



# Wetlands Board Agenda

August 15, 2022

# Wetlands Board Hearing Procedures

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, August 15, 2022 at 10:00 a.m. in the New Council Chamber - 2401 Courthouse Drive, Building 1, Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m.. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to [waterfront@vbgov.com](mailto:waterfront@vbgov.com) or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands). For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

**PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.**

**THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.**

## **THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING**

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
  - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
  - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

\* Deferral

\*\* Withdrawal

**Wetlands Board Agenda  
August 15, 2022**

- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

\* Deferral  
\*\* Withdrawal

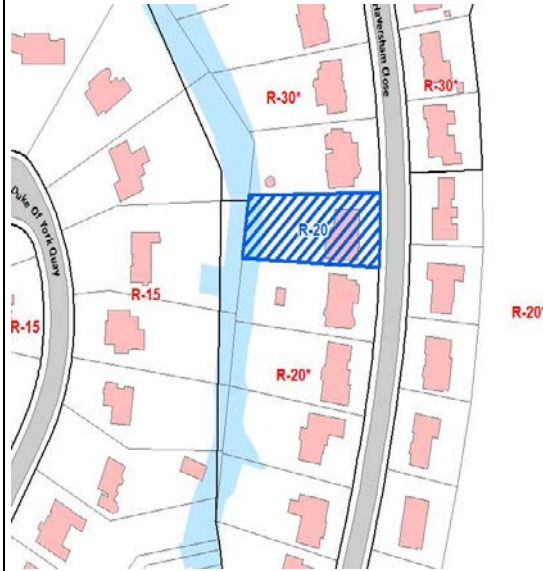
9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

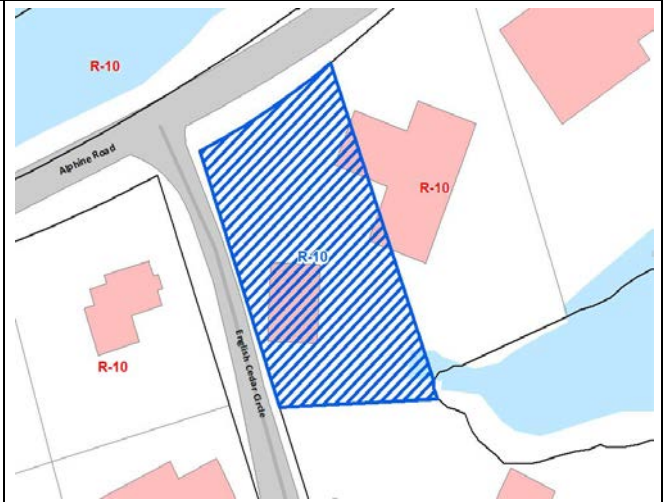
OLD BUSINESS – WETLANDS

1. 2021-WTRA-00182  
Theresa L Batac Trust  
[Applicant & Owner]  
**REQUEST FOR 1 YEAR EXTENSION**  
**To construct a bulkhead involving wetlands**  
2233 Haversham Close  
(GPIN 1499-95-1396)  
Waterway – Canal to Broad Bay  
Subdivision – Broad Bay Point Greens  
City Council District - District 8



NEW BUSINESS – WETLANDS

2. 2022-WTRA-00167  
George N. Karavolos RLT  
[Applicant & Owner]  
**To construct a bulkhead, groin wall, and dredge involving wetlands**  
2004 English Cedar Circle  
(GPIN 1499-78-9270)  
Waterway – Broad Bay  
Subdivision – Broad Bay Colony  
City Council District - District 8



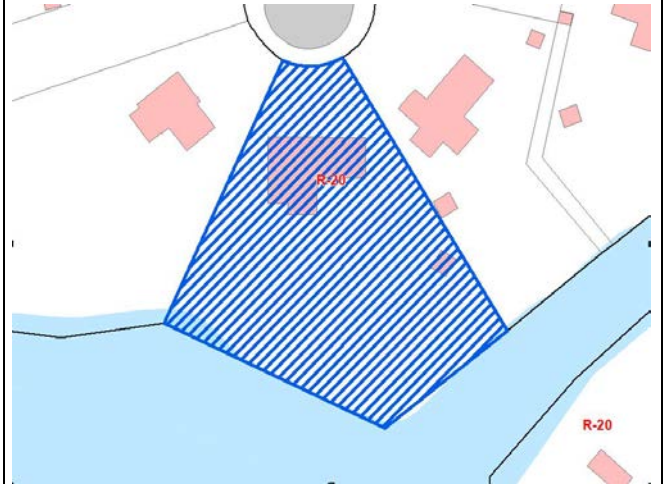
\* Deferral  
\*\* Withdrawal

NEW BUSINESS – WETLANDS (CONTINUED)

3. 2022-WTRA-00169  
John S. and Leanna C. Freid  
Living Trust [Applicant & Owner]

**To construct rip rap involving wetlands**  
2349 S Wolfsnare Court  
(GPIN 1497-99-0840)

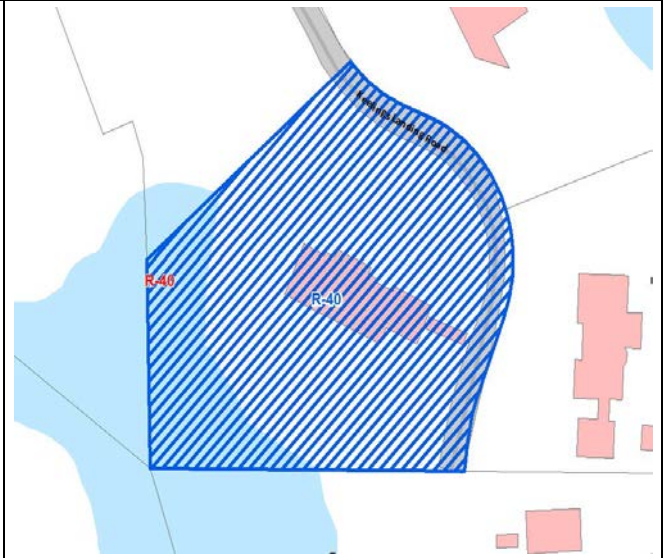
Waterway – Canal to Eastern Branch of  
Lynnhaven River  
Subdivision – Wolfsnare Plantation  
Council District - District 8



4. 2022-WTRA-00172  
Edward S. and Jennifer L.  
Gettins [Applicants & Owners]

**To construct a bulkhead and rip rap  
involving wetlands**  
1609 Keelings Landing Road  
(GPIN 1489-02-3510)

Waterway – Western Branch of Lynnhaven  
River  
Subdivision – Thoroughgood  
Council District - District 9



\* Deferral  
\*\* Withdrawal

**1. 2021-WTRA-00182**

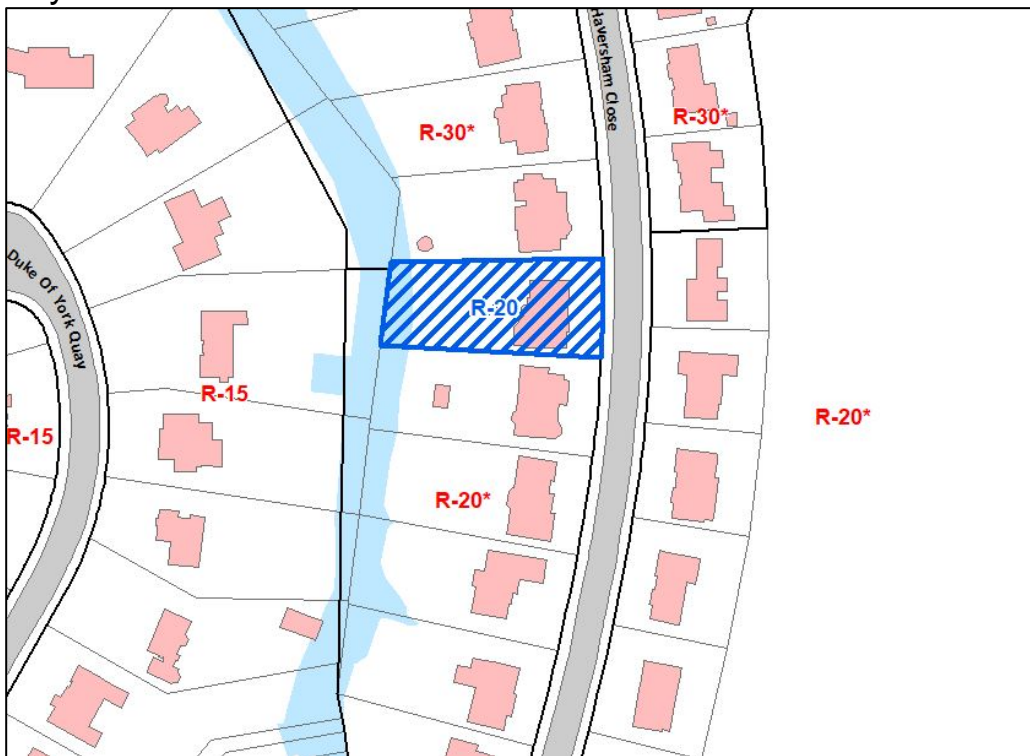
**Theresa L Batac Trust [Applicant & Owner]**

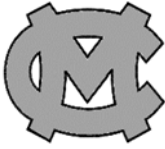
**REQUEST FOR 1 YEAR EXTENSION**

**To construct a bulkhead involving wetlands**

2233 Haversham Close  
(GPIN 1499-95-1396)

Waterway – Canal to Broad Bay  
Subdivision – Broad Bay Point Greens  
City Council District - District 8





## **CALVERT MARINE**

3132 Riveredge Drive  
Portsmouth, VA 23703-4308  
(757) 777-6960 T

July 6, 2022

City of Virginia Beach  
Dept. of Planning  
2875 Sabre Street, Suite 500,  
Virginia Beach, VA 23452

Project: Theresa Batac Trust  
2233 Haversham Close  
Virginia Beach, VA 23454  
2021-WTRA-00182  
VMRC 2021-1207

We are requesting an extension of the above referenced permit. The permit will expire on July 19, 2022. The Contractor is scheduled to start soon but the permit may expire before mobilization.

Thank you for your assistance with this matter.

Sincerely,

Rich Calvert  
Agent

**CALVERT MARINE**

*Agent*

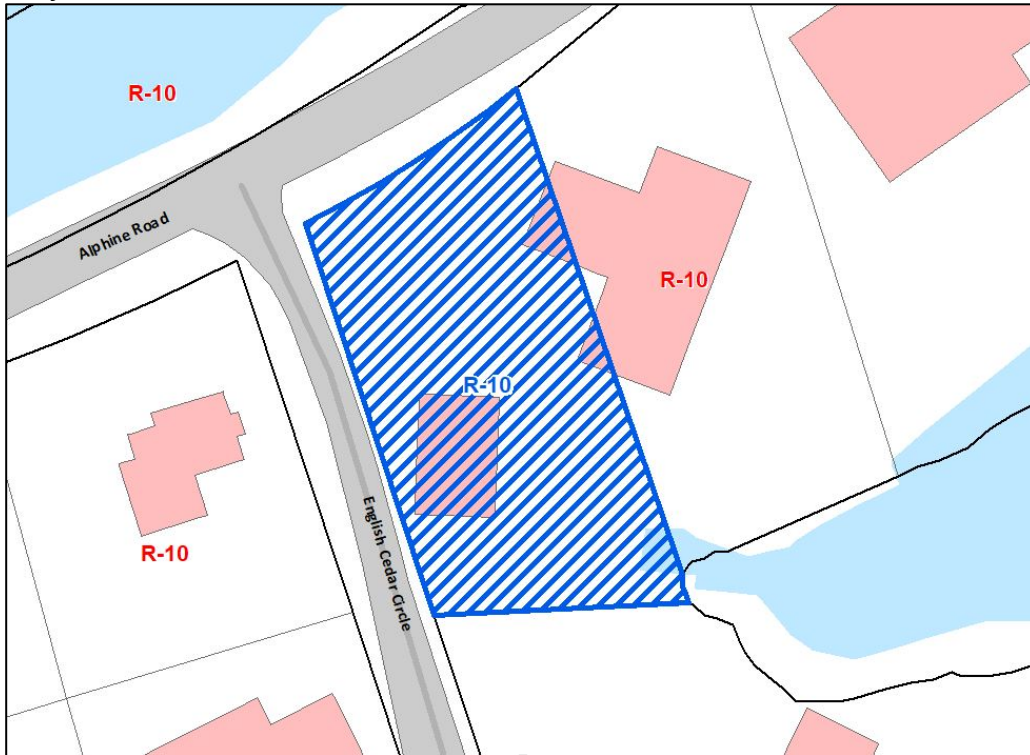
**2. 2022-WTRA-00167**

**George N. Karavolos RLT [Applicant & Owner]**

**To construct a bulkhead, groin wall, and dredge involving wetlands**

2004 English Cedar Circle  
(GPIN 1499-78-9270)

Waterway – Broad Bay  
Subdivision – Broad Bay Colony  
City Council District - District 8





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** George N. Karavolos RLT

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

**Robert E. Simon, V.P. of Waterfront Consulting**

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- **If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)**

**George N Karavolos, Trustee**

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

**Edone & Graham**

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc. & Stone Green Consulting

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

*George N. Karavolos, Trustee*

### Applicant Signature

George N. Karavolos RLT

### Print Name and Title

7/1/22

### Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

|                          |                  |      |            |  |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature  |  |
|                          |                  |      | Print Name |  |

**FOR AGENCY USE ONLY**

|              |        |
|--------------|--------|
|              | Notes: |
| JPA# 22-1549 |        |

**APPLICANTS**

**PLEASE PRINT OR TYPE ALL ANSWERS.** If a question does not apply to your project, please print N/A (not applicable) in the space provided. **If additional space is needed, attach extra 8 ½ x 11 inch sheets of paper.**

**Check all that apply**

|  |   |  |  |
|--|---|--|--|
| <input type="checkbox"/> Pre-Construction Notification (PCN)   | <input type="checkbox"/> SPGP   | <input type="checkbox"/> DEQ Reapplication<br>Existing permit number:<br>_____ | <input type="checkbox"/> Receiving federal funds<br>Agency providing funding:<br>_____ |
| <input type="checkbox"/> NWP # _____   |   |  |  |
| <input type="checkbox"/> RP # 05<br>(For NWP's & RP 05 ONLY - No DEQ-VWP permit writer will be assigned) |   |  |  |
| <input type="checkbox"/> Regional Permit 17 Checklist (RP-17)  | This project and the previous JPA have been discussed with Melissa Nash |  |  |

**PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)**

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccm.vims.edu/perms/newpermits.html>

| Agency | Action / Activity          | Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13) | Date of Action | If denied, give reason for denial |
|--------|----------------------------|--|----------------|-----------------------------------|
| All    | Approved/Bulkhead & Dredge | 2016-0088  | 03/21/16       |                                   |
| All    | Approved/Bulkhead & Dredge | 2012-1413  | 10/15/12       |                                   |

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION**

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

|   |                            |                   |   |  |                   |
|---|----------------------------|-------------------|---|--|-------------------|
| Legal Name(s) of Applicant(s)<br>George N. Karavolos RLT        |                            |                   | Agent (if applicable)<br>Waterfront Consulting Inc.                         |  |                   |
| Mailing address<br>2315 Walke Street                            |                            |                   | Mailing address<br>2589 Quality Court, Ste. 323                             |  |                   |
| City<br>Virginia Beach  | State<br>VA                | ZIP Code<br>23451 | City<br>Virginia Beach  | State<br>VA                            | ZIP Code<br>23454 |
| Phone number w/area code<br>757-647-2540                        | Fax                        |                   | Phone number w/area code<br>757-425-8244                                    | Fax                                    |                   |
| Mobile  | E-mail<br>gnk5@verizon.net |                   | Mobile<br>757-619-7302  | E-mail<br>bob@waterfrontconsulting.net |                   |
| State Corporation Commission Name and ID number (if applicable) |                            |                   | State Corporation Commission Name and ID number (if applicable)<br>04743811 |  |                   |

**Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here:** \_\_\_\_\_

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)**

|  |        |          |   |        |          |
|--|--------|----------|---|--------|----------|
| Property owner(s) legal name, if different from applicant<br>Same as applicant |        |          | Contractor, if known<br>Unknown                             |        |          |
| Mailing address  |        |          | Mailing address   |        |          |
| City   | State  | ZIP code | City  | State  | ZIP code |
| Phone number w/area code   | Fax    |          | Phone number w/area code                                    | Fax    |          |
| Mobile   | E-mail |          | Mobile  | E-mail |          |
| State Corporation Commission Name and ID number (if applicable)                |        |          | State Corporation Commission Name ID number (if applicable) |        |          |

**2. PROJECT LOCATION INFORMATION**

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

|  |  |
|--|--|
| Street Address (911 address if available)<br>2004 English Cedar Circle   | City/County/ZIP Code<br>Virginia Beach               |
| Subdivision<br>Broad Bay Island  | Lot/Block/Parcel #<br>Lots 95 & 96, Broad Bay Island |
| Name of water body(ies) within project boundaries and drainage area (acres or square miles).<br>Broad Bay  |  |
| Tributary(ies) to: <u>Long Creek</u><br>Basin: <u>Lynnhaven Basin</u> Sub-basin: _____<br>(Example: Basin: <u>James River</u> Sub-basin: <u>Middle James River</u> )   |  |
| Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____   |  |
| Project type (check one) _____ <input checked="" type="checkbox"/> Single user (private, non-commercial, residential)<br>_____ <input type="checkbox"/> Multi-user (community, commercial, industrial, government)<br>_____ <input type="checkbox"/> Surface water withdrawal  |  |
| Latitude and longitude at center of project site (decimal degrees): _____ <u>36.90497</u> / <u>-76.05427</u><br>(Example: 37.33164/-77.68200)  |  |
| USGS topographic map name: <u>City of Virginia Beach</u>   |  |
| 8-digit USGS Hydrologic Unit Code (HUC) for your project site (See <a href="http://cfpub.epa.gov/surf/locate/index.cfm">http://cfpub.epa.gov/surf/locate/index.cfm</a> ): <u>02080108</u><br>If known, indicate the 10-digit and 12-digit USGS HUCs (see <a href="http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm">http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm</a> ):<br><u>0208010802</u> <u>020801080201</u> |  |
| Name of your project (Example: <i>Water Creek driveway crossing</i> ) <u>Karavolos Bulkhead &amp; Dredging</u>   |  |
| Is there an access road to the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input checked="" type="checkbox"/> public <input type="checkbox"/> private <input checked="" type="checkbox"/> improved <input type="checkbox"/> unimproved  |  |
| Total size of the project area (in acres): <u>0.1 acres</u>  |  |

**2. PROJECT LOCATION INFORMATION (Continued)**

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:  
The project is located on public roads.

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)?  Yes  No

If so, name those localities: \_\_\_\_\_

**3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)**

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and whether or not tree clearing will occur (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in stream flows, include the water supply issues that form the basis of the proposed project.

The project is to remove the existing bulkhead, grade approximately 327 SF of upland and 516 SF of NVW to -1' MLW, construct approximately 151 LF of vinyl bulkhead, construct 6 LF of groin wall, construct a 2'x10' wharf, and install a four pile boat lift as shown in the permit drawings.

The bulkhead will use (25) 8" timber piles, the groin wall will use (4) 8" timber piles, the wharf will use (2) 8" timber piles, and the boat lift will use (4) 10" timber piles that will all be driven via a vibratory hammer mounted to an excavator on a barge.

Date of proposed commencement of work (MM/DD/YYYY)  
01/01/2023

Date of proposed completion of work (MM/DD/YYYY)  
01/01/2024

Are you submitting this application at the direction of any state, local, or federal agency? \_\_\_\_\_ Yes X No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?  
\_\_\_\_\_ Yes X No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property? \_\_\_\_\_ Yes X No  
(If yes, please explain)

**4. PROJECT COSTS**

Approximate cost of the entire project, including materials and labor: \$ \_\_\_\_\_

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ \_\_\_\_\_

**5. PUBLIC NOTIFICATION** (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line. Per Army Regulation (AR 25-51) outgoing correspondence must be addressed to a person or business.

**Failure to provide this information may result in a delay in the processing of your application by VMRC.**

| Property owner's name  | Mailing address           | City           | State | ZIP code |
|------------------------|---------------------------|----------------|-------|----------|
| Scott T. Mendenhall    | 2000 English Cedar Circle | Virginia Beach | VA    | 23451    |
| Khalid A. Kassir Trust | 2009 Alphine Road         | Virginia Beach | VA    | 23451    |

Name of newspaper having general circulation in the area of the project: Virginian PilotAddress and phone number (including area code) of newspaper 150 W. Brambleton Avenue, Norfolk, VA 23510Have adjacent property owners been notified with forms in Appendix A?  Yes  No (attach copies of distributed forms)**6. THREATENED AND ENDANGERED SPECIES INFORMATION**

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

**7. HISTORIC RESOURCES INFORMATION**

*Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.*

Are any historic properties located within or adjacent to the project site?  Yes  No  Uncertain  
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site?  Yes  No  Uncertain  
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district?  Yes  No  Uncertain

If Yes, please indicate which district: \_\_\_\_\_

**7. HISTORIC RESOURCES INFORMATION (Continued)**

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes  No  Uncertain

If Yes, please provide the following information: Date of Survey: \_\_\_\_\_

Name of firm: \_\_\_\_\_

Is there a report on file with the Virginia Department of Historic Resources?  Yes  No  Uncertain

Title of Cultural Resources Management (CRM) report: \_\_\_\_\_

Was any historic property located?  Yes  No  Uncertain

**8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION**

**Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.**

|  | Impact site number 1     | Impact site number 2 | Impact site number 3 | Impact site number 4 | Impact site number 5 |
|--|--------------------------|----------------------|----------------------|----------------------|----------------------|
| Impact description (use all that apply):<br>F=fill<br>EX=excavation<br>S=Structure<br>T=tidal<br>NT=non-tidal<br>TE=temporary<br>PE=permanent<br>PR=perennial<br>IN=intermittent<br>SB=subaqueous bottom<br>DB=dune/beach<br>IS=hydrologically isolated<br>V=vegetated<br>NV=non-vegetated<br>MC=Mechanized Clearing of PFO<br>(Example: F, NT, PE, V) | EX<br>T<br>PE<br>NV      |                      |                      |                      |                      |
| Latitude / Longitude (in decimal degrees)  | 36.90497,<br>-76.05427   |                      |                      |                      |                      |
| Wetland/waters impact area (square feet / acres)   | 516 sf of NVW            |                      |                      |                      |                      |
| Dune/beach impact area (square feet)   | N/A                      |                      |                      |                      |                      |
| Stream dimensions at impact site (length and average width in linear feet, and area in square feet)  | 50' width<br>250' length |                      |                      |                      |                      |
| Volume of fill below Mean High Water or Ordinary High Water (cubic yards)  | 0 CYs                    |                      |                      |                      |                      |



| 8. WETLANDS/WATERS IMPACT INFORMATION (Continued)   |                    |  |  |  |  |
|---|--------------------|--|--|--|--|
| Cowardin classification of impacted wetland/water or geomorphological classification of stream<br><i>Example wetland: PFO;</i><br><i>Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>  | E1UBL              |  |  |  |  |
| Average stream flow at site<br>(flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)   |                    |  |  |  |  |
| Contributing drainage area in acres or square miles (VMRC cannot complete review without this information)  |                    |  |  |  |  |
| DEQ classification of impacted resource(s):<br>Estuarine Class II<br>Non-tidal waters Class III<br>Mountainous zone waters Class IV<br>Stockable trout waters Class V<br>Natural trout waters Class VI<br>Wetlands Class VII<br><a href="https://law.lis.virginia.gov">https://law.lis.virginia.gov</a>                               | Estuarine Class II |  |  |  |  |
| <b>For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.</b>  |                    |  |  |  |  |
| <b>For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.</b> |                    |  |  |  |  |

| 9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS   |
|--|
| <b>READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING</b>  |
| <b>PRIVACY ACT STATEMENT:</b> The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided. |
| <b>CERTIFICATION:</b> I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.  |
| In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.  |

**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)**

Is/Are the Applicant(s) and Owner(s) the same?  Yes  No

|  |  |
|--|--|
| Legal name & title of Applicant<br>George N. Karavolos RLT   | Second applicant's legal name & title, if applicable |
| Applicant's signature<br><i>George N. Karavolos, Trustee</i> | Second applicant's signature                         |
| Date<br>7/1/22   | Date   |
| Property owner's legal name, if different from Applicant     | Second property owner's legal name, if applicable    |
| Property owner's signature, if different from Applicant      | Second property owner's signature                    |
| Date   | Date   |

**CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S)' BEHALF (IF APPLICABLE)**

I (we), George N. Karavolos RLT (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized Waterfront Consulting, Inc. (and) \_\_\_\_\_  
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

|  |   |
|--|---|
| Applicant's signature<br><i>George N. Karavolos, Trustee</i> | Second applicant's signature, if applicable       |
| Date<br>7/1/22   | Date  |
| Agent's signature and title                                  | Second agent's signature and title, if applicable |
| Date   | Date  |

**CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)**

I (we), George N. Karavolos RLT (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

have contracted \_\_\_\_\_ (and) \_\_\_\_\_  
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

|   |   |      |
|---|---|------|
| Contractor's name or name of firm (printed/typed) | Contractor's or firm's mailing address      |      |
| Contractor's signature and title                  | Contractor's license number                 | Date |
| Applicant's signature                             | Second applicant's signature, if applicable |      |
| Date  | Date  |      |



**END OF GENERAL INFORMATION**

**The following sections are activity-specific. Fill out only the sections that apply to your particular project.**

**10. PRIVATE PIERS, MARGINAL WHARVES, AND UNCOVERED BOAT LIFTS**

Regional Permit 17 (RP-17), authorizes the installation and/or construction of open-pile piers, mooring structures/devices, fender piles, covered boathouses/boatslips, boatlifts, osprey pilings/platforms, accessory pier structures, and certain devices associated with shellfish gardening, for private use, subject to strict compliance with all conditions and limitations further set out in the RP-17 enclosure located at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>. In addition to the information required in this JPA, prospective permittees seeking authorization under RP-17 must complete and submit the 'Regional Permit 17 Checklist' with their JPA. A copy of the 'Regional Permit 17 Checklist' is found in Appendix B of this application package. If the prospective permittee answers "yes" (or "N/A", where applicable) to all of the questions on the 'Regional Permit 17 Checklist', the permittee is in compliance with RP-17 and will not receive any other written authorization from the Corps but may not proceed with construction until they have obtained all necessary state and local permits. **Note: If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work.**

If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work. In those circumstances, the following information must be included in the application and/or on the drawings in order for the application to be considered complete:

1. The applicant **MUST** provide written justification/need for the encroachment if the proposed structure(s) will extend greater than one-fourth of the distance across the waterway measured from either mean high water to mean high water (including all channelward wetlands) or ordinary high water to ordinary high water (including all channelward wetlands). The measurement should be based on the narrowest distance across the waterway regardless of the orientation of the proposed structure(s).
2. The applicant **MUST** provide written justification/need if the proposed structure(s) is greater than five (5) feet wide or there will be less than four (4) feet elevation between the decking and the vegetated wetlands substrate.
3. The Corps **MAY** require depth soundings across the waterway at increments designated by the Corps project manager. Inclusion of depth sounding data in the original JPA submittal is highly recommended in order to expedite permit evaluation. Depth soundings are typically taken at 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide. Please include the date and time the measurements were taken, whether the data was collected at mean low water (MLW) or MHW, and how the soundings were taken (e.g., tape, range finder, etc.).

Number of vessels to be moored at the pier or wharf:  
\_\_\_\_\_

Do you have an existing pier on your property? \_\_\_Yes  No

If yes, will it be removed? \_\_\_Yes \_\_\_No

Is your lot platted to the mean low water shoreline?  Yes \_\_\_No

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

| TYPE | LENGTH | WIDTH | DRAFT | REGISTRATION # |
|------|--------|-------|-------|----------------|
|      |        |       |       |                |
|      |        |       |       |                |
|      |        |       |       |                |

**11. BOATHOUSES, GAZEBOS, COVERED BOAT LIFTS, AND OTHER ROOFED STRUCTURES OVER WATERWAYS**

Number of vessels to be moored at the proposed structure:  
\_\_\_\_\_

Will the sides of the structure be enclosed? \_\_\_Yes \_\_\_No

Area covered by the roof structure \_\_\_\_\_ square feet

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

| TYPE | LENGTH | WIDTH | DRAFT | REGISTRATION # |
|------|--------|-------|-------|----------------|
|      |        |       |       |                |
|      |        |       |       |                |
|      |        |       |       |                |

**15. TIDAL/NONTIDAL SHORELINE STABILIZATION STRUCTURES (INCLUDING BULKHEADS AND ASSOCIATED BACKFILL, RIPRAP REVETMENTS AND ASSOCIATED BACKFILL, MARSH TOE STABILIZATION, GROINS, JETTIES, AND BREAKWATERS, ETC.)** Information on non structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).

Is any portion of the project maintenance or replacement of an existing and currently serviceable structure?  Yes  No  
If yes, give length of existing structure: \_\_\_\_\_ linear feet

If your maintenance project entails replacement of a bulkhead, is it possible to construct the replacement bulkhead within 2 feet channelward of the existing bulkhead?  Yes  No If not, please explain below:

Length of proposed structure, including returns: 151 linear feet

Average channelward encroachment of the structure from Mean high water/ordinary high water mark: 2 feet

Maximum channelward encroachment of the structure from Mean high water/ordinary high water mark: 2 feet

Mean low water: 0 feet

Mean low water: 0 feet

Maximum channelward encroachment from the back edge of the Dune N/A feet

Maximum channelward encroachment from the back edge of the Beach N/A feet

Describe the type of construction including all materials to be used (including all fittings). Will filter cloth be used?  Yes  No The bulkhead will be vinyl sheet pile, CCA treated timbers, H.D. galvanized hardware, and clean sand backfill.

What is the source of the backfill material? Off site borrow pit

What is the composition of the backfill material? 95% sand, 5% organics

If rock is to be used, give the average volume of material to be used for every linear foot of construction: \_\_\_\_\_ cubic yards  
What is the volume of material to be placed below the plane of ordinary high water mark/mean high water? \_\_\_\_\_ cubic yards

For projects involving stone:

Average weight of core material (bottom layers): \_\_\_\_\_ pounds per stone (Class \_\_\_\_\_)

Average weight of armor material (top layers): \_\_\_\_\_ pounds per stone (Class \_\_\_\_\_)

Are there similar shoreline stabilization structures in the vicinity of your project site?  Yes  No

If so, describe the type(s) and location(s) of the structure(s):

2000 English Cedar Circle has a vinyl bulkhead of similar kind to the project site.

If you are building a groin or jetty, will the channelward end of the structure be marked to show a hazard to navigation?  
 Yes  No

Has your project been reviewed by the Shoreline Erosion Advisory Service (SEAS)?  Yes  No  
If yes, please attach a copy of their comments.

**16. BEACH NOURISHMENT**

Source of material and composition (percentage sand, silt, clay): \_\_\_\_\_

Volume of material: \_\_\_\_\_ cubic yards

Area to be covered \_\_\_\_\_ square feet channelward of mean low water \_\_\_\_\_ square feet channelward of mean high water  
\_\_\_\_\_ square feet landward of mean low water \_\_\_\_\_ square feet channelward of mean high water

Mode of transportation of material to the project site (truck, pipeline, etc.):

**16. BEACH NOURISHMENT (Continued)**

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

**17. DREDGING, MINING, AND EXCAVATING**

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

|                        | NEW dredging |             |  |             | MAINTENANCE dredging |             |  |             |
|------------------------|--------------|-------------|--|-------------|----------------------|-------------|--|-------------|
|                        | Hydraulic    |             | Mechanical (clamshell, dragline, etc.) |             | Hydraulic            |             | Mechanical (clamshell, dragline, etc.) |             |
|                        | Cubic yards  | Square feet | Cubic yards                            | Square feet | Cubic yards          | Square feet | Cubic yards                            | Square feet |
| Vegetated wetlands     |              |             | 0                                      | 0           |                      |             |  |             |
| Non-vegetated wetlands |              |             |  | 516         |                      |             |  |             |
| Subaqueous land        |              |             | 0                                      | 0           |                      |             |  |             |
| Totals                 |              |             | 35                                     | 516         |                      |             |  |             |

Is this a one-time dredging event?  Yes  No If "no", how many dredging cycles are anticipated: \_\_\_\_\_  
(\_\_\_\_ initial cycle in cu. yds.) (\_\_\_\_ subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):

Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

80% Sand, 20% Silt

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

Dredge spoils will be transferred to sealed trucks on site and disposed of off site in a lawful manner.

Will the dredged material be used for any commercial purpose or beneficial use?  Yes  No

If yes, please explain:

If this is a maintenance dredging project, what was the date that the dredging was last performed? \_\_\_\_\_  
Permit number of original permit: \_\_\_\_\_ (It is important that you attach a copy of the original permit.)

**17. DREDGING, MINING, AND EXCAVATING (Continued)**

*For mining projects:* On separate sheets of paper, explain the operation plans, including: 1) the frequency (e.g., every six weeks), duration (i.e., April through September), and volume (in cubic yards) to be removed per operation; 2) the temporary storage and handling methods of mined material, including the dimensions of the containment berm used for upland disposal of dredged material and the need (or no need) for a liner or impermeable material to prevent the leaching of any identified contaminants into ground water; 3) how equipment will access the mine site; and 4) verification that dredging: a) will not occur in water body segments that are currently on the effective Section 303(d) Total Maximum Daily Load (TMDL) priority list ([available at http://www.deq.virginia.gov/Programs/Water/WaterQualityInformationTMDLs/TMDL/TMDLDevelopment/TMDLProgramPriorities.aspx](http://www.deq.virginia.gov/Programs/Water/WaterQualityInformationTMDLs/TMDL/TMDLDevelopment/TMDLProgramPriorities.aspx)) or that have an approved TMDL; b) will not exacerbate any impairment; and c) will be consistent with any waste load allocation/limit/conditions imposed by an approved TMDL (see, "What's in my backyard" or subsequent spatial files at <http://www.deq.virginia.gov/ConnectWithDEQ/VEGIS.aspx> to determine the extent of TMDL watersheds and impairment segments).

Have you applied for a permit from the Virginia Department of Mines, Minerals and Energy? \_\_\_\_ Yes  No If Yes:  
Existing permit number: \_\_\_\_\_ Date permit issued: \_\_\_\_\_

Contributing drainage area: \_\_\_\_\_ square miles

Average stream flow at site (flow rate under normal rainfall conditions): \_\_\_\_\_ cfs

**18. FILL (not associated with backfilled shoreline structures) AND OTHER STRUCTURES (other than piers and boathouses) IN WETLANDS OR WATERS, OR ON DUNES/BEACHES**

Source and composition of fill material (percentage sand, silt, clay, rock):  
\_\_\_\_\_

Provide documentation (i.e., laboratory results or analytical reports) that fill material from off-site locations is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site). Documentation is not necessary for fill material obtained from on-site areas.

Explain the purpose of the filling activity and the type of structure to be constructed over the filled area (if any):  
\_\_\_\_\_

Describe any structure that will be placed in wetlands/waters or on a beach dune and its purpose:  
\_\_\_\_\_

Will the structure be placed on pilings? \_\_\_\_ Yes \_\_\_\_ No

Total area occupied by any structure.  
\_\_\_\_\_ Square Feet

How far will the structure be placed channelward from the back edge of the dune? \_\_\_\_\_ feet

How far will the structure be placed channelward from the back edge of the beach? \_\_\_\_\_ feet

**19. NONTIDAL STREAM CHANNEL MODIFICATIONS FOR RESTORATION OR ENHANCMENT, or TEMPORARY OR PERMANENT RELOCATIONS**

*If proposed activities are being conducted for the purposes of compensatory mitigation, please attach separate sheets of paper providing all information required by the most recent version of the stream assessment methodology approved by the Norfolk District of the U.S. Army Corps of Engineers and the Virginia Department of Environmental Quality, in lieu of completing the questions below. Required information outlined by the methodology can be found at: <http://www.nao.usace.army.mil/Missions/Regulatory/UnifiedStreamMethodology.aspx> or <http://www.deq.virginia.gov/Programs/Water/WetlandsStreams/Mitigation.aspx>.*

*For all projects proposing stream restoration provide a completed Natural Channel Design Review Checklist and Selected Morphological Characteristics form. These forms and the associated manual can be located at: <https://www.fws.gov/chesapeakebay/StreamReports/NCD%20Review%20Checklist/Natural%20Channel%20Design%20Checklist%20Doc%20V2%20Final%2011-4-11.pdf>*

Has the stream restoration project been designed by a local, state, or federal agency? \_\_\_\_ Yes \_\_\_\_ No. If yes, please include the name of the agency here: \_\_\_\_\_.

Is the agency also providing funding for this project? \_\_\_\_ Yes \_\_\_\_ No

Stream dimensions at impact site (length and average width in linear feet, and area in square feet):

L: \_\_\_\_\_ (feet) AW: \_\_\_\_\_ (feet) Area: \_\_\_\_\_ (square feet)

Contributing drainage area: \_\_\_\_\_ acres or \_\_\_\_\_ square miles

# ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2004 English Cedar Circle

APPLICANT'S NAME: George N. Karavolos RLT

APPLICANT'S ADDRESS: 2315 Walke Street

Virginia Beach, VA 23451

ENGINEER OF RECORD: Sean Green, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Bulkhead, Dredging, Wharf, Groin Wall, & Boat Lift

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



7/19/2022

\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

\_\_\_\_\_  
DATE

Sean Green, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



7/1/22

SIGNATURE OF APPLICANT

DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

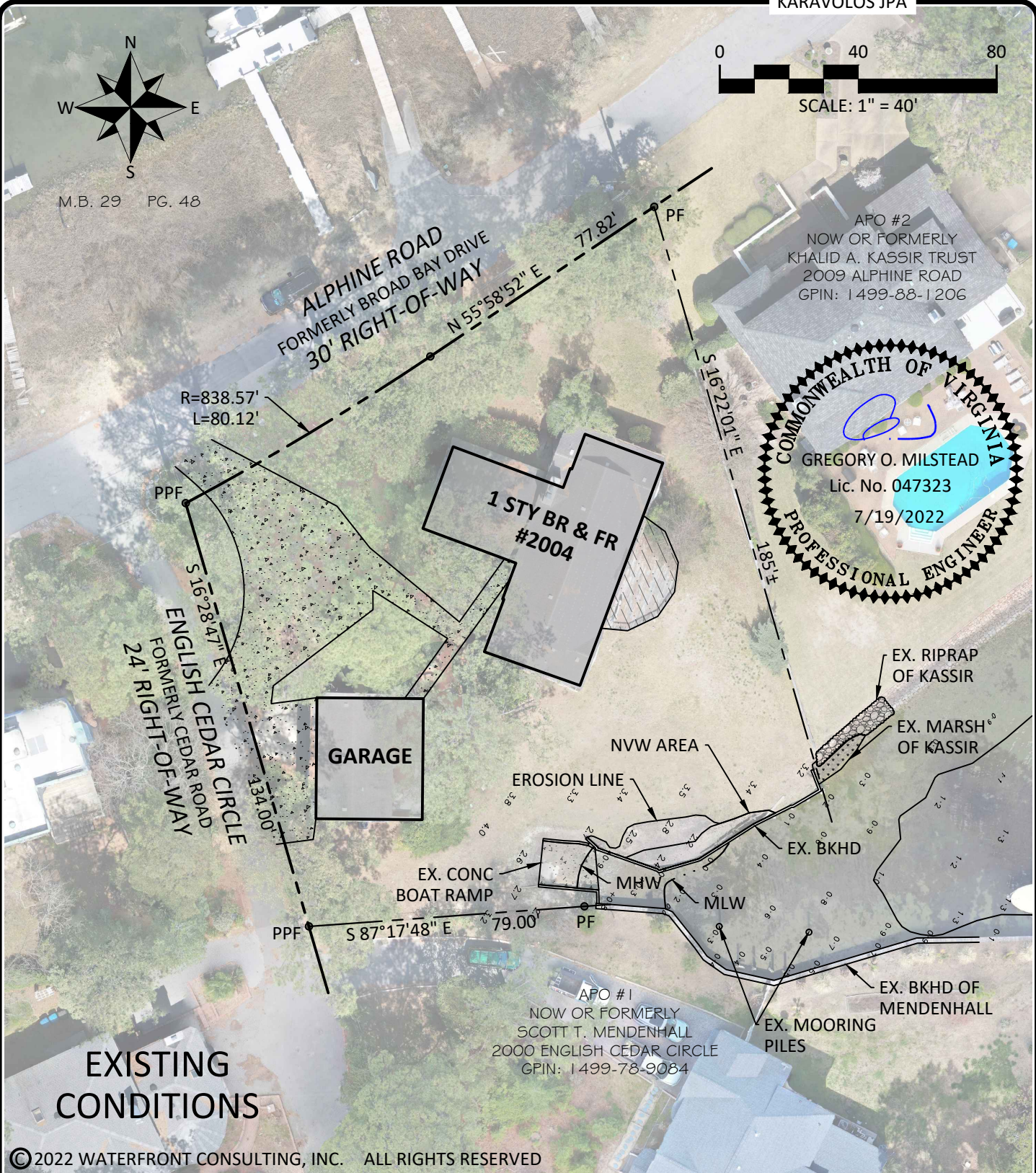
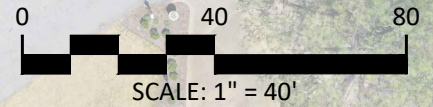
\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



M.B. 29 PG. 48



**EXISTING CONDITIONS**

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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

**REV:**

ENGINEERING SERVICES PROVIDED BY:

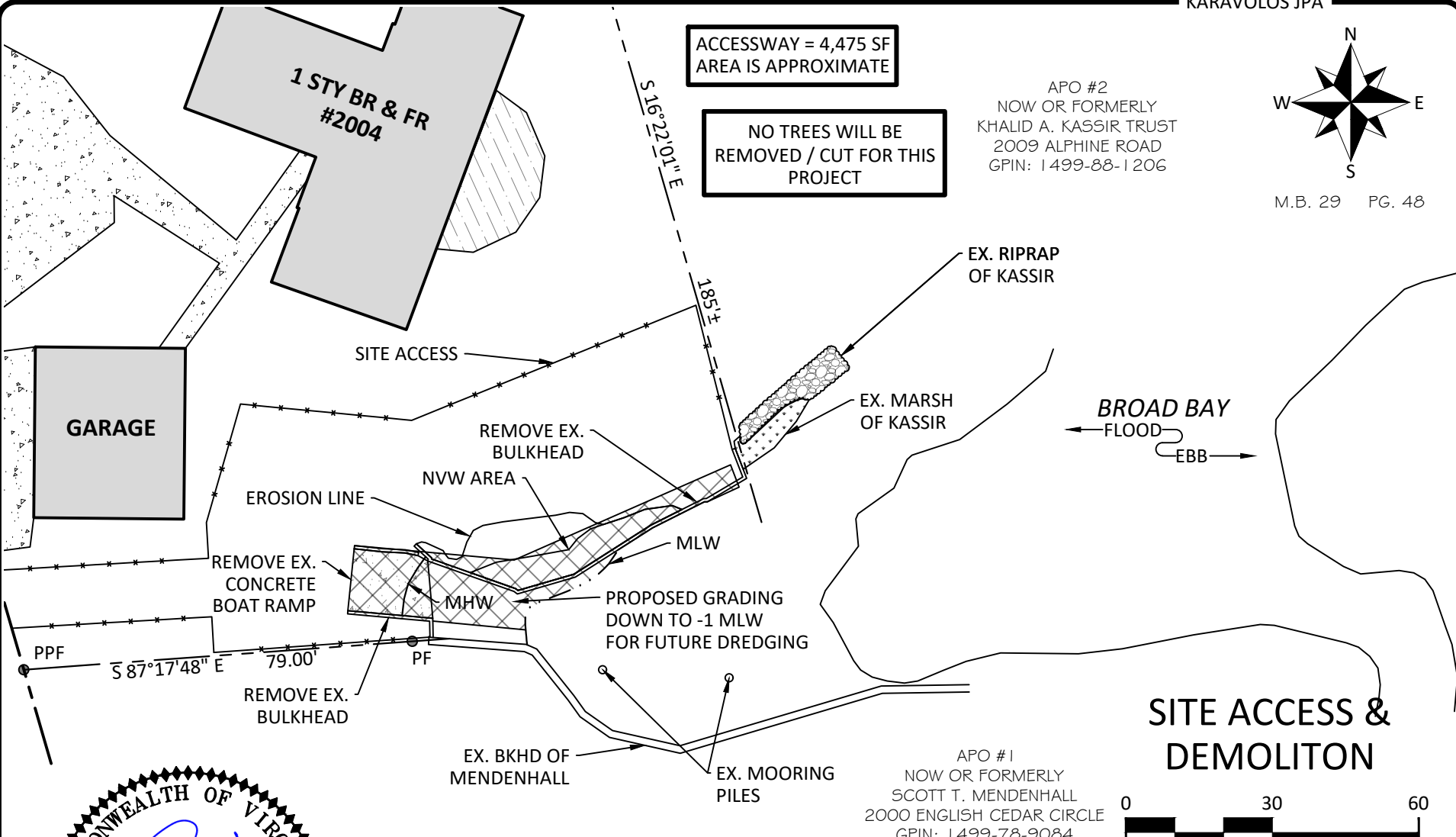
**CHESAPEAKE BAY**  
SITE SOLUTIONS

P.O. BOX 6663  
 VIRGINIA BEACH  
 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

**PROPOSED:** BULKHEAD, GRADING, GROIN WALL, WHARF, & BOAT LIFT  
**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
 GEORGE N. KARAVOLOS RLT  
**SHEET:** 1 OF 14  
**DATE:** MAY 25, 2022

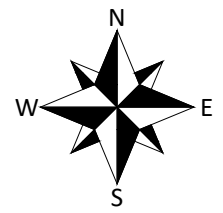




ACCESSWAY = 4,475 SF  
AREA IS APPROXIMATE

NO TREES WILL BE  
REMOVED / CUT FOR THIS  
PROJECT

APO #2  
NOW OR FORMERLY  
KHALID A. KASSIR TRUST  
2009 ALPINE ROAD  
GPIN: 1499-88-1206

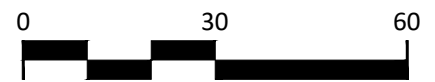


M.B. 29 PG. 48



### SITE ACCESS & DEMOLITON

APO #1  
NOW OR FORMERLY  
SCOTT T. MENDENHALL  
2000 ENGLISH CEDAR CIRCLE  
GPIN: 1499-78-9084



SCALE: 1" = 30'

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**PURPOSE:**  
DATUM: MLW = 0.00'  
APOS:  
1. SCOTT T. MENDENHALL  
2. KHALID A. KASSIR TRUST

**REV:**

**ENGINEERING SERVICES PROVIDED BY:**



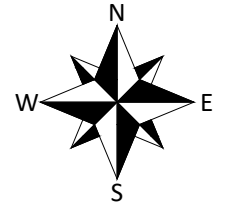
P.O BOX 6663  
VIRGINIA BEACH  
VIRGINIA 23456  
(757) 575-3715

**CONSULTING SERVICES PROVIDED BY:**  
WATERFRONT CONSULTING, INC.  
2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
PHONE: (757) 619-7302

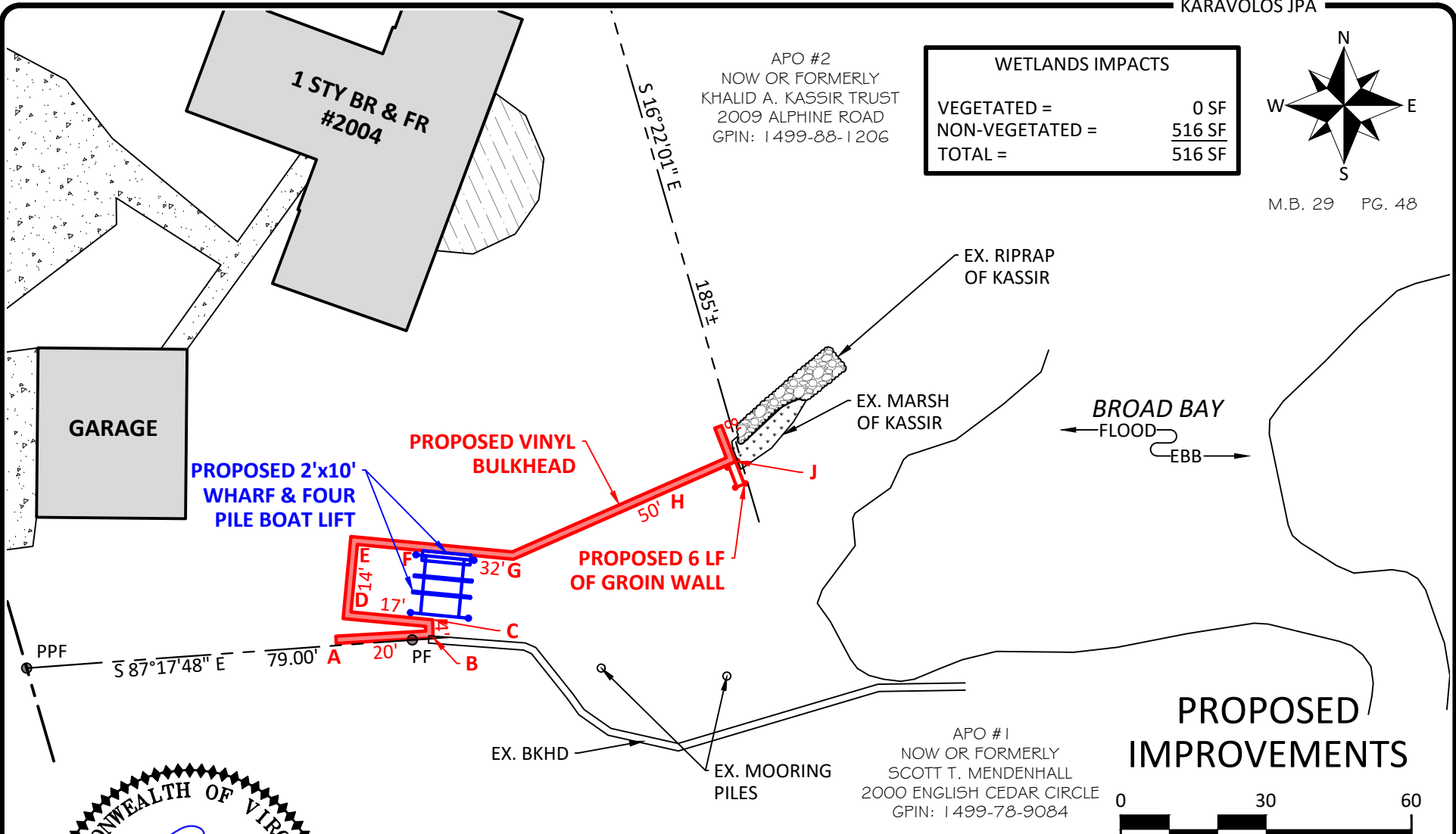
**PROPOSED:** BULKHEAD, GRADING,  
GROIN WALL, WHARF, & BOAT LIFT  
**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE  
VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
GEORGE N. KARAVOLOS RLT  
**SHEET:** 2 OF 14  
**DATE:** MAY 25, 2022

APO #2  
 NOW OR FORMERLY  
 KHALID A. KASSIR TRUST  
 2009 ALPINE ROAD  
 GPIN: 1499-88-1206

| WETLANDS IMPACTS |        |
|------------------|--------|
| VEGETATED =      | 0 SF   |
| NON-VEGETATED =  | 516 SF |
| TOTAL =          | 516 SF |



M.B. 29 PG. 48



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PURPOSE:  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

REV:

ENGINEERING SERVICES PROVIDED BY:

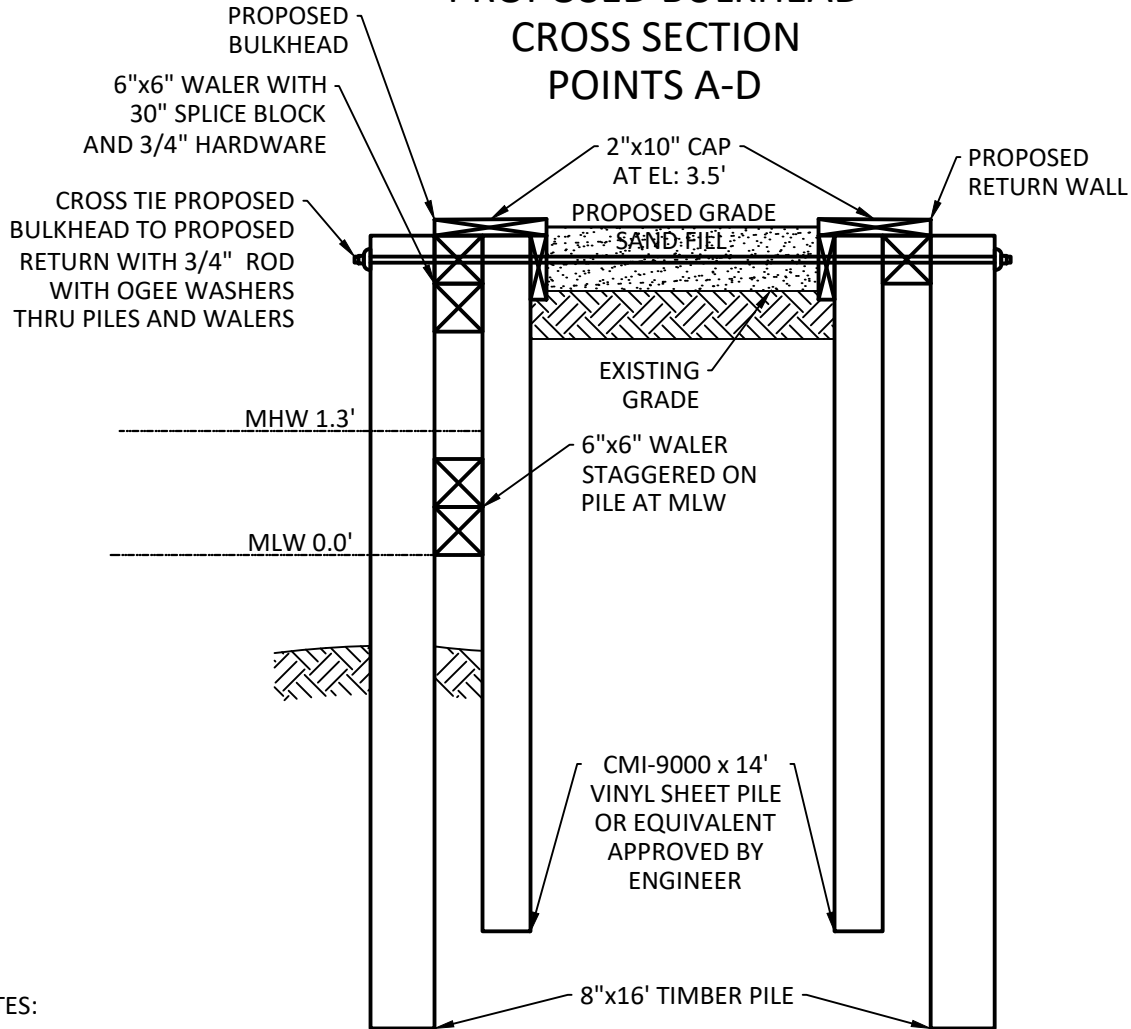


P.O BOX 6663  
 VIRGINIA BEACH  
 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

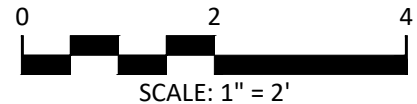
PROPOSED: BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
 IN: BROAD BAY  
 AT: 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE N. KARAVOLOS RLT  
 SHEET: 3 OF 14  
 DATE: MAY 25, 2022

## PROPOSED BULKHEAD CROSS SECTION POINTS A-D



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA.
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.
4. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS.
5. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS.
6. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



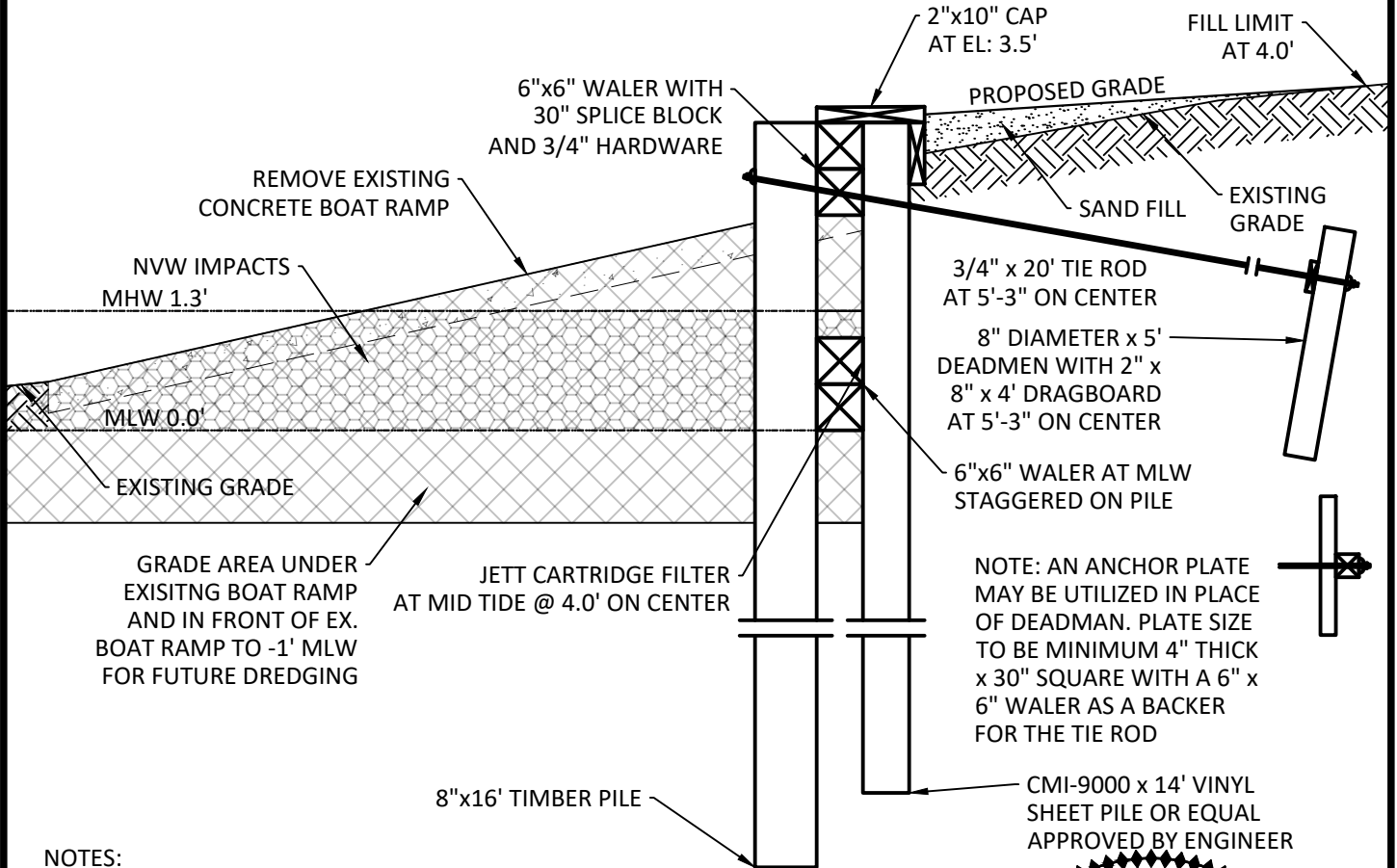
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 VIRGINIA 23456  
 (757) 575-3715

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 PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
 IN: BROAD BAY  
 AT: 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE N. KARAVOLOS RLT  
 SHEET: 4 OF 14  
 DATE: MAY 25, 2022

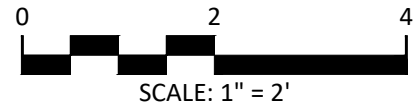
REV:

# PROPOSED BULKHEAD CROSS SECTION POINTS D-F



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA.
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.
4. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS.
5. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS.
6. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**PURPOSE:**  
DATUM: MLW = 0.00'  
APOS:  
1. SCOTT T. MENDENHALL  
2. KHALID A. KASSIR TRUST

**REV:**

ENGINEERING SERVICES PROVIDED BY:



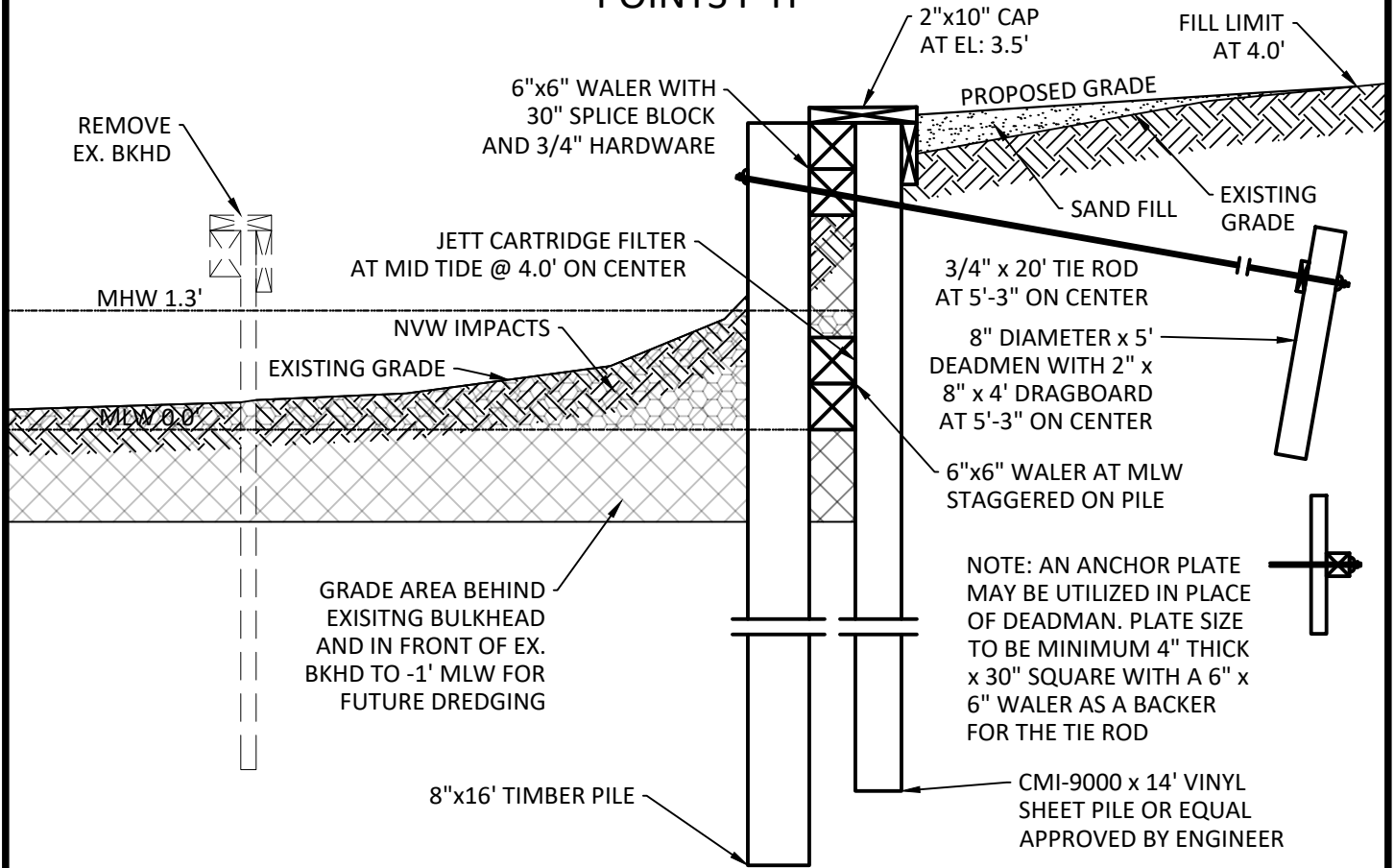
**CHESAPEAKE BAY  
SITE SOLUTIONS**

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VIRGINIA BEACH  
VIRGINIA 23456  
(757) 575-3715

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2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
PHONE: (757) 619-7302

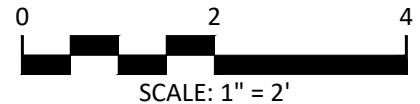
**PROPOSED:** BULKHEAD, GRADING, GROIN WALL, WHARF, & BOAT LIFT  
**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
GEORGE N. KARAVOLOS RLT  
**SHEET:** 5 OF 14  
**DATE:** MAY 25, 2022

# PROPOSED BULKHEAD CROSS SECTION POINTS F-H



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA.
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.
4. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS.
5. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS.
6. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

**REV:**

ENGINEERING SERVICES PROVIDED BY:



**CHESAPEAKE BAY  
SITE SOLUTIONS**

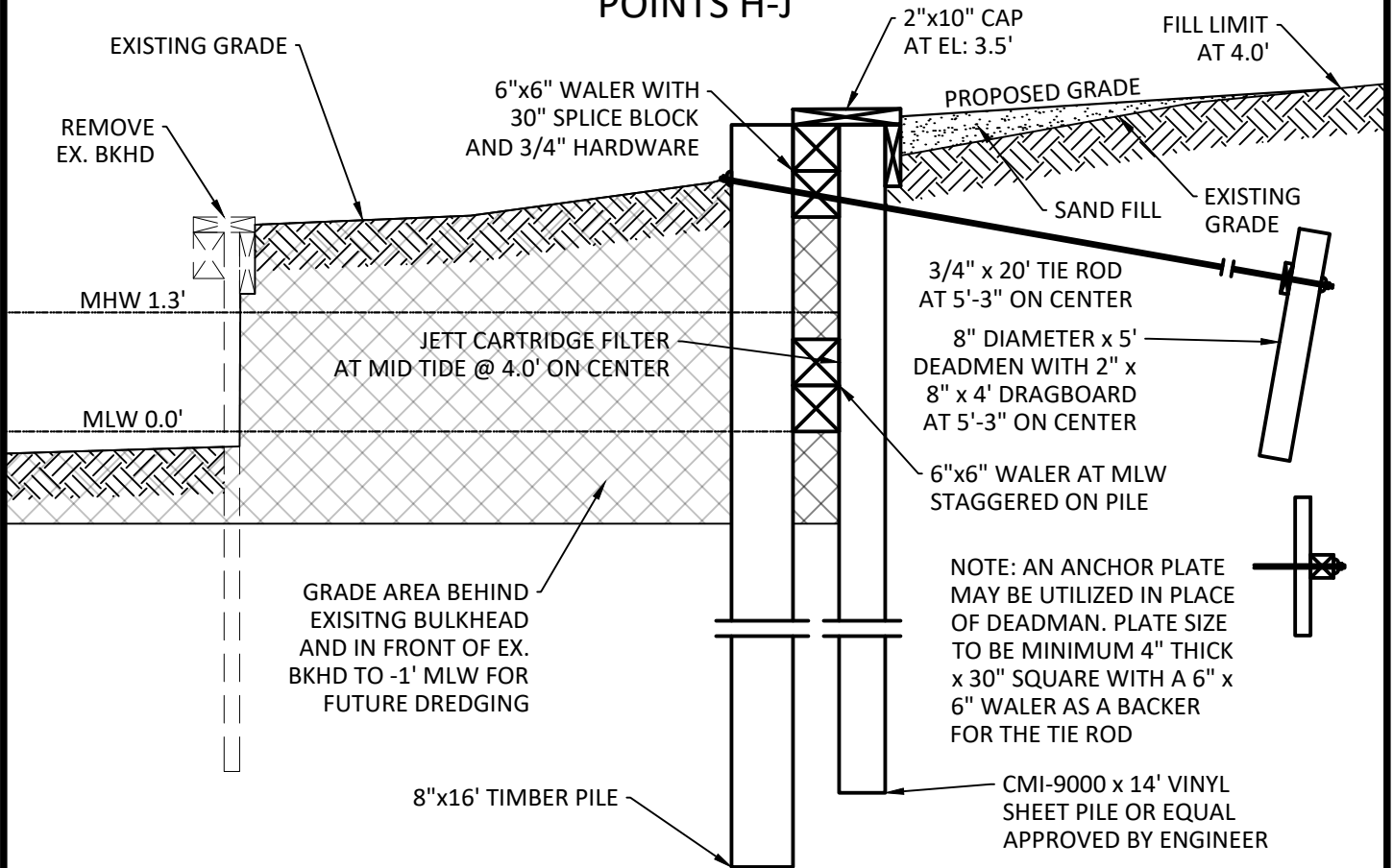
P.O BOX 6663  
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 VIRGINIA 23456  
 (757) 575-3715

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 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

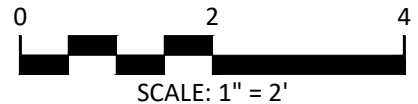
**PROPOSED:** BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
 GEORGE N. KARAVOLOS RLT  
**SHEET:** 6 OF 14  
**DATE:** MAY 25, 2022

# PROPOSED BULKHEAD CROSS SECTION POINTS H-J



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA.
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN.
4. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS.
5. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS.
6. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



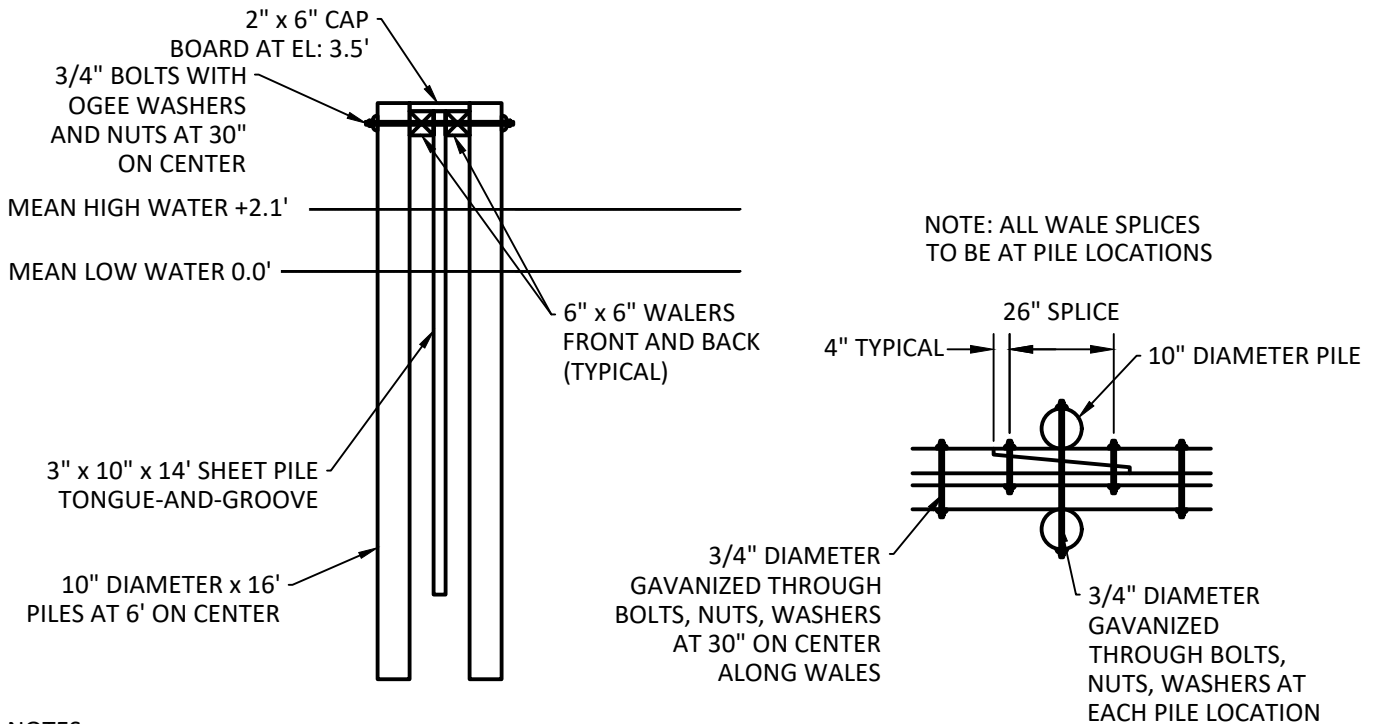
P.O BOX 6663  
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 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
 IN: BROAD BAY  
 AT: 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE N. KARAVOLOS RLT  
 SHEET: 7 OF 14  
 DATE: MAY 25, 2022

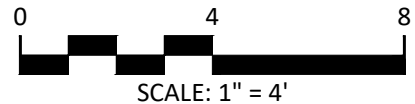
REV:

## PROPOSED GROIN WALL CROSS SECTION



**NOTES**

1. PILE LENGTHS NOT SHOWN TO SCALE.
2. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWWA
3. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
4. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
5. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE. PILES ARE TO BE DRIVEN TO REFUSAL.
8. NOAA 2017 INTERMEDIATE-HIGH SEA LEVEL RISE PROJECTION SHOWN ABOVE IN ACCORDANCE WITH VIRGINIA MARINE RESOURCES COMMISSION 'TIDAL WETLANDS GUIDELINES' DEVELOPED PURSUANT TO CHAPTER 13 TITLE 28.2, CODE OF VIRGINIA.



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**PURPOSE:**  
DATUM: MLW = 0.00'  
APOS:  
1. SCOTT T. MENDENHALL  
2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



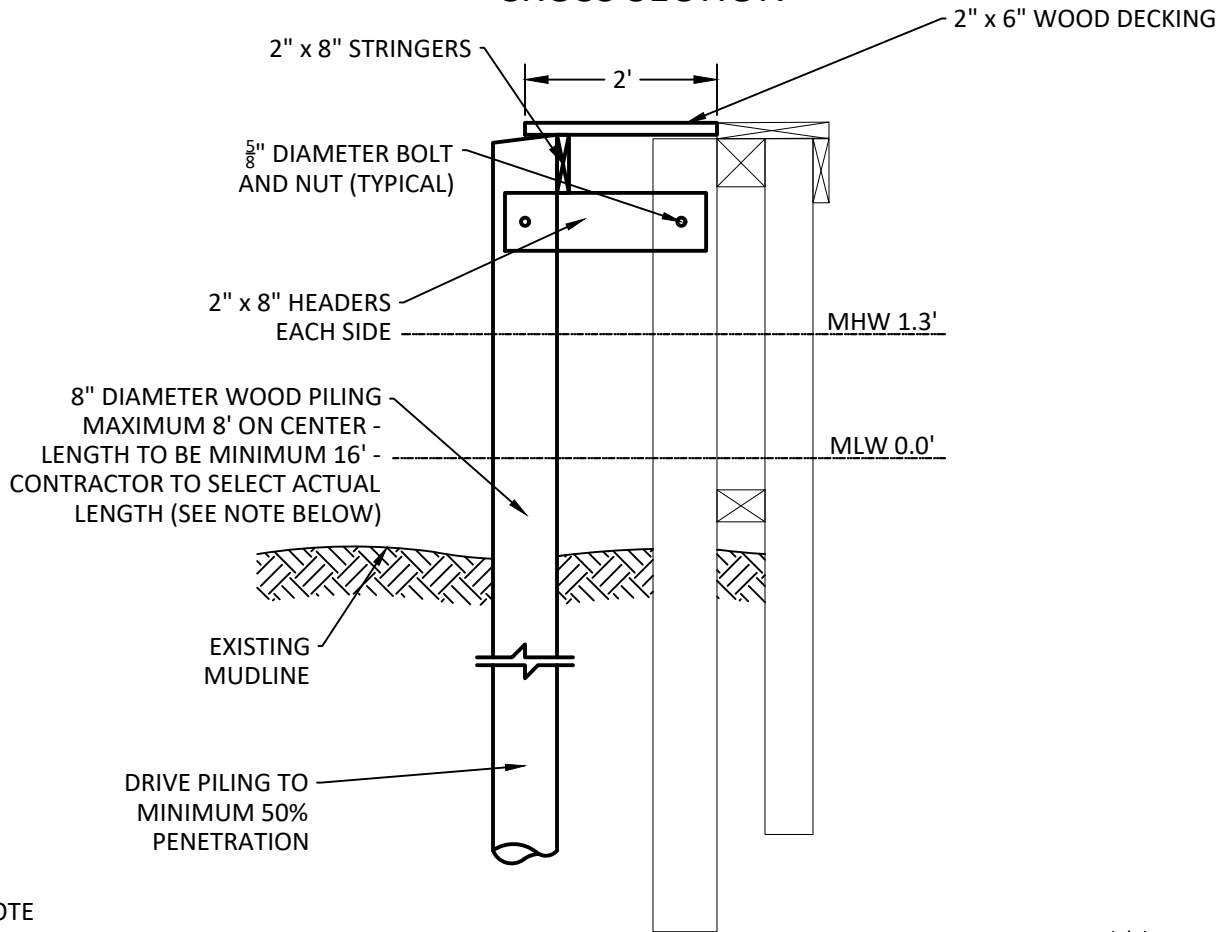
P.O BOX 6663  
VIRGINIA BEACH  
VIRGINIA 23456  
(757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
WATERFRONT CONSULTING, INC.  
2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
GROIN WALL, WHARF, & BOAT LIFT  
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AT: 2004 ENGLISH CEDAR CIRCLE  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
GEORGE N. KARAVOLOS RLT  
SHEET: 8 OF 14  
DATE: MAY 25, 2022

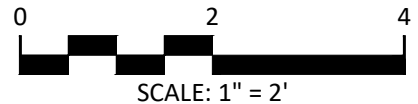
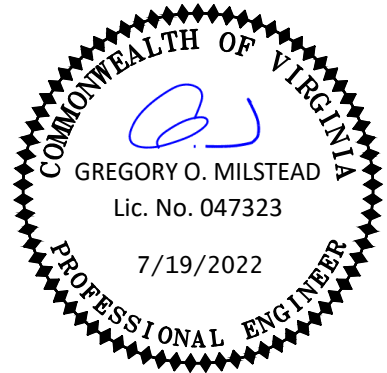
REV:

### PROPOSED WHARF CROSS SECTION



**NOTE**

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWPA.
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.



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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663  
 VIRGINIA BEACH  
 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
 IN: BROAD BAY  
 AT: 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE N. KARAVOLOS RLT  
 SHEET: 9 OF 14  
 DATE: MAY 25, 2022

REV:



### NLAA COMPLIANCE

| ITEM      | 8"PILE | 10" PILE | 12" PILE |  |  |
|-----------|--------|----------|----------|--|--|
| WHARF     | 2      |          |          |  |  |
| BOAT LIFT |        | 4        |          |  |  |
| BULKHEAD  | 25     |          |          |  |  |
| GROIN     | 4      |          |          |  |  |

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

### TABLE OF CONTROLS

| REFERENCE POINT | A | B | C | D | E | F | G | H | I | J |
|-----------------|---|---|---|---|---|---|---|---|---|---|
|                 |   |   |   |   |   |   |   |   |   |   |
|                 |   |   |   |   |   |   |   |   |   |   |
|                 |   |   |   |   |   |   |   |   |   |   |
|                 |   |   |   |   |   |   |   |   |   |   |



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PURPOSE:  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

REV:

ENGINEERING SERVICES PROVIDED BY:



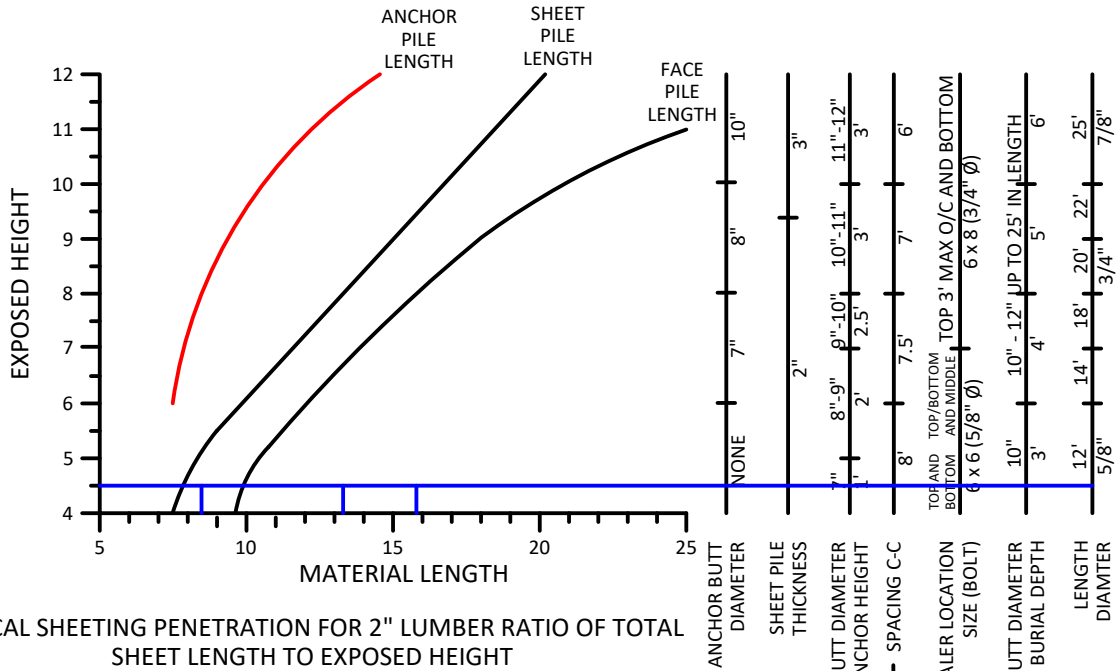
P.O BOX 6663  
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 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
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 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
 IN: BROAD BAY  
 AT: 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE N. KARAVOLOS RLT  
 SHEET: 10 OF 14  
 DATE: MAY 25, 2022

# BULKHEAD DESIGN NOMOGRAPH

(FLAT BERM/BANK, SANDY SOIL)  
(FROM SOUTHERN PINE COUNCIL MARINE CONSTRUCTION MANUAL)



TYPICAL SHEETING PENETRATION FOR 2" LUMBER RATIO OF TOTAL SHEET LENGTH TO EXPOSED HEIGHT

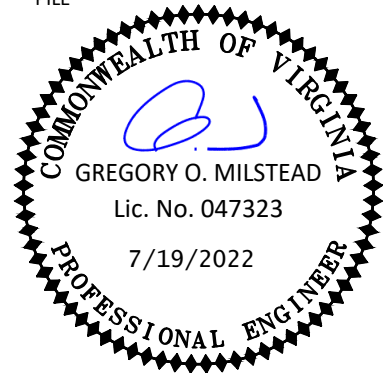
| BANK ANGLE | CLAY/SAND BERM |     |     | SAND BERM |     |     | FIRM SAND BERM |     |     |
|------------|----------------|-----|-----|-----------|-----|-----|----------------|-----|-----|
|            | 0              | 10  | 15  | 0         | 10  | 15  | 0              | 10  | 15  |
| 0          | 1.8            | 2.1 | 2.4 | 1.7       | 1.9 | 2.5 | 1.5            | 1.7 | 2.0 |
| 10         | 1.9            | 2.2 | 2.5 | 1.7       | 2.0 | 2.8 | 1.6            | 1.7 | 2.1 |
| 20         |                |     |     | 1.8       | 2.2 | 3.2 | 1.6            | 1.8 | 2.3 |

ASSUMES NO SURCHARGE AND NO HYDROSTATIC PRESSURE.

1'-1/2" WEEP HOLES PROVIDED AT 6' ON CENTER AT MEAN LOW LOW WATER OR 6" ABOVE BERM LINE WITH 1 CUBIC FOOT OF STONE WRAPPED IN FILTER FABRIC AS FILTER.

THESE PLANS ARE FOR PERMIT PURPOSES ONLY.

BULKHEAD MATERIAL DIMENSIONS SHOWN ABOVE ARE THE MINIMUMS ACCEPTABLE BASED ON STANDARD DESIGN PRACTICES AND THE VISIBLE SITE CHARACTERISTICS. NO GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED AT THIS SITE. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE ACTUAL EXPOSED HEIGHT OF THE BULKHEAD IS DETERMINED PRIOR TO THE INSTALLATION OF ANY MATERIALS. ACTUAL EXPOSED HEIGHT IS BASED ON DEPTH OF FIRM MATERIAL TO AP OF BULKHEAD. THE ACTUAL LENGTH OF THE MATERIALS REQUIRED MAY NEED TO BE INCREASED BEYOND THOSE SHOWN IN THESE DRAWINGS.



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**PURPOSE:**  
DATUM: MLW = 0.00'  
APOS:  
1. SCOTT T. MENDENHALL  
2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663  
VIRGINIA BEACH  
VIRGINIA 23456  
(757) 575-3715

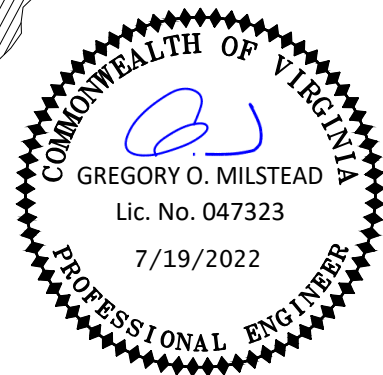
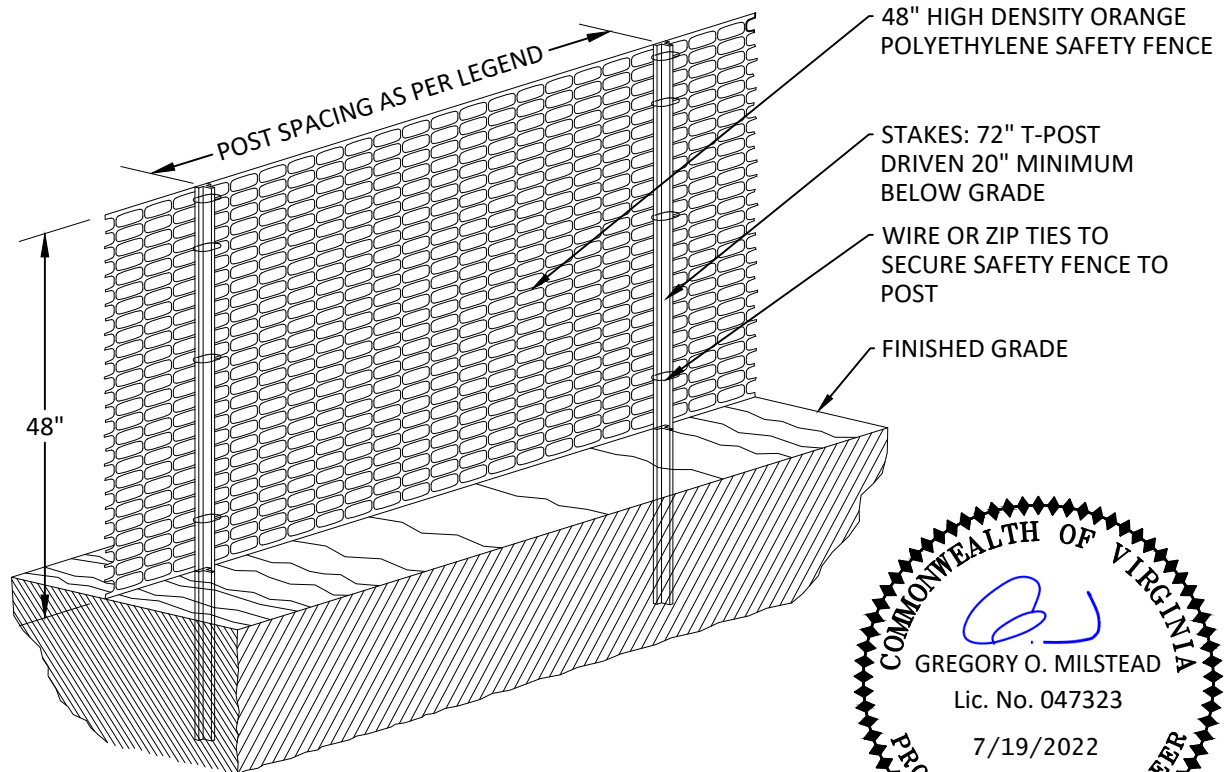
CONSULTING SERVICES PROVIDED BY:  
WATERFRONT CONSULTING, INC.  
2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
PHONE: (757) 619-7302

PROPOSED: BULKHEAD, GRADING,  
GROIN WALL, WHARF, & BOAT LIFT  
IN: BROAD BAY  
AT: 2004 ENGLISH CEDAR CIRCLE  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
GEORGE N. KARAVOLOS RLT  
SHEET: 11 OF 14  
DATE: MAY 25, 2022

REV:

## 48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

| LEGEND |                                     |
|--------|-------------------------------------|
| SAF12  | 48" ORANGE FENCE, 12 FEET ON CENTER |
| SAF11  | 48" ORANGE FENCE, 11 FEET ON CENTER |
| SAF10  | 48" ORANGE FENCE, 10 FEET ON CENTER |
| SAF9   | 48" ORANGE FENCE, 9 FEET ON CENTER  |
| SAF8   | 48" ORANGE FENCE, 8 FEET ON CENTER  |
| SAF7   | 48" ORANGE FENCE, 7 FEET ON CENTER  |
| SAF6   | 48" ORANGE FENCE, 6 FEET ON CENTER  |



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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



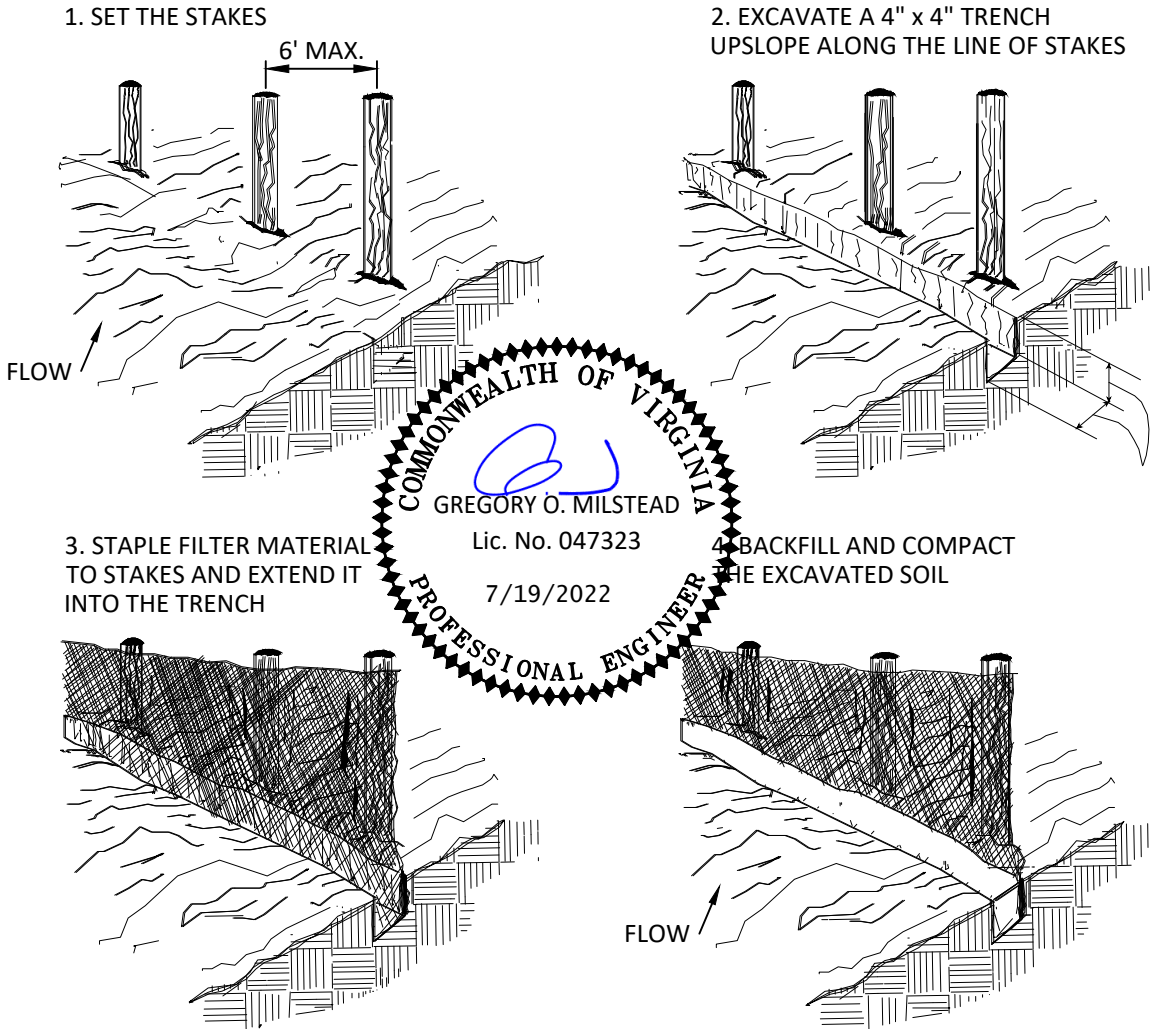
P.O BOX 6663  
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 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

**PROPOSED:** BULKHEAD, GRADING,  
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**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
 GEORGE N. KARAVOLOS RLT  
**SHEET:** 12 OF 14  
**DATE:** MAY 25, 2022

REV:

## CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



COMMONWEALTH OF VIRGINIA  
 GREGORY O. MILSTEAD  
 Lic. No. 047323  
 7/19/2022  
 PROFESSIONAL ENGINEER

## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2

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**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663  
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 VIRGINIA 23456  
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CONSULTING SERVICES PROVIDED BY:  
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**PROPOSED:** BULKHEAD, GRADING,  
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**AT:** 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
 GEORGE N. KARAVOLOS RLT  
**SHEET:** 13 OF 14  
**DATE:** MAY 25, 2022

REV:

SITE INFORMATION

LEGAL DESCRIPTION: **LOTS 95 & 96, BROAD BAY COLONY**

REFERENCE: **MAP BOOK 29, PAGE 48**, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA

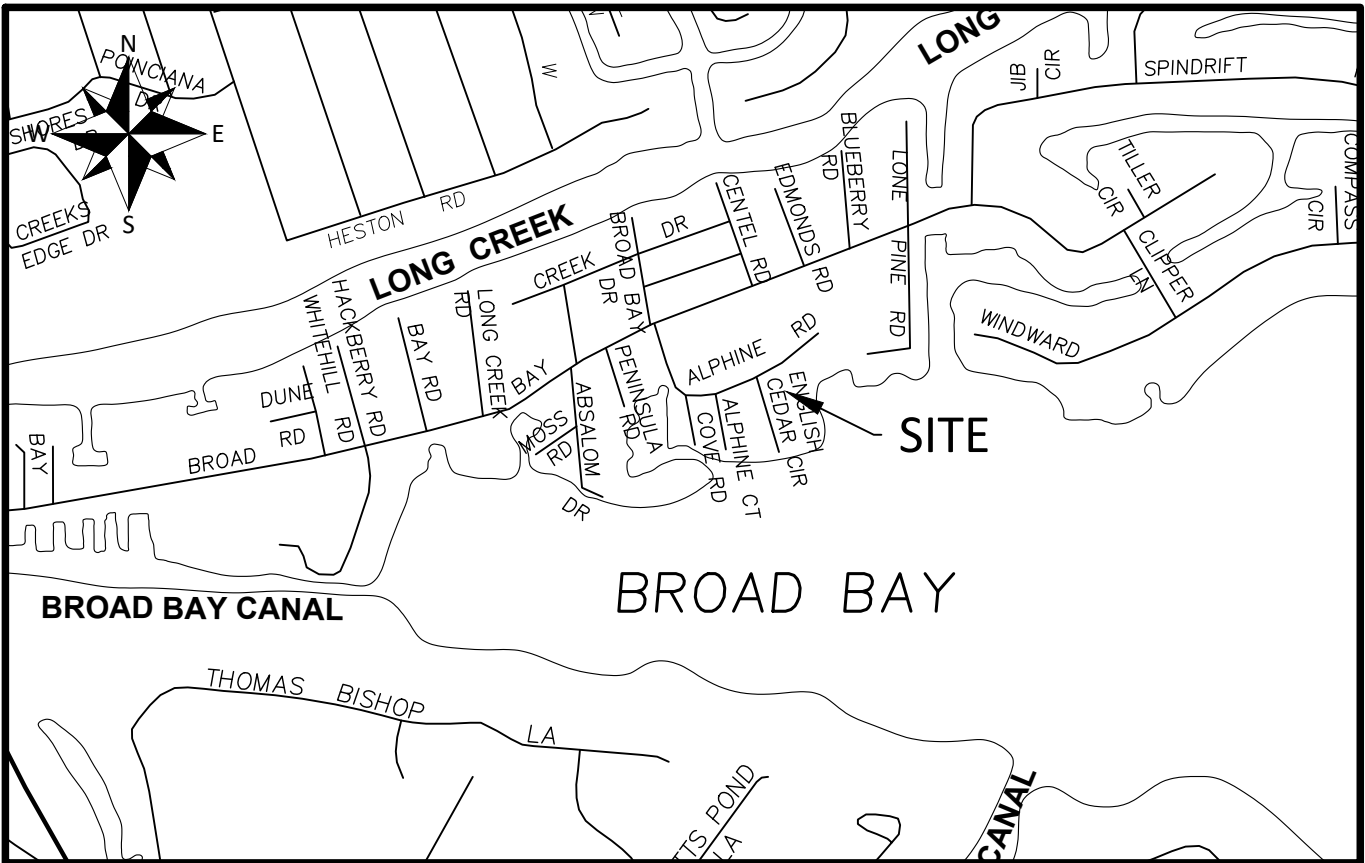
GPIN: **1499-78-9270**

ZONING: **R-10 RESIDENTIAL**



SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



**VICINITY MAP**

© 2022 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED

**PURPOSE:**  
 DATUM: MLW = 0.00'  
 APOS:  
 1. SCOTT T. MENDENHALL  
 2. KHALID A. KASSIR TRUST

ENGINEERING SERVICES PROVIDED BY:



P.O BOX 6663  
 VIRGINIA BEACH  
 VIRGINIA 23456  
 (757) 575-3715

CONSULTING SERVICES PROVIDED BY:  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT #323, VIRGINIA BEACH, VA 23454  
 PHONE: (757) 619-7302

**PROPOSED:** BULKHEAD, GRADING,  
 GROIN WALL, WHARF, & BOAT LIFT  
**IN:** BROAD BAY  
**AT:** 2004 ENGLISH CEDAR CIRCLE  
 VIRGINIA BEACH, VA 23454  
**APPLICATION BY:**  
 GEORGE N. KARAVOLOS RLT  
**SHEET:** 14 OF 14  
**DATE:** MAY 25, 2022

REV:

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_

Location: 2004 English Cedar Circle GPIN: 1499-78-9270

Watershed: Lynnhaven-Poquoson HUC: 02080108

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

| Select all that apply | Stormwater Management Control   | Estimated installation date | Responsible party                          |
|-----------------------|---|-----------------------------|--|
|                       | Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale | NA                          | Common Plan Construction Activity Operator |
|                       | Rooftop Disconnection   |                             | Construction Activity Operator             |
|                       | Sheetflow to Vegetated Filter (1 or 2)  |                             | Construction Activity Operator             |
|                       | Grass Channel   |                             | Construction Activity Operator             |
|                       | Rainwater harvesting  |                             | Construction Activity Operator             |
|                       | Permeable Paving (1 or 2)   |                             | Construction Activity Operator             |

| Select all that apply | Stormwater Management Controls   | Estimated Installation Date | Responsible Party              |
|-----------------------|--|-----------------------------|--------------------------------|
|                       | Infiltration (1 or 2)  |                             | Construction Activity Operator |
|                       | Bioretention (1 or 2)  |                             | Construction Activity Operator |
| X                     | Others (describe) <b>Restore impacted buffer to preconstruction condition or enhance per plan.</b> |                             | Construction Activity Operator |

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner: George N. Karavolos, Trustee Print Name: George N. Karavolos RLT

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: 7/1/22



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

July 5, 2022

Scott T. Mendenhall  
2000 English Cedar Circle  
Virginia Beach, VA 23451

**RE: Proposed Bulkhead, Dredging, Wharf, Groin Wall, & Boat Lift  
Located at 2004 English Cedar Circle, Virginia Beach, VA 23451**

Dear Scott T. Mendenhall

This letter is to notify you that your neighbor(s), George N. Karavolos RLT have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: George N. Karavolos RLT , Applicant



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Scott T. Mendenhall, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of George N. Karavolos RLT.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated May 25, 2022  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

July 5, 2022

Khalid A. Kassir Trust  
2009 Alphine Road  
Virginia Beach

**RE: Proposed Bulkhead, Dredging, Wharf, Groin Wall, & Boat Lift  
Located at 2004 English Cedar Circle, Virginia Beach, VA 23451**

Dear Khalid A. Kassir Trust

This letter is to notify you that your neighbor(s), George N. Karavolos RLT have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
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We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: George N. Karavolos RLT , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Khalid A. Kassir Trust, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of George N. Karavolos RLT.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated May 25, 2022  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

**3. 2022-WTRA-00169**

**John S. and Leanna C. Freid Living Trust [Applicant & Owner]**

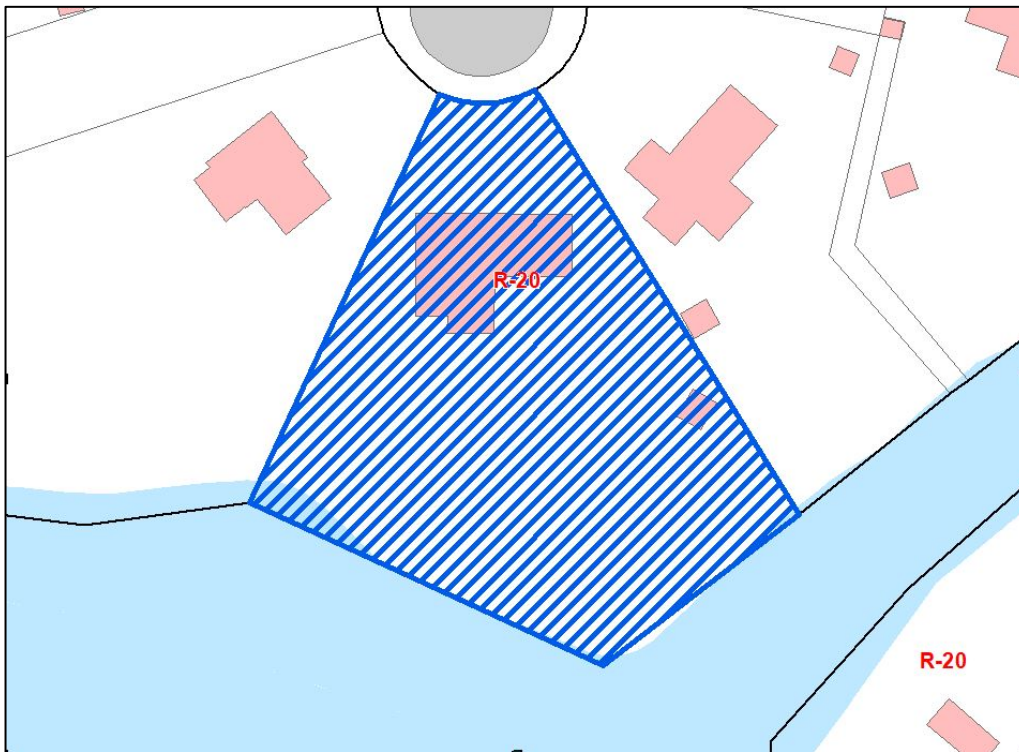
**To construct rip rap involving wetlands**

2349 S Wolfsnare Court  
(GPIN 1497-99-0840)

Waterway – Canal to Eastern Branch of Lynnhaven River

Subdivision – Wolfsnare Plantation

Council District - District 8



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** John Freid

Does the applicant have a representative?  **Yes**  **No**

- If **yes**, list the name of the representative.

Billy Garrington

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

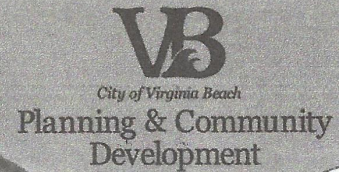
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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  **Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.

GALLUP SURVEYORS & ENGINEERS

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

*John Freid*

Applicant Signature

John Freid

Print Name and Title

11 July 2022

Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

|                          |                  |      |            |  |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature  |  |
|                          |                  |      | Print Name |  |

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

| FOR AGENCY USE ONLY |               |
|---------------------|---------------|
|                     | Notes:        |
|                     | JPA # 22-1579 |

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

| <i>Check all that apply</i>   |   |  |   |                                   |
|---|---|--|---|-----------------------------------|
| Pre-Construction Notification (PCN) <input type="checkbox"/>  | NWP # _____<br><i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i> |  | Regional Permit 17 (RP-17) <input type="checkbox"/> |                                   |
| County or City in which the project is located: <u>Virginia Beach</u>   |   |  |   |                                   |
| Waterway at project site: <u>Canal from Lynnhaven River</u>   |   |  |   |                                   |
| <b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>  |   |  |   |                                   |
| Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a> |   |  |   |                                   |
| Agency  | Action / Activity   | Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13) | Date of Action                                      | If denied, give reason for denial |
|   |   |  |   |                                   |
|   |   |  |   |                                   |



## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:
- |                             |                        |
|-----------------------------|------------------------|
| John S. and Leanna C. Freid | Home (757) 681-4250    |
| 2349 S. Wolfsnare Court     | Work ( )               |
| Virginia Beach, VA 23454    | Fax ( )                |
|                             | Cell ( )               |
|                             | e-mail jlfreid@cox.net |
- State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:
- |  |          |
|--|----------|
|  | Home ( ) |
|  | Work ( ) |
|  | Fax ( )  |
|  | Cell ( ) |
|  | e-mail   |
- State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:
- |                         |                             |
|-------------------------|-----------------------------|
| Billy Garrington        | Home ( )                    |
| 471 Southside Road      | Work (757) 478-4245         |
| Virginia Beach, VA 2345 | Fax (757) 478-4245          |
|                         | Cell ( )                    |
|                         | e-mail jgarrington1@cox.net |
- State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Install 36 L.F. of class I and 1A granite rip rap revetment to protect two pine trees. Access through the yard defined by safety fence. No loss of trees or shrubs will occur.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot  
150 W. Brambleton Avenue  
Norfolk, VA 23510

Telephone number

(757 ) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 2349 S. Wolfsnare Court

Lot/Block/Parcel# Lot 11, Section One

Subdivision Wolfsnare Plantation

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36-51-14.18 / -76-03-07.92 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to safe two trees. Secondary purpose is to enhance the property.

## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- No clearing. Minimal construction footprint defined by safety fence.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 7,500  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 0
13. Completion date of the proposed work: December 30, - 2022
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

1. Earlene Newhart Revocable Trust  
2345 S. Wolfsnare Court  
Virginia Beach, VA 23454
  
  2. Jonathan N. Paul  
2353 S. Wolfsnare Court  
Virginia Beach, VA 23454

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

John S. and Leanna C. Freid

Applicant's Legal Name (printed/typed)

John S Freid

Applicant's Signature

9 June 2022

Date

(Use if more than one applicant)

Leanna C Freid

(Use if more than one applicant)

John S Freid  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

John S Freid  
Property Owner's Signature

9 June 2022

Date

Leanna C Freid  
(Use if more than one owner)

Leanna C Freid  
(Use if more than one owner)

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), John & Leanna Freid, hereby certify that I (we) have authorized David R. Butler  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

D.R. Butler / Billy Dunston  
(Agent's Signature) (Use if more than one agent)

6-1-22  
(Date)

John Freid  
(Applicant's Signature) (Use if more than one applicant)

9 June 2022  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

John Freid  
Applicant's signature

Leanna C Freid  
(use if more than one applicant)

9 June 2022  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write "N/A" in the space provided.

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? \_\_\_ Yes \_\_\_ No

If yes, will it be removed? \_\_\_ Yes \_\_\_ No

Is your lot platted to the mean low water shoreline? \_\_\_ Yes \_\_\_ No

What is the overall length of the proposed structure? 12 feet.

Channelward of Mean High Water? \_\_\_\_\_ feet.

Channelward of Mean Low Water? \_\_\_\_\_ feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands \_\_\_\_\_ square feet.

Tidal vegetated wetlands \_\_\_\_\_ square feet.

Submerged lands n/a (lift) square feet.

What is the total size of any and all L- or T-head platforms? \_\_\_\_\_ sq. ft.

For boathouses, what is the overall size of the roof structure? \_\_\_\_\_ sq. ft.

Will your boathouse have sides? \_\_\_ Yes \_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install 36 L.F. of class I and 1A granite rip rap revetment to protect two pine trees. 108 sq. ft. of mudflat will be impacted and will be converted to rock habitat. The majority of the property from the toe of slope is jurisdictional wetlands and that area will remain as is. In order to provide a living shoreline in the area of the proposed revetment, the uplands in the vicinity of the rock would need to be cut. The purpose of this application is to save two trees located at the top of the bank along the shoreline. Cutting the ground in that area will most likely cause those two trees to die.

2. What is the maximum encroachment channelward of mean high water? 3 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? n/a feet.
3. Please calculate the square footage of encroachment over:
- |                          |            |             |
|--------------------------|------------|-------------|
| • Vegetated wetlands     | <u>0</u>   | square feet |
| • Non-vegetated wetlands | <u>108</u> | square feet |
| • Subaqueous bottom      | <u>0</u>   | square feet |
| • Dune and/or beach      | <u>n/a</u> | square feet |

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?      Yes      No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?      Yes      No.

If no, please provide an explanation for the purpose and need for the additional encroachment.





ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2349 S. WOLFENBARE COURT

APPLICANT'S NAME: JOHN S. & LEANNA C. FREID

APPLICANT'S ADDRESS: 2349 S. WOLFENBARE COURT

VIRGINIA BEACH, VA 23454

ENGINEER OF RECORD: DAVID R. BUTLER

PROFESSIONAL ENGINEER/SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION:

DAVID R. BUTLER

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

David R. Butler

6-1-22

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

DAVID R. BUTLER

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

John S. Freid Leanna C. Freid 9 June 2022

SIGNATURE OF APPLICANT

DATE

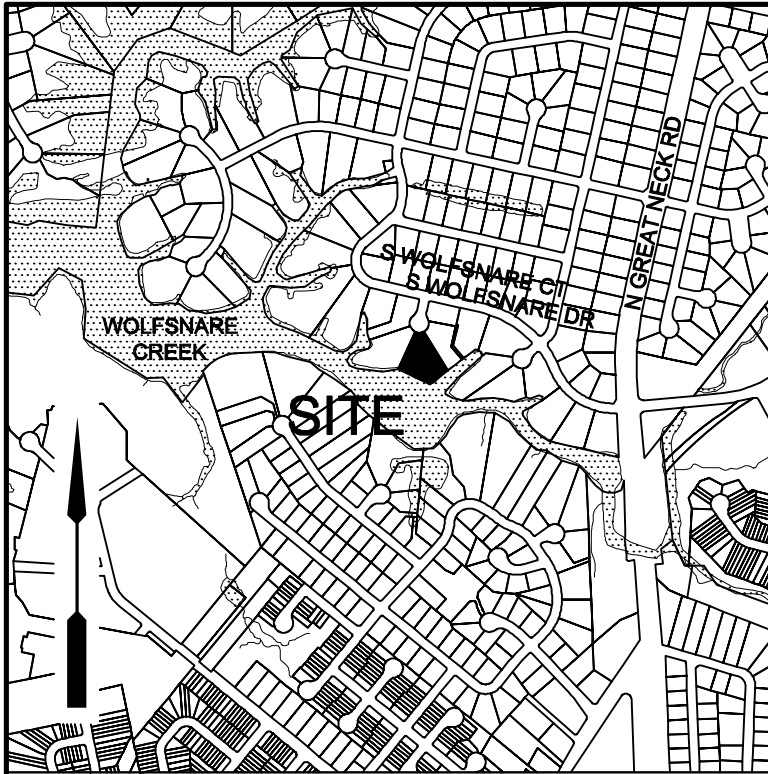
[Signature]

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



LOCATION MAP

SCALE: 1"=1000'

**SITE DATA**

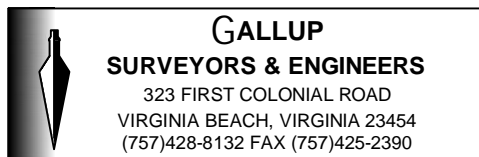
1. SITE ADDRESS: 2349 S. WOLFSNARE COURT  
VIRGINIA BEACH, VA. 23454
2. LEGAL: LOT 11, SECTION ONE, WOLFSNARE  
PLANTATION, M.B. 42, PG. 25
3. GPIN: 1497-99-0840
4. VERTICAL DATUM: NAVD 88
5. ZONED: R-20 (RESIDENTIAL LOW DENSITY)
6. THE PHYSICAL FEATURES SHOWN WERE  
OBTAINED FROM A TOPOGRAPHIC SURVEY  
PREPARED BY: STEPHEN I. BOONE & ASSOCIATES  
DATED APRIL 3, 2019.
7. ELEV. OF MLW (NAVD 88): -1.2  
ELEV. OF MHW (NAVD 88): 0.7  
SOURCE: VIRGINIA INSTITUTE OF MARINE SCIENCE
8. THIS PLAN WAS PERFORMED WITHOUT THE  
BENEFIT OF A TITLE REPORT AND MAY NOT SHOW  
ANY AND/OR ALL EASEMENTS OR RESTRICTIONS  
THAT MAY EFFECT SAID PROPERTY AS SHOWN.
9. ALL CONSTRUCTION TO BE PERFORMED FROM  
THE LANDWARD SIDE.



OWNER/DEVELOPER  
 JOHN S. FREID &  
 LEANNA C. FREID, TRUSTEES  
 2349 S. WOLFSNARE COURT  
 VIRGINIA BEACH, VA. 23454  
 EMAIL: jlfreid@cox.net  
 PHONE: 757-681-4250

SHEET INDEX

| <u>SHEET NO.</u> | <u>DESCRIPTION</u>       |
|------------------|--------------------------|
| 1                | COVER SHEET              |
| 2                | ADJACENT OWNERS MAP      |
| 3                | OVERALL PLAN             |
| 4                | ENLARGEMENT PLAN         |
| 5                | TYPICAL SECTION, RIP-RAP |
| 6                | NOTES AND DETAILS        |



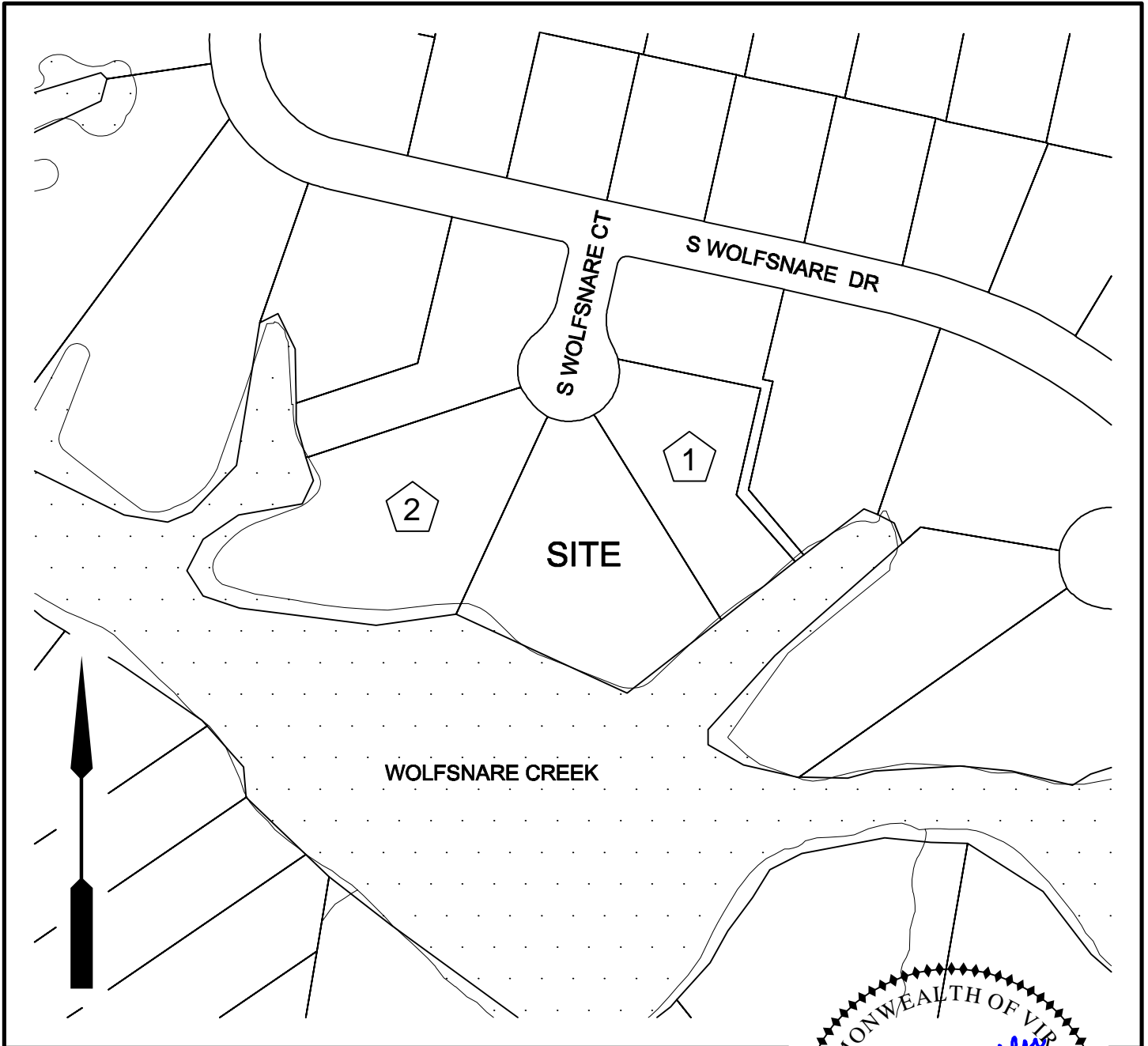
**PROJECT: INSTALL RIP-RAP**

| REVISION SCHEDULE |         |
|-------------------|---------|
| DATE              | COMMENT |
|                   |         |
|                   |         |

**COVER SHEET**

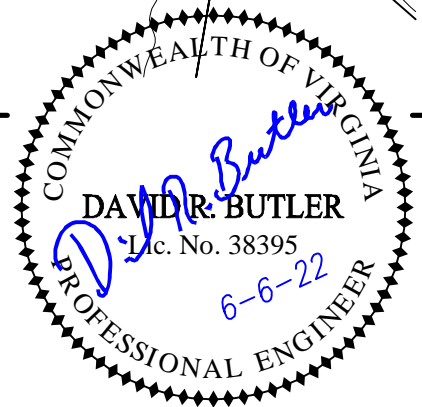
PROJECT: RIP-RAP  
 BY: JOHN S. FREID &  
 LEANNA C. FREID, TRUSTEES  
 IN: WOLFSNARE CREEK  
 DATE: JUNE 6, 2022 SHEET: 1 OF 6

Received by VMRC July 6, 2022 /blh



**ADJACENT PROPERTY OWNERS:**

- ① EARLENE NEWHART REVOCABLE TRUST
- ② JOHNATHAN N. PAUL

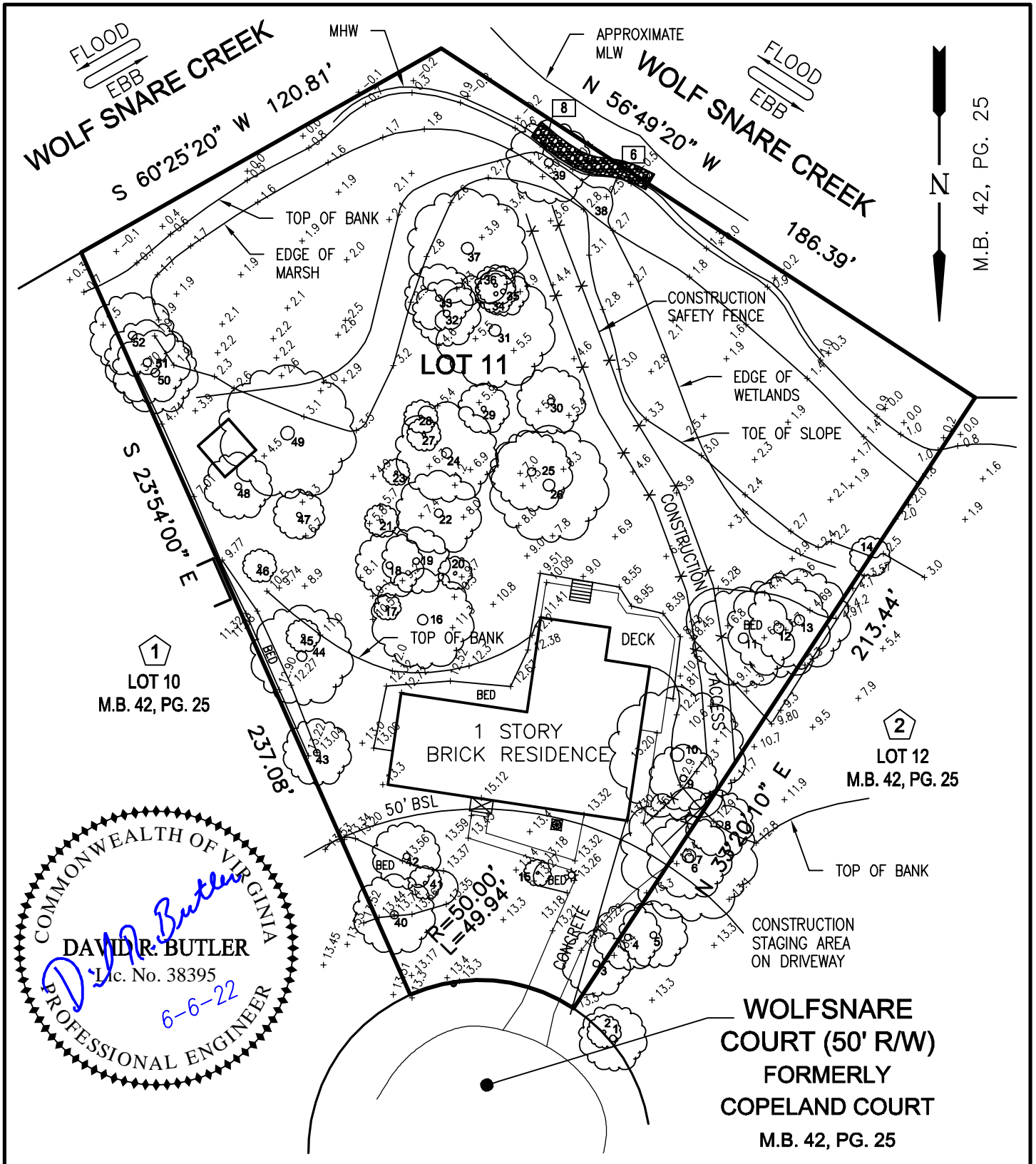


| REVISION SCHEDULE |         |
|-------------------|---------|
| DATE              | COMMENT |
|                   |         |
|                   |         |

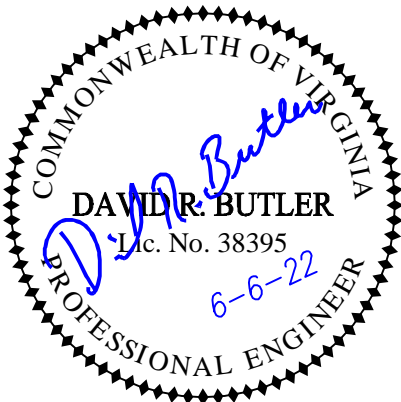
**ADJACENT OWNERS  
MAP**  
1" = 150'

PROJECT: RIP-RAP  
 BY: JOHN S. FREID &  
 LEANNA C. FREID, TRUSTEES  
 IN: WOLF SNARE CREEK  
 DATE: JUNE 6, 2022 SHEET: 2 OF 6

Received by VMRC July 6, 2022 /blh



M.B. 42, PG. 25



| REVISION SCHEDULE |         |
|-------------------|---------|
| DATE              | COMMENT |
|                   |         |
|                   |         |

**OVERALL PLAN**

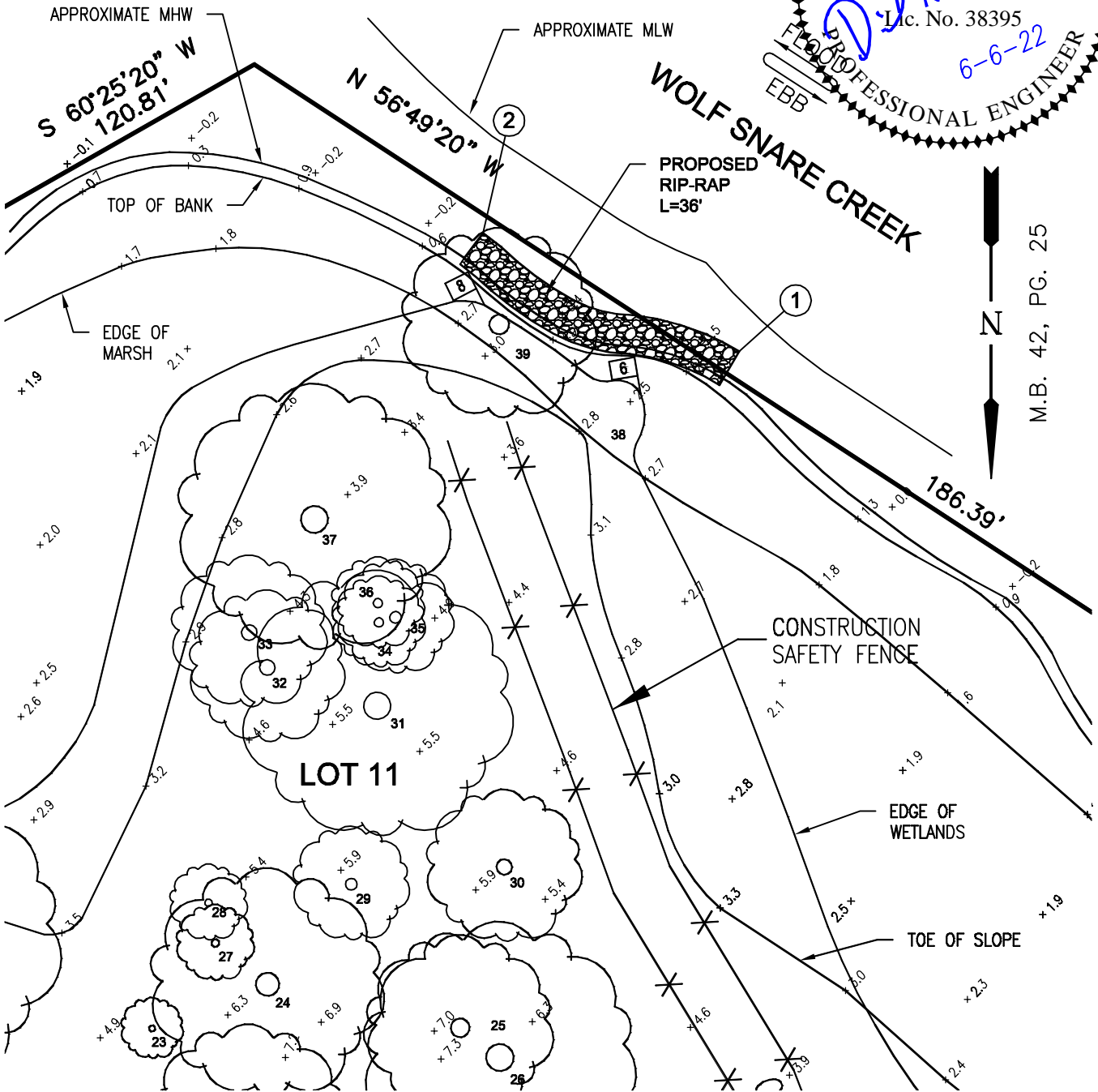
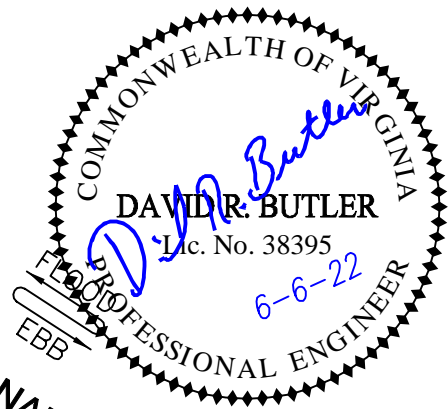
1" = 40'

PROJECT: RIP-RAP  
 BY: JOHN S. FREID & LEANNA C. FREID, TRUSTEES  
 IN: WOLFSNARE CREEK  
 DATE: JUNE 6, 2022 SHEET: 3 OF 6

Received by VMRC July 6, 2022 /blh

LENGTHS (RIP-RAP)  
1-2 36.00'

TIE DOWNS  
(RIP-RAP)  
6-1 13.8'  
8-1 33.2'  
6-2 29.0'  
8-2 9.3'

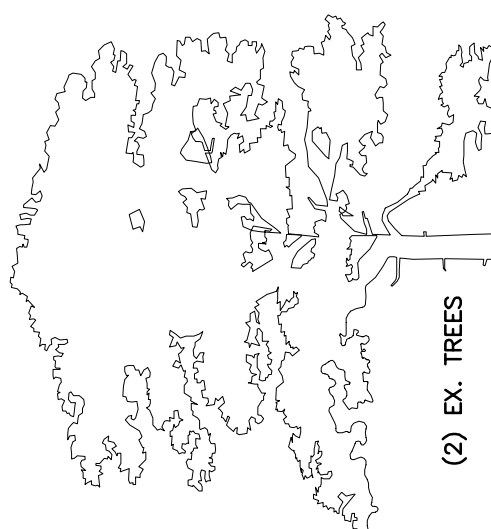
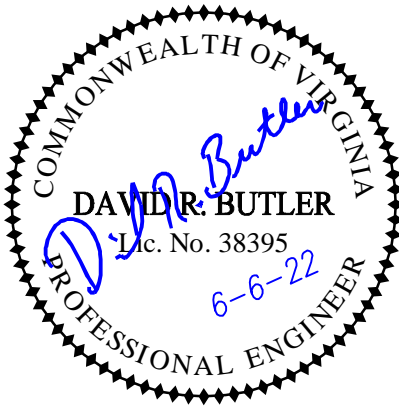


| REVISION SCHEDULE |         |
|-------------------|---------|
| DATE              | COMMENT |
|                   |         |
|                   |         |

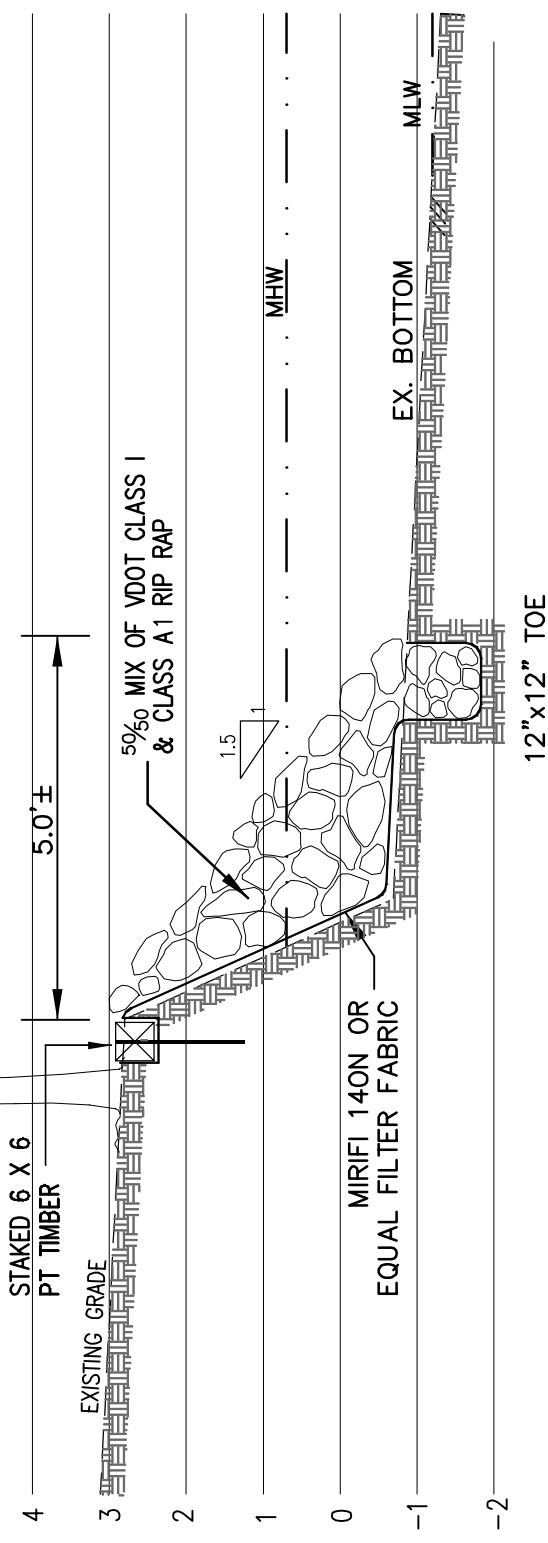
**ENLARGEMENT PLAN**  
1" = 20'

PROJECT: RIP-RAP  
BY: JOHN S. FREID & LEANNA C. FREID, TRUSTEES  
IN: WOLF SNARE CREEK  
DATE: JUNE 6, 2022 SHEET: 4 OF 6

Received by VMRC July 6, 2022 /blh



(2) EX. TREES



| REVISION SCHEDULE |         |
|-------------------|---------|
| DATE              | COMMENT |
|                   |         |
|                   |         |

**TYPICAL SECTION**  
**RIP-RAP**  
 1" = 2.5'

PROJECT: RIP-RAP  
 BY: JOHN S. FREID & LEANNA C. FREID, TRUSTEES  
 IN: WOLFSSNARE CREEK  
 DATE: JUNE 6, 2022 SHEET: 5 OF 6

Received by VMRC July 6, 2022 /blh

**TREE TABLE**

| KEY | SIZE (INCHES) | SPECIES | DRIPLINE (FEET) |
|-----|---------------|---------|-----------------|
| 1   | 24            | PINE    | 20              |
| 2   | 12            | PINE    | 10              |
| 3   | 24            | PINE    | 20L             |
| 4   | 18            | PINE    | 20              |
| 5   | 28            | GUM     | 20              |
| 6   | 28            | OAK     | 25              |
| 7   | 24            | GUM     | 40              |
| 8   | 18            | OAK     | 25              |
| 9   | 18            | PINE    | 20              |
| 10  | 28            | PINE    | 40              |
| 11  | 28            | PINE    | 30              |
| 12  | 24            | PINE    | 30              |
| 13  | 28            | PINE    | 30              |
| 14  | 12            | TREE    |                 |
| 15  | 6             | DOGWOOD | 8               |
| 16  | 24            | OAK     | 30              |
| 17  | 8             | TREE    |                 |
| 18  | 18            | PINE    | 20              |
| 19  | 18            | PINE    | 20              |
| 20  | 10            | TREE    |                 |
| 21  | 10            | TREE    |                 |
| 22  | 24            | PINE    | 25              |
| 23  | 8             | TREE    |                 |
| 24  | 18            | OAK     | 30              |
| 25  | 24            | TREE    |                 |
| 26  | 36            | PINE    | 35              |

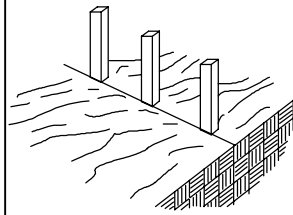
**TREE TABLE**

| KEY | SIZE (INCHES) | SPECIES | DRIPLINE (FEET) |
|-----|---------------|---------|-----------------|
| 27  | 6             | OAK     | 10              |
| 28  | 10            | TREE    |                 |
| 29  | 12            | OAK     | 15L             |
| 30  | 18            | PINE    | 20              |
| 31  | 36            | PINE    | 35              |
| 32  | 12            | OAK     | 20              |
| 33  | 12            | OAK     | 20              |
| 34  | 12            | PINE    | 15              |
| 35  | 8             | CHERRY  |                 |
| 36  | 12            | PINE    | 15              |
| 37  | 36            | PINE    | 35              |
| 38  | 28            | PINE    | 25              |
| 39  | 28            | PINE    | 25              |
| 40  | 24            | WALNUT  | 24              |
| 41  | 8             | DOGWOOD | 10              |
| 42  | 18            | PINE    | 20              |
| 43  | 18            | GUM     | 20              |
| 44  | 30            | PINE    | 30              |
| 45  | 10            | TREE    |                 |
| 46  | 12            | CHERRY  | 10              |
| 47  | 15            | TREE    |                 |
| 48  | 18            | OAK     | 20              |
| 49  | 48            | OAK     | 40              |
| 50  | 24            | PINE    | 25              |
| 51  | 24            | PINE    | 25              |
| 52  | 24            | PINE    | 25              |

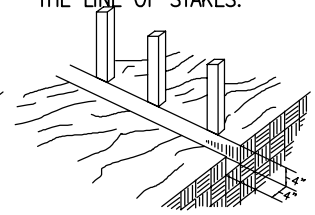
**CONSTRUCTION OF FILTER BARRIER**

SILT FENCE MUST BE A MINIMUM OF 36" IN HEIGHT, WITH SUPPORTS PLACED EVERY SIX FEET.

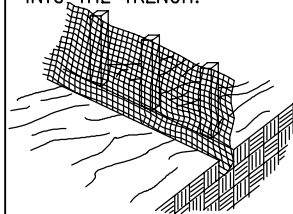
1.) SET THE STAKES



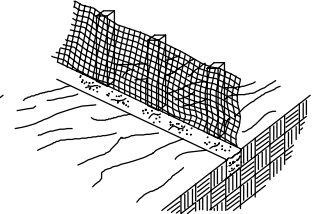
2.) EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3.) STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4.) BACKFILL AND COMPACT THE EXCAVATED SOIL.



**CONSTRUCTION SEQUENCE**

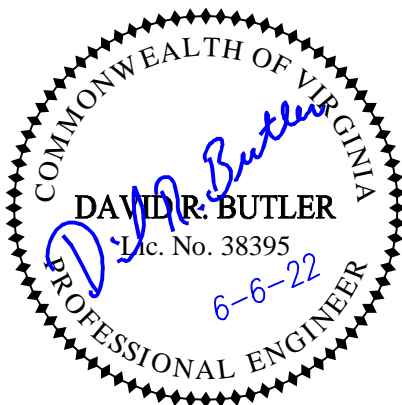
1. OBTAIN ALL REQUIRED PERMITS.
2. INSTALL SAFETY FENCE
3. INSTALL RIP-RAP
4. GRADE LOT
5. INSTALL SILT FENCE
6. SEED & MULCH DISTURBED AREAS

**NOTE:**

ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER

**TURFGRASS PLANTING SPECIFICATIONS**

| TURF TYPE             | TIME OF YEAR TO SEED  | SEEDING RATE           | COMMENTS  |
|-----------------------|---|------------------------|---|
| KENTUCKY 31 FESCUE    | 9-16 - 4-30<br>(OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED) | 8 LB. PER 1000 SQ. FT. | MIX WITH ANNUAL RYE FOR QUICK STABILIZATION                   |
| NARROW LEAFED FESCUES | 9-16 - 4-30<br>(OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED) | 6 LB. PER 1000 SQ. FT. | IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION |
| BERMUDA (HULLED)      | 5-1 - 9-15<br>(OR SOD DURING THIS SAME TIME PERIOD)             | 2 LB. PER 1000 SQ. FT. |   |



**REVISION SCHEDULE**

| DATE | COMMENT |
|------|---------|
|      |         |
|      |         |
|      |         |

**NOTES & DETAILS**

**PROJECT:** RIP-RAP

**BY:** JOHN S. FREID & LEANNA C. FREID, TRUSTEES

**IN:** WOLFSNARE CREEK

**DATE:** JUNE 6, 2022

**SHEET:** 6 OF 6

Received by VMRC July 6, 2022 /blh

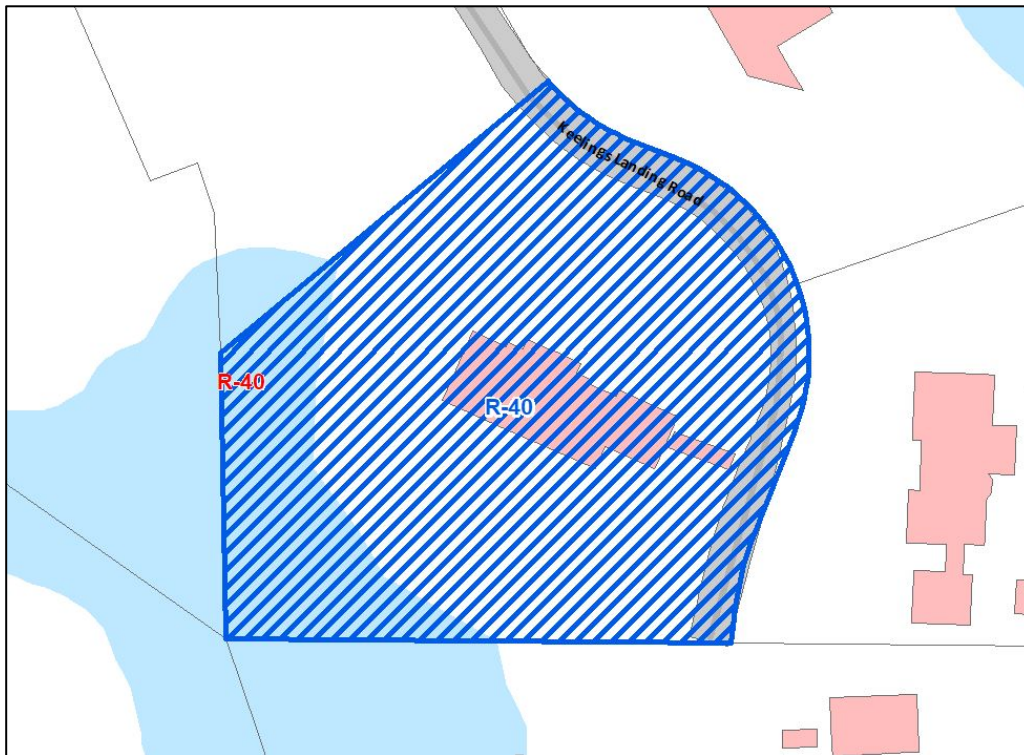
**4. 2022-WTRA-00172**

**Edward S. and Jennifer L. Gettins [Applicants & Owners]**

**To construct a bulkhead and rip rap involving wetlands**

1609 Keelings Landing Road  
(GPIN 1489-02-3510)

Waterway – Western Branch of Lynnhaven River  
Subdivision – Thoroughgood  
Council District - District 9





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Edward & Jennifer Gettins

Does the applicant have a representative?  Yes  No

- If yes, list the name of the representative.

Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- If yes, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the financial institutions.  
Union Home Mortgage Corp.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  Yes  No

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

Spence Marine Construction Inc.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature  
Edward Gettins, Homeowner

Jennifer Gettins, Homeowner

Print Name and Title

July 7, 2022

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

|                          |                  |      |            |  |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature  |  |
|                          |                  |      | Print Name |  |

## Part 1 – General Information

**PLEASE PRINT OR TYPE ALL RESPONSES:** If a question does not apply to your project, please print N/A (not applicable) in the block or space provided. If additional space is needed, attach 8-1/2” x 11” sheets of paper.

**County or City in which the project is located:** \_\_\_\_\_  
**Waterway at project site:** \_\_\_\_\_

1. Applicant’s name\* and complete mailing address: \_\_\_\_\_  
 Contact Information:  
 Home (\_\_\_\_) \_\_\_\_\_  
 Work (\_\_\_\_) \_\_\_\_\_  
 Fax (\_\_\_\_) \_\_\_\_\_  
 Cell/ Pager (\_\_\_\_) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) name\* and complete address, if different from applicant \_\_\_\_\_  
 Contact Information:  
 Home (\_\_\_\_) \_\_\_\_\_  
 Work (\_\_\_\_) \_\_\_\_\_  
 Fax (\_\_\_\_) \_\_\_\_\_  
 Cell/ Pager (\_\_\_\_) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable): \_\_\_\_\_  
 Contact Information:  
 Home (\_\_\_\_) \_\_\_\_\_  
 Work (\_\_\_\_) \_\_\_\_\_  
 Fax (\_\_\_\_) \_\_\_\_\_  
 Cell/ Pager (\_\_\_\_) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

4. Provide a detailed description of the project in the space below. If additional space is needed, provide a separate sheet of paper with the project description. Be sure to include how the construction site will be accessed, especially if clearing and/or grading will be required.

|                            |                          |
|----------------------------|--------------------------|
| <b>FOR AGENCY USE ONLY</b> |                          |
|                            | Notes:                   |
|                            | JPA #            22-1600 |

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\* \_\_\_ No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_

Work (\_\_\_\_) \_\_\_\_\_

Fax (\_\_\_\_) \_\_\_\_\_

Cell / Pager (\_\_\_\_) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

(\_\_\_\_) \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) \_\_\_\_\_

Lot/Block/Parcel# \_\_\_\_\_

Subdivision \_\_\_\_\_

City / County \_\_\_\_\_

If the project is located in a rural area, please provide driving directions.

**Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.**

## Part 1 - General Information (continued)

8. What is the primary and secondary purpose of the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”
9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction.  
**Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.**
11. Have you previously had a site visit, applied to, or obtained a permit from any agency (Federal, State, or Local) for any portion of the project described in this application or any other project at the site?  
 Yes\*  No \* If you answered “Yes”, provide the following information:

| <u>Agency / Representative</u> | <u>Activity</u> | <u>Permit/Project No.</u> | <u>Action** &amp; Date</u> |
|--------------------------------|-----------------|---------------------------|----------------------------|
|--------------------------------|-----------------|---------------------------|----------------------------|

(\*\*Issued, Denied, Withdrawn, or Site Visit)

## Part 1 - General Information (continued)

12. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? \_\_\_Yes \_\_\_No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
  
13. Approximate cost of the entire project (materials, labor, etc.): \$\_\_\_\_\_   
Approximate cost of that portion of the project which is below mean low water: \$\_\_\_\_\_
  
14. Completion date of the proposed work: \_\_\_\_\_ - \_\_\_\_\_
  
15. Adjacent Property Owner Information: List the name and complete mailing address, including zip code, of each adjacent property owner to the project. (NOTE: a property owner/applicant cannot be their own adjacent property owner. You must give the next owner down the river, creek, etc).

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

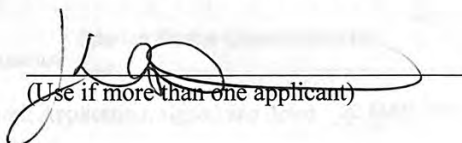
Edward Gettins

Jennifer Gettins

Applicant's Name (printed/typed)

(Use if more than one applicant)

  
Applicant's Signature

  
(Use if more than one applicant)

5-26-2020  
Date

Property Owner's Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date



## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Edward/Jennifer Gettins, hereby certify that I (we) have authorized Calvert Marine  
(Applicant's name(s)) (Agent's name(s))  
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and  
any and all standard and special conditions attached.  
We hereby certify that the information submitted in this application is true and accurate to the best of our  
knowledge.

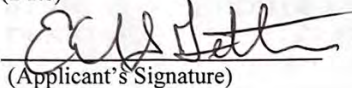


(Agent's Signature)

(Use if more than one agent)

5/20/2020

(Date)



(Applicant's Signature)

(Use if more than one applicant)

5-26-2020  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Edward/Jennifer Gettins, have contracted Spence Marine Construction Inc.  
(Applicant's Name(s)) (Contractor's Name(s))  
to perform the work described in this Joint Permit Application, signed and dated 20 MAR 2020.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Spence Marine Construction Inc.

Contractor's name or name of firm

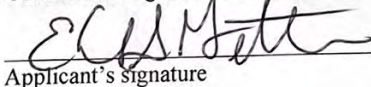
3117 Lynn Acres Road

Virginia Beach, VA 23452

Contractor's or firms address

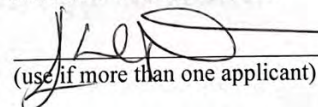
2705 035580

Contractor's signature and title



Applicant's signature

Contractor's License Number

  
(use if more than one applicant)

5-26-2020  
Date

**Edward / Jennifer Gettins  
1609 KEELINGS LANDING ROAD  
VIRGINIA BEACH, VA 23455**

#### PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing timber bulkhead 5 to 6 ft. tall. The existing bulkhead is close to the property structures. Converting to a Living Shoreline would be difficult within this confined area. There is only one area where recreational boating is feasible due to water depth, or lack thereof, and the replacement bulkhead shall only be installed at this location where the water is advantageous for boating. The remaining bulkhead shall be converted to a new rip rap revetment where since is no water at Mean Low Tide. Rip Rap can work successfully at this location and help transition to the yard. The Owners are creating new Non-Vegetated Wetlands in the yard by excavating upland turf for the installation of the new rock.

After review of the property a new replacement bulkhead combined with a rip rap revetment was found to be a better solution than a Living Shoreline based on the site-specific conditions. Listed below are the reasons that this method was implemented:

1. The removal of the bulkhead and pool would be required for a planting option with the proper grading.
2. A living shoreline or rip rap would be difficult to transition to the adjacent properties. Return walls would be required at each property line to avoid impacting the APO.
4. Planting would be subject to boat traffic from the Owner private recreational boating.
5. The area where the rip is being utilized (Points D,E,F and G) has trees with limited sunlight necessary for a Living Shoreline to be successful.

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

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**Appendix A: Projects for Access** to the water (private and community piers, boathouses, marinas, moorings, boat ramps, aquaculture facilities, etc). Answer all questions that apply.

1. **Briefly describe your proposed project.**

2. **For private, noncommercial piers:**

What is the overall length of the structure? \_\_\_\_\_ feet.

channelward of Mean High Water? \_\_\_\_\_ feet.

channelward of Mean Low Water? \_\_\_\_\_ feet

What is the total size of any and all L- or T-head platforms? \_\_\_\_\_ sq. ft.

For boathouses, what is the overall size of the roof structure? \_\_\_\_\_ sq. ft.

Will your boathouse have sides? \_\_\_\_\_ Yes \_\_\_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by VMRC, however, pursuant to § 28.2-1203(5) of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers, (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

3. **For Corps permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information should be included:

- a. Written justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands
- b. Written justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
- c. Depth soundings across the waterway at increments designated by the Corps project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.). Inclusion of depth sounding data is recommended in order to expedite permit evaluation.



### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches (including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, etc). Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service.

**NOTE: Information on non-structural, vegetative alternatives (i.e. Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html) .**

1. For **riprap, bulkheads, marsh toe, breakwaters, groins, jetties**: What is the overall length of the structure(s)? \_\_\_\_\_ linear feet. If applicable, what is the volume of the associated backfill? \_\_\_\_\_ cubic yards.
2. What is the maximum encroachment channelward of mean high water? \_\_\_\_\_ feet.  
channelward of mean low water? \_\_\_\_\_ feet.  
channelward of the back edge of the dune or beach? \_\_\_\_\_ feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands \_\_\_\_\_ square feet
  - Nonvegetated wetlands \_\_\_\_\_ square feet 231 SF Sand Fill / 184 New Rip Rap
  - Subaqueous bottom \_\_\_\_\_ square feet 101 SF of new created Non-Vegetated
  - Dune and/or beach \_\_\_\_\_ square feet Wetlands credit for excavating the Upland yard
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? \_\_\_\_ Yes \_\_\_\_ No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? \_\_\_\_ Yes \_\_\_\_ No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g. vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).  
**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

6. If using stone, broken concrete, etc., for your structure(s), what is the average weight of the:  
Core (inner layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_

130 SF of Non-Vegetated Wetlands impacts shall be compensated by a payment to an in lieu fund for the creation of Vegetated Wetlands.

### Part 3 – Appendices (continued)

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water
- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc.:

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**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

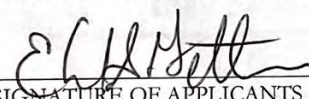
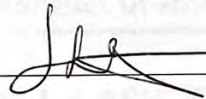
REVISED 10-09-03

PROJECT LOCATION: 1609 Keelings Landing Road  
APPLICANT'S NAME: Edward / Jennifer Gettins  
APPLICANT'S ADDRESS: 1609 Keelings Landing Road  
Virginia Beach, VA 23455  
ENGINEER OF RECORD: Gary Franks, Jr. P.E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

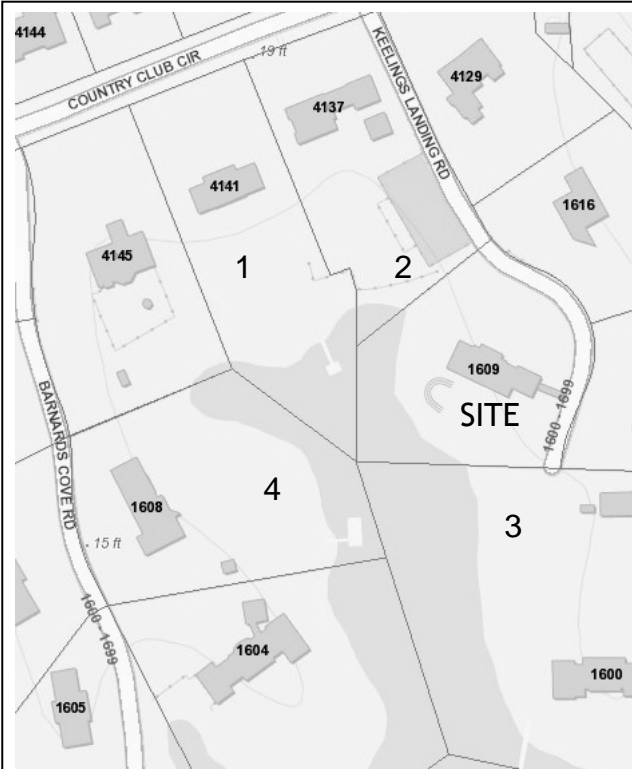
  
\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION  
Gary Franks, Jr. P.E. 05/30/2020  
\_\_\_\_\_  
DATE

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION  
   
\_\_\_\_\_  
SIGNATURE OF APPLICANTS 20 MAY 2020  
\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)



PROPERTY MAP



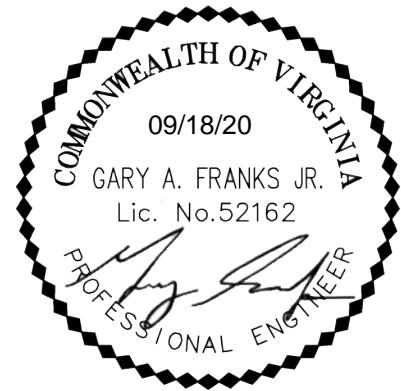
STREET MAP

**PROPOSED RIP RAP REVETMENT, TIMBER PIER, LIFTS, FLOATING DOCK AND BULKHEAD**


1609 KEELINGS LANDING ROAD  
 VIRGINIA BEACH, VA 23455

LEGAL: THOROUGHGOOD SEC 1 LOT 243  
 THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.

NO SCALE ⚙ DATUM: MLW = 0.00' MHW = +1.70'



REV: 12 AUG 2020

|  |   |  |
|--|---|--|
| <br><b>CALVERT MARINE</b><br>757•777•6960 | <b>VICINITY MAP</b>   | Proposed: <b>RIP RAP REVETMENT, PIER, LIFT, FLOATING DOCK &amp; BULKHEAD</b><br>in: <b>LYNNHAVEN RIVER</b><br>at: <b>1609 KEELINGS LANDING ROAD</b><br>County of: <b>VIRGINIA BEACH</b><br>Applicant: <b>Edward / Jennifer Gettins</b><br>Sheet: <b>1</b> of <b>7</b> Date: <b>20 MAR 20</b> |
|  | Adjacent Property Owners:<br>1. David Foley      2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner & Janet L Wagner LT |  |



184 SF of NVW nvw rock on existing mud is a conversion

231 SF of NVW impacts of sandfill with bulkhead is a loss

101 SF of rock creation along existing bulkhead

231 (-) 101 = 130 SF nvw impacts (@\$12.50/ sf) = \$1,625.00

A contribution shall be made to an in-lieu fund for the creation of wetlands for the 130 SF of non-vegetated wetlands loss.

# LYNNHAVEN RIVER

MLW to MLW ACROSS  
THE CANAL IS 98.0' +/-  
EXISTING PIER PILES  
SHALL BE REMOVED

NEW 10K BOATLIFT

25% Line

NEW FLOATING DOCK 8' X 10'

NEW PILE SUPPORTED TIMBER  
BULKHEAD AND SAND FILL  
143.50 LF

20' RETURN WALL  
ON PROPERTY

EXISTING BULKHEAD

NEW RIP RAP  
ON NON-VEG.  
WETLANDS  
184 SF

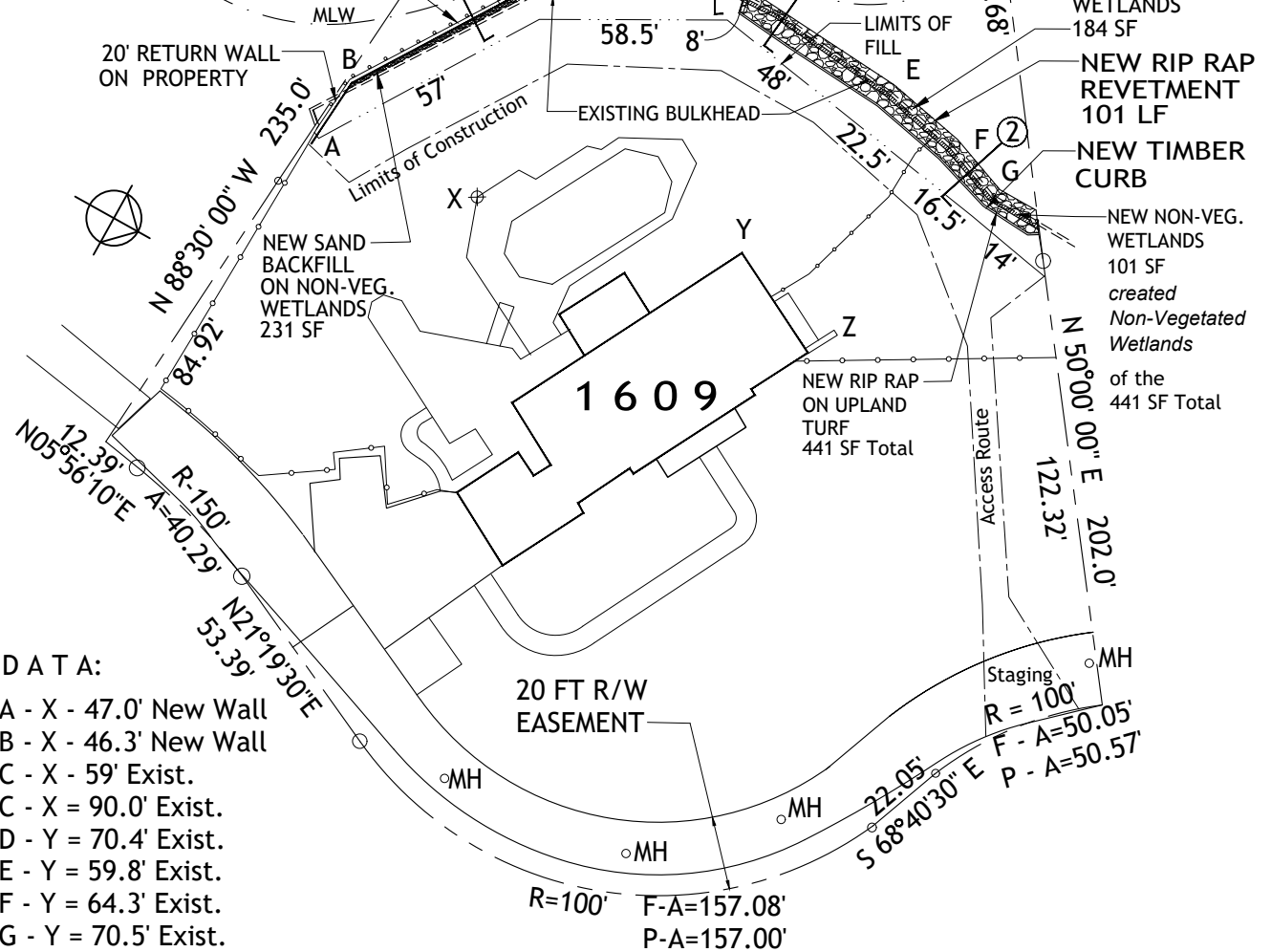
NEW RIP RAP  
REVETMENT  
101 LF

NEW TIMBER  
CURB

NEW NON-VEG.  
WETLANDS  
101 SF  
created  
Non-Vegetated  
Wetlands

of the  
441 SF Total

NEW RIP RAP  
ON UPLAND  
TURF  
441 SF Total




**DATA:**

- A - X - 47.0' New Wall
- B - X - 46.3' New Wall
- C - X - 59' Exist.
- C - X = 90.0' Exist.
- D - Y = 70.4' Exist.
- E - Y = 59.8' Exist.
- F - Y = 64.3' Exist.
- G - Y = 70.5' Exist.

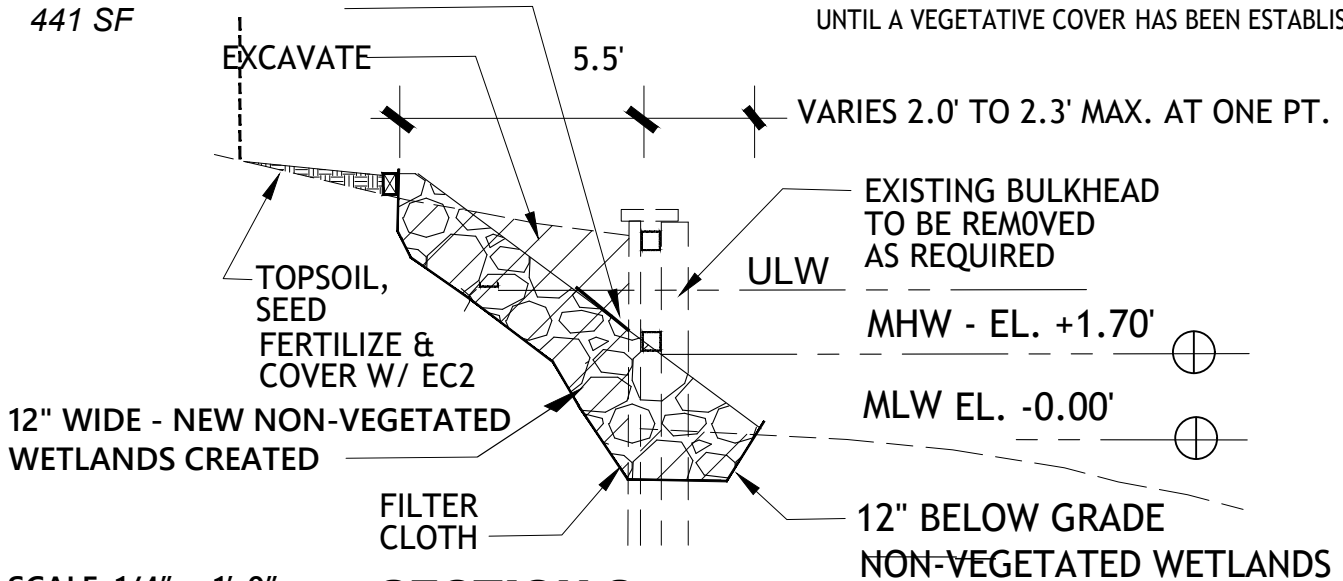
REV: 12 AUG 2020

SCALE: 1" = 50'-0" DATUM: MLW = 0.00' MHW = +1.70'

|  |   |   |
|--|---|---|
| <br><b>CALVERT<br/>MARINE</b><br>757•777•6960 | <b>PLAN</b>   | Proposed: <b>RIP RAP REVETMENT, PIER, LIFTS, FLOATING DOCK &amp; BULKHEAD</b><br>in: <b>LYNNHAVEN RIVER</b><br>at: <b>1609 KEELINGS LANDING ROAD</b><br>County of: <b>VIRGINIA BEACH</b><br>Applicant: <b>Edward / Jennifer Gettins</b><br>Sheet: <b>2</b> of <b>7</b> Date: <b>20 MAR 20</b> |
|  | Adjacent Property Owners:<br>1. David Foley      2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner & Janet L Waaner LT |   |

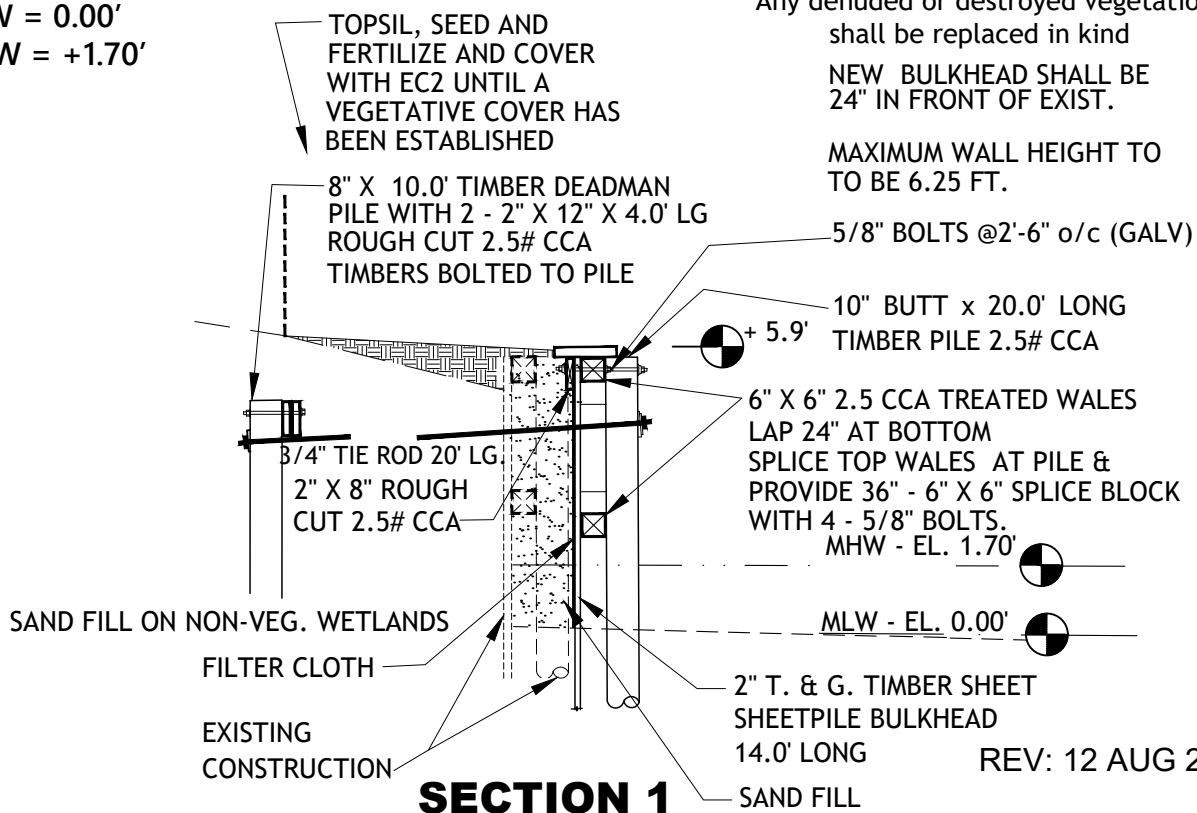
CLASS A1 & CLASS 1 GRANITE  
441 SF

A SILT FENCE SHALL BE INSTALLED & MAINTAINED DAILY DURING THE WORK PROCESS. IT SHALL REMAIN UNTIL A VEGETATIVE COVER HAS BEEN ESTABLISHED



SCALE: 1/4" = 1'-0"  
DATUM:  
MLW = 0.00'  
MHW = +1.70'

**SECTION 2**



Any denuded or destroyed vegetation shall be replaced in kind  
NEW BULKHEAD SHALL BE 24" IN FRONT OF EXIST.

MAXIMUM WALL HEIGHT TO TO BE 6.25 FT.

**SECTION 1**

REV: 12 AUG 2020

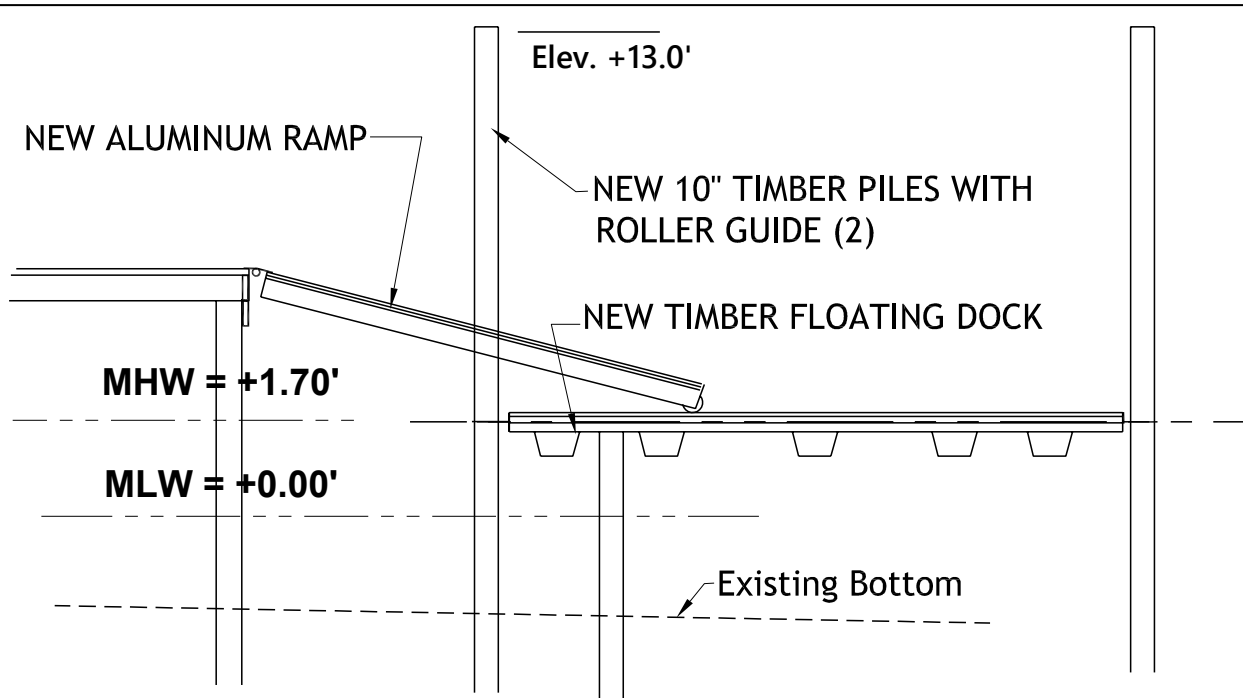


CALVERT  
MARINE  
757•777•6960

**SECTIONS**

Adjacent Property Owners:  
1. David Foley      2. Felix Kirven  
3. Richard Williams  
4. Richard S. Wagner & Janet L Wagner LT


Proposed: *RIP RAP REVETMENT, PIER, LIFT, FLOATING DOCK & BULKHEAD*  
in: *LYNNHAVEN RIVER*  
at: *1609 KEELINGS LANDING ROAD*  
County of: *VIRGINIA BEACH*  
Applicant: *Edward / Jennifer Gettins*  
Sheet: *3* of *7* Date: *20 MAR 20*



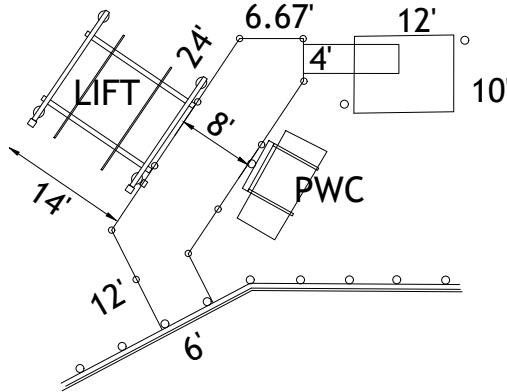
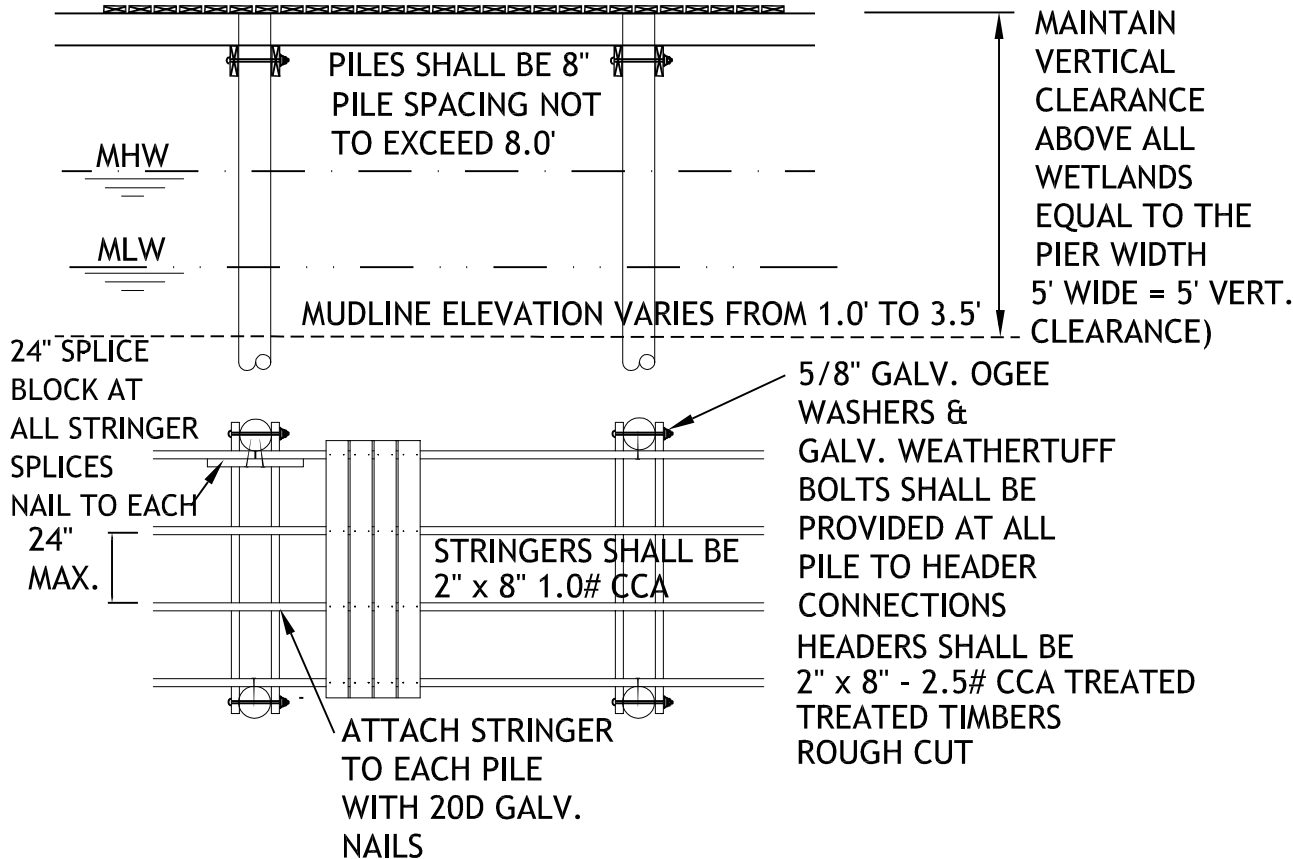
- FLOATING DOCK SHALL BE SUPPORTED BY BLACK EXPANDED POLYSTYRENE FOAM FILLED FLOATS. EACH FLOAT SHALL BE ATTACHED TO THE FRAMING AS PER THE MAUNFACTURER’S RECOMMENDATIONS.
- ALL PILE GUIDES SHALL BE THE ROLLER & GALVANIZED HOOP TYPE. PROVIDE VINYL DOCK FENDER AT ALL EXPOSED EDGES OF THE FLOATING DOCK SUBJECT TO VESSELS.
- ALL BOLTS SHALL BE HDG, 3/4” DIAMETER GALVANIZED BOLT (ASTM A307)U.O.N.
- DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
- ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153. USE OGEE WASHERS WHERE POSSIBLE.
- ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
- ALL TIMBER STRINGERS BANDS AND BLOCKING SHALL BE 2.5# CCA TREATED.
- ALL DECKING SHALL BE 2” x 6”, TREATED.
- PROVIDE METAL CORNER BRACKETS (INSIDE AND OUTSIDE) WITH BOLTED CONNECTIONS.
- ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER’S ASSOCIATION.

REV: 12 AUG 2020


SCALE: 1/4" = 1' - 0" ✪ DATUM: MLW = 0.00' MHW = +1.70'

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|--|--|--|
| <br><b>CALVERT<br/>MARINE</b><br>757•777•6960 | <b>FLOATING DOCK</b>   | Proposed: <i>RIP RAP REVETMENT, PIER, LIFT, FLOATING DOCK &amp; BULKHEAD</i><br>in: <i>LYNNHAVEN RIVER</i><br>at: <i>1609 KEELINGS LANDING ROAD</i><br>County of: <i>VIRGINIA BEACH</i><br>Applicant: <i>Edward / Jennifer Gettins</i><br>Sheet: <i>4</i> of <i>7</i> Date: <i>20 MAR 20</i> |
|  | Adjacent Property Owners:<br>1. David Foley      2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner &<br>Janet L Wagner LT |  |

DECKING SHALL BE 2" X 6" TREATED TIMBER DECKING AND SHALL BE ATTACHED WITH 3" S. S. SCREWS



SCALE: 1/4" = 1'-0" DATUM: MLW = 0.00' MHW = +1.70' REV: 12 AUG 2020

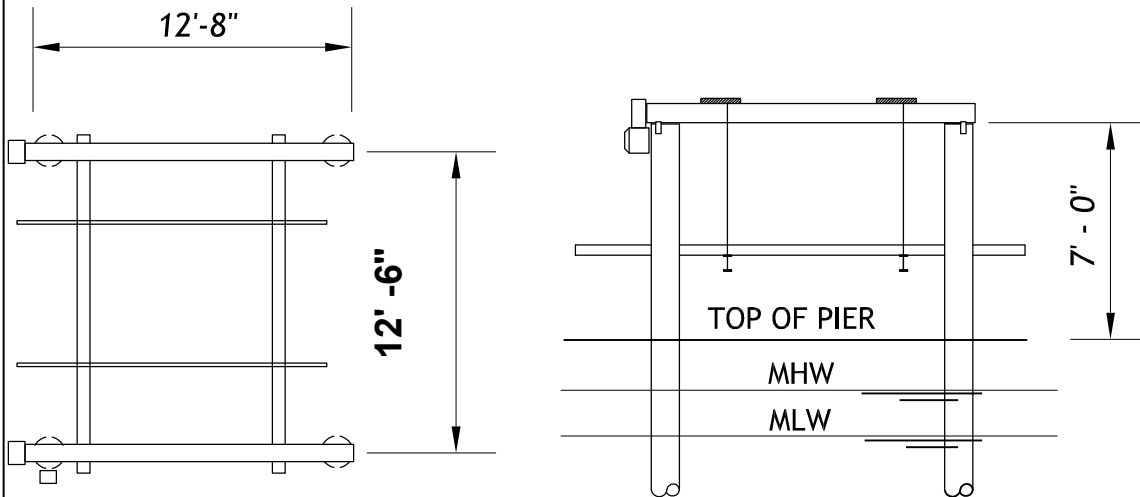
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|--|---|--|
| <br><b>CALVERT MARINE</b><br>757•777•6960 | <b>PIER DETAILS</b>   | Proposed: <i>RIP RAP REVETMENT, PIER, LIFTS, FLOATING DOCK &amp; BULKHEAD</i> in: <i>LYNNHAVEN RIVER</i> at: <i>1609 KEELINGS LANDING ROAD</i> County of: <i>VIRGINIA BEACH</i> Applicant: <i>Edward / Jennifer Gettins</i> Sheet: <i>5</i> of <i>7</i> Date: <i>20 MAR 20</i> |
|  | Adjacent Property Owners:<br>1. David Foley      2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner & Janet L Wagner LT |  |

**BOAT LIFT NOTES AND DETAILS:**

Take care to clear shafts, thru-hull fittings, chines, etc. Keel of vessel must not rest on lifter beam and should clear beam by at least one inch. Center of gravity of vessel must be in center of lift (bow to stern). This will evenly distribute the load over the two lifter beams.


Contractor to verify:

- 1) The Installation is completed according to the manufacturer's recommendations.
- 2) The ultimate user understands how to operate in a safe manner.
- 3) The ultimate user acknowledges the need for regular service and maintenance of the lifting equipment.
- 4) The Customer is informed and understands all safety and warning labels affixed to the equipment.
- 5) The center of gravity of vessel is located by equal deflection of lifter beam.
- 6) Any Lift is of suitable capacity to safely lift the Owner's vessel and the bunks are installed at the Vessel Manufacturer's spacing.
- 7) When at all possible, electrical services should be dedicated to the vessel lift only to avoid interference by other electrical appliances.
- 8) Do not change or ignore wiring diagrams, or instructions as shown. Comply with all national or local codes.



REV: 12 AUG 2020

SCALE: 1/4" = 1'-0" \* DATUM: MLW = 0.00' MHW = +1.70'

|  |   |   |
|--|---|---|
| <br><b>CALVERT MARINE</b><br>757•777•6960 | <b>LIFT DETAILS</b>   | Proposed: <i>RIP RAP REVETMENT, PIER, LIFTS, FLOATING DOCK &amp; BULKHEAD</i><br>in: <i>LYNNHAVEN RIVER</i><br>at: <i>1609 KEELINGS LANDING ROAD</i><br>County of: <i>VIRGINIA BEACH</i><br>Applicant: <i>Edward / Jennifer Gettins</i><br>Sheet: <i>6</i> of <i>7</i> Date: <i>20 MAR 20</i> |
|  | Adjacent Property Owners:<br>1. David Foley            2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner & Janet L Wagner LT |   |

**NOTES**

1. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
2. CONTRACTOR SHALL VERIFY THE PROPERTY LINES IN THE FIELD TO ASSURE THAT THE IMPROVEMENTS SHOWN ARE WITHIN THE OWNER’S PROPERTY.
3. NO REMOVAL OF TREES ARE INCLUDED IN THIS PROJECT.
4. RIP RAP SHALL BE INSTALLED ATOP NEW FILTER CLOTH. THE STONE SHALL BE QUARRY STONE GRANITE, CLASS 1 AND CLASS A1 RIP RAP AS PER VDOT. RIP RAP SHALL BE PLACED NOT DROPPED DURING INSTALLATION AND CONTRACTOR SHALL PROTECT THE FILTER CLOTH FROM DAMAGE. INSTALL AT 1.5 TO 1 SLOPE.

**LUMBER SPECIFICATIONS / NOTES:**

1. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE. No. 2 GRADE. DECKING SHALL BE No. 1 GRADE.
2. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 8” UNLESS OTHERWISE NOTED. 10” BUTT TIMBER PILINGS SHALL BE USED FOR THE BOAT LIFTS AND FLOATING DOCK ANCHOR PILES.
3. HEADERS AND FLOATING DOCK FRAMING LUMBER SHALL BE 2.5# CCA TREATED. ALL OTHER TREATMENT SHALL COMPLY WITH THE A.W.P.A’s RECOMMENDATIONS.

**FASTENER SCHEDULE:**

1. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.

**GENERAL CONSTRUCTION NOTES:**


1. ALL PILINGS SHALL BE EMBEDDED 50% OF THE LENGTH BELOW GRADE OR THE MUD LINE.
2. All erosion and sediment control measures shall be installed and maintained in accordance with the Virginia Erosion Control Handbook, and as required by the City OF VB Inspectors.

**CONSTRUCTION SEQUENCE:**

1. PROCURE PERMITS AND MEET WITH CITY 1D
2. REMOVE THE EXISTING PILINGS.EXCAVATE AT THE EXISTING BULKHEAD AND INSTALL NEW FILTER CLOTH & STONE UP TO MHW. HAUL EXCAVATED MATERIAL OFF SITE AND LEGALLY DISPOSE. 5D
3. INSTALL REMAINING RIP RAP IN YARD. 3D
4. INSTALL NEW PILES FOR PIER, LIFTS AND BULKHEAD 4D
5. INSTALL NEW BULKHEAD 3D
6. INSTALL NEW ANCHOR SYSTEM FOR BULKHEAD 3D
7. INSTALL SAND BACKFILL IN UNIFORM 12” LAYERS 2D
8. INSTALL INSTALL PIER FRAMING AND DECKING 4D
9. INSTALL LIFTS 2D
10. INSTALL NEW CAP AND TIMBER CURB 2D
11. INSTALL TOPSOIL, SEED, FERTILIZE AND COVER WITH EC2
12. DEMOBILIZE. 2D

REV: 12 AUG 2020

**NO SCALE** \* **DATUM: MLW = 0.00’ MHW = +1.70’**

|  |   |   |
|--|---|---|
| <br><b>CALVERT<br/>MARINE</b><br>757•777•6960 | <b>NOTES</b>  | Proposed: <b>RIP RAP REVETMENT, PIER. LIFT FLOATING DOCK &amp; BULKHEAD</b><br>in: <b>LYNNHAVEN RIVER</b><br>at: <b>1609 KEELINGS LANDING ROAD</b><br>County of: <b>VIRGINIA BEACH</b><br>Applicant: <b>Edward / Jennifer Gettins</b><br>Sheet: <b>7</b> of <b>7</b> Date: <b>20 MAR 20</b> |
|  | Adjacent Property Owners:<br>1. David Foley            2. Felix Kirven<br>3. Richard Williams<br>4. Richard S. Wagner & Janet L Wagner LT |   |

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), \_\_\_\_\_, own land next to (across  
(Print adjacent/nearby property owner’s name)

the water from/on the same cove as) the land of <sup>Edward / Jennifer Gettins</sup> 1609 KEELINGS LANDING ROAD.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated \_\_\_\_\_  
(Date)

to be submitted for all necessary Federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

---

Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), \_\_\_\_\_, own land next to (across  
(Print adjacent/nearby property owner’s name)  
the water from/on the same cove as) the land of Edward / Jennifer Gettins  
1609 KEELINGS LANDING ROAD.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated \_\_\_\_\_  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**Part 2 - Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

Richard Williams  
I, 1600 KEELINGS LANDING ROAD own land next to (across  
(Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of Edward / Jennifer Gettins  
1609 KEELINGS LANDING ROAD  
(Print applicant's name)

I have reviewed the applicant's project drawings dated 20 MAR 2020  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process. VMRC•2400 Washington Avenue•3<sup>rd</sup> Floor•Newport News, VA 23607**

Richard Calvert, Agent  
CALVERT MARINE  
3132 Riveredge Drive ♦ Portsmouth, VA 23703  
Rich@CalvertMarine.net  
VMRC – 757-247-2200

**Part 2 - Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

Richard S. Wagner & Janet L. Wagner LT  
1608 Barnards Cove Rd 23455

I, \_\_\_\_\_, own land next to (across  
(Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of Edward / Jennifer Gettins  
1609 KEELINGS LANDING ROAD \_\_\_\_\_  
(Print applicant's name)

I have reviewed the applicant's project drawings dated 01 MAR 2020  
\_\_\_\_\_  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process. VMRC•2400 Washington Avenue•3<sup>rd</sup> Floor•Newport News, VA 23607**

Richard Calvert, Agent  
CALVERT MARINE  
3132 Riveredge Drive ♦ Portsmouth, VA 23703  
Rich@CalvertMarine.net  
VMRC – 757-247-2200