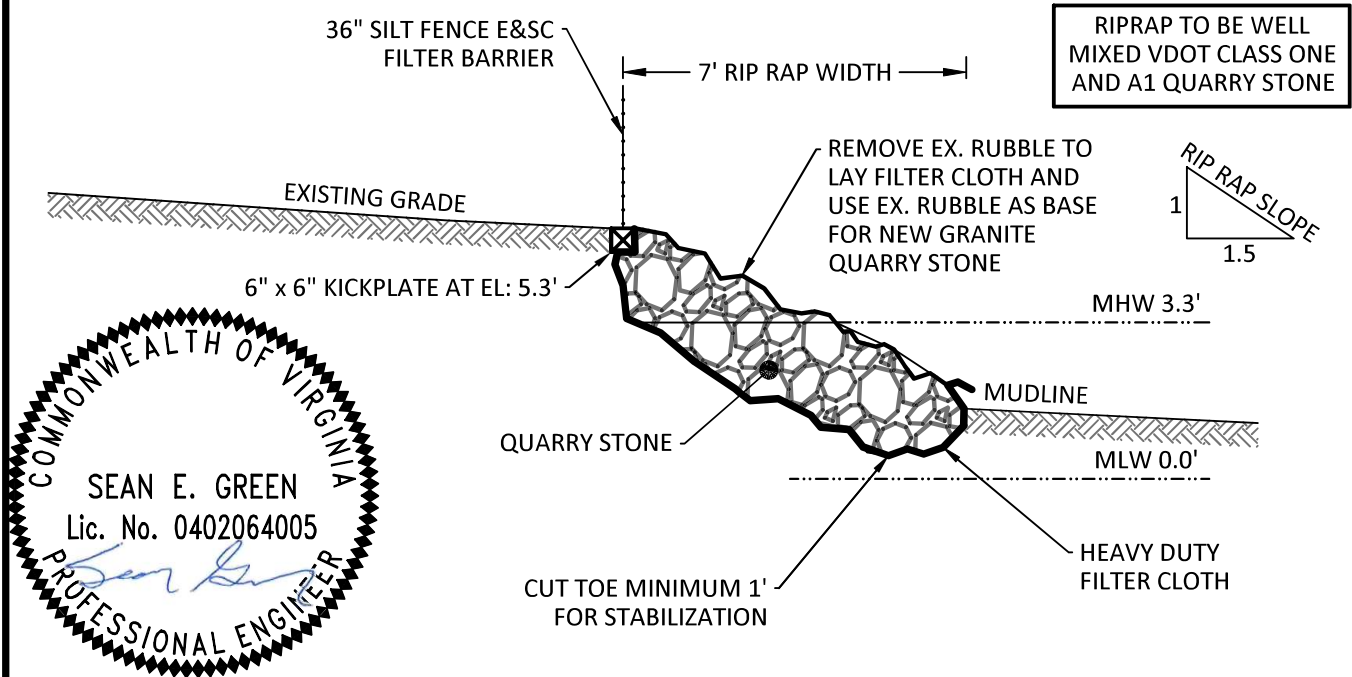
2589 QUALITY COURT, SUITE 323
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 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 3 OF 9
 DATE: AUGUST 1, 2022

REV:

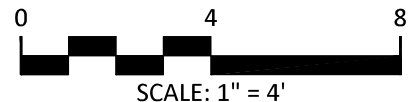
PROPOSED RIPRAP CROSS SECTION



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
3. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**WATERFRONT
 CONSULTING, INC.**

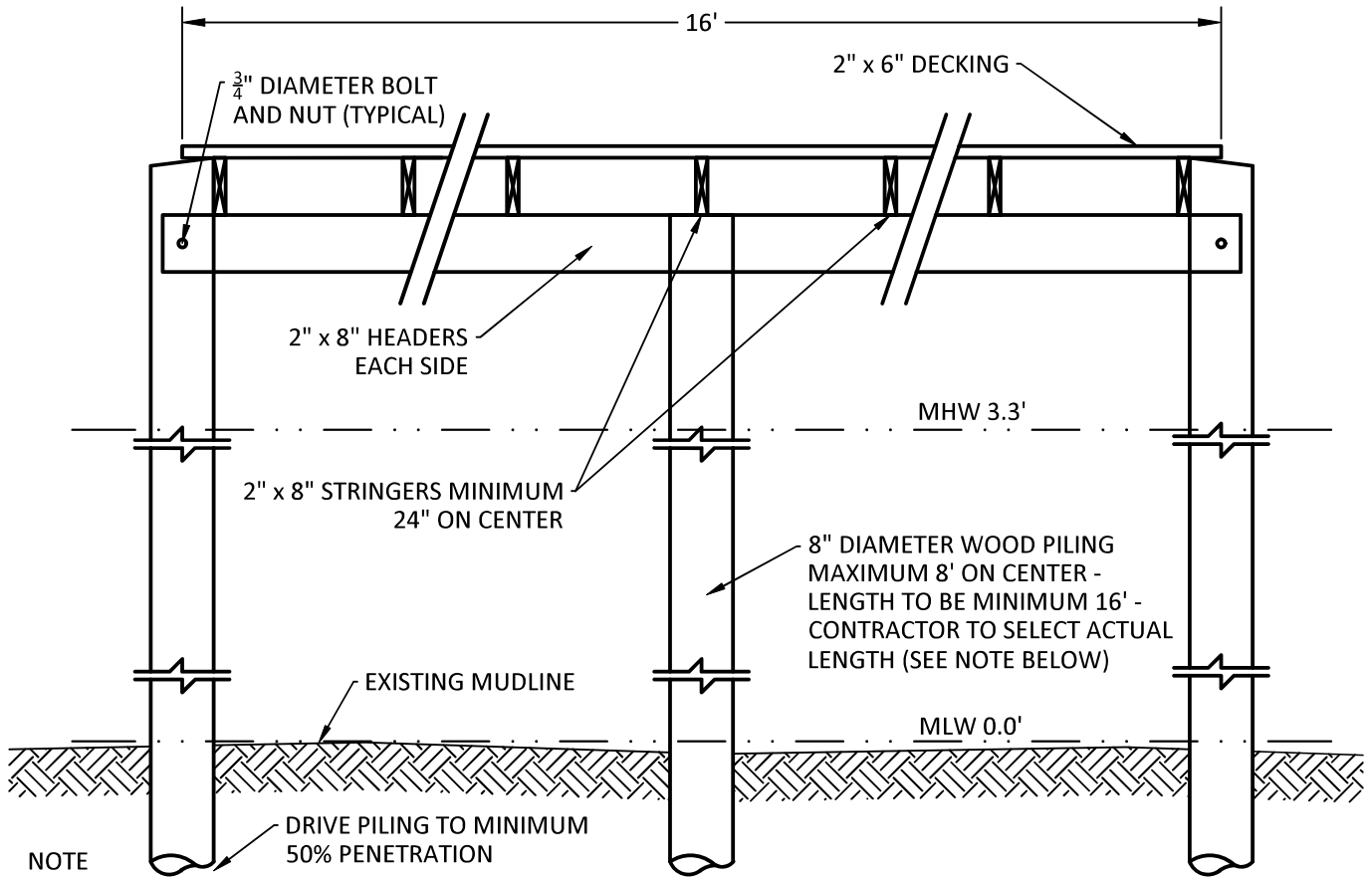
2589 QUALITY COURT, SUITE 323
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ENGINEERING SERVICES PROVIDED BY:
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 (330) 883-2117

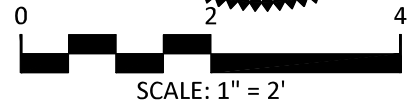
PROPOSED: PIER, FLOAT, GANGWAY,
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 IN: LAKE RUDEE
 AT: 818 CLOSE AVENUE
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 4 OF 9
 DATE: AUGUST 1, 2022

REV:

PROPOSED PIER CROSS SECTION



1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.



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2. PETER M. CUMMINGS, JR.
3. CITY OF VIRGINIA BEACH
4. DWAYNE L. ROSS

REV:



**WATERFRONT
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2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
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 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 5 OF 9
 DATE: AUGUST 1, 2022

NLAA COMPLIANCE

ITEM	8" PILE	10" PILE	12" PILE		
PIER	12				
FLOAT		3			
BOAT LIFT		4			

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER



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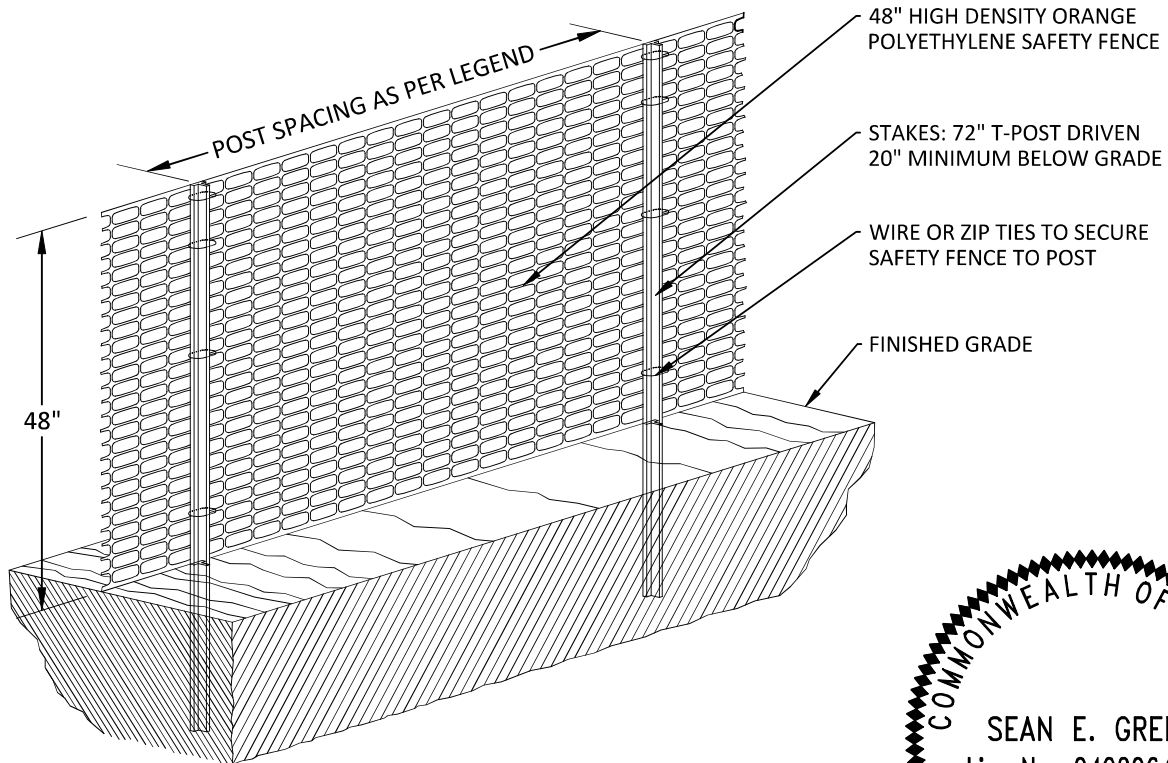
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 AT: 818 CLOSE AVENUE
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 6 OF 9
 DATE: AUGUST 1, 2022

REV:

48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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2589 QUALITY COURT, SUITE 323
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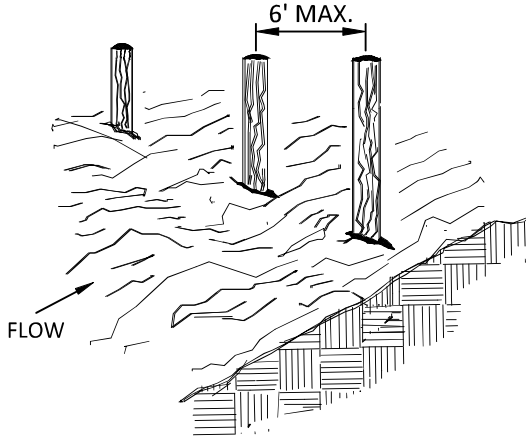
ENGINEERING SERVICES PROVIDED BY:
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 (330) 883-2117

PROPOSED: PIER, FLOAT, GANGWAY,
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 AT: 818 CLOSE AVENUE
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 7 OF 9
 DATE: AUGUST 1, 2022

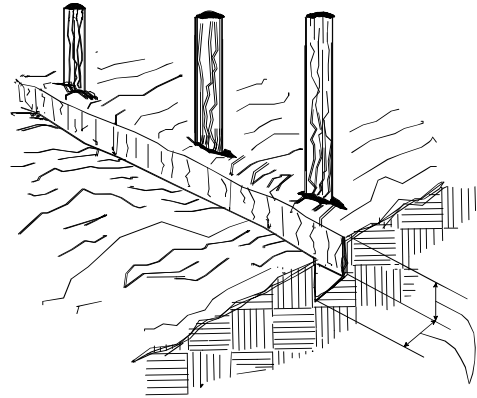
REV:

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

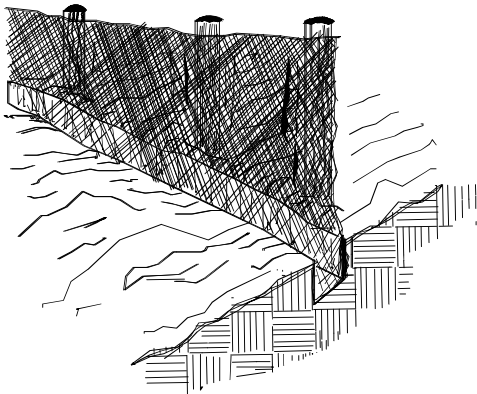
1. SET THE STAKES



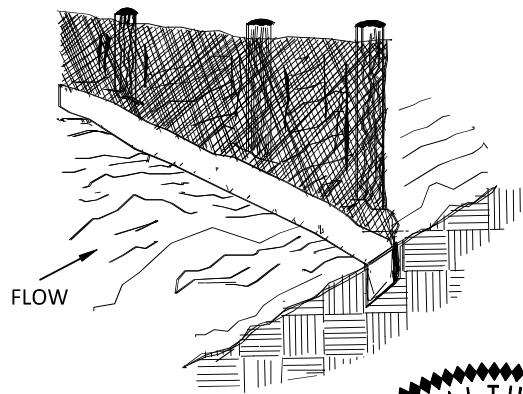
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH

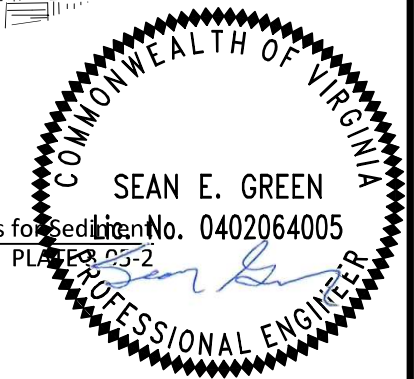


4. BACKFILL AND COMPACT THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant



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PURPOSE: MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. PETER M. CUMMINGS, JR.
 2. PETER M. CUMMINGS, JR.
 3. CITY OF VIRGINIA BEACH
 4. DWAYNE L. ROSS



**WATERFRONT
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 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: PIER, FLOAT, GANGWAY,
 BOAT LIFT, & RIPRAP
 IN: LAKE RUDEE
 AT: 818 CLOSE AVENUE
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 8 OF 9
 DATE: AUGUST 1, 2022

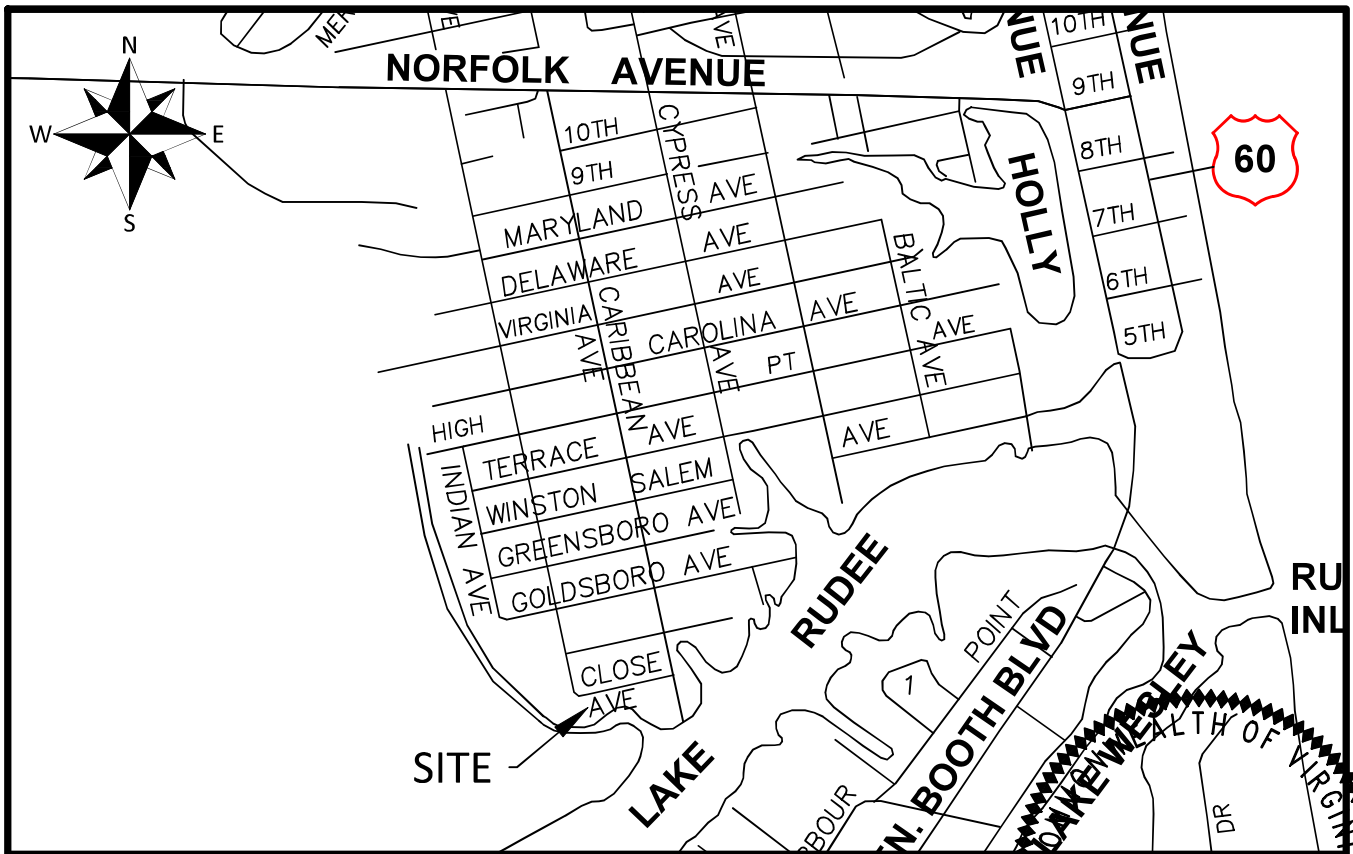
REV:

SITE INFORMATION

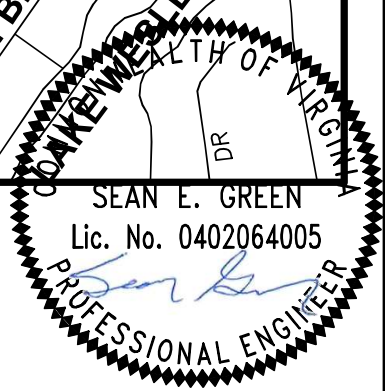
LEGAL DESCRIPTION: LOT D-1, BLOCK 53, SHADOW LAWN HEIGHTS
 REFERENCE: MAP BOOK 93, PAGE 21, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: 2417-90-6729
 ZONING: R5S-RESIDENTIAL

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP



© 2022 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED

PURPOSE: MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. PETER M. CUMMINGS, JR.
 2. PETER M. CUMMINGS, JR.
 3. CITY OF VIRGINIA BEACH
 4. DWAYNE L. ROSS

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
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 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 MATTHEW D. RANKIN
 SHEET: 9 OF 9
 DATE: AUGUST 1, 2022

REV:

5. 2022-WTRA-00207

Timothy D. Siviter

[Applicant & Owner]

To construct rip rap revetment involving wetlands

2220 Leeward Shore Drive

(GPIN 2409-19-8659)

Waterway – Long Creek

Subdivision – Bay Island

City Council District: District 8, formerly Lynnhaven



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Timothy D. Siviter

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Waterfront Consulting, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

"Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc. and Stone Greene Consulting, LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am **responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

44DF874D98E84EE...
Applicant Signature

Timothy D. Siviter

Print Name and Title

8/30/2022

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ- VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Long Creek</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Timothy D. Siviter
1101 Vintage Court
Viginia Beach, VA 23454-2478

Home () _____
Work (757) _____
Fax () _____
Cell (757) 439-1960
e-mail tsiviter@icloud.com

State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable):

Waterfront Consulting, Inc.
2589 Quality Court, Ste. 323
Virginia Beach, VA 23454

Contact Information:
Home () _____
Work (757) 425-8244
Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net

State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to place approximately 59 LF of quarry stone rip-rap along the existing, eroded bank, construct a private open pile with a four pile boat lift and (2) PWC lifts, and install (2) mooring piles as shown in the permit drawings.

The pier will use (38) 8" timber piles, the boat lift will use (4) 10" timber piles, each PWC lift will use (1) 10" timber piles, and there will be (2) 10" timber mooring piles that will be driven via a vibratory hammer mounted to an excavator on a barge.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 2220 Leeward Shore Drive (GPIN 2409-19-8659)

Lot/Block/Parcel# 0.48 Acres on Leeward Shore Drive

Subdivision Bay Island

City / County Virginia Beach ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.909 / -76.041 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of the project is shoreline stabilization.

The secondary purpose is recreational boating access.

Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

A living shoreline was not considered due to the existing tree coverage and shallow nature of the backyard with the proposed development. The impacts are NVW rip-rap on NVW beach area so all impacts are self mitigating.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ _____

Approximate cost of that portion of the project that is channelward of mean low water:

\$ _____

13. Completion date of the proposed work: Approximately 1 year from permit date - _____

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Harold L. Davidson

2224 Leeward Shore Drive

Virginia Beach, VA 23451

Richard L. Lewis

2216 Leeward Shore Drive

Virginia Beach, VA 23451

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

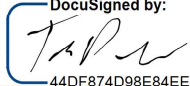
CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Timothy D. Siviter

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:

44DF874D98E84EE

Applicant's Signature

(Use if more than one applicant)

8/30/2022

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Timothy D. Siviter, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent’s Signature)

(Use if more than one agent)

(Date)

DocuSigned by:



44DF874B998E84EE

(Applicant’s Signature)

(Use if more than one applicant)

8/30/2022

(Date)

3. Applicant’s having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Timothy D. Siviter, have contracted _____
(Applicant’s legal name(s)) (Contractor’s name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor’s name or name of firm

Contractor’s or firms address

Contractor’s signature and title

Contractor’s License Number

Applicant’s signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The project is to construct a private open pile with a four pile boat lift and (2) PWC lifts and install (2) mooring piles as shown in the permit drawings.

2. For private, noncommercial piers:

Do you have an existing pier on your property? ____ Yes No

If yes, will it be removed? ____ Yes ____ No

Is your lot platted to the mean low water shoreline? Yes ____ No

What is the overall length of the proposed structure? 120 feet.

Channelward of Mean High Water? 108 feet.

Channelward of Mean Low Water? 98 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 42 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 710 square feet.

What is the total size of any and all L- or T-head platforms? 220 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides? ____ Yes ____ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

- Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

THE PROPOSED PROJECT INCLUDES THE PLACEMENT OF 59 LF OF QUARRY STONE RIP RAP REVETMENT ALONG THE EXISTING, ERODED BANK. THERE WILL BE 55 SF OF NON VEGETATED WETLANDS IMPACTS.

- What is the maximum encroachment channelward of mean high water? 0 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? 2 feet.
- Please calculate the square footage of encroachment over:
 - Vegetated wetlands 0 square feet
 - Non-vegetated wetlands 55 square feet
 - Subaqueous bottom 0 square feet
 - Dune and/or beach 0 square feet
- For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2220 Leeward Shore Drive

APPLICANT'S NAME: Timothy D. Siviter

APPLICANT'S ADDRESS: 1101 Vintage Court

Virginia Beach, VA 23454-2478

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: Rip-rap, Pier, PWC Lifts, Mooring Piles and Boat Lift

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



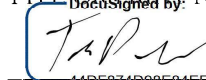
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

9/15/22

DATE

Sean E. Green, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

8/30/2022

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

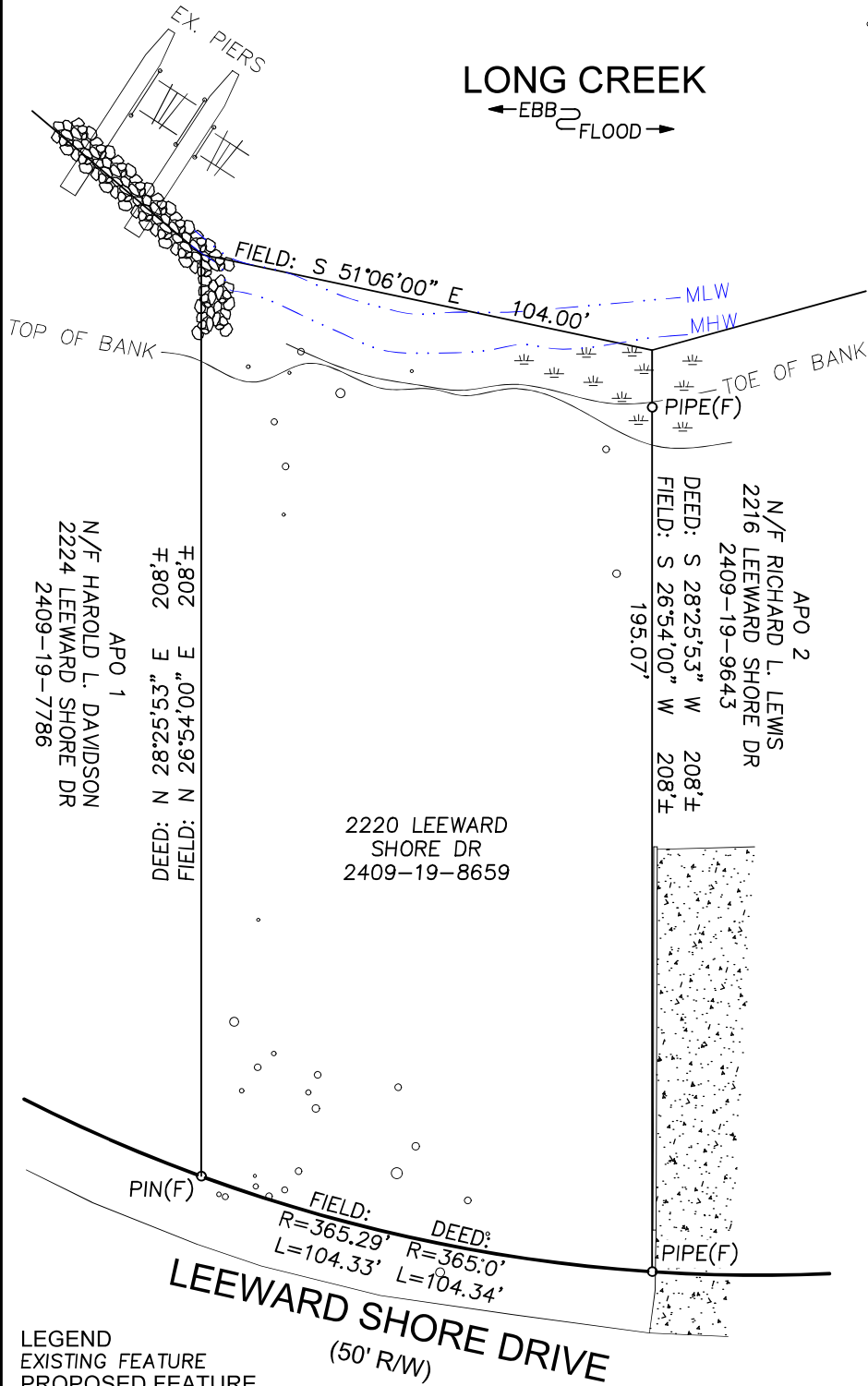
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

THIS PLAN IS BASED ON MLW = 0.0'
 THE SITE ELEVATIONS WERE
 ESTABLISHED VIA RTK GPS ON THE
 TOPNET REFERENCE NETWORK.

REF: D.B. 1065, PG. 25



EX. PIER

Sean E. Green
 Lic. No. 0402064005
 PROFESSIONAL ENGINEER

Digitally signed by: Sean E. Green
 Date: 2022.09.15 13:49:28 -05'00'

Green
EXISTING SITE
CONDITIONS

0 40' 80'
 1" = 40'

PURPOSE: EROSION CONTROL & BOATING ACCESS
DATUM: MLW 0.0
A.P.O.
1. HAROLD L. DAVIDSON
2. RICHARD L. LEWIS

REV:

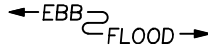
WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
 ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: RIP-RAP, PIER, BOAT LIFT, & PWC LIFTS
IN: LONG CREEK
AT: 2220 LEEWARD SHORE DRIVE VIRGINIA BEACH, VA 23451
APPLICATION BY: TIMOTHY SIVITER
SHEET 1 OF 9
DATE: AUGUST 26, 2022

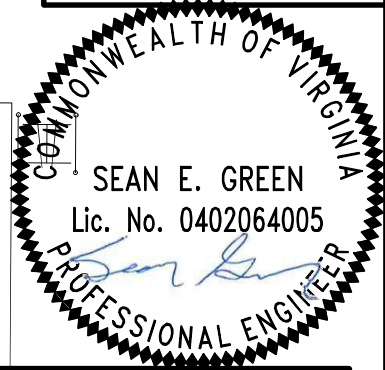
REF: D.B. 1065, PG. 25

THIS PLAN IS BASED ON MLW = 0.0'
THE SITE ELEVATIONS WERE
ESTABLISHED VIA RTK GPS ON THE
TOPNET REFERENCE NETWORK.

LONG CREEK



REMOVE (1) 18" PINE AND (1) 8" LIVE OAK
FOR INSTALLATION OF PROPOSED
RIP-RAP. ALL MATERIALS TO BE
DELIVERED AND INSTALLED VIA BARGE.
IF REQUIRED, SITE ACCESS FOR
MATERIALS OVER LAND WILL BE UP THE
EAST SIDE OF PROPERTY

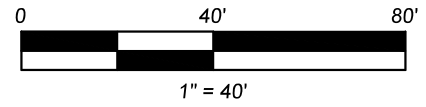


**EROSION & SEDIMENT CONTROL
LEGEND**

(SAF) TEMPORARY PLASTIC
SAFETY FENCE
STANDARD & SPEC.
3.01

REFER TO VIRGINIA EROSION AND
SEDIMENT CONTROL HANDBOOK,
THIRD EDITION, 1992.

SITE ACCESS & DEMOLITION



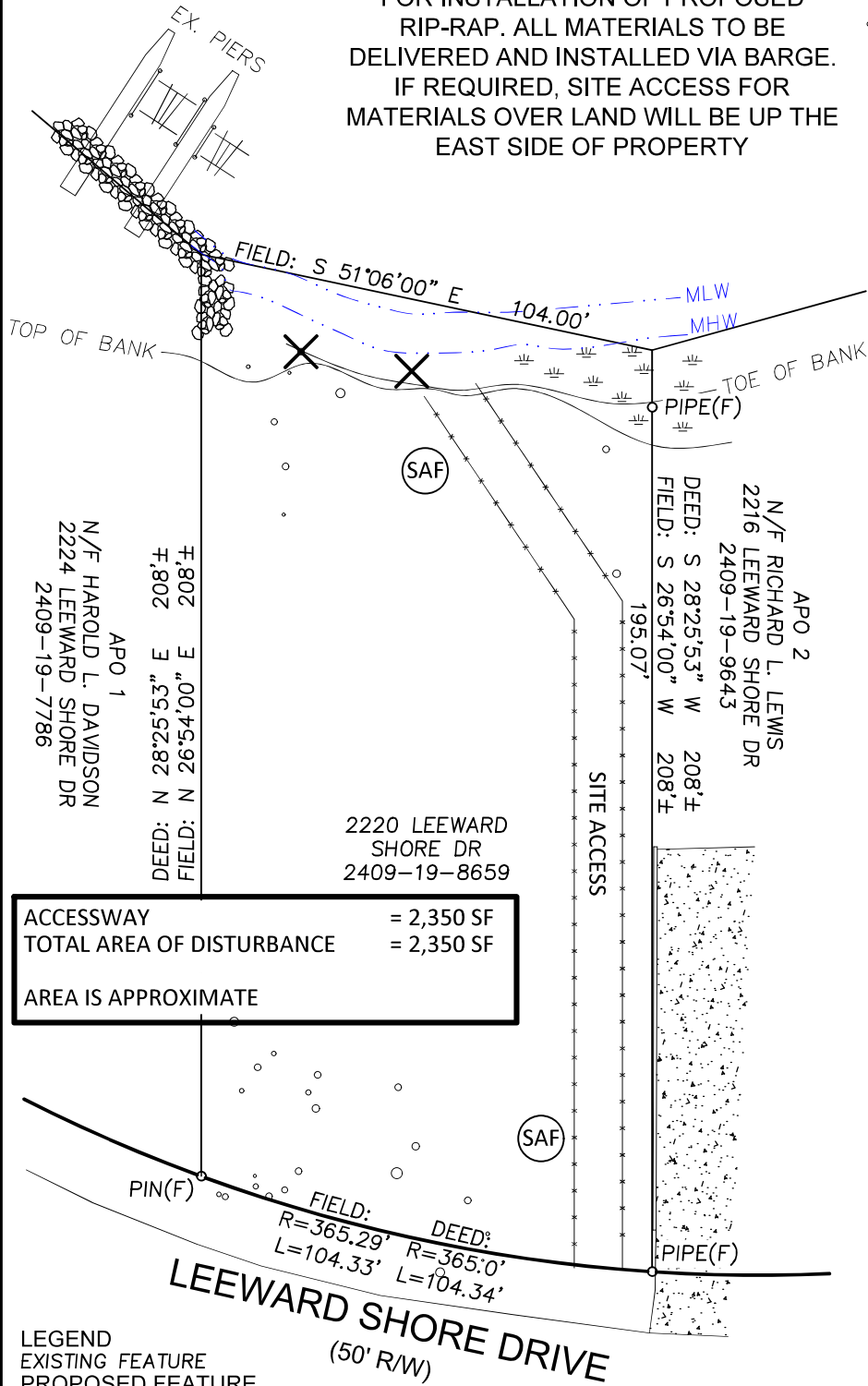
**PURPOSE: EROSION CONTROL &
BOATING ACCESS**
DATUM: MLW 0.0
A.P.O.
1. HAROLD L. DAVIDSON
2. RICHARD L. LEWIS

REV:

**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302
ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
4014 MEDINA ROAD #1015, AKRON, OH 44333
(330) 883-2117

**PROPOSED: RIP-RAP, PIER, BOAT
LIFT, & PWC LIFTS**
IN: LONG CREEK
AT: 2220 LEEWARD SHORE DRIVE
VIRGINIA BEACH, VA 23451
APPLICATION BY:
TIMOTHY SIVITER
SHEET 2 OF 9
DATE: AUGUST 26, 2022

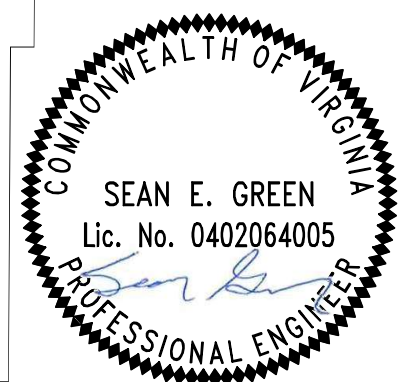
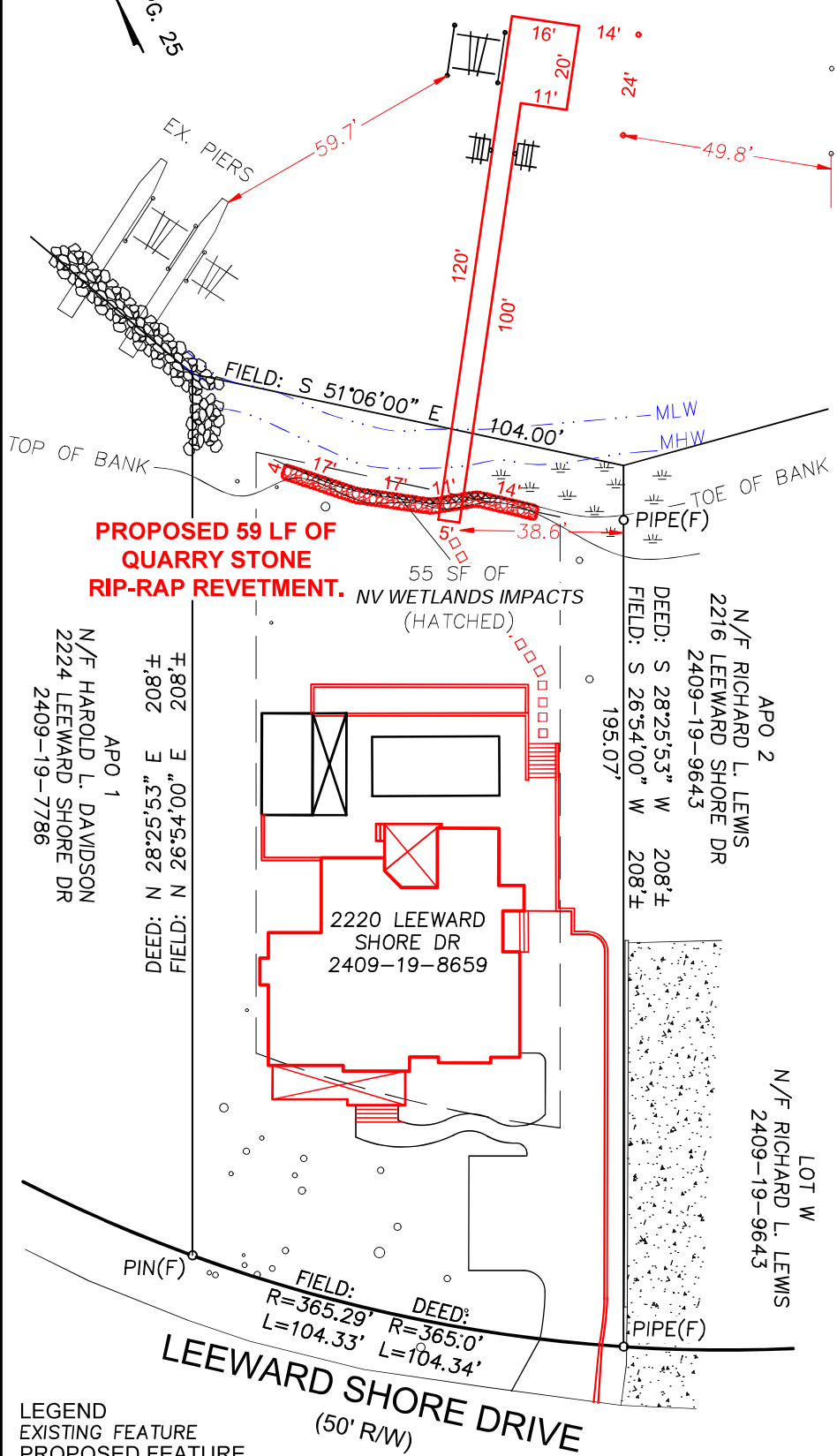


LEGEND
EXISTING FEATURE
PROPOSED FEATURE

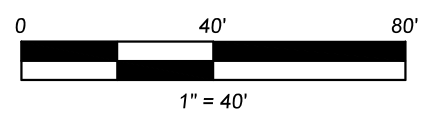
THIS PLAN IS BASED ON MLW = 0.0'
 THE SITE ELEVATIONS WERE
 ESTABLISHED VIA RTK GPS ON THE
 TOPNET REFERENCE NETWORK.

LONG CREEK MLW WIDTH OF LONG CREEK AT SITE 350'±

**PROPOSED
 L-HEAD PIER, FOUR PILE BOAT LIFT, (2) MOORING
 PILES, AND (2) PWC LIFTS. ALL LIFTS TO BE
 INSTALLED PER ANUFACTURER'S SPECIFICATIONS.**



PROPOSED SITE IMPROVEMENTS



PURPOSE: EROSION CONTROL & BOATING ACCESS
DATUM: MLW 0.0
A.P.O.
1. HAROLD L. DAVIDSON
2. RICHARD L. LEWIS

REV:

WCI WATERFRONT CONSULTING, INC.

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IN: LONG CREEK
AT: 2220 LEEWARD SHORE DRIVE VIRGINIA BEACH, VA 23451
APPLICATION BY: TIMOTHY SIVITER
SHEET 3 OF 9
DATE: AUGUST 26, 2022

LEGEND
 EXISTING FEATURE
 PROPOSED FEATURE

SITE DATA

LEGAL DESCRIPTION: 0.48 ACRES ON LEEWARD SHORE DRIVE
REF: DEED BOOK 1065, PAGE 25, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
GPIN: 2409-19-8659
ZONING: R-20 RESIDENTIAL

SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)
PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre



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PURPOSE: EROSION CONTROL & BOATING ACCESS

DATUM: MLW 0.0

A.P.O.

1. HAROLD L. DAVIDSON

2. RICHARD L. LEWIS

REV:



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PROPOSED: RIP-RAP, PIER, BOAT LIFT, & PWC LIFTS

IN: LONG CREEK

AT: 2220 LEEWARD SHORE DRIVE

VIRGINIA BEACH, VA 23451

APPLICATION BY:

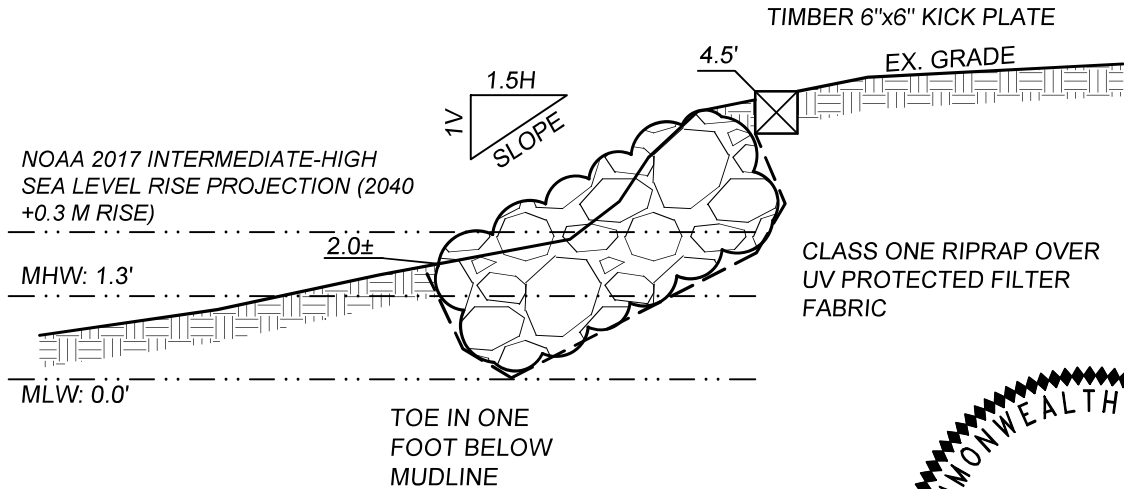
TIMOTHY SIVITER

SHEET 4 OF 9

DATE: AUGUST 26, 2022

CROSS SECTION PROPOSED RIPRAP

SCALE 1" = 3'



NOTES:

1. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
2. NO BACKFILL LANDWARD OF THE PROPOSED KICKPLATE.
3. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.
4. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.
5. NOAA 2017 INTERMEDIATE-HIGH SEA LEVEL RISE PROJECTION SHOWN ABOVE IN ACCORDANCE WITH VIRGINIA MARINE RESOURCES COMMISSION 'TIDAL WETLANDS GUIDELINES' DEVELOPED PURSUANT TO CHAPTER 13 TITLE 28.2, CODE OF VIRGINIA.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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**PURPOSE: EROSION CONTROL &
BOATING ACCESS**

DATUM: MLW 0.0

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APPLICATION BY:

TIMOTHY SIVITER

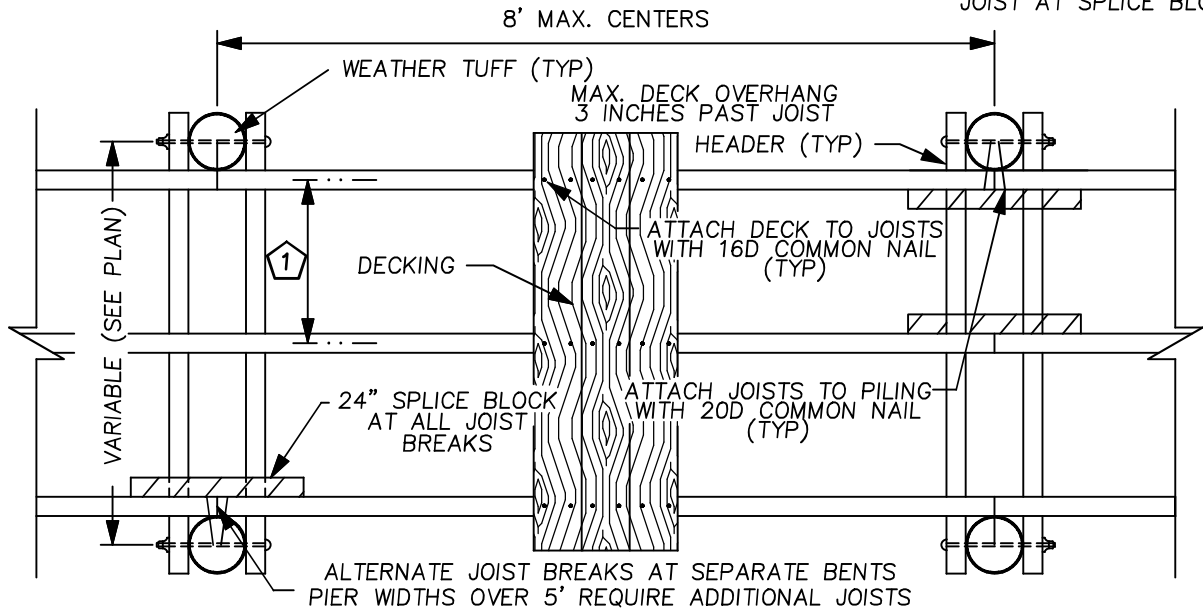
SHEET 5 OF 9

DATE: AUGUST 26, 2022

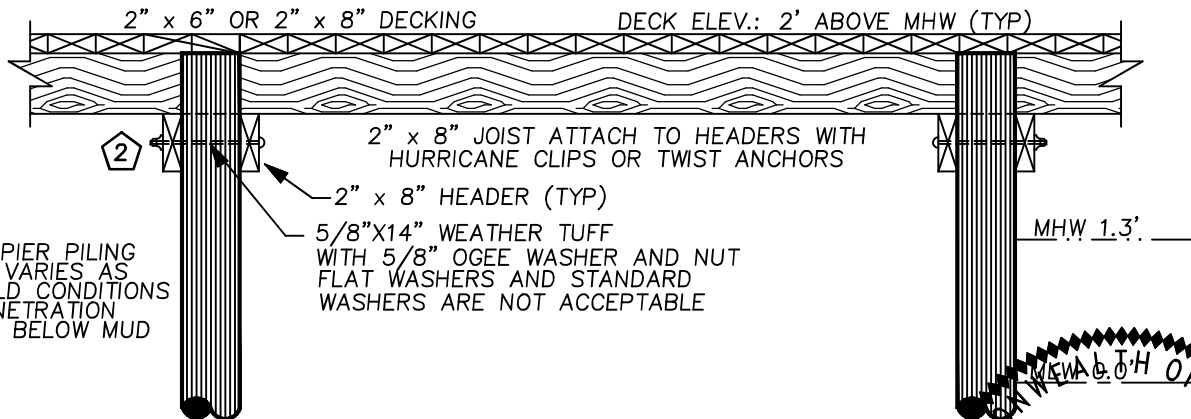
PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



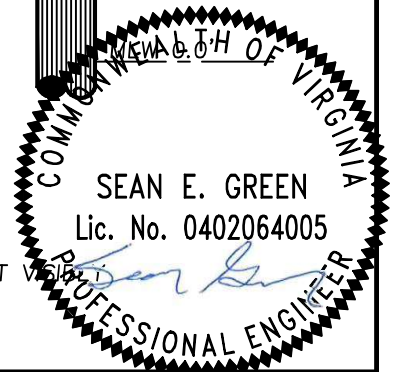
8" DIA. PIER PILING
LENGTH VARIES AS
PER FIELD CONDITIONS
50% PENETRATION
MINIMUM BELOW MUD

MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF
 HEADERS AND JOISTS: C.C.A. 0.6 PCF
 DECKING: CCA 0.4 PCF
 ALL WOOD TO BE GRADE 2 OR BETTER.
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLE
 APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.

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PURPOSE: EROSION CONTROL & BOATING ACCESS

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SHEET 6 OF 9
DATE: AUGUST 26, 2022

NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
PIER	38					
BOAT LIFT		4				
PWC LIFT		1 (EACH)				
MOORING PILES		2				

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.
 BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.

<p>NOTICE</p> <p>BEFORE YOU DIG, CALL MISS UTILITY 1-800-552-7001 or 811 FOR LOCATIONS OF EXISTING UTILITIES.</p>	<p>WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.</p> 
--	---



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PURPOSE: EROSION CONTROL & BOATING ACCESS
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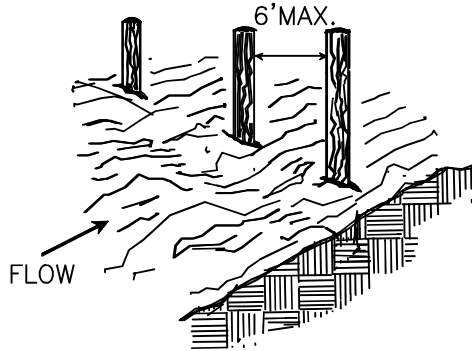
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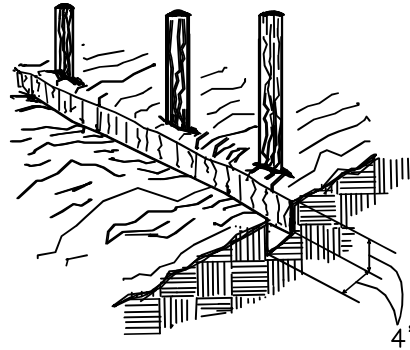
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APPLICATION BY: TIMOTHY SIVITER
SHEET 7 OF 9
DATE: AUGUST 26, 2022

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

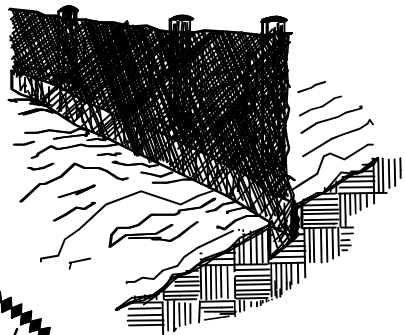
1. SET THE STAKES.



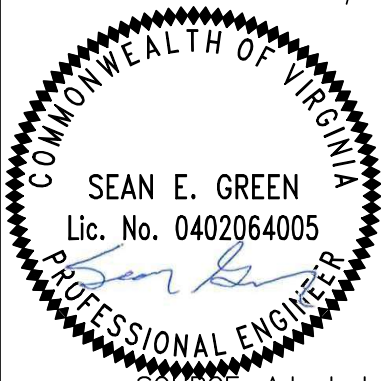
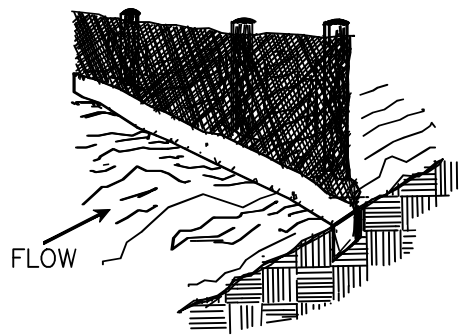
2. EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE. 3.05-2

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

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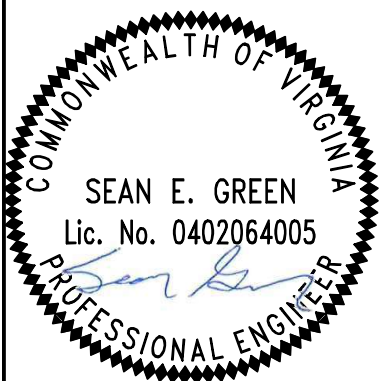
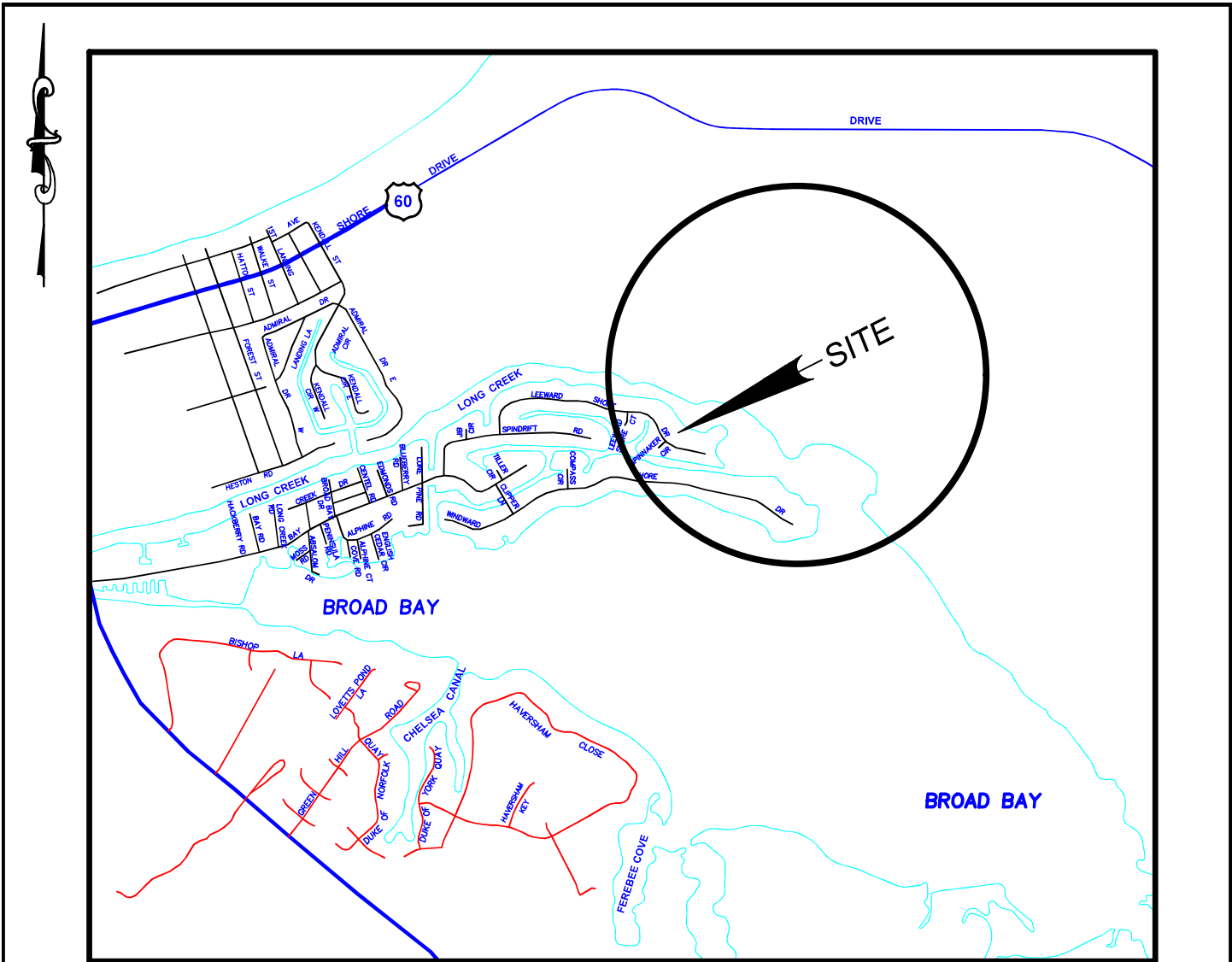
REV:



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SHEET 8 OF 9
DATE: AUGUST 26, 2022



LOCATION MAP

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APPLICATION BY: TIMOTHY SIVITER
SHEET 9 OF 9
DATE: AUGUST 26, 2022

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: _____ DSC Plan # : _____

Location: 2220 Leeward Shore Drive GPIN: 2409-19-8659

Watershed: _____ HUC: _____

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: Timothy D. Siviter

Signature of Permittee: _____ Print Name: _____

Date: 8/30/2022



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

September 1, 2022

Harold L. Davidson
2224 Leeward Shore Drive
Virginia Beach, VA 23451

**Re: Proposed Rip-rap, Pier, PWC Lifts, Mooring Piles and Boat Lift
Located at 2220 Leeward Shore Drive, Virginia Beach, VA 23451 (GPIN 2409-19-8659)**

Dear Harold L. Davidson

This letter is to notify you that your neighbors, Timothy D. Siviter have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Harold L. Davidson, own land next to (across the water
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Timothy D. Siviter.
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated February 6, 2020
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner’s signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

September 1, 2022

Richard L. Lewis
2216 Leeward Shore Drive
Virginia Beach, VA 23451

**Re: Proposed Rip-rap, Pier, PWC Lifts, Mooring Piles and Boat Lift
Located at 2220 Leeward Shore Drive, Virginia Beach, VA 23451 (GPIN 2409-19-8659)**

Dear Richard L. Lewis

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Part 2 – Signatures (continued)

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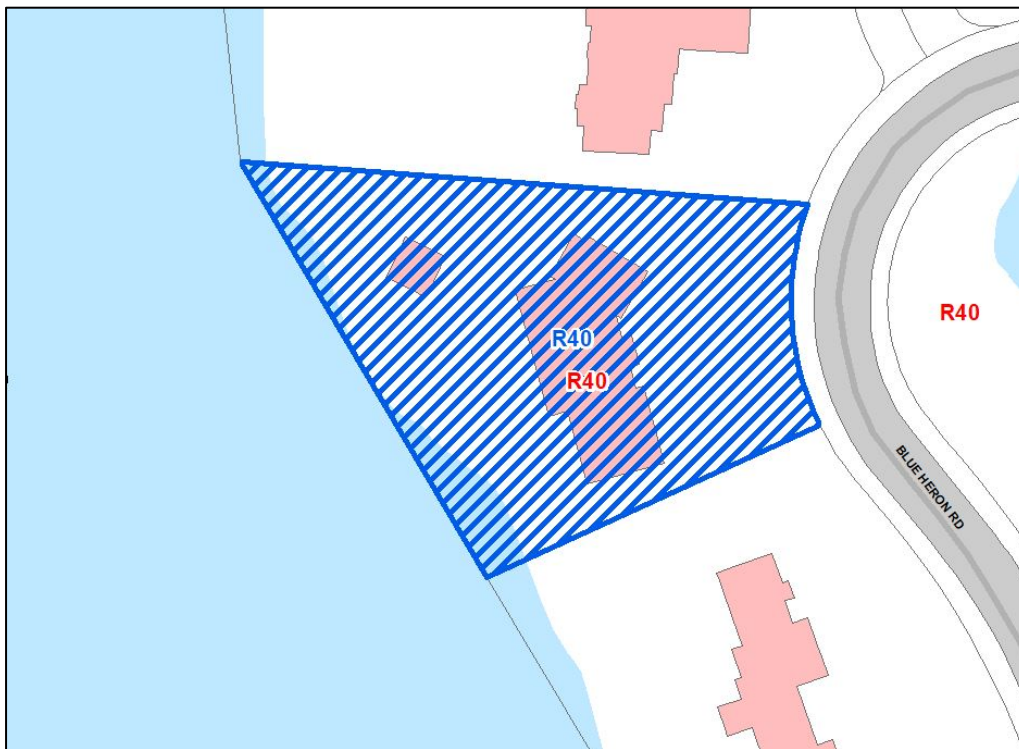
Date

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6. 2022-WTRA-00208
Gordon Family Trust
[Applicant & Owner]

To construct a bulkhead and return wall involving wetlands
1413 Blue Heron Road
(GPIN 1498-58-3694)

Waterway – Eastern Branch of Lynnhaven River
Subdivision – Shorehaven
City Council District: District 8, formerly Lynnhaven



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Gordon Family Trust

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Robert E. Simon, V.P. of Waterfront Consulting

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Scott Gordon, Barbara Gordon

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.

Central

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

n/A

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc. and Stone Green Consulting LLC

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:

Scott Gordon

889013D6F9034E3...

Applicant Signature

Gordon Family Trust

Print Name and Title

8/30/2022

Date

- Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-2077

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>E.B. of Lynnhaven River</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
All	Approved/Pier Decking	2011-1432	09/26/11	

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
 Gordon Family Trust Home () _____
 1413 Blue Heron Road Work () _____
 Virginia Beach, VA 23454 Fax () _____
 Cell (818) 281-1164
 e-mail sgordon14@me.com
 State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____
 State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
 Waterfront Consulting, Inc. Home () _____
 2589 Quality Court, Ste. 323 Work (757) 425-8244
 Virginia Beach, VA 23454 Fax (757) 425-8244
 Cell (757) 619-7302
 e-mail bob@waterfrontconsulting.net
 State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove some existing riprap rubble and construct approximately 241 LF of vinyl bulkhead no more than 2 LF channelward of the existing bulkhead with a 28 LF return as shown in the permit drawings.

The bulkhead will use (58) 8" timber piles driven via a vibratory hammer mounted to an excavator on a barge.

Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address: _____

Contact Information:

Home (____) _____

Work (____) _____

Fax (____) _____

Cell (____) _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address: _____ Telephone number _____

Virginian Pilot (757) 622-1455

150 W. Brambleton Avenue

Norfolk, VA 23510

- 7. Give the following project location information:

Street Address (911 address if available) 1413 Blue Heron Road _____

Lot/Block/Parcel# Lot 28, Section 3, Shorehaven _____

Subdivision Shorehaven _____

City / County Virginia Beach _____ ZIP Code 23454 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

_____ 36.87886 / - 76.06389 _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of the project is maintenance of an existing bulkhead.

Part 1 - General Information (continued)

- 9. Proposed use (check one):
 - Single user (private, non-commercial, residential)
 - Multi-user (community, commercial, industrial, government)

- 10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

- 11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

- 12. Approximate cost of the entire project (materials, labor, etc.): \$ 125,000.00
 Approximate cost of that portion of the project that is channelward of mean low water: \$ 45,000.00

- 13. Completion date of the proposed work: Approximately 1 year from permit date - _____

- 14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Lorna C. Donatone QPRT	1421 Blue Heron Road	Virginia Beach, VA 23454
Lee E. Devendorf	1411 Blue Heron Road	Virginia Beach, VA 23454

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Gordon Family Trust

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

DocuSigned by:
Scott Gordon

Applicant's Signature

(Use if more than one applicant)

8/30/2022

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Gordon Family Trust, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

August 30, 2022

(Date)

Signed by:

Scott Gordon

(Applicant's Signature)

(Use if more than one applicant)

8/30/2022

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Gordon Family Trust, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

- Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to remove some existing riprap rubble and construct approximately 241 LF of vinyl bulkhead no more than 2 LF channelward of the existing bulkhead with a 28 LF return as shown in the permit drawings. There will be 0.01 acres of aquatic impact and approximately 35 CYs of fill placed below the plane of MHW.

- What is the maximum encroachment channelward of mean high water? 2 feet.
 Channelward of mean low water? 2 feet.
 Channelward of the back edge of the dune or beach? N/A feet.

- Please calculate the square footage of encroachment over:
 - Vegetated wetlands 318 square feet
 - Non-vegetated wetlands 196 square feet
 - Subaqueous bottom 128 square feet
 - Dune and/or beach N/A square feet

- For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1413 Blue Heron Road

APPLICANT'S NAME: Gordon Family Trust

APPLICANT'S ADDRESS: 1413 Blue Heron Road

Virginia Beach, VA 23454

ENGINEER OF RECORD: Sean E. Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT
CONSTRUCTION: Bulkhead

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.


SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION 9/15/22
DATE

Sean E. Green, P.E.
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DocuSigned by:

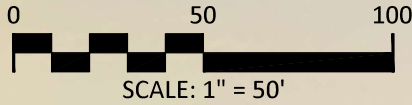
SIGNATURE OF APPLICANT 8/30/2022
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR _____
DATE

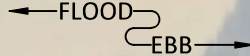
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

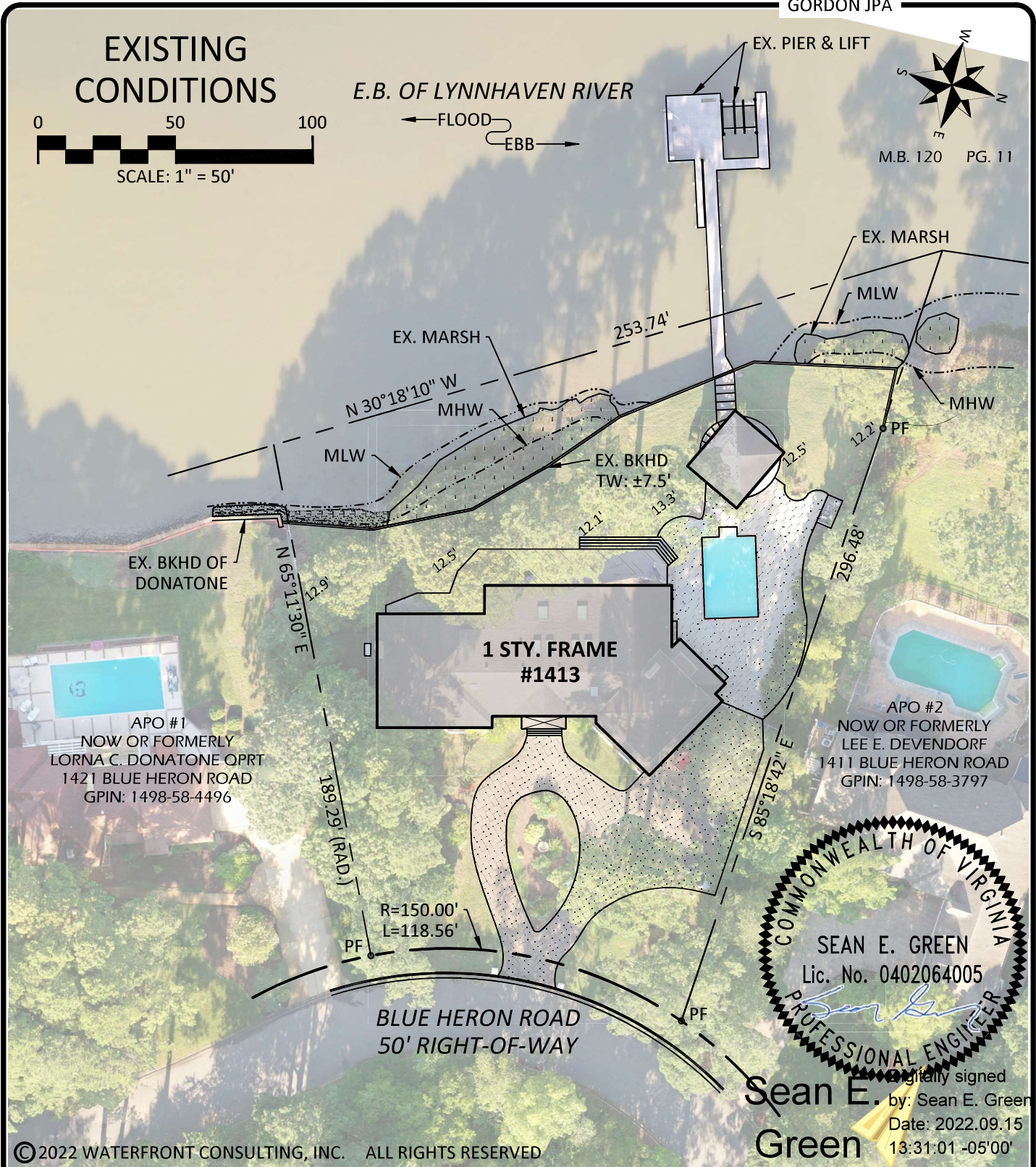
EXISTING CONDITIONS



E.B. OF LYNNHAVEN RIVER



M.B. 120 PG. 11



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PURPOSE: BULKHEAD MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. LORNA C. DONATONE QPRT
 2. LEE E. DEVENDORF



**WATERFRONT
 CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

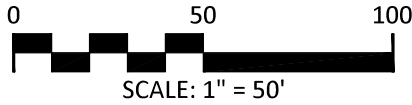
ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: E.B. OF LYNNHAVEN RIVER
 AT: 1413 BLUE HERON ROAD
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 GORDON FAMILY TRUST

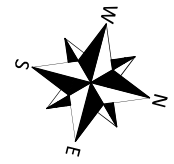
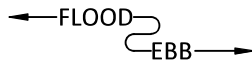
SHEET: 1 OF 9
 DATE: AUGUST 30, 2022

Digitally signed
 by: Sean E. Green
 Date: 2022.09.15
 13:31:01 -05'00'

SITE ACCESS & DEMOLITION

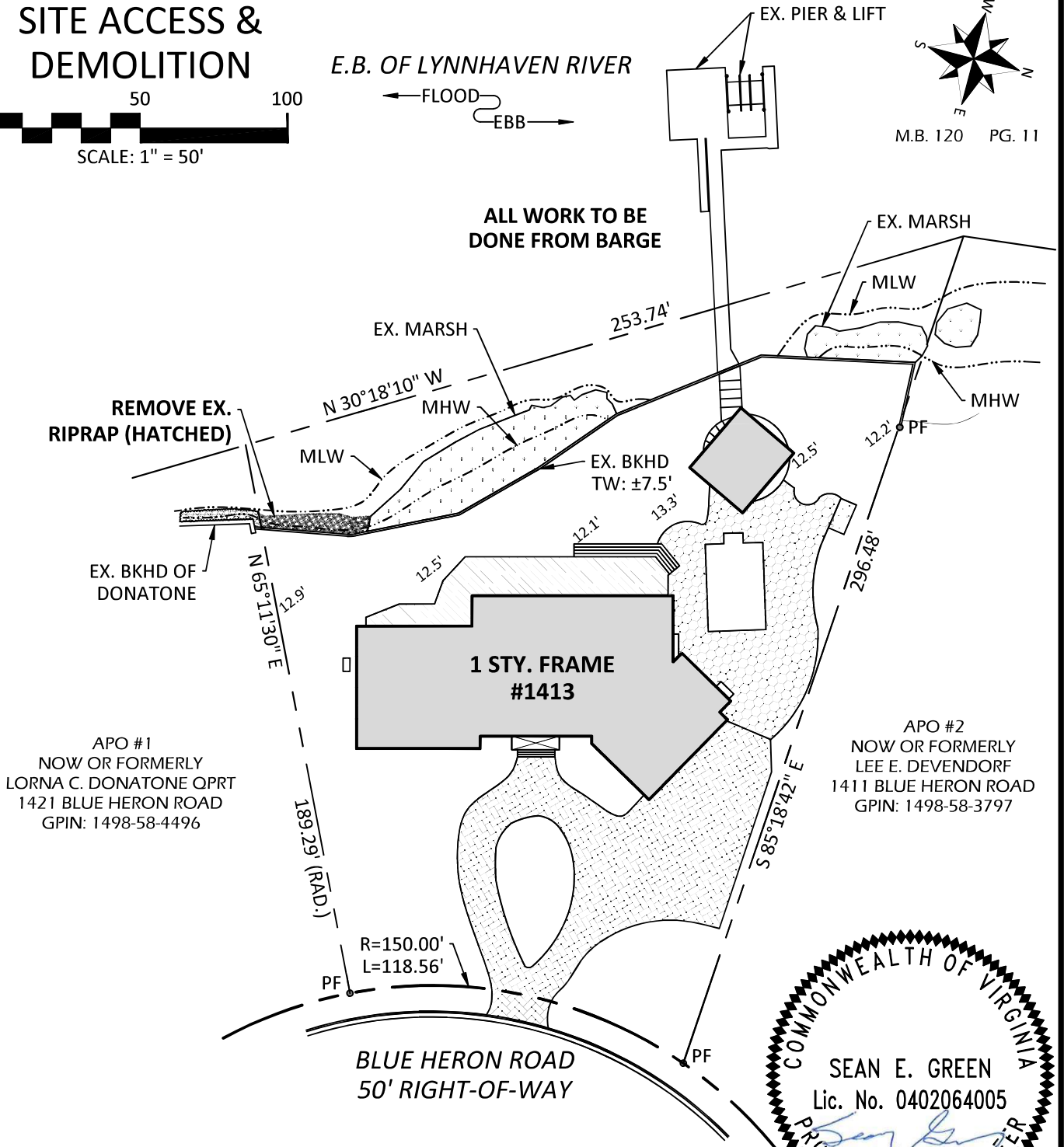


E.B. OF LYNNHAVEN RIVER



M.B. 120 PG. 11

ALL WORK TO BE DONE FROM BARGE



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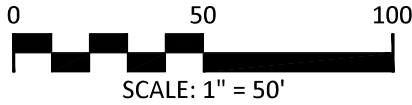
PURPOSE: BULKHEAD MAINTENANCE
 DATUM: MLW = 0.00'
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 2. LEE E. DEVENDORF

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302
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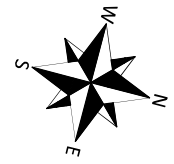
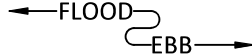
PROPOSED: BULKHEAD
 IN: E.B. OF LYNNHAVEN RIVER
 AT: 1413 BLUE HERON ROAD
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 GORDON FAMILY TRUST

SHEET: 2 OF 9
 DATE: AUGUST 30, 2022

PROPOSED SITE IMPROVEMENTS

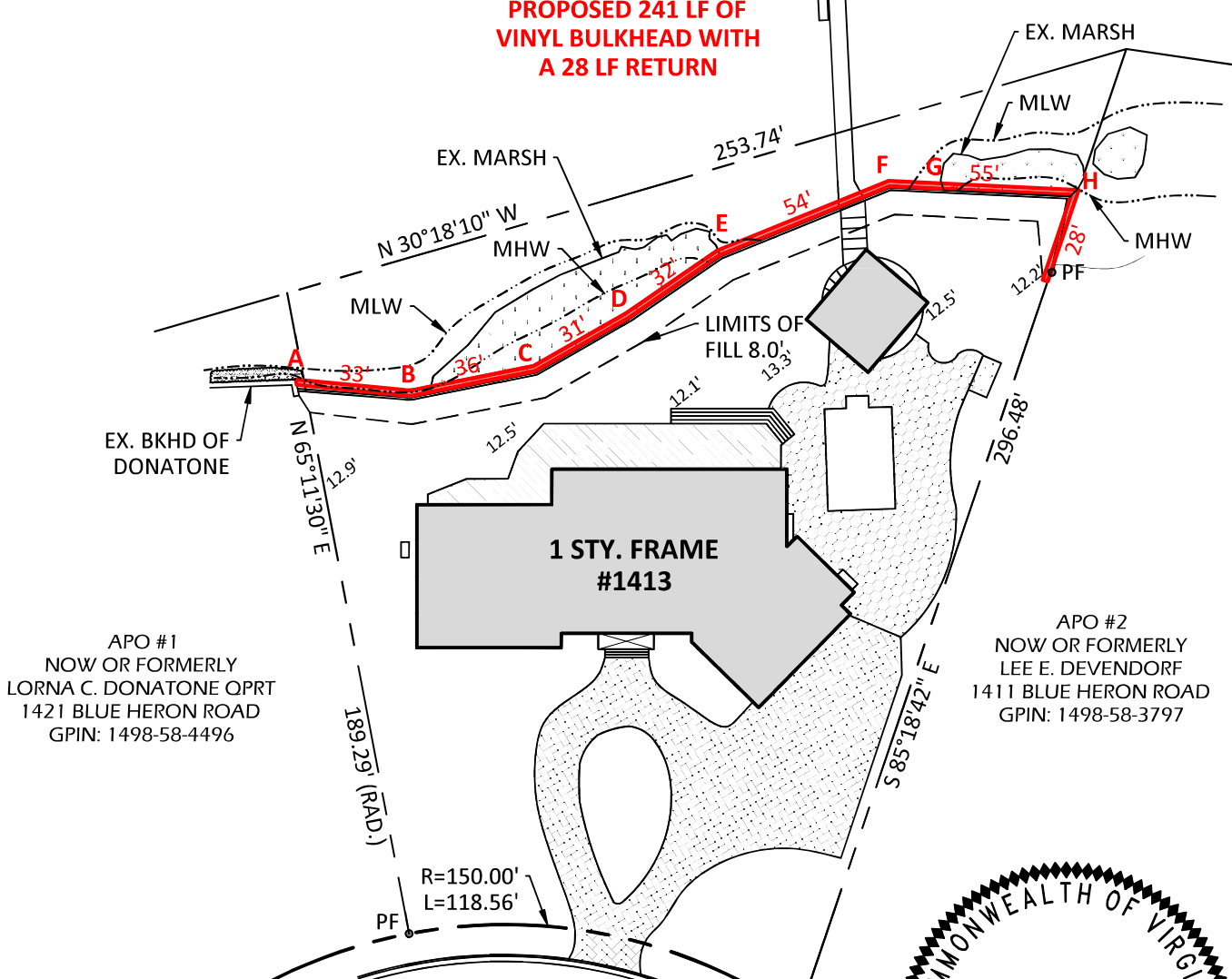


E.B. OF LYNNHAVEN RIVER



M.B. 120 PG. 11

PROPOSED 241 LF OF VINYL BULKHEAD WITH A 28 LF RETURN



APO #1
NOW OR FORMERLY
LORNA C. DONATONE QPRT
1421 BLUE HERON ROAD
GPIN: 1498-58-4496

APO #2
NOW OR FORMERLY
LEE E. DEVENDORF
1411 BLUE HERON ROAD
GPIN: 1498-58-3797

WETLANDS IMPACTS	
VEGETATED =	318 SF
NON-VEGETATED =	196 SF
TOTAL =	514 SF

BLUE HERON ROAD
50' RIGHT-OF-WAY



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PURPOSE: BULKHEAD MAINTENANCE
DATUM: MLW = 0.00'
APOS:
1. LORNA C. DONATONE QPRT
2. LEE E. DEVENDORF

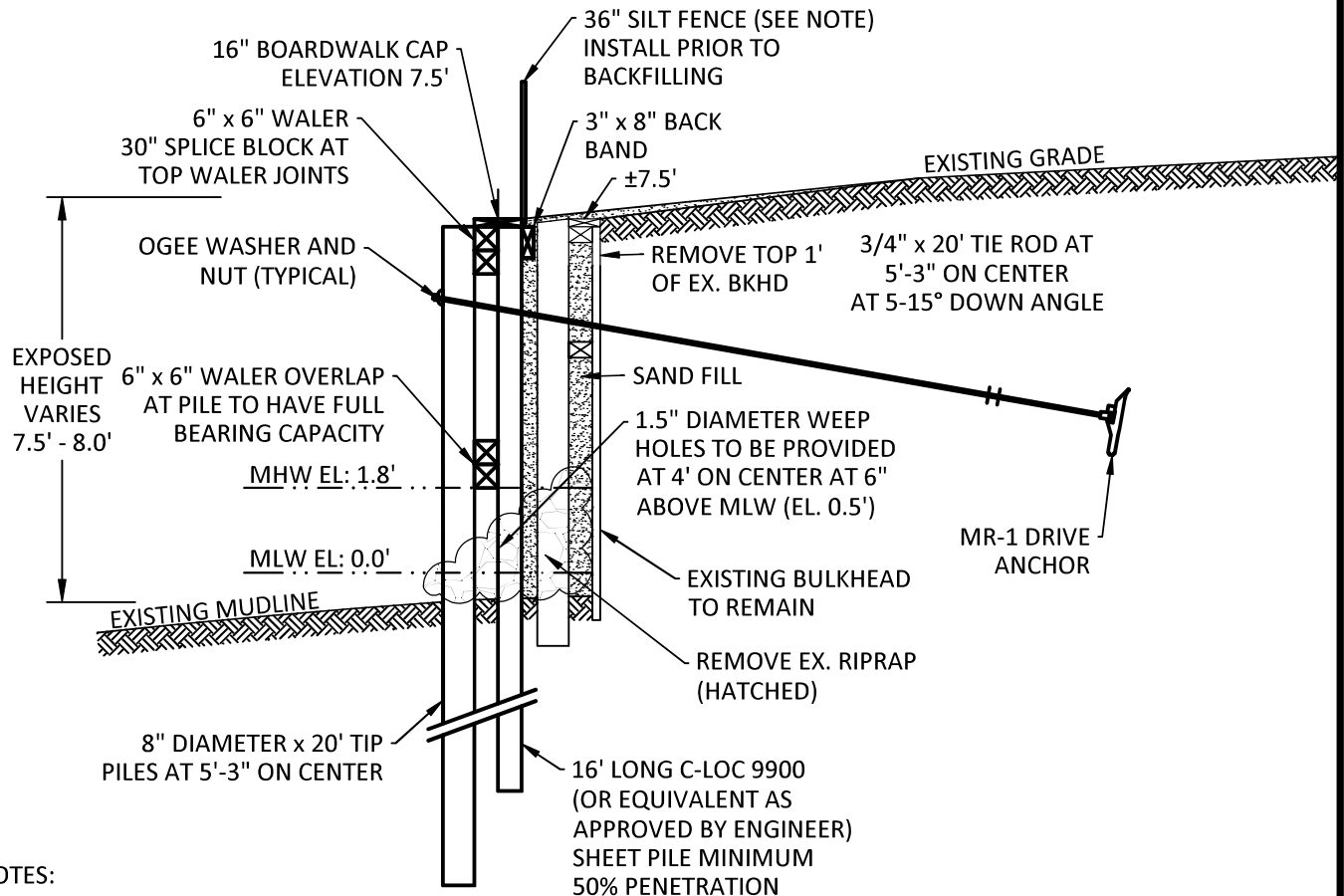
WATERFRONT CONSULTING, INC.
2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
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4014 MEDINA ROAD #1015, AKRON, OH 44333
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PROPOSED: BULKHEAD
IN: E.B. OF LYNNHAVEN RIVER
AT: 1413 BLUE HERON ROAD
VIRGINIA BEACH, VA 23454
APPLICATION BY:
GORDON FAMILY TRUST

SHEET: 3 OF 9
DATE: AUGUST 30, 2022

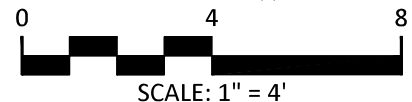
PROPOSED BULKHEAD CROSS SECTION POINTS A-B



NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: BULKHEAD MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. LORNA C. DONATONE QPRT
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**WATERFRONT
 CONSULTING, INC.**

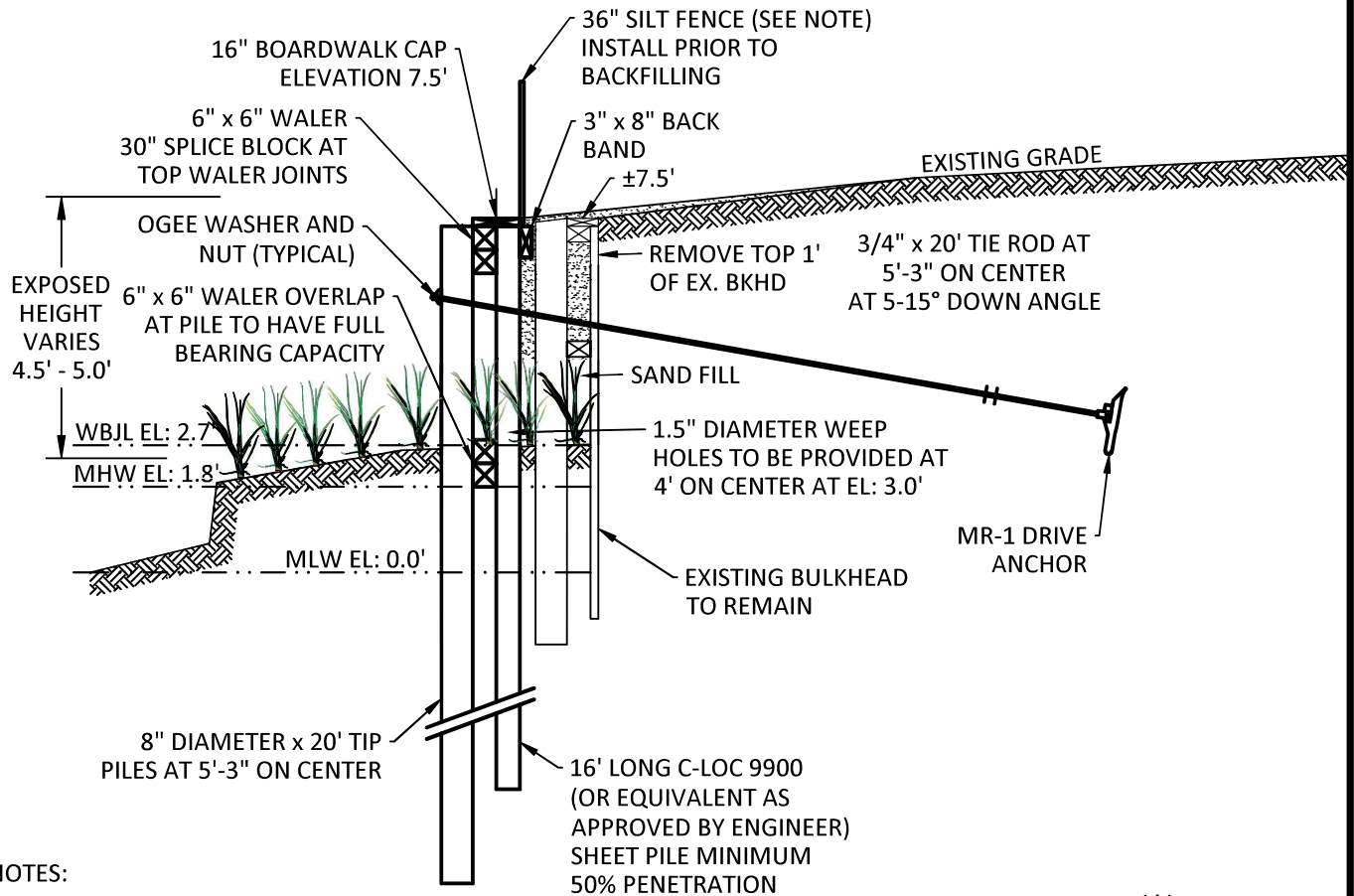
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 4014 MEDINA ROAD #1015, AKRON, OH 44333
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: E.B. OF LYNNHAVEN RIVER
 AT: 1413 BLUE HERON ROAD
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 GORDON FAMILY TRUST

SHEET: 4 OF 9
 DATE: AUGUST 30, 2022

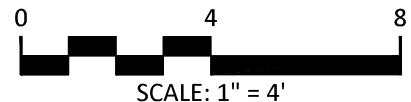
PROPOSED BULKHEAD CROSS SECTION POINTS B-E, G-H



NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO BE IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND MATERIAL SIZES. DIMENSIONS SHOWN ARE TO BE CONSIDERED MINIMUM MATERIAL SIZES ONLY BASED ON MANUFACTURER PRODUCT SPECIFICATIONS FOR BULKHEAD TYPE AND EXPOSED HEIGHT WITH FIRM SOILS IN PLACE. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: BULKHEAD MAINTENANCE
 DATUM: MLW = 0.00'
 APOS:
 1. LORNA C. DONATONE QPRT
 2. LEE E. DEVENDORF



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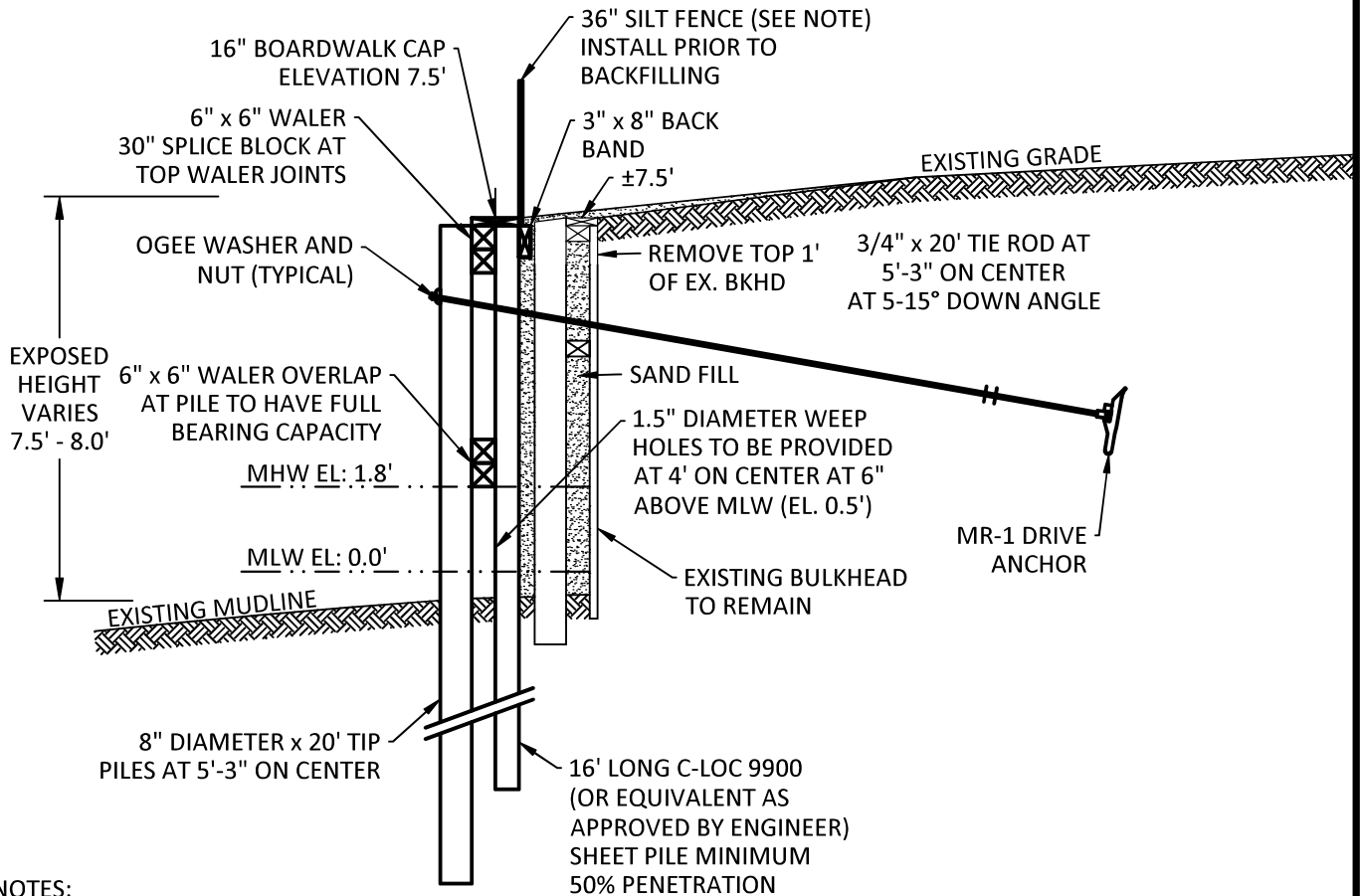
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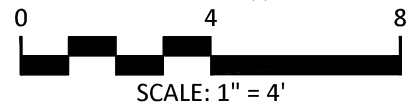
PROPOSED BULKHEAD CROSS SECTION POINTS E-G



NOTES:

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NLAA COMPLIANCE

ITEM	8" PILE	10" PILE	12" PILE		
BULKHEAD	58				

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER



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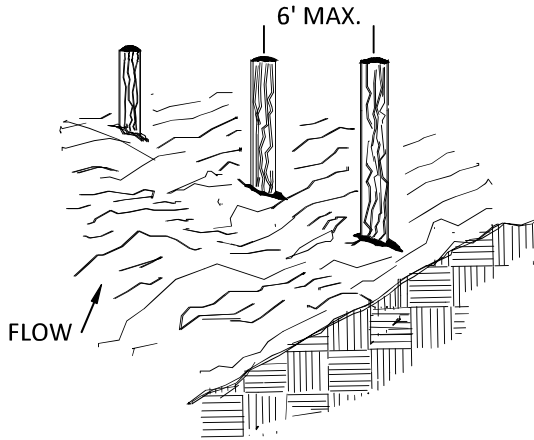
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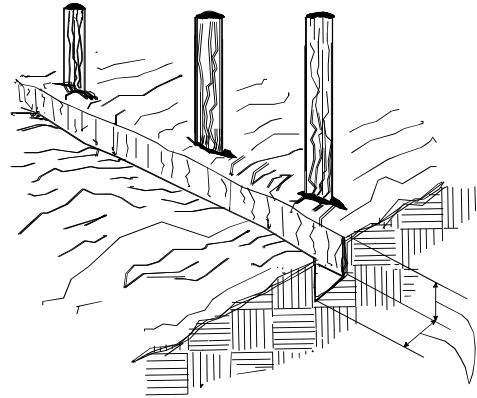
SHEET: 7 OF 9
 DATE: AUGUST 30, 2022

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

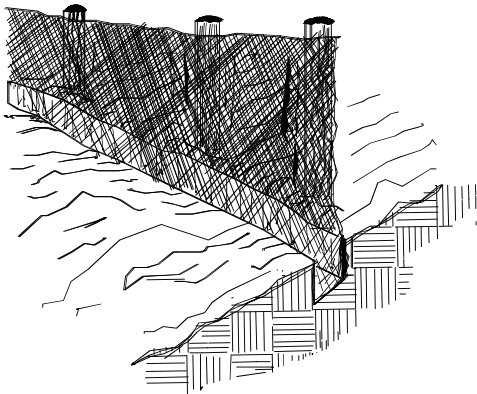
1. SET THE STAKES



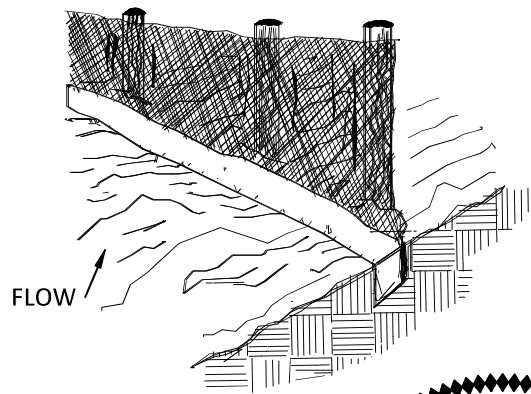
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH



4. BACKFILL AND COMPACT THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant



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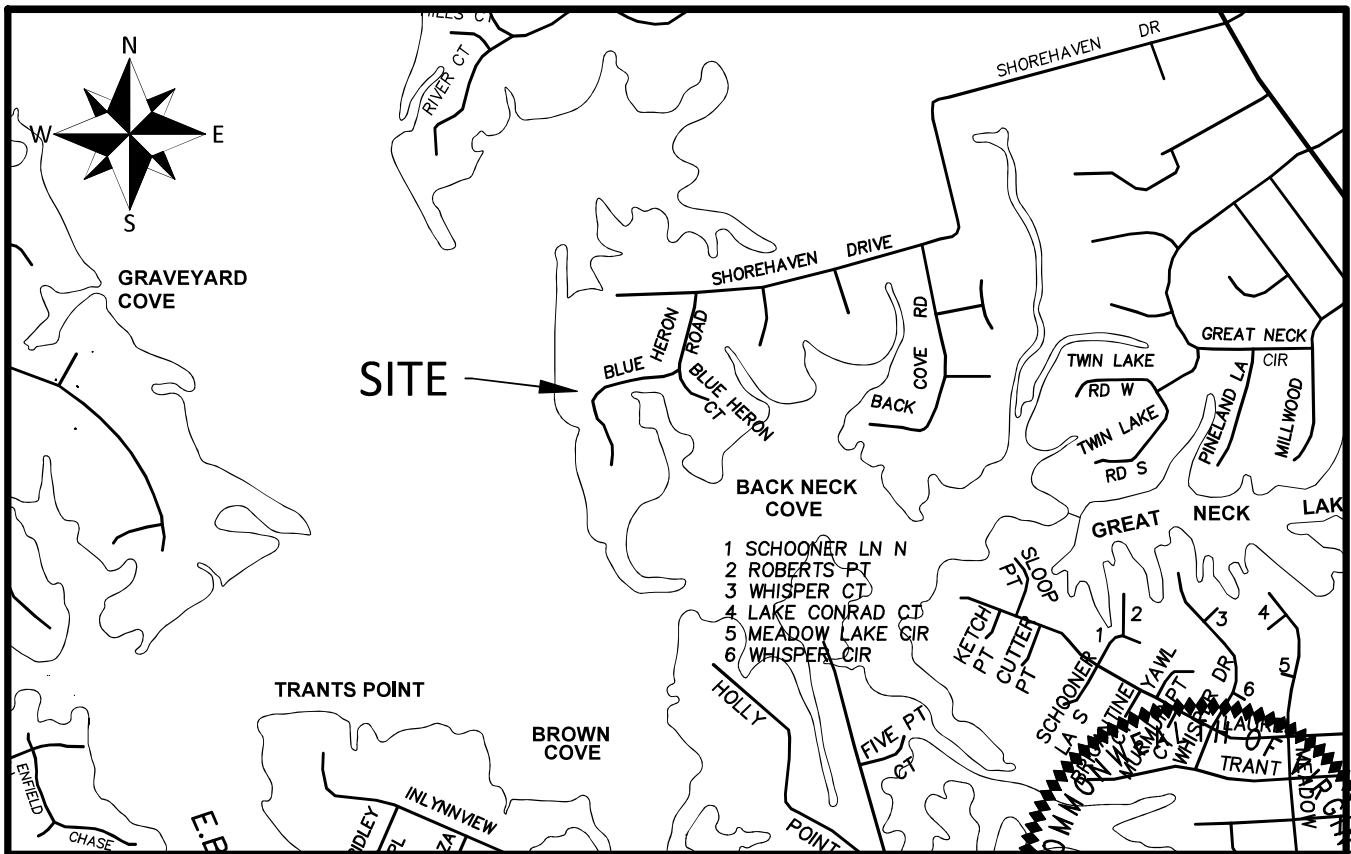
SHEET: 8 OF 9
 DATE: AUGUST 30, 2022

SITE INFORMATION

LEGAL DESCRIPTION: LOT 28, SECTION 3, SHOREHAVEN
 REFERENCE: MAP BOOK 120, PAGE 11, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: 1498-58-3694
 ZONING: R-40 RESIDENTIAL

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

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