

Wetlands Board Agenda

July 18, 2022



Wetlands Board Hearing Procedures

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, July 18, 2022 at 10:00 a.m. in the Council Chamber - 2403 Courthouse Drive, Building 3 (former City Hall), Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m.. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vbgov.com or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at www.vbgov.com/wetlands for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at www.vbgov.com/wetlands. For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.

THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
 - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

* Deferral

** Withdrawal

**Wetlands Board Agenda
July 18, 2022**

- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

* Deferral
** Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

OLD BUSINESS – WETLANDS

1. 2021-WTRA-00181

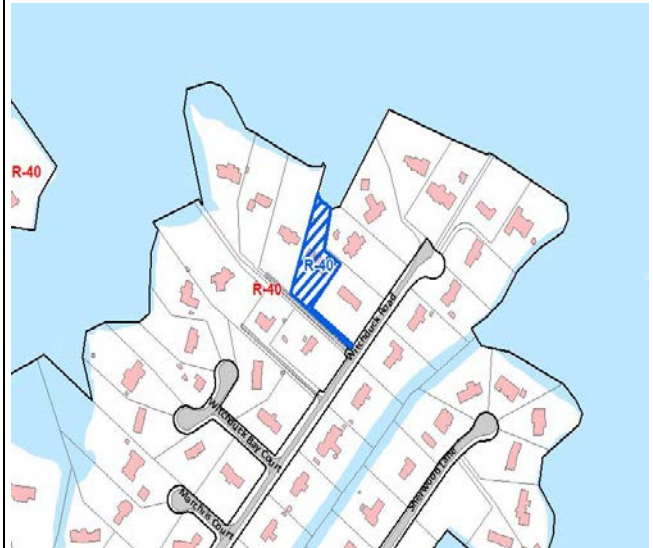
Shaileshkumar Patel
[Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To construct rip rap involving wetlands

4044 N Witchduck Road
(GPIN 1488-08-6681)

Waterway – Western Branch Lynnhaven River
River
Subdivision – Witchduck Point
City Council District - District 9



2. 2022-WTRA-00122

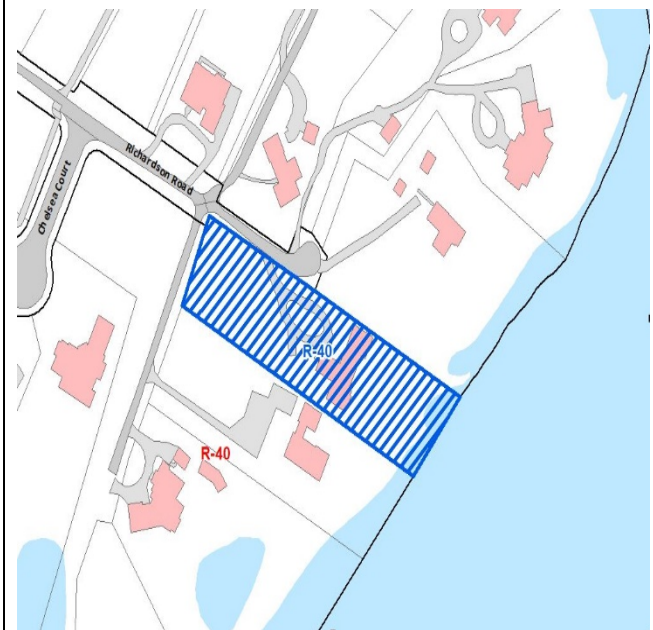
Hollomon-Brown Funeral Home
Bayside Chapel
[Applicant & Owner]

DEFERRED FROM JUNE 22, 2022

To construct a rip rap revetment involving wetlands

3901 Richardson Road
(GPIN 1488-15-9870)

Waterway – Western Branch Lynnhaven River
River
Subdivision – Witchduck
Council District: District 8



* Deferral
** Withdrawal

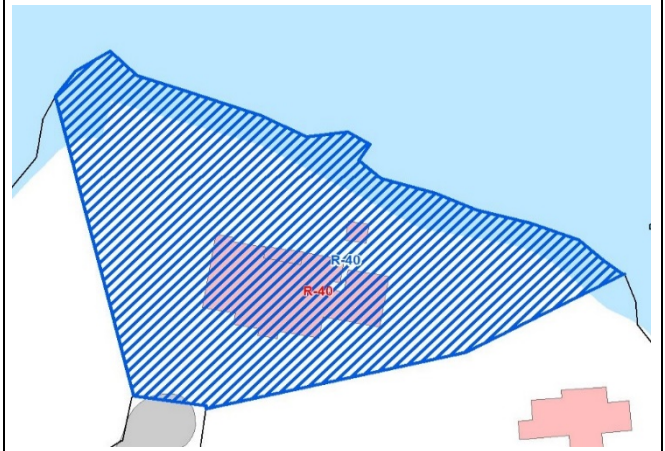
NEW BUSINESS – WETLANDS

3. 2022-WTRA-00140
Douglas Dickerson [Applicant & Owner]

To construct a bulkhead involving wetlands

1204 Kamichi Court
(GPIN 2418-42-7691)

Waterway – Little Neck Creek
Subdivision – Bird Neck Point
City Council District - District 6



4. 2022-WTRA-00143
Michael J. & Maryanne E. Miller
[Applicants & Owners]

To construct a rip rap revetment, sill, and oyster castles, and plant vegetation involving wetlands

2708 Hood Cir
(GPIN 1498-53-1417)

Waterway – Eastern Branch Lynnhaven River
Subdivision – Trent Berkshire Area
Council District: District 8

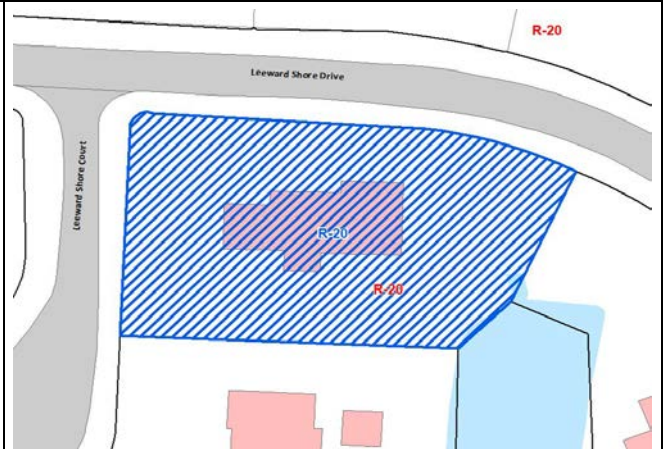


5. 2022-WTRA-00144
John B. Nowell Jr. [Applicant & Owner]

To construct a rip rap revetment and sill and plant vegetation involving wetlands

2241 Leeward Shore Ct
(GPIN 2409-19-3878)

Waterway – Man Made Canal to Broad Bay
Subdivision – Bay Island
Council District: District 8



* Deferral
** Withdrawal

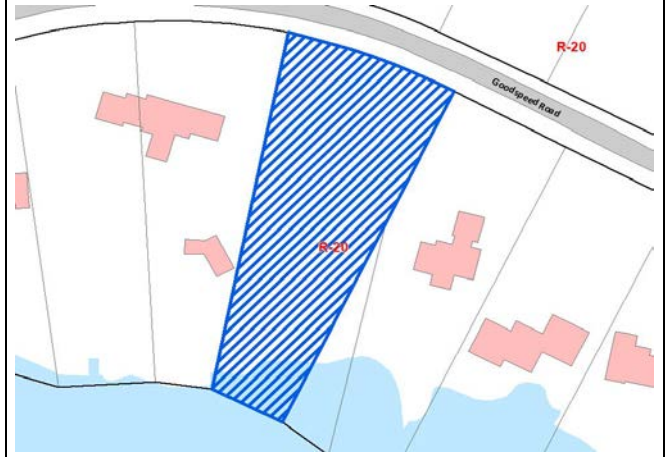
NEW BUSINESS – WETLANDS (CONTINUED)

6. 2022-WTRA-00085
Charis Properties, LLC
[Applicant & Owner]

**To construct a rip rap revetment and
sand fill involving wetlands**

465 Goodspeed Road
(GPIN 2419-41-8184)

Waterway – Crystal Lake
Subdivision – Princess Anne Hills
Council District: District 6



* Deferral
** Withdrawal

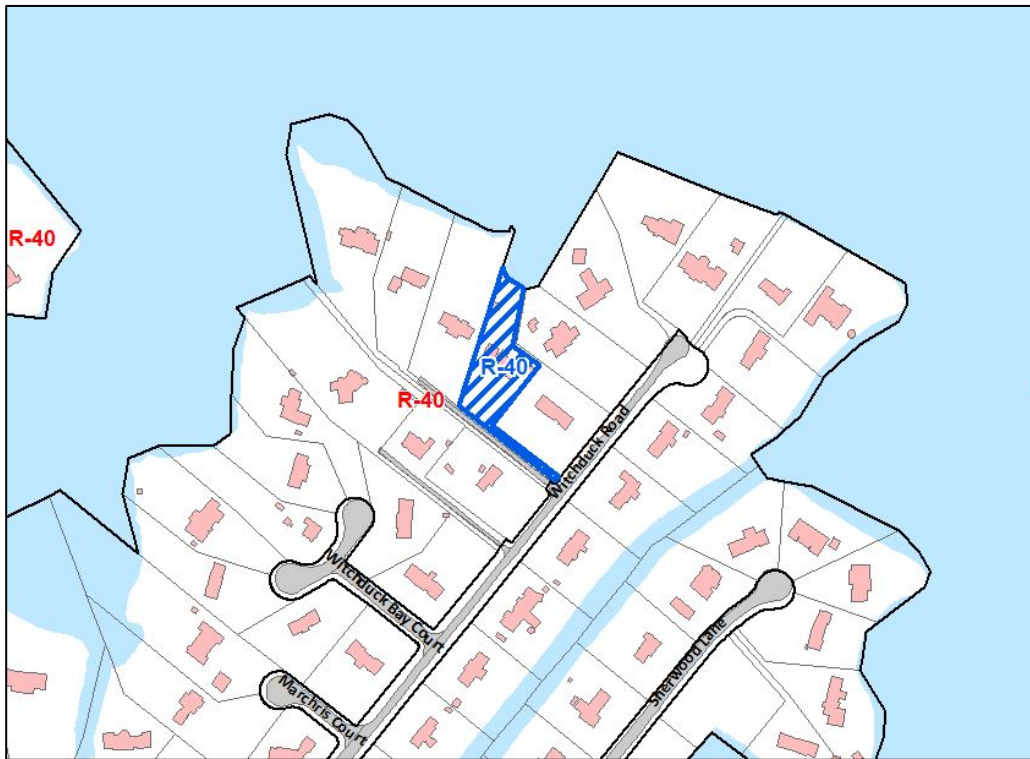
1. 2021-WTRA-00181
Shaileshkumar Patel [Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To construct rip rap involving wetlands

4044 N Witchduck Road
(GPIN 1488-08-6681)

Waterway – Western Branch Lynnhaven River
Subdivision – Witchduck Point
City Council District - District 9





WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

June 6, 2022

To: Planning Department, Mr. Cole Fisher

RE: VB2021-WTRA-00181 for Shaileshkumar Patel
Located at 4044 N. Witchduck Road, Virginia Beach, VA 23455

Mr. Fisher:

This is a request to extend the above referenced permit for a period of one year.

Please let me know if you have any other questions or concerns regarding this extension request.

Thank you,

Robert E. Simon

Robert E. Simon, Vice President

CC: Shalieshkumar Patel, Applicant

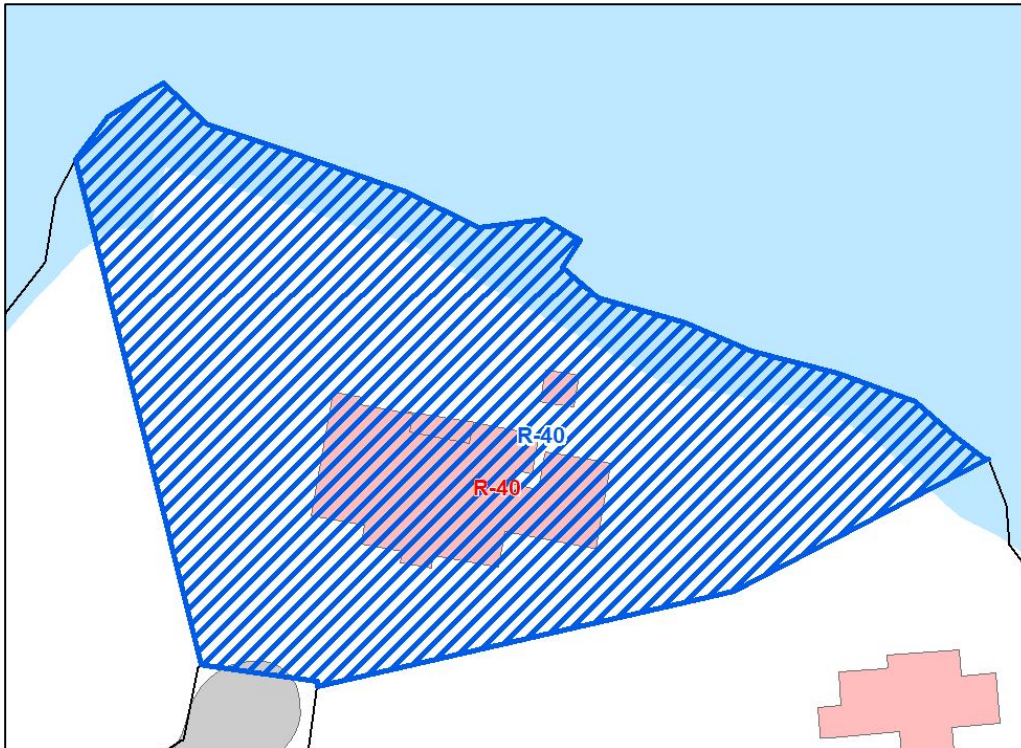
3. 2022-WTRA-00140

Douglas Dickerson [Applicant & Owner]

To construct a bulkhead involving wetlands

1204 Kamichi Court
(GPIN 2418-42-7691)

Waterway – Little Neck Creek
Subdivision – Bird Neck Point
City Council District - District 6



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Douglas G Dickerson

Does the applicant have a representative? **Yes** **No**

- If yes, list the name of the representative.

Waterfront Consulting, Inc, Chesapeake Bay Site Solutions, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

Project out for bid

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc, Chesapeake Bay Site Solutions, Inc.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Douglas G. Dickerson

Print Name and Title

Douglas G Dickerson

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

| | | | | |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature | |
| | | | Print Name | |

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

| FOR AGENCY USE ONLY | |
|---------------------|---------------|
| | Notes: |
| | JPA # 22-1265 |

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

| <i>Check all that apply</i> | | | | |
|---|---|--|----------------|-----------------------------------|
| Pre-Construction Notification (PCN) <input type="checkbox"/> | Regional Permit 17 (RP-17) <input type="checkbox"/> | | | |
| NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i> | | | | |
| County or City in which the project is located: <u>Virginia Beach</u> | | | | |
| Waterway at project site: <u>Little Neck Creek</u> | | | | |
| PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied) | | | | |
| Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html | | | | |
| Agency | Action / Activity | Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13) | Date of Action | If denied, give reason for denial |
| | | | | |
| | | | | |

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
Douglas Dickerson Home () _____
1204 Kamichi Court Work () _____
Virginia Beach, VA 23451 Fax () _____
Cell (757) 621-1323
e-mail douglasdickerson@cox.net
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
Waterfront Consulting, Inc. Home () _____
2589 Quality Court, Ste. 323 Work (757) 425-8244
Virginia Beach, VA 23454 Fax (757) 425-8244
Cell (757) 619-7302
e-mail bob@waterfrontconsulting.net
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The proposed project involves the construction of 314 LF of vinyl bulkhead with a 15 LF and 67 LF return to be constructed no more than 2' seaward of the existing bulkhead.

The bulkhead will use (66) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on a barge.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot

(757) 622-1455 _____

150 W. Brambleton Avenue

Norfolk, VA 23510

7. Give the following project location information:

Street Address (911 address if available) 1204 Kamichi Court _____

Lot/Block/Parcel# Club Section Lot 135 _____

Subdivision Birdneck Point _____

City / County Virginia Beach, VA _____ ZIP Code 23451 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

_____ 36.860872 / - 75.998054 _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary Purpose: Erosion Prevention

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
A living shoreline and riprap were not considered at this site due to the existing height of the wall (7-8') and all of the existing structures and topography landward of the existing bulkhead. The yard steps up at approximately a 1.5:1 to a pool that is ~15' landward of the existing bulkhead. The proposed bulkhead is shown no more than 2' channelward of the existing bulkhead to minimize VW, NVW, and sub-aqueous impacts. There will be 119 SF of VW impacts and 141 SF of NVW impacts that will be compensated for with an in-lieu fee.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 125,000.00
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 100,000.00
13. Completion date of the proposed work: Approximately 1 year from permit date - _____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Blue Crab Shores LLC
Mark Kinnane

PO Box 2258
1200 Kamichi Court

Venice, FL 34284
Virginia Beach, VA 23451

(b) (5) - (D) Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Douglas Dickerson

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Douglas D. Dickerson
Applicant's Signature

(Use if more than one applicant)

2-15-2022
Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Douglas Dickerson, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

(Date)

Douglas G. Dickerson

(Applicant's Signature)

(Use if more than one applicant)

2-15-2022

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Douglas Dickerson, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The proposed project involves the construction of 314 LF of vinyl bulkhead with a 15 LF and 67 LF return to be constructed no more than 2' seaward of the existing bulkhead. There will be 0.007 acres of aquatic impacts and approximately 45 CYs of fill placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 2 feet.
Channelward of mean low water? 2 feet.
Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 119 square feet
 - Non-vegetated wetlands 141 square feet
 - Subaqueous bottom 410 square feet
 - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The bulkhead will consist of timber piles and walers, vinyl sheet pile, H.D. galvanized hardware, and backfill from an approved upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material _____ pounds per stone Class size _____

Armor (outer layer) material _____ pounds per stone Class size _____

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1204 Kamichi Court

APPLICANT'S NAME: Douglas Dickerson

APPLICANT'S ADDRESS: 1204 Kamichi Court

Virginia Beach, VA 23451

ENGINEER OF RECORD: Sean Green, P.E.

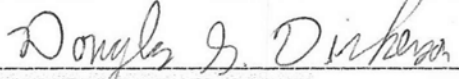
PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT
CONSTRUCTION: Vinyl Bulkhead

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

 5/24/2022
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION DATE

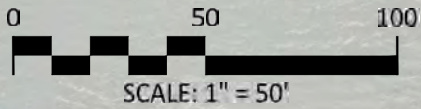
Sean Green, P.E.
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

 2-15-2022
SIGNATURE OF APPLICANT DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

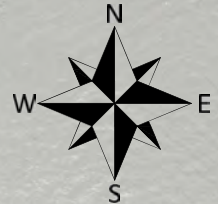
APPLICATION NO. _____



LITTLE NECK CREEK



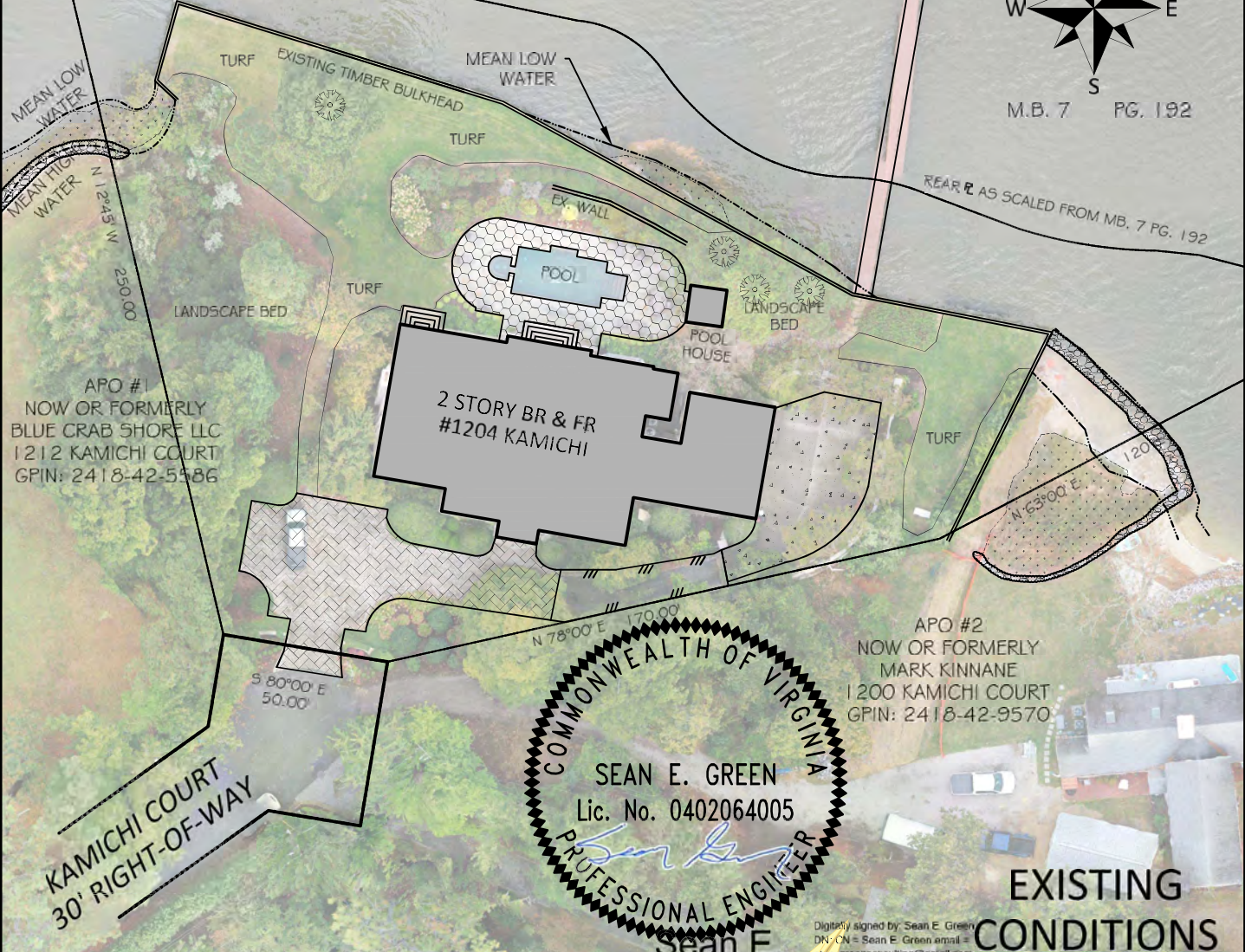
MEAN HIGH AND LOW WATER REACH EXISTING BULKHEAD UNLESS OTHERWISE NOTED.



M.B. 7 PG. 192



EXISTING PIER & BOATHOUSE



APO #1
NOW OR FORMERLY
BLUE CRAB SHORE LLC
1212 KAMICHI COURT
GPIN: 2418-42-5586

APO #2
NOW OR FORMERLY
MARK KINNANE
1200 KAMICHI COURT
GPIN: 2418-42-9570



EXISTING
CONDITIONS

Digitally signed by Sean E. Green
DN: CN = Sean E. Green, email = stonegreenconsulting@gmail.com
C = US, O = SGC LLC
Date: 2022.05.24 21:28:47 -0500

©2022 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED Green

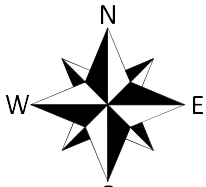
PURPOSE: EROSION PREVENTION
DATUM: MLW = 0.00'
APOS:
1. BLUE CRAB SHORES LLC
2. MARK KINNANE

WCI WATERFRONT CONSULTING, INC.
2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

PROPOSED: BULKHEAD
IN: LITTLE NECK CREEK
AT: 1204 KAMICHI COURT
VIRGINIA BEACH, VA 23451
APPLICATION BY:
DOUGLAS DICKERSON

ENGINEERING SERVICES PROVIDED BY:
STONE GREEN CONSULTING, LLC
(330) 883-2117

SHEET: 1 OF 7
DATE: MAY 17, 2022



LITTLE NECK CREEK

M.B. 7 PG. 192



| PROJECT IMPACTS | |
|-----------------|---------------|
| VEGETATED = | 119 SF |
| NON-VEGETATED = | 141 SF |
| SUBAQUEOUS = | 410 SF |
| TOTAL = | 670 SF |

MEAN HIGH AND LOW WATER REACH EXISTING BULKHEAD UNLESS OTHERWISE NOTED

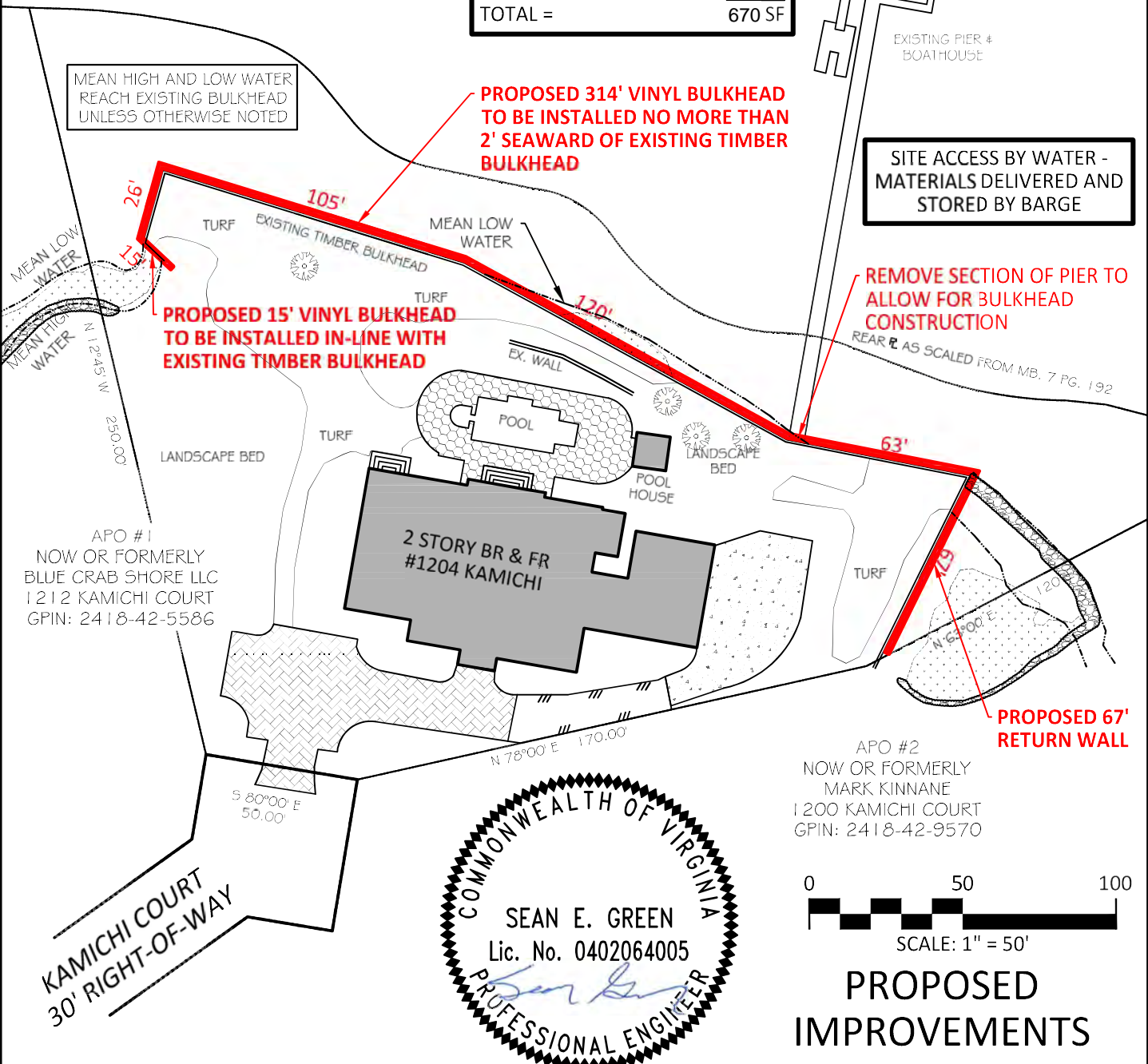
PROPOSED 314' VINYL BULKHEAD TO BE INSTALLED NO MORE THAN 2' SEAWARD OF EXISTING TIMBER BULKHEAD

SITE ACCESS BY WATER - MATERIALS DELIVERED AND STORED BY BARGE

PROPOSED 15' VINYL BULKHEAD TO BE INSTALLED IN-LINE WITH EXISTING TIMBER BULKHEAD

REMOVE SECTION OF PIER TO ALLOW FOR BULKHEAD CONSTRUCTION

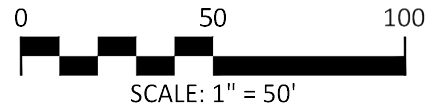
REAR E AS SCALED FROM MB. 7 PG. 192



APO #1
NOW OR FORMERLY
BLUE CRAB SHORE LLC
1212 KAMICHI COURT
GPIN: 2418-42-5586

APO #2
NOW OR FORMERLY
MARK KINNANE
1200 KAMICHI COURT
GPIN: 2418-42-9570

PROPOSED 67' RETURN WALL



PROPOSED IMPROVEMENTS

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PURPOSE: EROSION PREVENTION
DATUM: MLW = 0.00'
APOS:
1. BLUE CRAB SHORES LLC
2. MARK KINNANE



WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
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(330) 883-2117

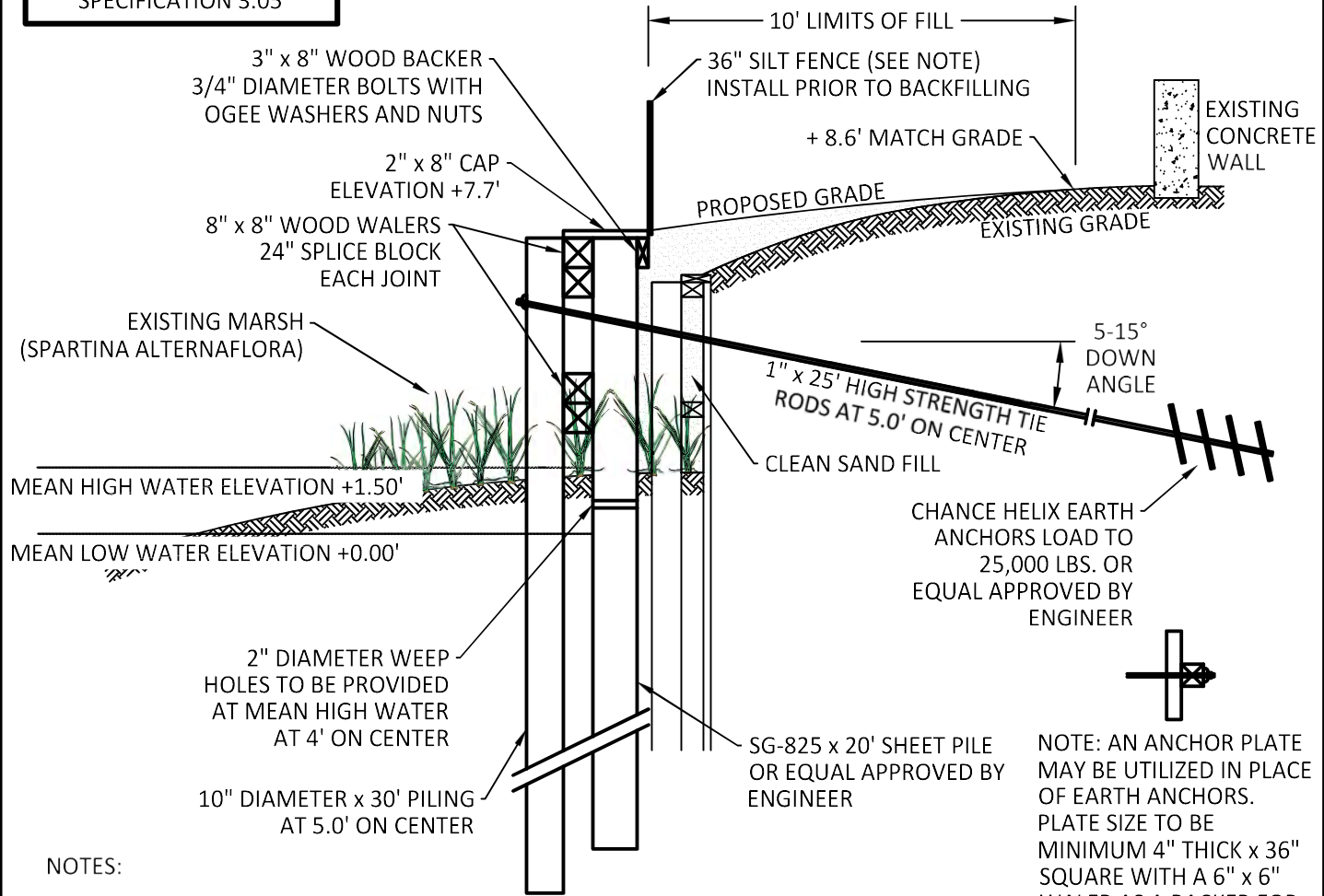
PROPOSED: BULKHEAD
IN: LITTLE NECK CREEK
AT: 1204 KAMICHI COURT
VIRGINIA BEACH, VA 23451
APPLICATION BY:
DOUGLAS DICKERSON

SHEET: 2 OF 7
DATE: MAY 17, 2022



SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05

PROPOSED BULKHEAD (VEGETATED WETLAND AREA) CROSS SECTION



NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: EROSION PREVENTION
 DATUM: MLW = 0.00'
 APOS:
 1. BLUE CRAB SHORES LLC
 2. MARK KINNANE

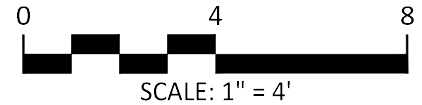
**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
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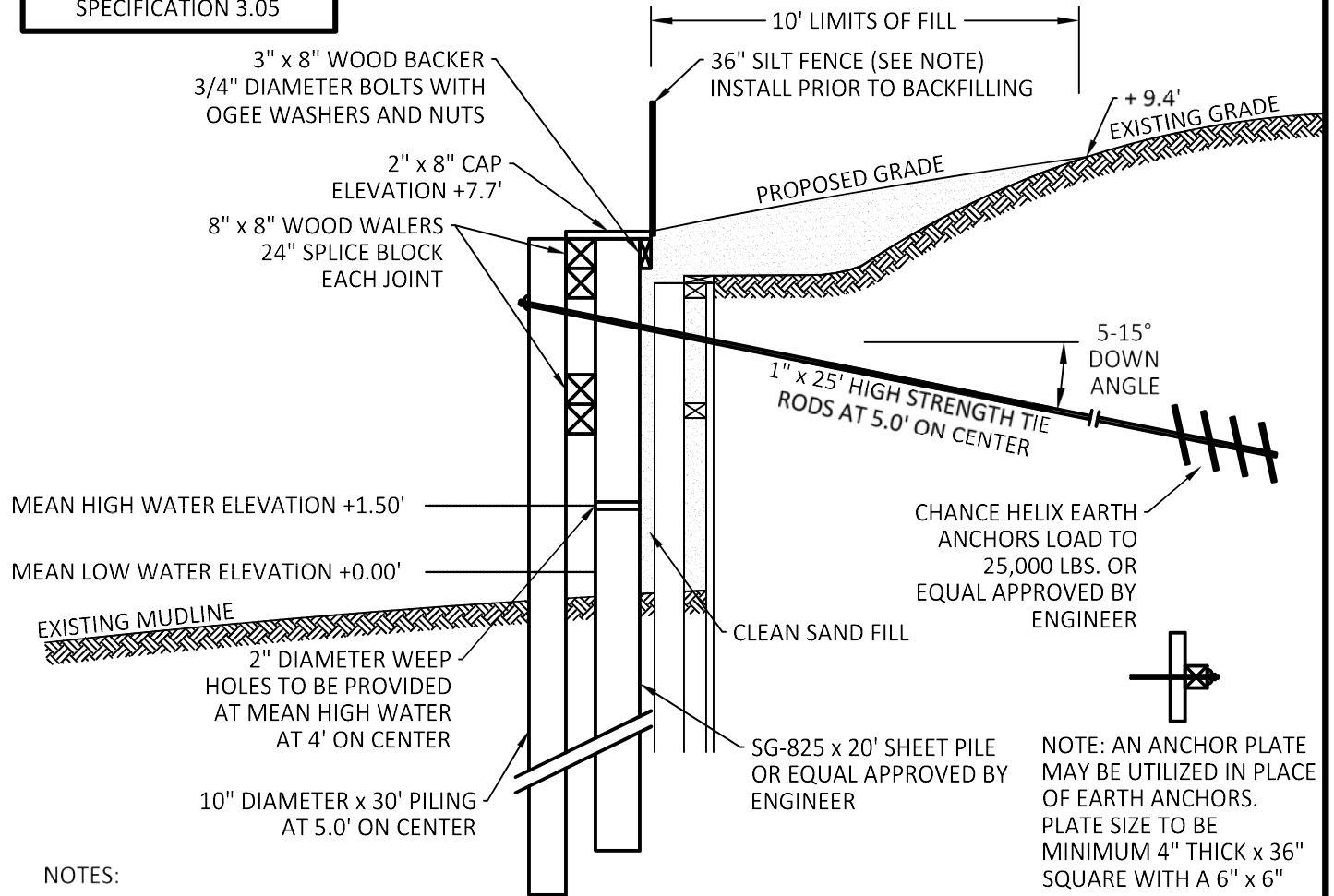
PROPOSED: BULKHEAD
 IN: LITTLE NECK CREEK
 AT: 1204 KAMICHI COURT
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 DOUGLAS DICKERSON

SHEET: 3 OF 7
 DATE: MAY 17, 2022



SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05

PROPOSED BULKHEAD CROSS SECTION



NOTES:

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. ALL HARDWARE TO IN ACCORDANCE WITH ASTM A-153.
3. NEW BULKHEAD SHALL BE PLACED AT ALIGNMENT SHOWN

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PURPOSE: EROSION PREVENTION
 DATUM: MLW = 0.00'
 APOS:
 1. BLUE CRAB SHORES LLC
 2. MARK KINNANE

WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

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 STONE GREEN CONSULTING, LLC
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: LITTLE NECK CREEK
 AT: 1204 KAMICHI COURT
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 DOUGLAS DICKERSON

SHEET: 4 OF 7
 DATE: MAY 17, 2022

NLAA COMPLIANCE

| ITEM | 8" PILE | 10" PILE | 12" PILE | | |
|----------|---------|----------|----------|--|--|
| BULKHEAD | | 66 | | | |
| | | | | | |
| | | | | | |
| | | | | | |

ALL PILES TO BE TIMBER, DRIVEN WITH EXCAVATOR MOUNTED VIBRATORY HAMMER

TABLE OF CONTROLS

| REFERENCE POINT | A | B | C | D | E | F | G | H | I | J |
|-----------------|---|---|---|---|---|---|---|---|---|---|
| | | | | | | | | | | |
| | | | | | | | | | | |
| | | | | | | | | | | |
| | | | | | | | | | | |



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PURPOSE: EROSION PREVENTION
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 2. MARK KINNANE



**WATERFRONT
 CONSULTING, INC.**

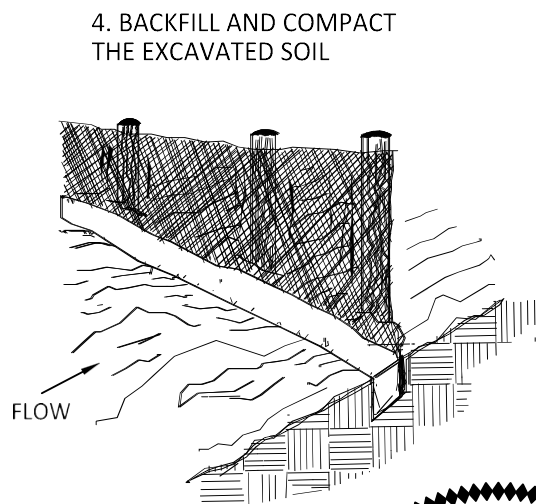
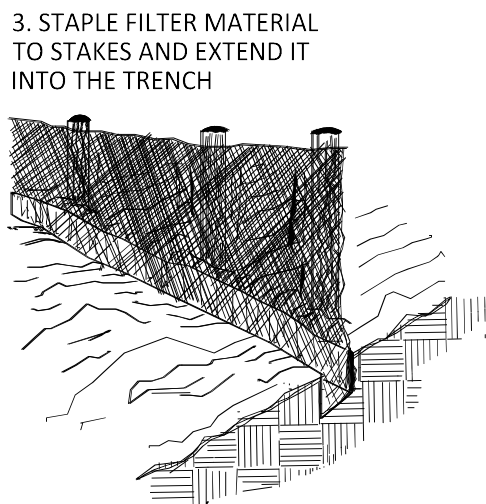
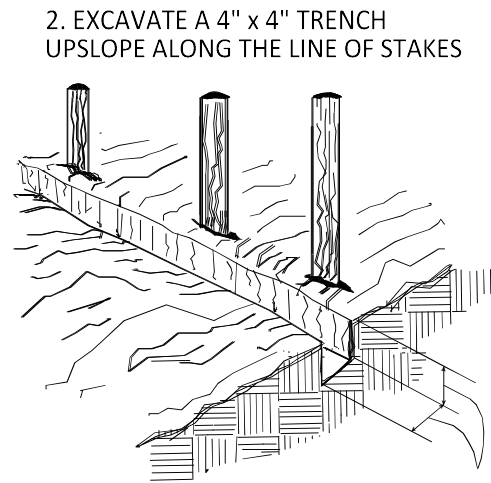
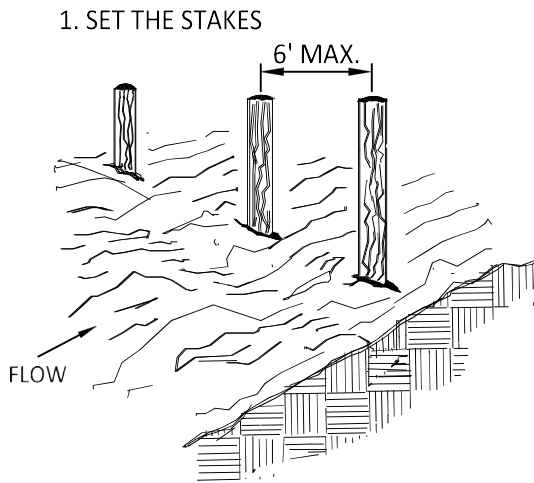
2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
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PROPOSED: BULKHEAD
 IN: LITTLE NECK CREEK
 AT: 1204 KAMICHI COURT
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 DOUGLAS DICKERSON

SHEET: 5 OF 7
 DATE: MAY 17, 2022

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant



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PURPOSE: EROSION PREVENTION
 DATUM: MLW = 0.00'
 APOS:
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 2. MARK KINNANE

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 (330) 883-2117

PROPOSED: BULKHEAD
 IN: LITTLE NECK CREEK
 AT: 1204 KAMICHI COURT
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 DOUGLAS DICKERSON

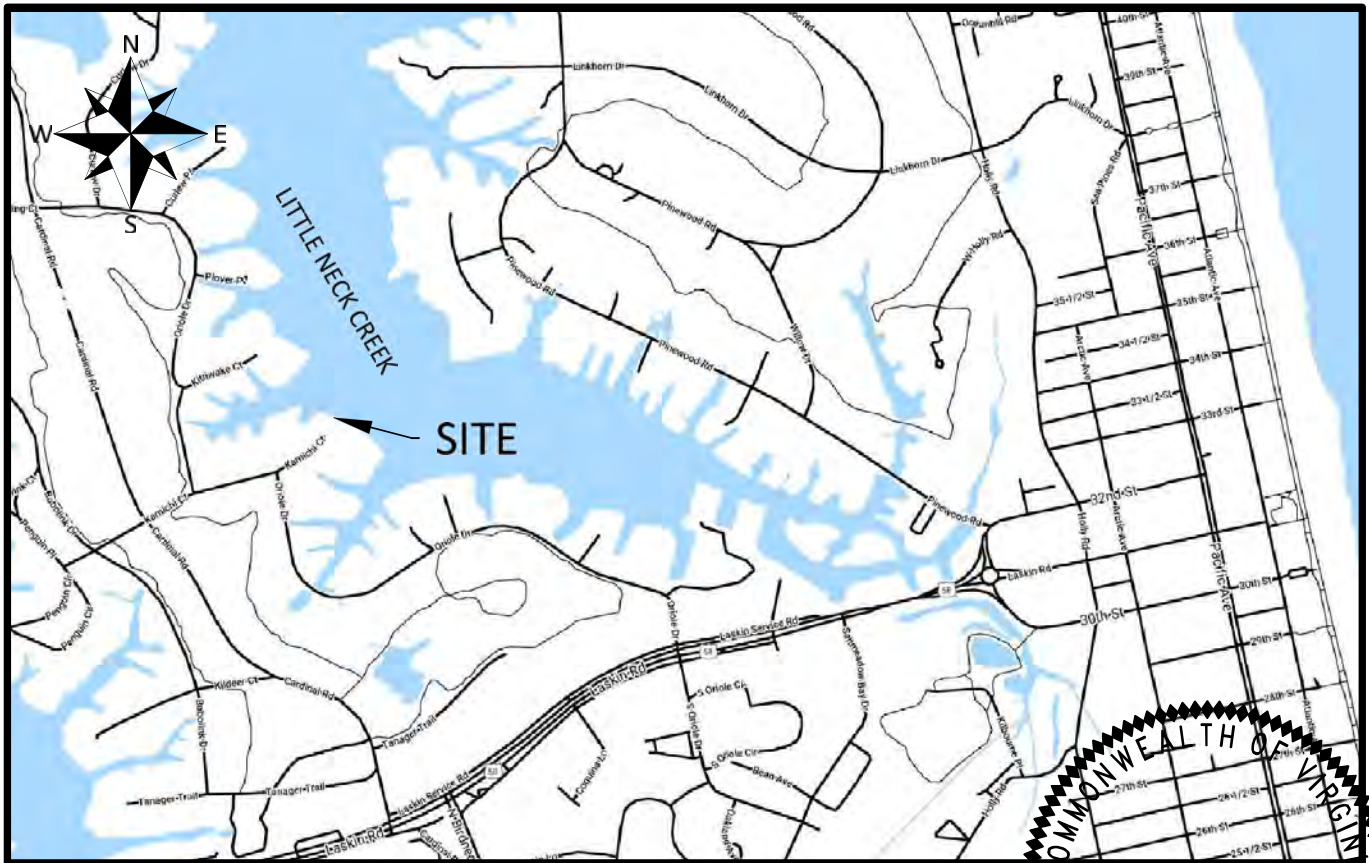
SHEET: 6 OF 7
 DATE: MAY 17, 2022

SITE INFORMATION

LEGAL DESCRIPTION: BIRDNECK POINT CLUB SECTION LOT 135
 REFERENCE: MAP BOOK 7, PAGE(S) 192, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 GPIN: 2418-42-7691
 ZONING: R-40

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

SCALE: 1" = 1,000'



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PURPOSE: EROSION PREVENTION
 DATUM: MLW = 0.00'
 APOS:
 1. BLUE CRAB SHORES LLC
 2. MARK KINNANE

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, MOBILE: (757) 619-7302

PROPOSED: BULKHEAD
 IN: LITTLE NECK CREEK
 AT: 1204 KAMICHI COURT
 VIRGINIA BEACH, VA 23451
 APPLICATION BY:
 DOUGLAS DICKERSON

ENGINEERING SERVICES PROVIDED BY:
 STONE GREEN CONSULTING, LLC
 (330) 883-2117

SHEET: 7 OF 7
 DATE: MAY 17, 2022



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

May 19, 2022

Blue Crab Shores LLC
PO Box 2258
Venice, FL 34284

Re: Proposed Vinyl Bulkhead
Located at 1204 Kamichi Court, Virginia Beach, VA 23451

Dear Blue Crab Shores LLC

This letter is to notify you that your neighbors, Douglas Dickerson have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Blue Crab Shores LLC, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Douglas Dickerson.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated May 17, 2022
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

May 19, 2022

Mark Kinnane
1200 Kamichi Court
Virginia Beach, VA 23451

**Re: Proposed Vinyl Bulkhead
Located at at 1204 Kamichi Court, Virginia Beach, VA 23451**

Dear Mark Kinnane

This letter is to notify you that your neighbors, Douglas Dickerson have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Mark Kinnane, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Douglas Dickerson.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated May 17, 2022
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

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4. 2022-WTRA-00143

Michael J. & Maryanne E. Miller [Applicants & Owners]

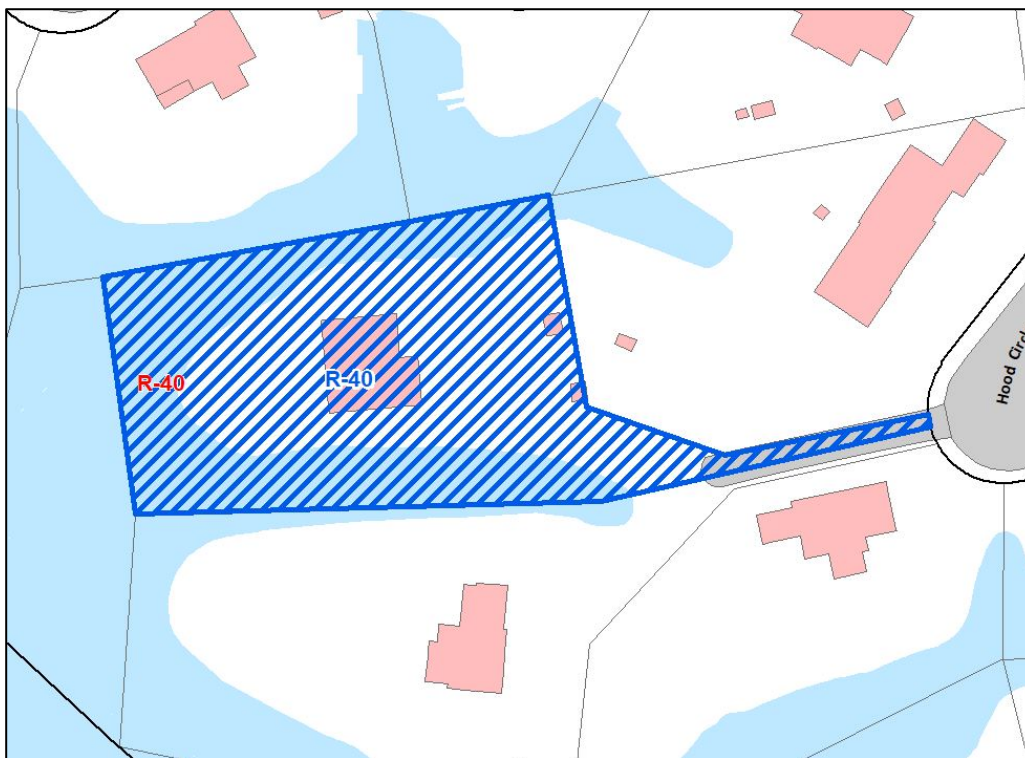
To construct a rip rap revetment, sill, and oyster castles, and plant vegetation involving wetlands

2708 Hood Cir
(GPIN 1498-53-1417)

Waterway – Eastern Branch Lynnhaven River

Subdivision – Trent Berkshire Area

Council District: District 8



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Michael J Miller

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Rich Calvert, Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the financial institutions.

TOWNE BANK

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property? Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

WPL and MEG French

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Rich Calvert, Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am **responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

Michael J. H. II, Esq. Owner

Print Name and Title

5/29/22

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

| | | | | |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature | |
| | | | Print Name | |

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

| FOR AGENCY USE ONLY | |
|---------------------|---------------|
| | Notes: |
| | JPA # 22-1272 |

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

| <u>Check all that apply</u> | | | | |
|---|--|--|---|-----------------------------------|
| Pre-Construction Notification (PCN) <input type="checkbox"/> | NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned) | | Regional Permit 17 (RP-17) <input type="checkbox"/> | |
| County or City in which the project is located: VIRGINIA BEACH | | | | |
| Waterway at project site: LYNNHAVEN RIVER | | | | |
| PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied) | | | | |
| Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html | | | | |
| Agency | Action / Activity | Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13) | Date of Action | If denied, give reason for denial |
| | | | | |
| | | | | |

Part 1 - General Information (continued)

1. Applicant’s legal name* and complete mailing address: Contact Information:
 MICHAEL MILLER Home (757) 756-0240.
 2708 HOOD CIRCLE Work ()
 VIRGINIA BEACH, VA 23454 Fax ()
 Cell ()
 e-mail escape2isles@me.com
 State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home ()
 Work ()
 Fax ()
 Cell ()
 e-mail _____
 State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
 CALVERT MARINE Home ()
 3132 RIVEREDGE DR Work (757) 777-6960
 PORTSMOUTH, VA 23703 Fax ()
 Cell ()
 e-mail Rich@CalvertMarine.net
 State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Remove the existing timber pier, lift and floating dock. Remove the existing failed bulkhead where required. Construct a new timber pier, boat lift and floating dock. Construct a new rip rap revetment / granite overlay and granite sill. Provide new oyster castles, coarse sand and planting where shown on Site. The plantings shall be Spartina Alterniflora sprigs spaced @ 12" o/c each way. The work shall be completed by land, using a single access route, and by barge. All denuded and or damaged vegetation shall be replaced in kind. The new planting shall be existing non-vegetated wetlands converted to vegetated wetlands. No tree removal. All demolition debris shall be legally disposed. All 26 - 8" butt piles and 7 10" butt piles shall be installed with a vibratory hammer of suitable capacity. Two of the 8" piles are beyond MHW.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot
150 Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 2708 Hood Circle, Virginia Beach, VA

Lot/Block/Parcel# ROBINHOOD FOREST LOT 12

Subdivision ROBINHOOD FOREST

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
_____ / - _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose is to stabilize the failing bulkhead and the secondary purpose is for safe recreational boating

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

No loss of wetlands as a result of this project.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___ Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 31K
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 444
13. Completion date of the proposed work: AUG - 22
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.
1. G.N. Byrd Real Estate Trust Etc.
ROBINHOOD FOREST RESIDUE PARCEL .69 AC
Waterfront Parcel
GPIN 1498-43-8490
Mailing Address:
353 Peace Haven Dr.
Norfolk, VA 23502
 2. Wales Family Trust
2704 Hood Cir
Virginia Beach, VA 23454
 3. Toni King
2709 Hood Cir
Virginia Beach, VA 23454
 4. John Sherman Jr.
2713 Robin Dr
Virginia Beach, VA 23454
 5. James Hensien
2709 Robin Dr.
Virginia Beach, VA 23454
 6. Jon Prendergast
2705 Robin Dr
Virginia Beach, VA 23454

APO's sent out on 6/3/2022 via USPS

Part 2 - Signatures

I. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Michael Miller

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Applicant's Signature

(Use if more than one applicant)

Date

Property Owner's Legal Name (printed/typed)

(Use if more than one owner)

(If different from Applicant)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Michael Miller, hereby certify that I (we) have authorized CALVERT MARINE
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Felicia Bohm

(Agent's Signature)

(Use if more than one agent)

05/23/22

(Date)

[Signature]

(Applicant's Signature)

(Use if more than one applicant)

5/29/22

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

Remove the existing timber pier, lift and floating dock. Remove the existing failed bulkhead where required. Construct a new timber pier, boat lift and floating dock. No tree removal. All demolition debris shall be legally disposed.

All 26 - 8" butt piles and 7 10" butt piles shall be installed with a vibratory hammer of suitable capacity. Two of the 8" piles are beyond MHW.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 74 feet.

Channelward of Mean High Water? 51.8 feet.

Channelward of Mean Low Water? 40.5 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 45 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 536 square feet.

What is the total size of any and all L- or T-head platforms? 272 sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:

- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
- b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
- c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

| Type | Length | Width | Draft | Registration # |
|-------|--------|-------|-------|----------------|
| <hr/> | | | | |
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5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
- C) Will the facility be equipped to off-load sewage from boats? _____.
- D) How many wet slips are proposed? _____. How many are existing? _____.
- E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet

6. For **boat ramps**, what is the overall length of the structure? _____ feet.
 From Mean High Water? _____ feet.
 From Mean Low Water? _____ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

OYSTER CASTLES (88 LF): 274 SF - 239 SF SUB. 35 SF NON-VEG / NON-VEG
PLANTING: 460 SF / 15 CY - 70 SF SUB. 390 SF NON-VEG / NON-VEG
RIP RAP (214.5 LF): 1,464 SF / 120 CY - 1,030 SF OVER EX ROCK 188 SF OVER NON-VEG
246 SF UPLAND
80 CY below MHW
SILL (104 LF): 416 SF / 60 CY (below MHW) - 232 SF ON NON-VEG / 184 SF SUB.

2. What is the maximum encroachment channelward of mean high water? _____ feet.
Channelward of mean low water? _____ feet.
Channelward of the back edge of the dune or beach? _____ feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 0 square feet
 - Non-vegetated wetlands 1875 square feet
 - Subaqueous bottom 493 square feet
 - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? ____ Yes ____ No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? ____ Yes ____ No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The new rip rap shall be Class 1 and A1 granite. Filter cloth shall be placed as shown under granite. Planting sand shall be coarse sand. Oyster Castles shall be concrete structures.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 25 to 75 pounds per stone Class size A1
Armor (outer layer) material 50 - 150 pounds per stone Class size 1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

Michael Miller
2708 Hood Circle
Virginia Beach, VA 23454

PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing timber bulkhead that is failing. There is rip rap and rubble placed against the face of the existing bulkhead extending 5 to 8 feet from the wall. Mean Low Water is just beyond the edge of rip rap / rubble. There are also existing vegetated wetlands located in front of the existing bulkhead in the existing rip rap. The Owner has a pier that is located in very shallow water and requires removal / replacement in the better water located on Site.

Since there is existing rip rap present in front of the wall, the best repair appears to be the installation of additional rip rap as required to stabilize the shoreline. The existing rip rap / rubble could be enhanced by installing a new toe and overlaying the existing material to provide a new 1:1.5 slope landward.

After review of the property rip rap was found to be the preferred solution to remedy the current erosion and deteriorating conditions. The following site-specific evaluation led to the decision after careful review with the Owner and Engineer.

1. A new bulkhead would be difficult to install with the number of existing trees. The same trees provide heavy shade at the property. See the tree "canopy line" noted on the drawings. The application includes new planting at the only location where the tree canopy is not present. The remaining shoreline is tidal but lacks sunlight.
2. A Living shoreline could not be properly graded without heavy tree removal. The yard is small and most of the existing yard is landscaped. The property has a new CBPA application currently being prepared for upland work as well.
3. While the cove conditions are shallow and somewhat protected, the Owner and APOs enjoy recreational boating. The Living Shoreline component has been fortified with oyster castles for this reason. Planting has been added at the toe of the revetment to help the marsh continue to develop around the existing shoreline. All of the existing vegetated wetlands shall remain and be shall be enhanced by planting and protection where possible.

**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE
PROJECTS**

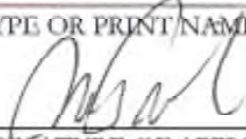
REVISED 10-09-03

PROJECT LOCATION: 2708 Hood Circle
APPLICANT'S NAME: Michael Miller
APPLICANT'S ADDRESS: 2708 Hood Circle
Virginia Beach, VA 23454
ENGINEER OF RECORD: Gary Franks Jr. P.E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

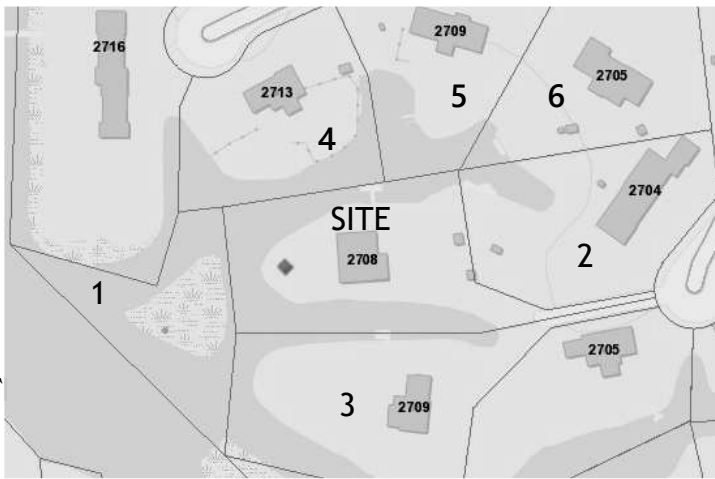
 05/30/22
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION DATE
Gary Franks Jr. P. E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION
 5/29/22
SIGNATURE OF APPLICANTS DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____
(TO BE COMPLETED BY STAFF)



PROPERTY MAP



STREET MAP

RIP RAP REVETMENT, SILL, OYSTER CASTLES, PLANTINGS, TIMBER REPLACEMENT PIER, NEW BOAT LIFT & FLOATING DOCK

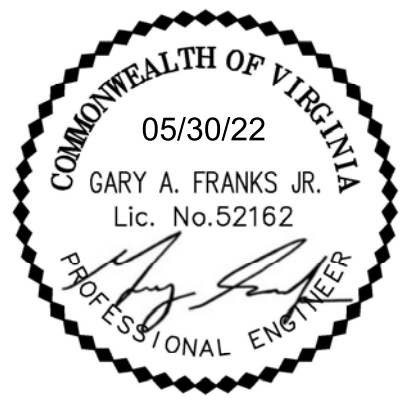
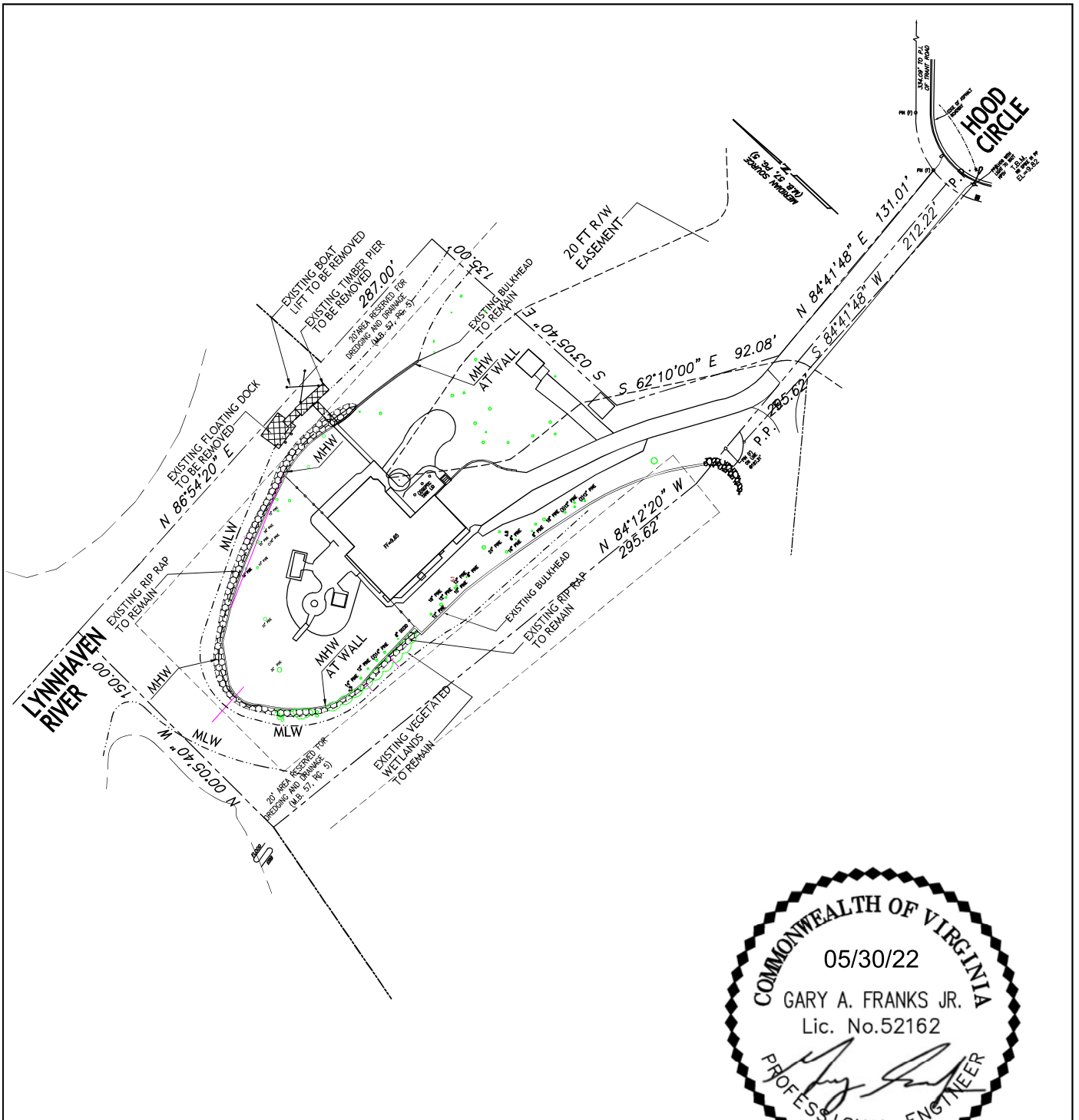
2708 HOOD CIRCLE
 VIRGINIA BEACH, VA 23454

LEGAL: ROBINHOOD FOREST LOT 12




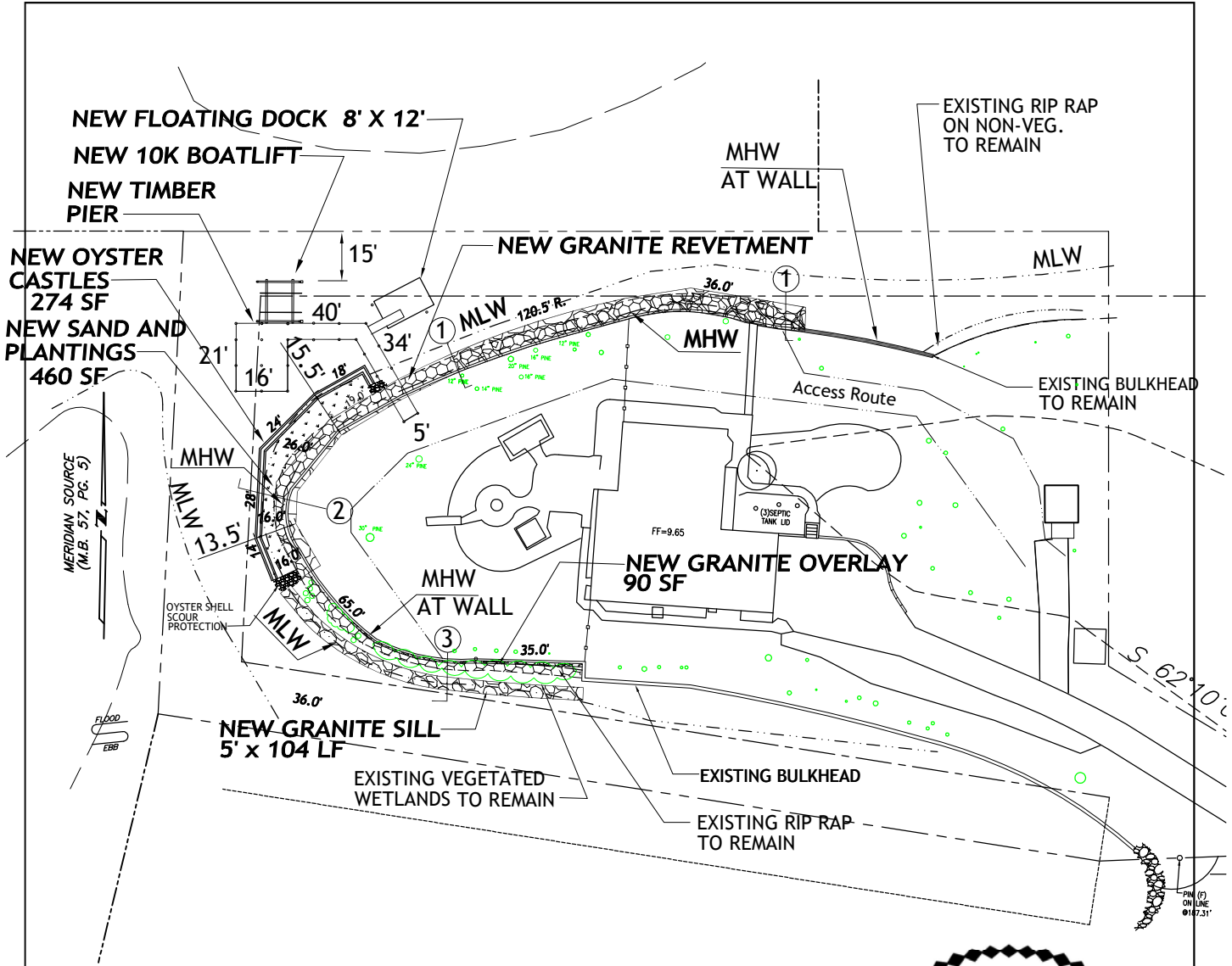
NO SCALE ⚙ DATUM: MLW = 0.00' MHW = +1.70'

| | | |
|--|--|---|
| | <p style="text-align: center;">VICINITY MAP</p> <p>Adjacent Property Owners: 1. G.N. Byrd Real Estate Trust Etc. 2. Wales Family Trust 3. Toni King 4. John Sherman Jr. 5. James Hensien 6. Jon Prendergast</p> | <p>Proposed: RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK in: LYNNHAVEN RIVER at: 2708 HOOD CIRCLE County of: VIRGINIA BEACH Applicant: MICHAEL MILLER Sheet: 1 of 12 Date: 20 MAY 22</p> |
|--|--|---|



SCALE: 1" = 80'-0" * DATUM: MLW = 0.00' MHW = +1.70'

| | | |
|---|--|---|
|  | PLAN | Proposed: RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK in: LYNNHAVEN RIVER at: 2708 HOOD CIRCLE County of: VIRGINIA BEACH Applicant: MICHAEL MILLER Sheet: 2 of 12 Date: 20 MAY 22 |
| | Adjacent Property Owners: 1. G.N. Byrd Real Estate Trust Etc. 2. Wales Family Trust 3. Toni King 4. John Sherman Jr. 5. James Hensien 6. Jon Prendergast | |



SCALE: 1" = 60'-0" * DATUM: MLW = 0.00' MHW = +1.70'

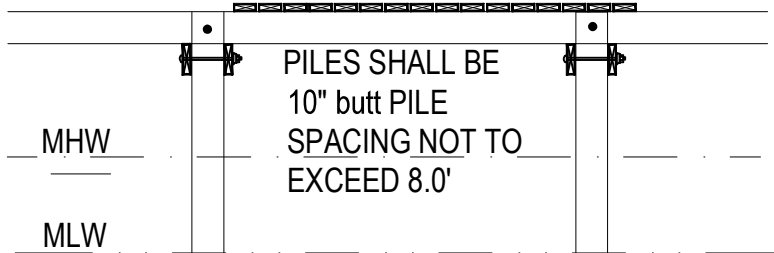


PART PLAN – NEW WORK

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **3** of **12** Date: **20 MAY 22**

DECKING SHALL BE 2" X 6" TREATED TIMBER DECKING AND SHALL BE ATTACHED WITH 3" S. S. SCREWS



MAINTAIN VERTICAL CLEARANCE ABOVE ALL WETLANDS EQUAL TO THE PIER WIDTH 5' WIDE = 5' VERT. CLEARANCE

PILES SHALL BE 10" butt PILE SPACING NOT TO EXCEED 8.0'

24" SPLICE BLOCK AT ALL STRINGER SPLICES NAIL TO EACH

24" o/c MAX.

MUDLINE / GRADE ELEVATION VARIES

5/8" GALV. OGEE WASHERS & GALV. TIMBER BOLTS SHALL BE PROVIDED AT ALL PILE TO HEADER CONNECTIONS HEADERS SHALL BE 2" x 8" - 2.5# CCA TREATED TIMBERS ROUGH CUT

STRINGERS SHALL BE 2" x 8" 1.0# CCA

1/2" GALV. OGEE WASHERS & GALV. TIMBER BOLTS SHALL BE PROVIDED AT ALL PILE TO OUTSIDE STRINGERS

ATTACH STRINGER TO EACH PILE WITH 20D GALV. NAILS



SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = +1.70'



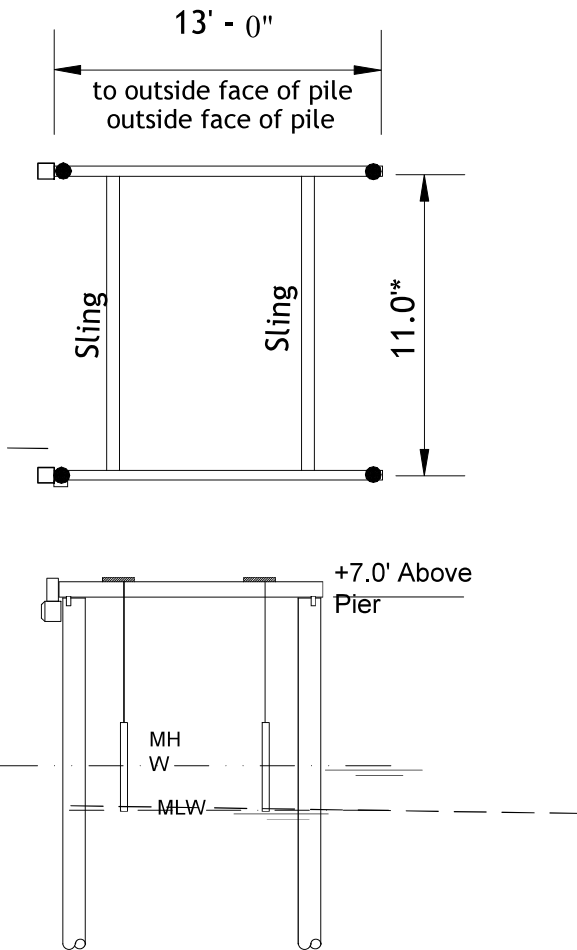
PIER DETAILS

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **4** of **12** Date: **20 MAY 22**

NOTES:

- 1) The Installation is completed according to the manufacturer's recommendations.
- 2) The ultimate user understands how to operate in a safe manner.
- 3) The ultimate user acknowledges the need for regular service and maintenance of the lifting equipment.
- 4) The Customer is informed and understands all safety and warning labels affixed to the equipment.
- 5) Any Lift is of suitable capacity to safely lift the Owner's vessel and the slings are installed as per the lift and boat manufacturer's recommendations.
- 6) Center of gravity of vessel must be in center of lift (bow to stern)
- 7) Piles shall be 10" diameter embedded 60% of their length.



SCALE: 1/4" = 1'-0" ⚙ DATUM: MLW = 0.00' MHW = +1.70'



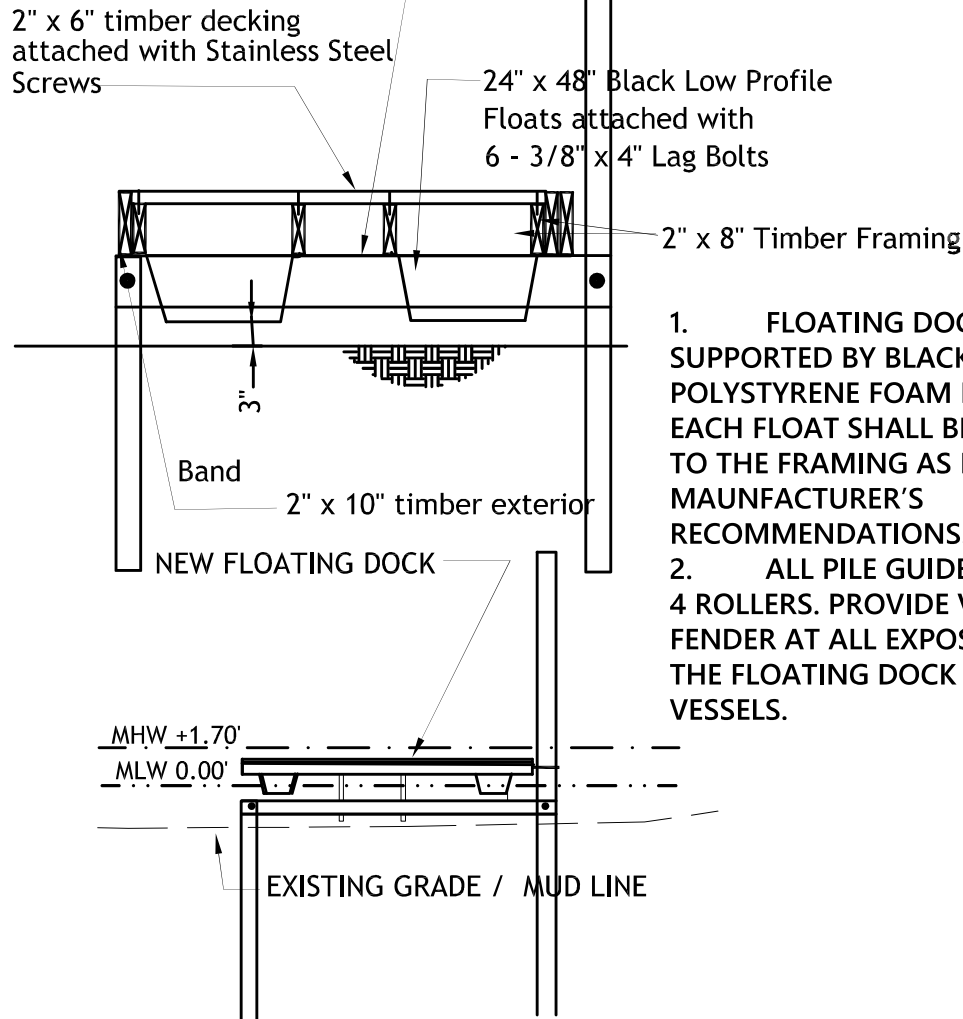
LIFT DETAILS

Adjacent Property Owners:
 1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust 3. Toni King
 4. John Sherman Jr.
 5. James Hensien 6. Jon Prendergast

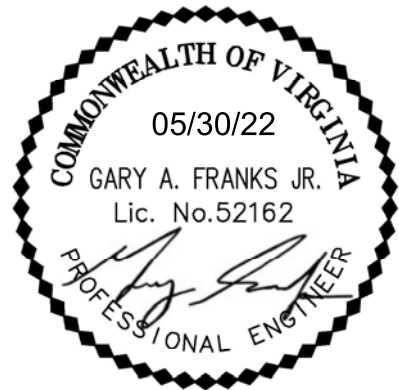
Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **5** of **12** Date: **20 MAY 22**

NEW FLOATING DOCK SHALL BE 3" CLEAR OF THE BOTTOM AT LOW TIDE. USE PILES / FRAMING TO PROVIDE ADEQUATE SUPPORT

RAMP AND PIER OMITTED FOR CLARITY



1. FLOATING DOCK SHALL BE SUPPORTED BY BLACK EXPANDED POLYSTYRENE FOAM FILLED FLOATS. EACH FLOAT SHALL BE ATTACHED TO THE FRAMING AS PER THE MAUNFACTURER'S RECOMMENDATIONS.
2. ALL PILE GUIDES SHALL HAVE 4 ROLLERS. PROVIDE VINYL DOCK FENDER AT ALL EXPOSED EDGES OF THE FLOATING DOCK SUBJECT TO VESSELS.



SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = +1.70'



FLOATING DOCK DETAILS

Adjacent Property Owners:
 1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust 3. Toni King
 4. John Sherman Jr.
 5. James Hensien 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **6** of **12** Date: **20 MAY 22**

A SILT FENCE SHALL BE
 INSTALLED & MAINTAINED
 DAILY DURING THE WORK
 PROCESS

NEW 6" X 6" TIMBER CURB

EXISTING BULKHEAD
 TO BE REMOVED
 & PROPERLY DISPOSED

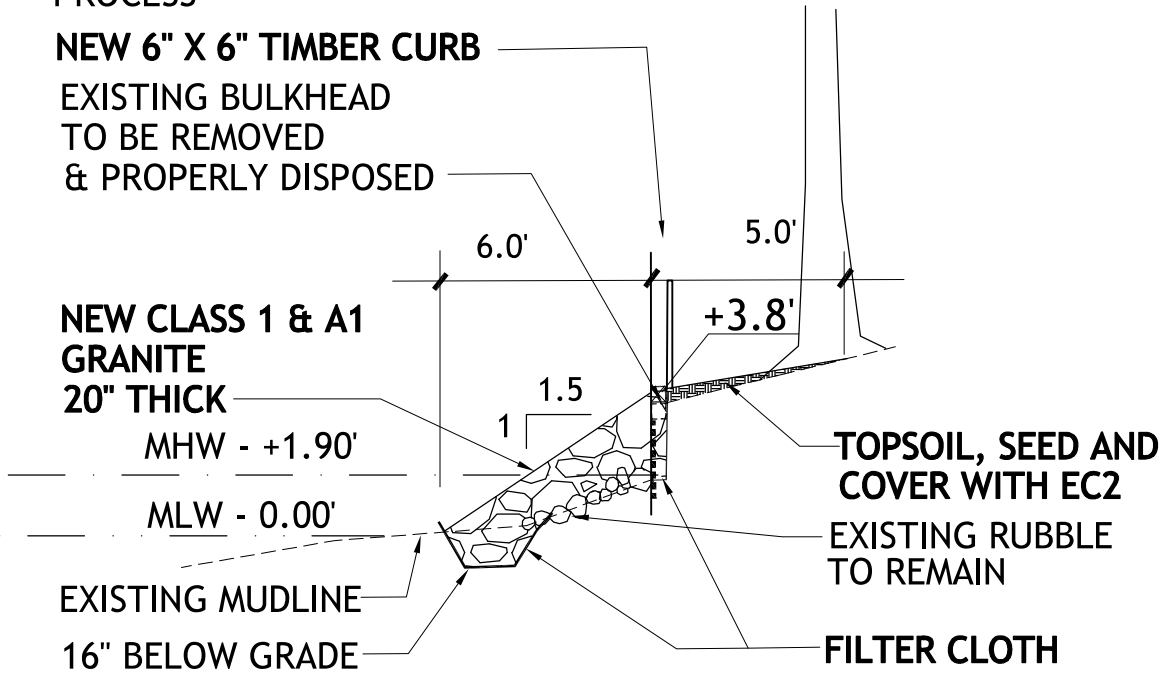
**NEW CLASS 1 & A1
 GRANITE
 20" THICK**

MHW - +1.90'

MLW - 0.00'

EXISTING MUDLINE

16" BELOW GRADE



TOPSOIL, SEED AND
 COVER WITH EC2
 EXISTING RUBBLE
 TO REMAIN

FILTER CLOTH

Any denuded or destroyed vegetation
 shall be replaced in kind



SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = +1.70'



SECTION 1

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER,
 BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **7** of **12** Date: **20 MAY 22**

A SILT FENCE SHALL BE INSTALLED & MAINTAINED DAILY DURING THE WORK PROCESS

NEW 6" X 6" TIMBER CURB

EXISTING BULKHEAD TO BE REMOVED & PROPERLY DISPOSED

NEW CLASS 1 & A1 GRANITE 20" THICK

OYSTER SHELL SCOUR PROTECTION

MHW - +1.90'

MLW - 0.00'

OYSTER CASTLES 8" COURSE
PLANTING SAND BACKFILL

EXISTING MUDLINE
NON-VEGETATED WETLANDS

NEW SPARTINA ALTERNIFLORA SPRIGS AT 12" o/c EACH WAY

2.0'

6.0'

1.5

1

TOPSOIL, SEED AND COVER WITH EC2

EXISTING RUBBLE TO REMAIN

FILTER CLOTH

16" BELOW GRADE



SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = +1.70'



SECTION 2

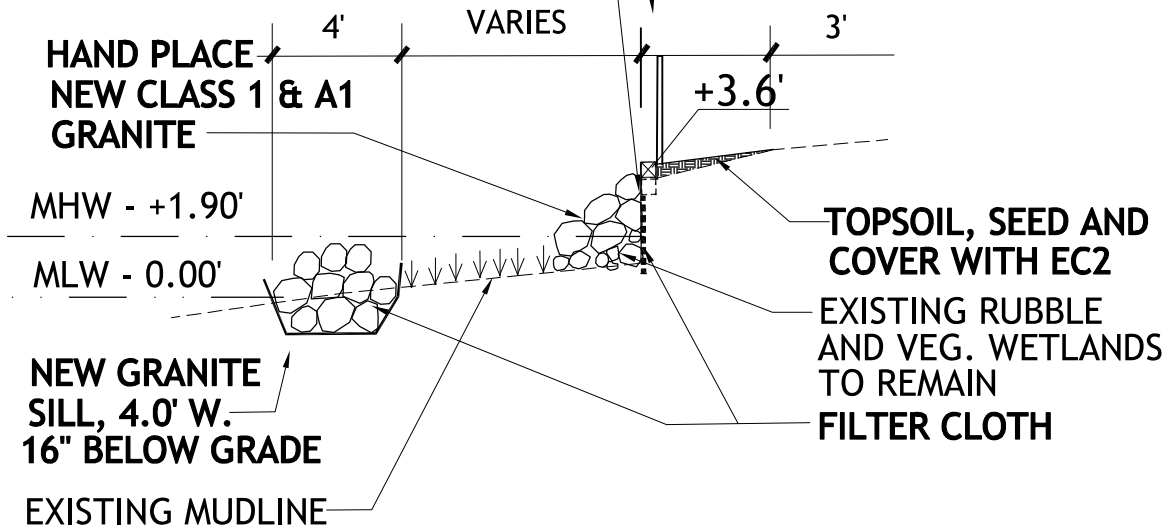
- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **8** of **12** Date: **20 MAY 22**

DO NOT PLACE STONE ON THE EX WETLAND GRASS

A SILT FENCE SHALL BE INSTALLED & MAINTAINED DAILY DURING THE WORK PROCESS

NEW 6" X 6" TIMBER CURB
EXISTING BULKHEAD TO BE REMAIN



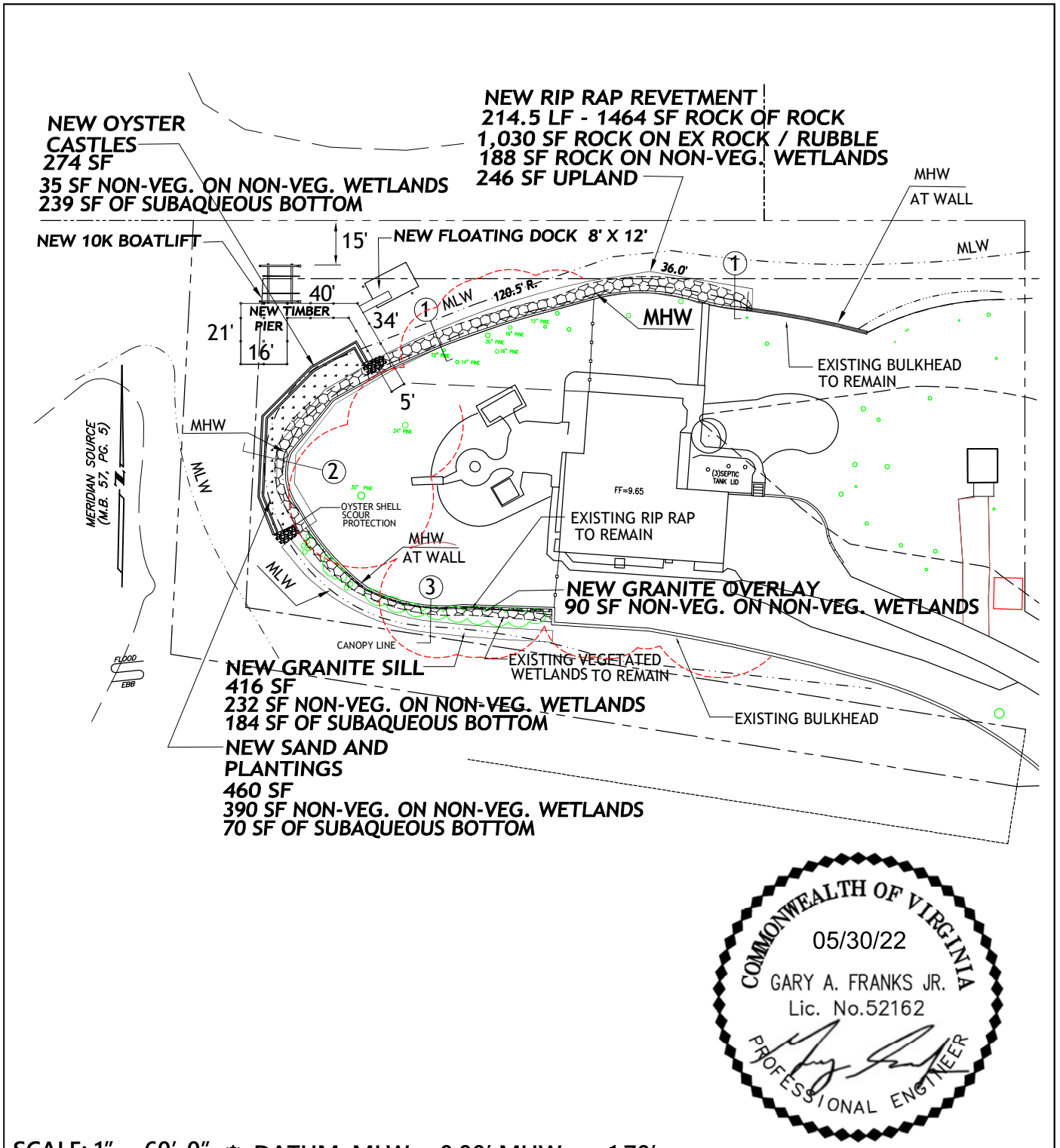
SCALE: 1/4" = 1'-0" DATUM: MLW = 0.00' MHW = +1.90'



SECTION 3

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
in: **LYNNHAVEN RIVER**
at: **2708 HOOD CIRCLE**
County of: **VIRGINIA BEACH**
Applicant: **MICHAEL MILLER**
Sheet: **9** of **12** Date: **20 MAY 22**



NEW OYSTER CASTLES
274 SF
35 SF NON-VEG. ON NON-VEG. WETLANDS
239 SF OF SUBAQUEOUS BOTTOM

NEW RIP RAP REVETMENT
214.5 LF - 1464 SF ROCK OF ROCK
1,030 SF ROCK ON EX ROCK / RUBBLE
188 SF ROCK ON NON-VEG. WETLANDS
246 SF UPLAND

NEW 10K BOATLIFT **NEW FLOATING DOCK 8' X 12'**

NEW TIMBER PIER
40'
16'

NEW GRANITE SILL
416 SF
232 SF NON-VEG. ON NON-VEG. WETLANDS
184 SF OF SUBAQUEOUS BOTTOM

NEW SAND AND PLANTINGS
460 SF
390 SF NON-VEG. ON NON-VEG. WETLANDS
70 SF OF SUBAQUEOUS BOTTOM

NEW GRANITE OVERLAY
90 SF NON-VEG. ON NON-VEG. WETLANDS

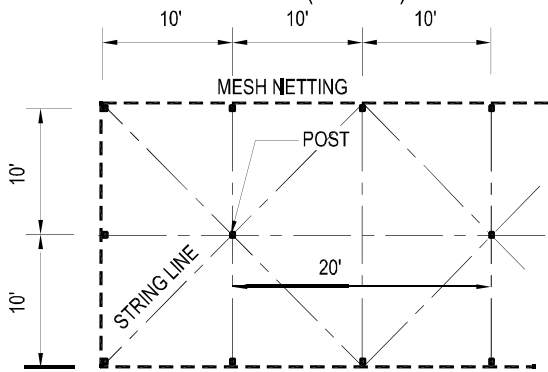


SCALE: 1" = 60'-0" **DATUM: MLW = 0.00' MHW = +1.70'**

| | | |
|---|---|---|
| <p>CALVERT MARINE DSG DEVELOPMENT SERVICES GROUP INC.</p> | <p align="center">ENVIRONMENTAL PLAN</p> <p>Adjacent Property Owners: 1. G.N. Byrd Real Estate Trust Etc. 2. Wales Family Trust 3. Toni King 4. John Sherman Jr. 5. James Hensien 6. Jon Prendergast</p> | <p>Proposed: RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK in: LYNNHAVEN RIVER at: 2708 HOOD CIRCLE County of: VIRGINIA BEACH Applicant: MICHAEL MILLER Sheet: 10 of 12 Date: 20 MAY 22</p> |
|---|---|---|

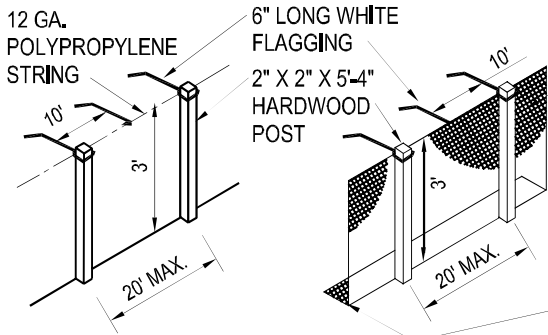
WETLAND NOTES:

1. PREDATOR FENCING SHALL CONSIST OF A PERIMETER FENCE OF PLASTIC MESH NETTING WITH AN INTERIOR NETWORK OF STRING LINES ATOP THE POST.
2. PREDATOR FENCING SHALL BE INSTALLED AS NOTED BELOW AND MAINTAINED FOR TWO GROWING SEASONS UNLESS APPROVED TO BE REMOVED BY STAFF.
3. WETLAND GRASSES SHALL BE INSTALLED AT 12" o/c AND FERTILIZED WITH OSMOCOTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. PLANT MORTALITY WILL BE ADDRESSED BY REPLACING PLANTS DURING THE NEXT GROWING SEASON.
5. WETLAND PLANTING WILL ACHIEVE AN 85% COVERAGE WITHIN TWO FULL GROWING SEASONS TO BE CONSIDERED SUCCESSFUL.
6. SAND FILL FOR WETLAND PLANTING SHALL MEET THE FOLLOWING CRITERIA:
SOIL CLASSIFICATION SHALL BE SM, SP OR SE CLASSIFICATION IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. MEDIUM GRAIN SIZE OF AROUND 0.25 mm WITH NO MORE THAN 20% PASSING THROUGH A #100 SIEVE (0.149 mm) AND NO MORE THAN 10% PASSING THROUGH A #200 SIEVE (0.74 mm)



PLAN

FOLLOWING INSTALLATION OF THE WETLANDS VEGETATION, AN ANNUAL VEGETATION MONITORING REPORT SHALL BE SUBMITTED IN MID-AUGUST FOR THREE YEARS FOLLOWING APPROVAL. THE ANNUAL REPORT SHALL INCLUDE PHOTOGRAPHS AND A REVEGETATION PLAN FOR ANY AREAS OF WHERE THE VEGETATION HAS FAILED TO ESTABLISH. THE NEW WETLANDS PLANTING SHALL BE SPARTINA ALTERNIFLORA SPRIGS SPACED AT 12" o/c EACH WAY. SEE NOTE 3.



LINE DETAIL

NETTING / MESH DETAIL

BLACK POLYPROPYLENE MESH FENCE MAX. 1" OPNG. NETTING IS TO BE SECURED TO PERIMETER POST WITH 3 TIES PER POST MESH TO HAVE 2" TO 3" OF OVERLAP AT THE BOTTOM STRING TO BE TIED AND KNOTTED WITH ENOUGH TENSION TO MAKE THE STRING TAUGHT BETWEEN STAKE WITH MINIMAL SAG. STRING SHALL BE TIED TO EACH POST



VINYL FLAGGING TO BE TIED TO EACH STAKE & AT MID POINT OF EACH MESH FENCE SEGMENT

SCALE: 1/4" = 1'-0" DATUM: MLW = 0.00' MHW = +1.90'



WETLAND DETAILS

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**

in: **LYNNHAVEN RIVER**

at: **2708 HOOD CIRCLE**

County of: **VIRGINIA BEACH**

Applicant: **MICHAEL MILLER**

Sheet: **11** of **12**

Date: **20 MAY 22**

NOTES:

1. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
2. NO LAND CLEARING OR REMOVAL OF TREES ARE INCLUDED IN THIS PROJECT.

LUMBER SPECIFICATIONS:

1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
2. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 8" BUTT, UON. The Floating Dock and Lift piles shall be shall be 10" and the pier piles shall be 8' butt.

FASTENER SPECIFICATIONS:

1. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.
2. 5/8" GALVANIZED TIMBER BOLTS SHALL BE USED FOR TIMBER CONNECTIONS. OEGE WASHERS SHALL BE USED WITH ALL HEADERS CONNECTIONS.

GENERAL CONSTRUCTION NOTES:

1. ALL PILINGS SHALL BE EMBEDDED 50% OF THE LENGTH BELOW GRADE OR THE MUD LINE.
2. THE PILING LENGTHS ARE BASED ON TYPICAL SOIL CONDITIONS (SAND). IN THE EVENT THAT THE PILINGS SINK UPON INSTALLATION WITH NO RESISTANCE THE CONTRACTOR MUST CONTACT THE OWNER, AGENT & ENGINEER.
3. CONTRACTOR SHALL LOCATE ALL PROPERTY LINES AND CHANNELS TO VERIFY THE PIER IS LOCATED AS PERMITTED AND DOES NOT ENCROACH UPON OTHER PROPERTIES. ANY DECREPAncy SHALL BE REPORTED TO THE OWNER.
4. ALL PIER WORK SHALL BE COMPLETED BY BARGE. ALL SHORELINE STABILIZATION SHALL BE COMPLETED BY LAND USING A SINGLE ACCESS ROUTE.
5. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
6. ALL DAMAGED AND OR DENUDED VEGETATION, LANDSCAPING AND TURF SHALL BE REPLACED IN KIND
7. ALL GRANITE SHALL BE AS SPECIFIED IN THE SECTIONS. FILTER CLOTH SHALL BE USED UNDER ALL GRANITE. ALL FILTER CLOTH SHALL BE VDOT APPROVED.
8. ALL STONE SHALL BE NEW QUARRY STONE GRADED AS PER VDOT STANDARDS.
9. CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF WORK. CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION.



NO SCALE * DATUM: MLW = 0.00' MHW = +1.70'



NOTES

- Adjacent Property Owners:
1. G.N. Byrd Real Estate Trust Etc.
 2. Wales Family Trust
 3. Toni King
 4. John Sherman Jr.
 5. James Hensien
 6. Jon Prendergast

Proposed: **RIP RAP, PLANTING, NEW PIER, BOAT LIFT AND FLOATING DOCK**
 in: **LYNNHAVEN RIVER**
 at: **2708 HOOD CIRCLE**
 County of: **VIRGINIA BEACH**
 Applicant: **MICHAEL MILLER**
 Sheet: **12** of **12** Date: **20 MAY 22**

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Wales Family Trust 2704 Hood Cir Virginia Beach, VA 23454, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Michael Miller 2708 Hood Cir Virginia Beach, VA 23454.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 20 MAY 22
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Toni King 2709 Hood Cir Virginia Beach, VA 23454, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Michael Miller 2708 Hood Cir Virginia Beach, VA 23454.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 - Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

Mailing Address: 2859 Virginia Beach Blvd. VB 23452

John Sherman Jr. 2713 Robin Dr VB 23454

I, _____, own land next to (across (Print adjacent/nearby property owner's name)

Michael Miller 2708 Hood Cir Virginia Beach, VA 23454

the water from/on the same cove as) the land of _____ (Print applicant's name)

I have reviewed the applicant's project drawings dated 20 MAY 22 (Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process. VMRC•2400 Washington Avenue•3rd Floor•Newport News, VA 23607

Richard Calvert, Agent
CALVERT MARINE
3132 Riveredge Drive ♦ Portsmouth, VA 23703
Rich@CalvertMarine.net
VMRC – 757-247-2200

Part 2 - Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

James Hensien 2709 Robin Dr VB 23454

I, _____ own land next to (across (Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of _____
(Print applicant's name)

Michael Miller 2708 Hood Cir Virginia Beach, VA 23454

I have reviewed the applicant's project drawings dated 20 MAY 22
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

VMRC • 2400 Washington Avenue • 3rd Floor • Newport News, VA 23607

Richard Calvert, Agent

CALVERT MARINE

3132 Riveredge Drive ♦ Portsmouth, VA 23703

Rich@CalvertMarine.net

VMRC – 757-247-2200

Part 2 - Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

Jon Prendergast
2705 Robin Dr VB 23454

I, _____, own land next to (across (Print adjacent/nearby property owner's name)

Michael Miller 2708 Hood Circle VB 23454

the water from/on the same cove as) the land of _____
(Print applicant's name)

I have reviewed the applicant's project drawings dated 20 MAY 22
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

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Richard Calvert, Agent

CALVERT MARINE

3132 Riveredge Drive ♦ Portsmouth, VA 23703

Rich@CalvertMarine.net

VMRC – 757-247-2200

Part 2 - Signatures (continued)

Mailing Address: 353 Peace Haven Dr Norfolk, VA 23502

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

G. N. Byrd Real Estate Trust ETC. GPIN 1498-43-8490 Water Parcel

I, _____, own land next to (across (Print adjacent/nearby property owner's name)

Michael Miller 2708 Hood Circle VB 23454

the water from/on the same cove as) the land of _____ (Print applicant's name)

I have reviewed the applicant's project drawings dated 20 MAY 2022 (Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process. VMRC•2400 Washington Avenue•3rd Floor•Newport News, VA 23607

Richard Calvert, Agent
CALVERT MARINE
3132 Riveredge Drive ♦ Portsmouth, VA 23703
Rich@CalvertMarine.net
VMRC – 757-247-2200

5. 2022-WTRA-00144

John B. Nowell Jr. [Applicant & Owner]

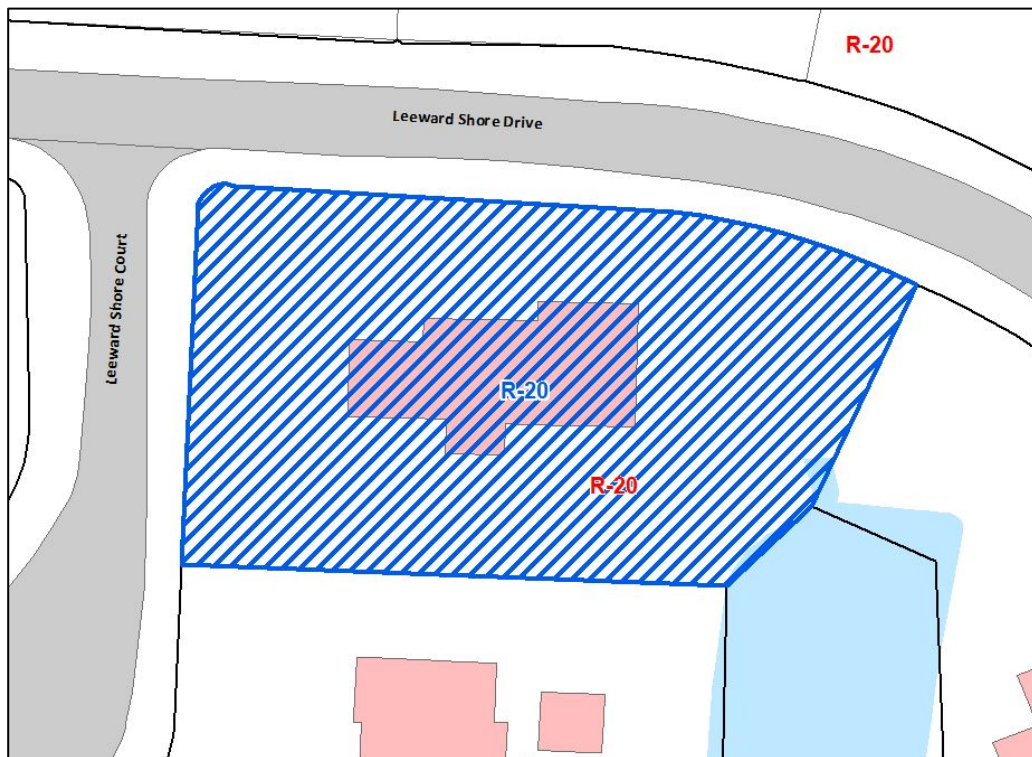
To construct a rip rap revetment and sill and plant vegetation involving wetlands

2241 Leeward Shore Ct
(GPIN 2409-19-3878)

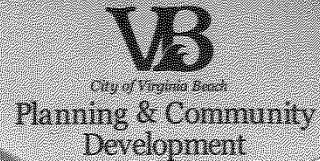
Waterway – Man Made Canal to Broad Bay

Subdivision – Bay Island

Council District: District 8



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name John Nowell JR

Does the applicant have a representative? Yes No

- If **yes**, list the name of the representative.

Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

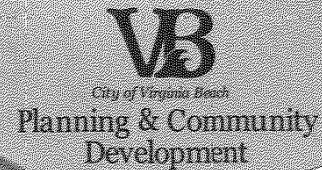
- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the financial institutions.

Wells Fargo Mortgage Company

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property? Yes No

- If **yes**, identify the real estate broker/realtor.

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

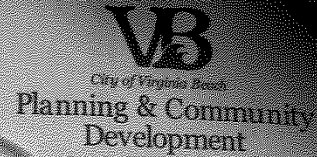
4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

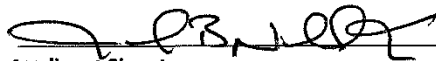
Calvert Marine, Agent

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**



Applicant Signature

JOHN B NOWELL JR

Print Name and Title

5/19/22

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

| | | | | |
|--------------------------|------------------|------|------------|--|
| <input type="checkbox"/> | No changes as of | Date | Signature | |
| | | | Print Name | |

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

| FOR AGENCY USE ONLY | |
|---------------------|---------------|
| | Notes: |
| | JPA # 22-1273 |

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

| <u>Check all that apply</u> | | | | |
|---|--|--|---|-----------------------------------|
| Pre-Construction Notification (PCN) <input type="checkbox"/> | NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned) | | Regional Permit 17 (RP-17) <input type="checkbox"/> | |
| County or City in which the project is located: VIRGINIA BEACH | | | | |
| Waterway at project site: MAN MADE CANAL | | | | |
| PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied) | | | | |
| Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html | | | | |
| Agency | Action / Activity | Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13) | Date of Action | If denied, give reason for denial |
| | | | | |
| | | | | |

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
 JOHN NOWELL JR.
 2241 LEEWARD SHORE COURT
 VIRGINIA BEACH, VA 23451
 Home (571) 481-6559 _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail johnnowelljr@icloud.com _____
 State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____
 State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
 CALVERT MARINE
 3132 RIVEREDGE DRIVE
 PORTSMOUTH, VA 23703
 Home () _____
 Work (757) 777-6960 _____
 Fax () _____
 Cell () _____
 e-mail Rich@CalvertMarine.net _____
 State Corporation Commission Name and ID Number (if applicable) S7252713 _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The existing shoreline has an old bulkhead and a concrete seawall that are both failing. There are Non-Vegetated and Vegetated wetlands on Site. There is an existing pier as well. The project scope includes the removal of the existing pier, bulkhead and seawall to allow for a new rip rap revetment. The new revetment (60 LF / 430 SF of non-vegetated wetlands on non-vegetated wetlands) will replace the seawall. The existing bulkhead is almost gone. There is a shelf below water that is reducing the amount of usable water in the basin. The existing boat ramp will be partially removed for new wetland plantings (48 SF) and conversion of non-vegetated wetlands to vegetated wetlands (78 SF). A new pier (5' x 30' with a 9' x 10' Tee), lift, roof (462 SF) and floating dock (80 SF) will be constructed once the new revetment and planting is completed. There is a live oak tree at 2245 Leeward Shore Ct that is partially blocking the canal and the waterfront area behind this property. All 10 - 8" timber piles and 14 - 10" piles shall be installed with a vibratory hammer of suitable capacity. The work shall be completed by land and by barge.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* X No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

THE VIRGINIAN PILOT
150 BRAMBLETON AVE.
NORFOLK, VA 23510

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 2241 LEEWARD SHORE CT. VIRGINIA BEACH, VA 23451

Lot/Block/Parcel# BAY ISLAND SECTION 2 LOT 211

Subdivision BAY ISLAND

City / County VIRGINIA BEACH ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
_____ / - _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose is to protect the property from further erosion and failure. The secondary purpose is for safe recreational boating

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

See design alternative
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 41K
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 255
13. Completion date of the proposed work: SEPT - 22
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Colleen Hennessy
2245 Leeward Shore Court
Virginia Beach, VA 23451

Larry Demmerle
2237 Leeward Shore Drive
Virginia Beach, VA 23451

APO's sent out on 6/3/22 via USPS

Part 2 - Signatures

I. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

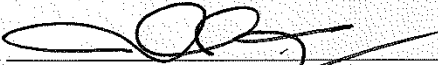
CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

John Nowell 

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

5/9/22

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)


2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), John Nowell, hereby certify that I (we) have authorized CALVERT MARINE
(Applicant's legal name(s)) (Agent's name(s))

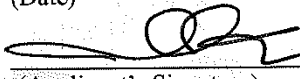
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.


(Agent's Signature)

(Use if more than one agent)

05/03/22
(Date)


(Applicant's Signature)

(Use if more than one applicant)

5/9/22
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

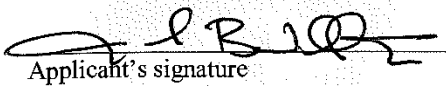
We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number


Applicant's signature

(use if more than one applicant)

5/9/22
Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The existing pier will be removed and legally disposed. A new pier (5' x 30' with a 9' x 10' Tee), lift, roof (462 SF) and floating dock (80 SF) will be constructed once the new revetment and planting is completed. There is a live oak tree at 2245 Leeward Shore Ct that is partially blocking the canal and the waterfront area behind this property. All 10 - 8" timber piles and 14 - 10" piles shall be installed with a vibratory hammer of suitable capacity. The work shall be completed by land and by barge.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 44.9' feet.

Channelward of Mean High Water? 12 feet.

Channelward of Mean Low Water? 15 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 83 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 103 square feet.

What is the total size of any and all L- or T-head platforms? 186 sq. ft.

For boathouses, what is the overall size of the roof structure? 462 sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:

- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
- b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
- c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

| Type | Length | Width | Draft | Registration # |
|-------|--------|-------|-------|----------------|
| <hr/> | | | | |
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| <hr/> | | | | |

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
- C) Will the facility be equipped to off-load sewage from boats? _____.
- D) How many wet slips are proposed? _____. How many are existing? _____.
- E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet

6. For **boat ramps**, what is the overall length of the structure? _____ feet.
 From Mean High Water? _____ feet.
 From Mean Low Water? _____ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The existing shoreline has an old bulkhead and a concrete seawall that are both failing. There are Non-Vegetated and Vegetated wetlands on Site. There is an existing pier as well. The project scope includes the removal of the existing pier, bulkhead and seawall to allow for a new rip rap revetment. The new revetment (60 LF) will replace the seawall. The existing bulkhead is almost gone. There is a shelf below water that is reducing the amount of usable water in the basin. The existing boat ramp will be partially removed for new wetland plantings (48 SF) and conversion of non-vegetated wetlands to vegetated wetlands (78 SF). There is a live oak tree at 2245 Leeward Shore Ct that is partially blocking the canal and the waterfront area behind this property. The work shall be completed by land using a single access route and by barge. The new revetment is 60 CY. 45 CY is below MHW.

2. What is the maximum encroachment channelward of mean high water? 6.2 feet.
Channelward of mean low water? 4.0 feet.
Channelward of the back edge of the dune or beach? feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 12 square feet
 - Non-vegetated wetlands 256 square feet 178 SF RIP RAP / 78 SF CONV TO VEG.
 - Subaqueous bottom 104 square feet
 - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The new revetment shall be Class 1 and A1 granite atop filter cloth. The new revetment shall be toed-in as required by the sections.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 25 - 75 pounds per stone Class size A1

Armor (outer layer) material 50 - 150 pounds per stone Class size 1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____

-
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

John Nowell Jr.
2241 Leeward Shore Drive
Virginia Beach, VA 23451

PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing seawall and timber bulkhead that are both deteriorated and failing. The Property is on a man-made canal and the APO has a tree that is shading / blocking the canal. This property lacks the room to implement grading and or planting. The Owner values his small waterfront area and the project is centered around his recreational boating. The revetment allows some habitat while providing the stabilization required for the bank. The boat ramp is not used so it will be utilized to create and convert some of the area to vegetated wetlands where possible. 48 SF of new vegetated wetlands shall be planted on Site for mitigation of the 12 SF loss.

After review of the property a new revetment was found to be a better solution based on the site-specific conditions. Listed below are the reasons that this method was implemented:

1. The removal of the entire seawall for planting and the subsequent grading would greatly impact the property and the canal.
2. The water is 2.5 to 3.0 feet deep at low tide at the shelf.
3. A living shoreline would be difficult to transition to the adjacent property that also have rip rap. Return walls would be required at each property line to avoid impacting the APO.
4. Planting would be subject to heavy boat traffic which has been shown to heavily impact Living Shorelines.
5. The waterfront property line is only 43 feet long.

**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2241 Leeward Shore Court

APPLICANT'S NAME: John Nowell Jr.

APPLICANT'S ADDRESS: 2241 Leeward Shore Court
Virginia Beach, VA 23451


ENGINEER OF RECORD: Gary Franks Jr. P.E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.


SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION 05/30/2022
DATE
Gary Franks Jr. P. E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION


SIGNATURE OF APPLICANTS 5/9/22
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR _____ DATE _____

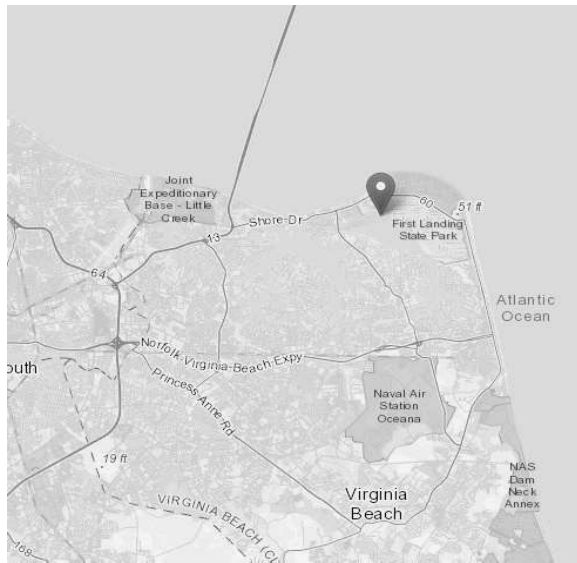
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____
(TO BE COMPLETED BY STAFF)

**TIMBER PIER, FLOATING DOCK,
ROOF STRUCTURE AND LIFT**
2241 LEEWARD SHORE COURT
VIRGINIA BEACH, VA 23451
Legal: BAY ISLAND SECTION 2 LOT 211



PROPERTY MAP



STREET MAP

NO SCALE



VICINITY MAP



**CALVERT
MARINE**
Marine and
Environmental Permits



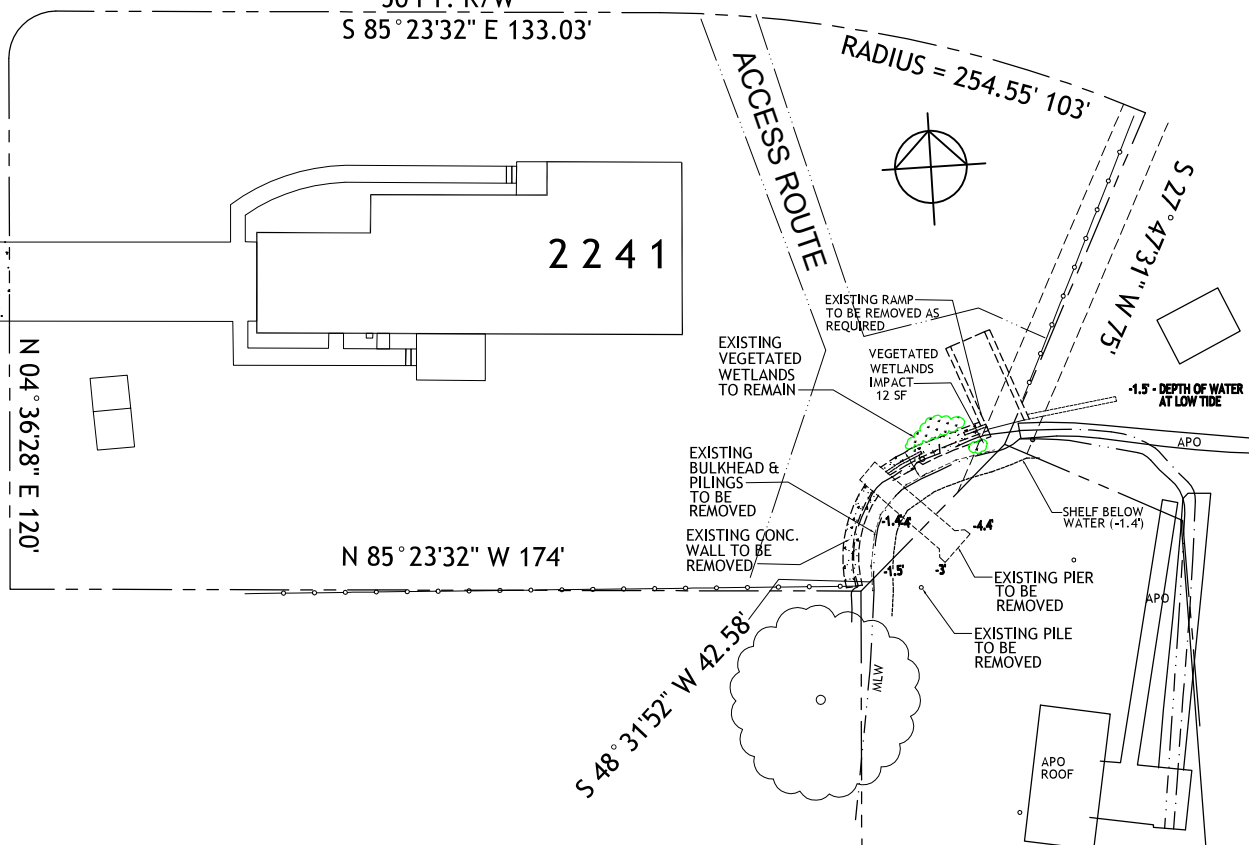
Adjacent Property Owners:
1. Colleen Hennessy
2. Larry Demmerle
3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
in: **Man Made Canal**
at: **2241 LEEWARD SHORE CT**
County of: **Virginia Beach**
Applicant: **John Nowell Jr.**
Sheet: **1** of **11** Date: **17 APR 22**

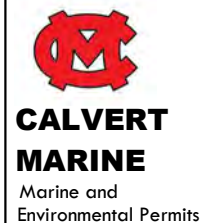
LEEWARD SHORE DRIVE

50 FT. R/W
S 85° 23'32" E 133.03'

LEEWARD SHORE COURT
50 FT. R/W



SCALE: 1" = 40'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

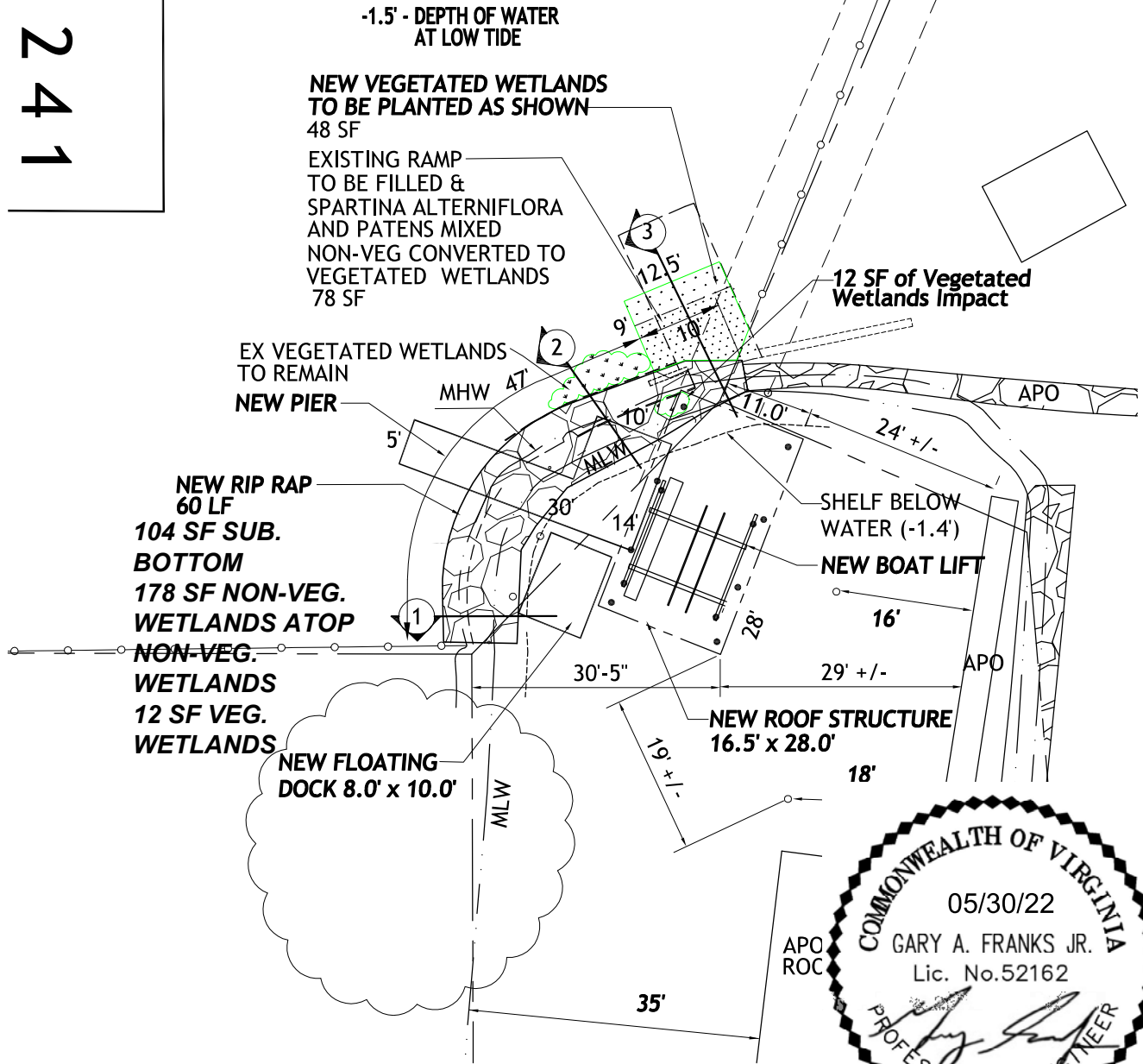


EXISTING PLAN


- Adjacent Property Owners:
1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

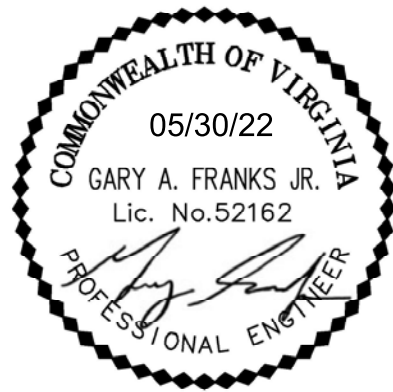
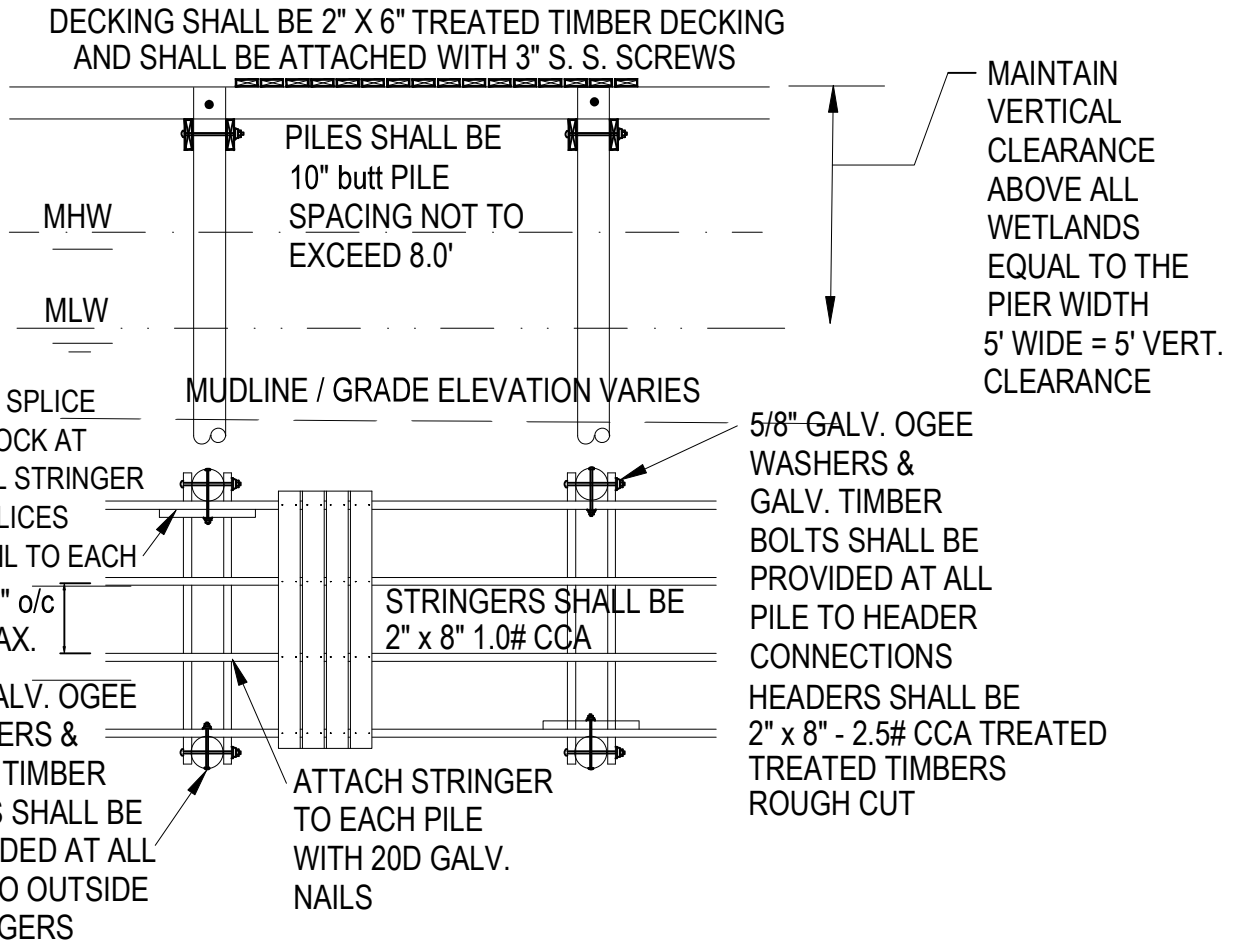
Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
 in: **Man Made Canal**
 at: **2241 LEEWARD SHORE CT**
 County of: **Virginia Beach**
 Applicant: **John Nowell Jr.**
 Sheet: **2** of **11** Date: **17 APR 22**

2241



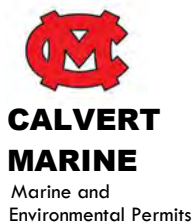
SCALE: 1" = 20'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

| | | |
|---|---|---|
|  <p>CALVERT MARINE Marine and Environmental Permits</p> | <p align="center">NEW WORK</p> <p>Adjacent Property Owners: 1. Colleen Hennessy 2. Larry Demmerle 3. City of Virginia Beach</p> | <p>Proposed: TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT in: Man Made Canal at: 2241 LEEWARD SHORE CT County of: Virginia Beach Applicant: John Nowell Jr. Sheet: 3 of 11 Date: 17 APR 22</p> |
|---|---|---|



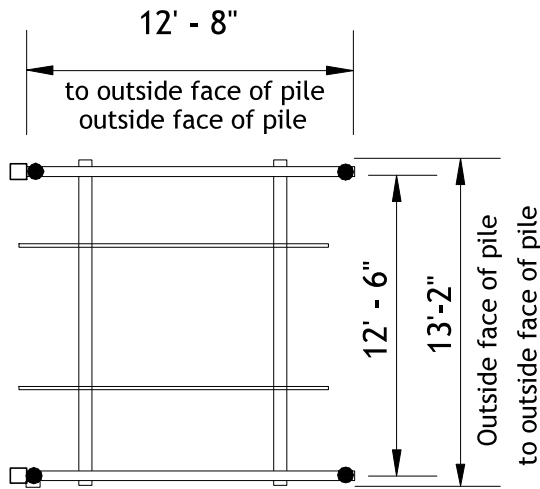
SCALE: 1/4" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

PIER DETAILS

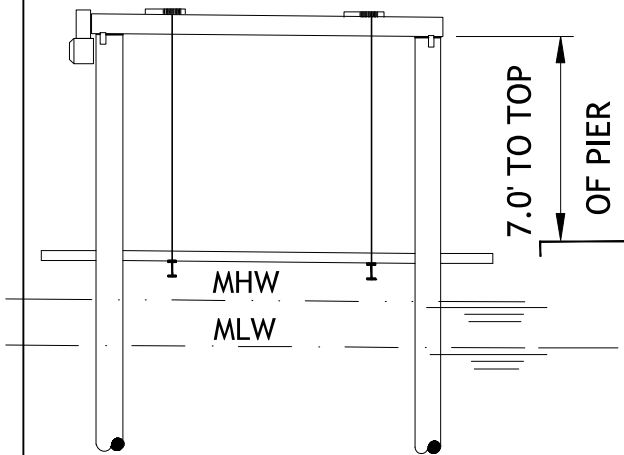


- Adjacent Property Owners:
1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
 in: **Man Made Canal**
 at: **2241 LEEWARD SHORE CT**
 County of: **Virginia Beach**
 Applicant: **John Nowell Jr.**
 Sheet: **4** of **11** Date: **17 APR 22**



PLAN



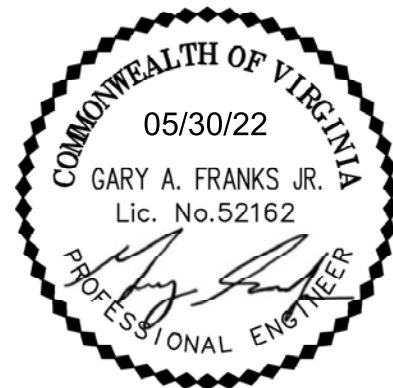
ELEVATION

BOAT LIFT NOTES:

Take care to clear shafts, thru-hull fittings, chines, etc. Keel of vessel must not rest on lifter beam and should clear beam by at least one inch. The Boat Lift shall have special bunks designed for the hull of the Owner's vessel. The Contractor shall coordinate the bunks with the vessel manufacturer and the Boat Lift manufacturer. Center of gravity of vessel must be in center of lift (bow to stern) as required to evenly distribute the load over the two lifter beams.

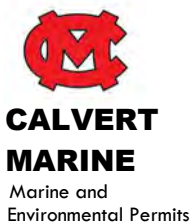
Contractor to verify:

- 1) The Installation is completed according to the manufacturer's recommendations.
- 2) The ultimate user understands how to operate in a safe manner.
- 3) The ultimate user acknowledges the need for regular service and maintenance of the lifting equipment.
- 4) The Customer is informed and understands all safety and warning labels affixed to the equipment.
- 5) The center of gravity of vessel is located by equal deflection of lifter beam.
- 6) Any Lift is of suitable capacity to safely lift the Owner's vessel and the bunks are installed at the Vessel Manufacturer's spacing.



SCALE: 1/4" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

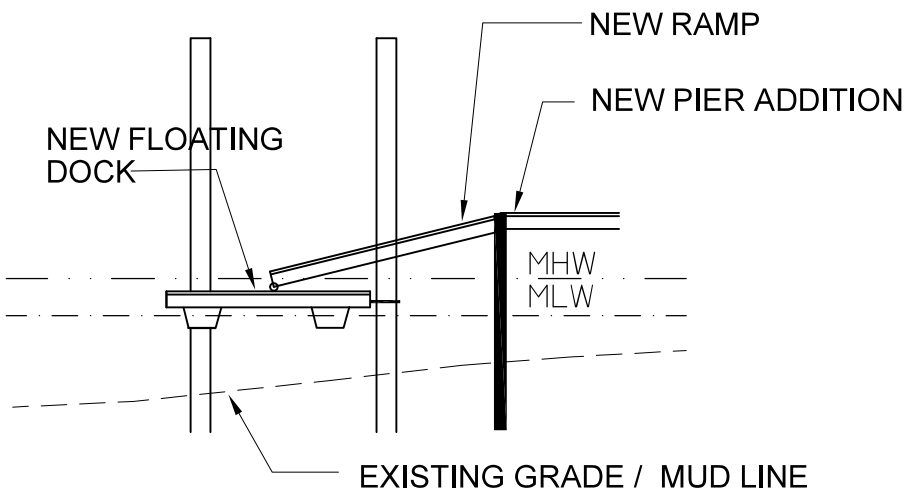
LIFT DETAILS



Adjacent Property Owners:
 1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
 in: **Man Made Canal**
 at: **2241 LEEWARD SHORE CT**
 County of: **Virginia Beach**
 Applicant: **John Nowell Jr.**
 Sheet: **5** of **11** Date: **17 APR 22**

1. FLOATING DOCK SHALL BE SUPPORTED BY BLACK EXPANDED POLYSTYRENE FOAM FILLED FLOATS. EACH FLOAT SHALL BE ATTACHED TO THE FRAMING AS PER THE MAUNFACTURER'S RECOMMENDATIONS.
2. ALL PILE GUIDES SHALL BE THE ROLLER & GALVANIZED HOOP TYPE. PROVIDE VINYL DOCK FENDER AT ALL EXPOSED EDGES OF THE FLOATING DOCK SUBJECT TO VESSELS.
2. ALL BOLTS SHALL BE HDG, 3/4" DIAMETER GALVANIZED BOLT (ASTM A307)U.O.N.
3. DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
4. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153. USE OGEE WASHERS WHERE POSSIBLE.
5. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
6. ALL TIMBER STRINGERS BANDS AND BLOCKING SHALL BE 2.5# CCA TREATED.
7. ALL DECKING SHALL BE 2" x 6", TREATED.
8. PROVIDE METAL CORNER BRACKETS (INSIDE AND OUTSIDE) WITH BOLTED CONNECTIONS.
9. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.



SCALE: 1/4" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

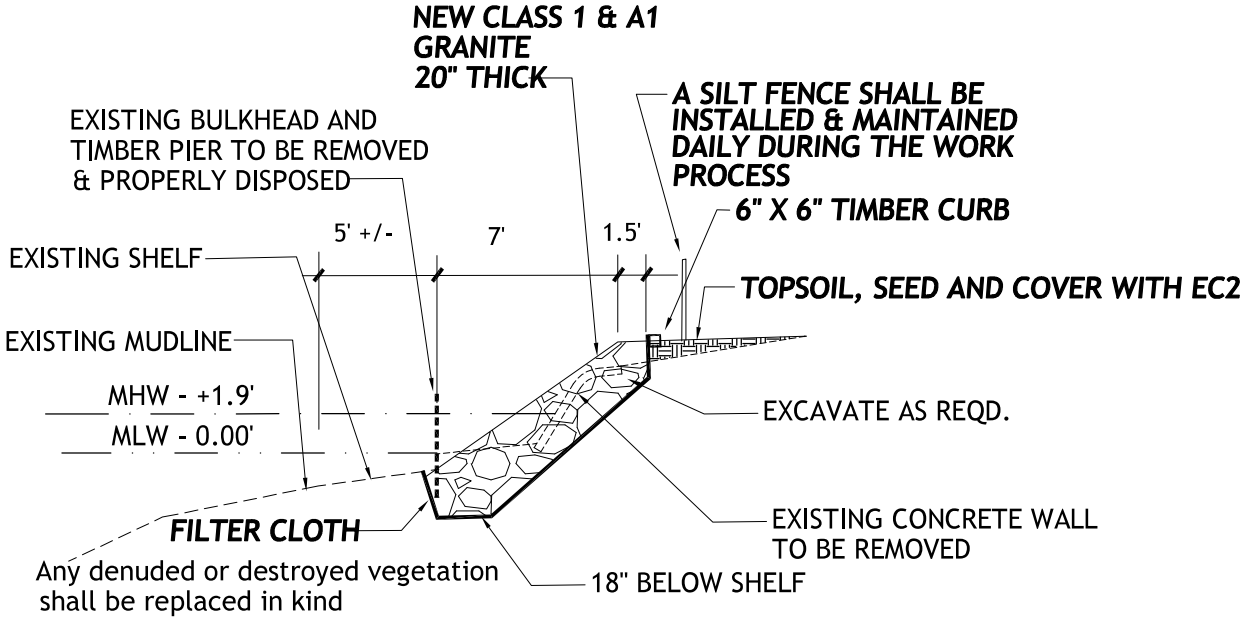
FLOATING DOCK DETAILS



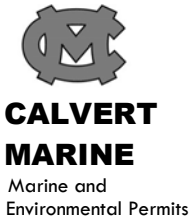
Adjacent Property Owners:
 1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
 in: **Man Made Canal**
 at: **2241 LEEWARD SHORE CT**
 County of: **Virginia Beach**
 Applicant: **John Nowell Jr.**
 Sheet: **6** of **11** Date: **17 APR 22**

1



SCALE: 1/8" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'

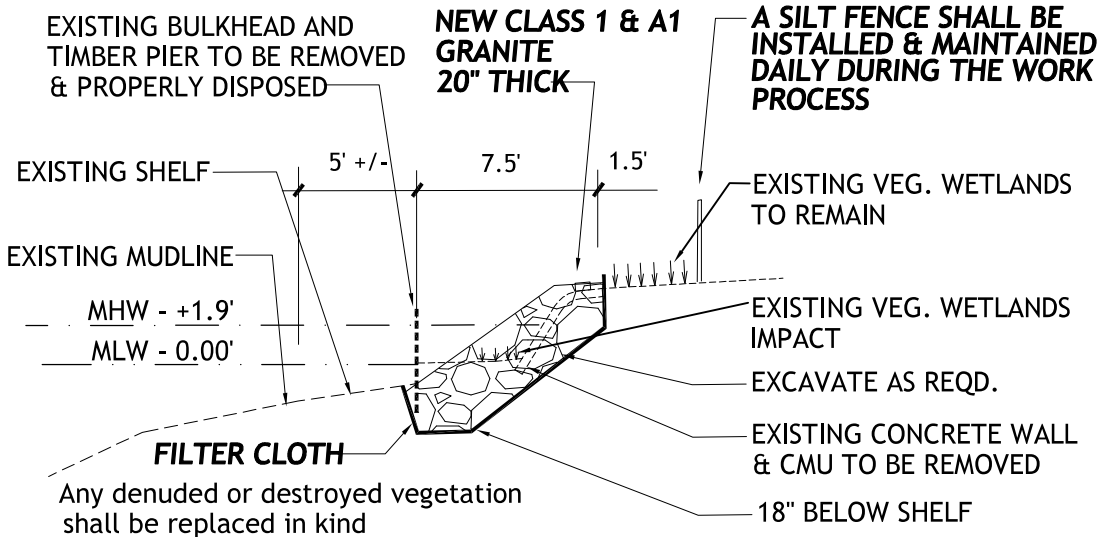


SECTION 1

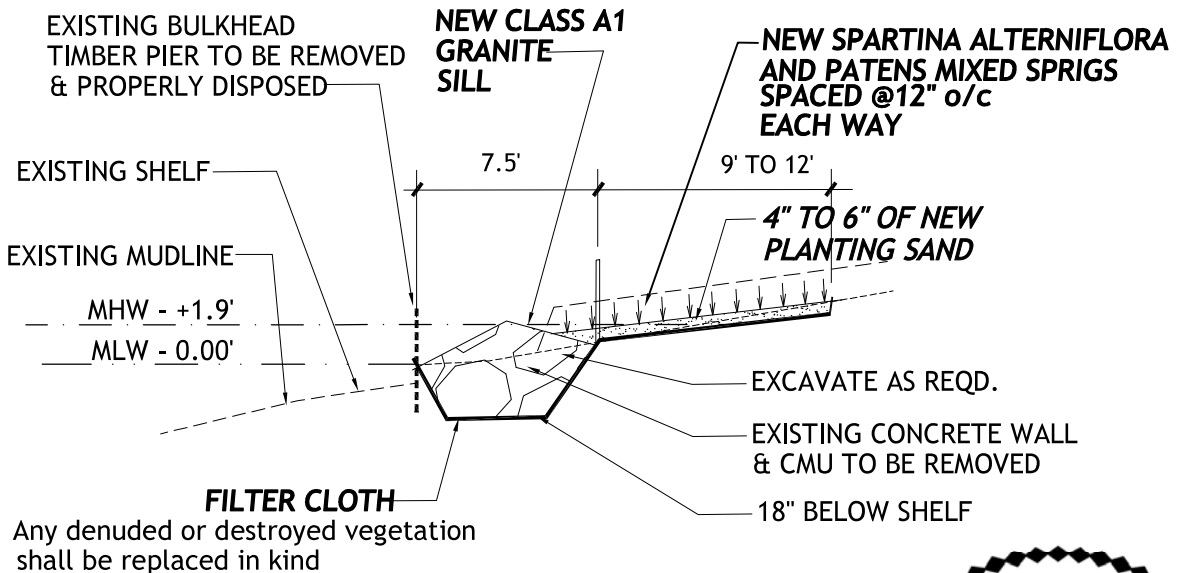
Adjacent Property Owners:
1. Colleen Hennessy
2. Larry Demmerle
3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
in: **Man Made Canal**
at: **2241 LEEWARD SHORE CT**
County of: **Virginia Beach**
Applicant: **John Nowell Jr.**
Sheet: **7 of 11** Date: **17 APR 22**

2



3



SCALE: 1/8" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'



**CALVERT
MARINE**
Marine and
Environmental Permits

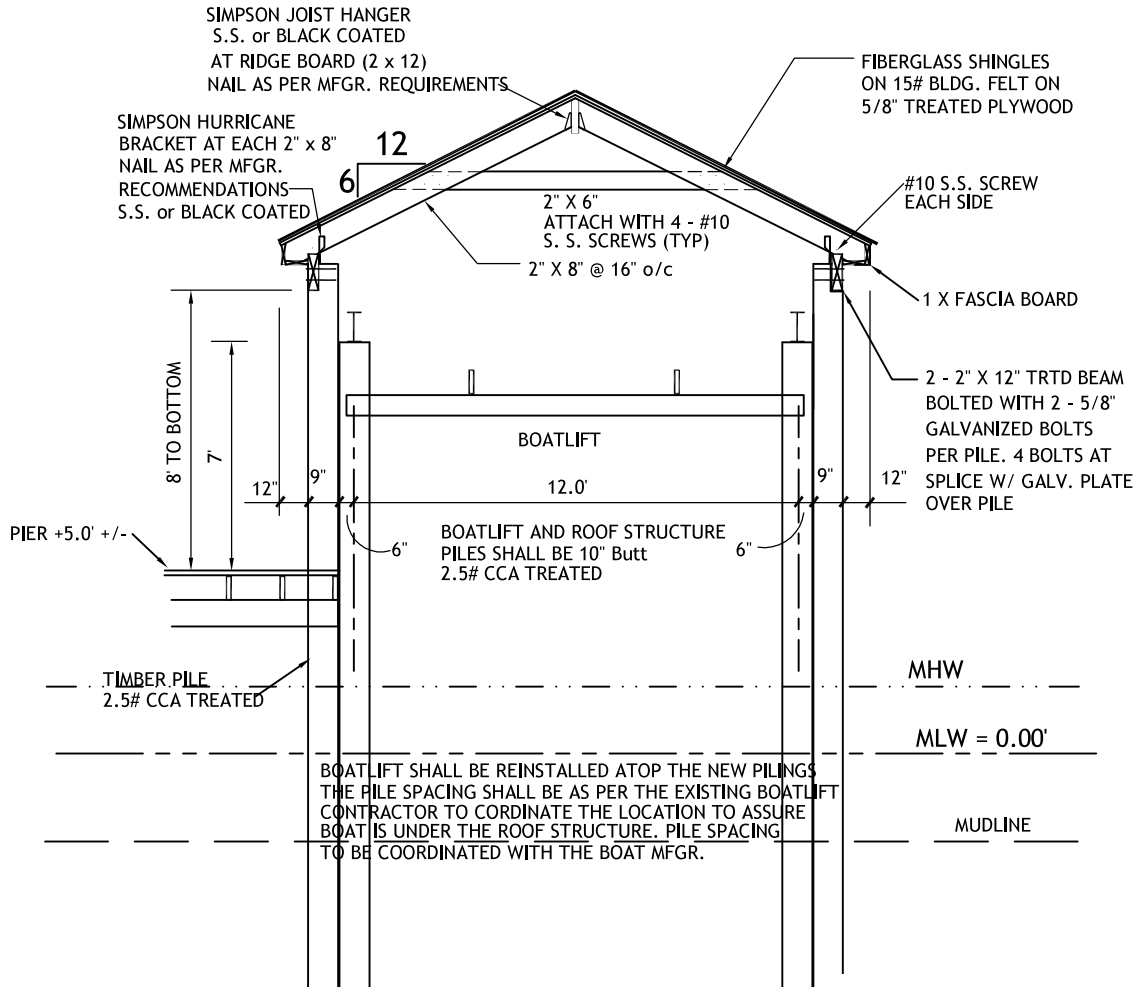


SECTION 2 AND 3

Adjacent Property Owners:
1. Colleen Hennessy
2. Larry Demmerle
3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
in: **Man Made Canal**
at: **2241 LEEWARD SHORE CT**
County of: **Virginia Beach**
Applicant: **John Nowell Jr.**
Sheet: **8** of **11** Date: **17 APR 22**

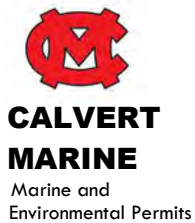
WIND DESIGN SPEED, VULT: 116 MPH
 NOMINAL DESIGN WIND SPEED, VASD 90 MPH
 RISK CAT. II / WIND EXP. C
 ROOF LOAD 20 PSF



BOATLIFT SHALL BE REINSTALLED ATOP THE NEW PILING. THE PILE SPACING SHALL BE AS PER THE EXISTING BOATLIFT CONTRACTOR TO COORDINATE THE LOCATION TO ASSURE BOAT IS UNDER THE ROOF STRUCTURE. PILE SPACING TO BE COORDINATED WITH THE BOAT MFR.



SCALE: 1/4" = 1'-0" ■ DATUM: MLW = 0.00' MHW = 1.90'



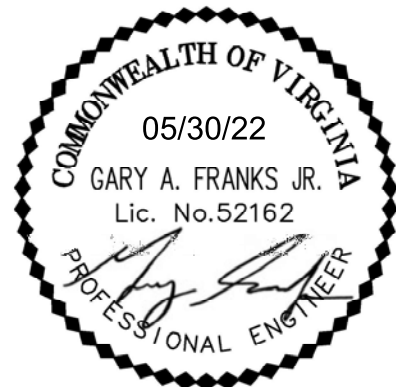
ROOF DETAILS

- Adjacent Property Owners:
1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
 in: **Man Made Canal**
 at: **2241 LEEWARD SHORE CT**
 County of: **Virginia Beach**
 Applicant: **John Nowell Jr.**
 Sheet: **9** of **11** Date: **17 APR 22**

NOTES:

1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
2. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 8" UNLESS OTHERWISE NOTED. BOATLIFT, ROOF STRUCTURE AND FLOATING DOCK PILES SHALL BE 10" BUTT.
3. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR SHALL VERIFY THE SOIL CONDITIONS TO BE SUITABLE.
4. IF UNSUITABLE SOILS ARE ENCOUNTERED CONTRACTOR SHALL CONTACT CALVERT MARINE AND THE OWNER.
5. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.
6. ALL PILINGS SHALL BE EMBEDDED 50% OF THE LENGTH BELOW GRADE OR THE MUD LINE.
7. ALL HEADERS SHALL BE 2.5" CCA TREATED AND ALL STRINGERS SHALL BE 1.0# CCA TREATED. ALL OTHER TREATMENT SHALL COMPLY WITH THE A.W.P.A.
8. CONTRACTOR SHALL DISPOSE ALL DEMOLITION DEBRIS OFFSITE IN A LEGAL MANNER.
9. ALL PILINGS SHALL BE INSTALLED WITH A VIBRATORY HAMMER OR A DROP HAMMER OF SUITABLE CAPACITY FOR THE PROJECT PILINGS.
10. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
11. ALL SILT FENCES SHALL BE WIRE REINFORCED, EMBEDDED 4" BELOW GRADE & SHALL BE 36" TALL.
12. ALL GRANITE SHALL BE NEW QUARRY GRADE STONE. ALL STONE SHALL BE PLACED ON FILTER CLOTH. ALL REVETMENTS SHALL BE 24" THICK MINIMUM.



NO SCALE ■ DATUM: MLW = 0.00' MHW = 1.90'

NOTES



**CALVERT
MARINE**

Marine and
Environmental Permits



Adjacent Property Owners:

1. Colleen Hennessy
2. Larry Demmerle
3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT**
in: **Man Made Canal**

at: **2241 LEEWARD SHORE CT**

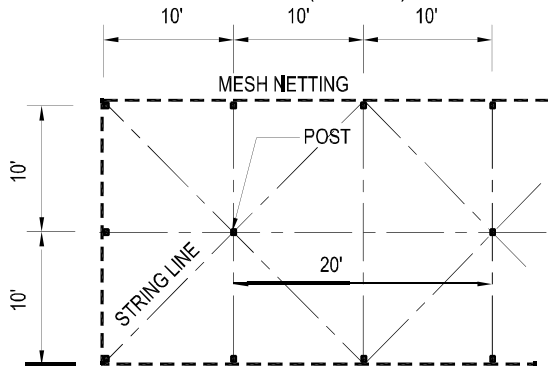
County of: **Virginia Beach**

Applicant: **John Nowell Jr.**

Sheet: **10** of **11** Date: **17 APR 22**

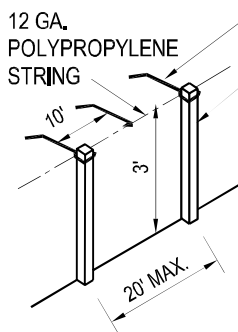
WETLAND NOTES:

1. PREDATOR FENCING SHALL CONSIST OF A PERIMETER FENCE OF PLASTIC MESH NETTING WITH AN INTERIOR NETWORK OF STRING LINES ATOP THE POST.
2. PREDATOR FENCING SHALL BE INSTALLED AS NOTED BELOW AND MAINTAINED FOR TWO GROWING SEASONS UNLESS APPROVED TO BE REMOVED BY STAFF.
3. WETLAND GRASSES SHALL BE INSTALLED AT 12" o/c AND FERTILIZED WITH OSMOCOTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. PLANT MORTALITY WILL BE ADDRESSED BY REPLACING PLANTS DURING THE NEXT GROWING SEASON.
5. WETLAND PLANTING WILL ACHIEVE AN 85% COVERAGE WITHIN TWO FULL GROWING SEASONS TO BE CONSIDERED SUCCESSFUL.
6. SAND FILL FOR WETLAND PLANTING SHALL MEET THE FOLLOWING CRITERIA:
SOIL CLASSIFICATION SHALL BE SM, SP OR SE CLASSIFICATION IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, MEDIUM GRAIN SIZE OF AROUND 0.25 mm WITH NO MORE THAN 20% PASSING THROUGH A #100 SIEVE (0.149 mm) AND NO MORE THAN 10% PASSING THROUGH A #200 SIEVE (0.74 mm)



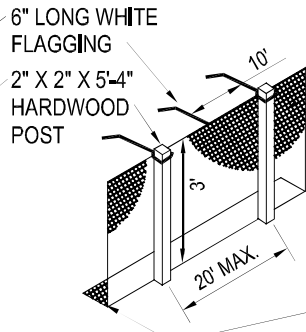
PLAN

FOLLOWING INSTALLATION OF THE WETLANDS VEGETATION, AN ANNUAL VEGETATION MONITORING REPORT SHALL BE SUBMITTED IN MID-AUGUST FOR THREE YEARS FOLLOWING APPROVAL. THE ANNUAL REPORT SHALL INCLUDE PHOTOGRAPHS AND A REVEGETATION PLAN FOR ANY AREAS OF WHERE THE VEGETATION HAS FAILED TO ESTABLISH. THE NEW WETLANDS PLANTING SHALL BE SPARTINA ALTERNIFLORA SPRIGS SPACED AT 12" o/c EACH WAY. SEE NOTE 3.



LINE DETAIL

VINYL FLAGGING TO BE TIED TO EACH STAKE & AT MID POINT OF EACH MESH FENCE SEGMENT



NETTING / MESH DETAIL

BLACK POLYPROPYLENE MESH FENCE MAX. 1" OPNG. NETTING IS TO BE SECURED TO PERIMETER POST WITH 3 TIES PER POST MESH TO HAVE 2" TO 3" OF OVERLAP AT THE BOTTOM STRING TO BE TIED AND KNOTTED WITH ENOUGH TENSION TO MAKE THE STRING TAUGHT BETWEEN STAKE WITH MINIMAL SAG. STRING SHALL BE TIED TO



NO SCALE ■ DATUM: MLW = 0.00' MHW = 1.90'

NOTES



- Adjacent Property Owners:
1. Colleen Hennessy
 2. Larry Demmerle
 3. City of Virginia Beach

Proposed: **TIMBER PIER, FLOATING DOCK, ROOF STRUCTURE AND LIFT** in: **Man Made Canal** at: **2241 LEEWARD SHORE CT** County of: **Virginia Beach** Applicant: **John Nowell Jr.** Sheet: **11 of 11** Date: **17 APR 22**

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), ^{Larry Demmerle 2237 Leeward Shore Drive Virginia Beach, VA 23451}
_____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of ^{JOHN NOWELL JR. 2241 LEEWARD SHORE COURT VIRGINIA BEACH, VA}
_____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 17 APR 22
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), ^{Colleen Hennessy 2245 Leeward Shore Court Virginia Beach, VA 23451} _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of ^{JOHN NOWELL JR. 2241 LEEWARD SHORE COURT VIRGINIA BEACH, VA} _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 17 APR 22
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

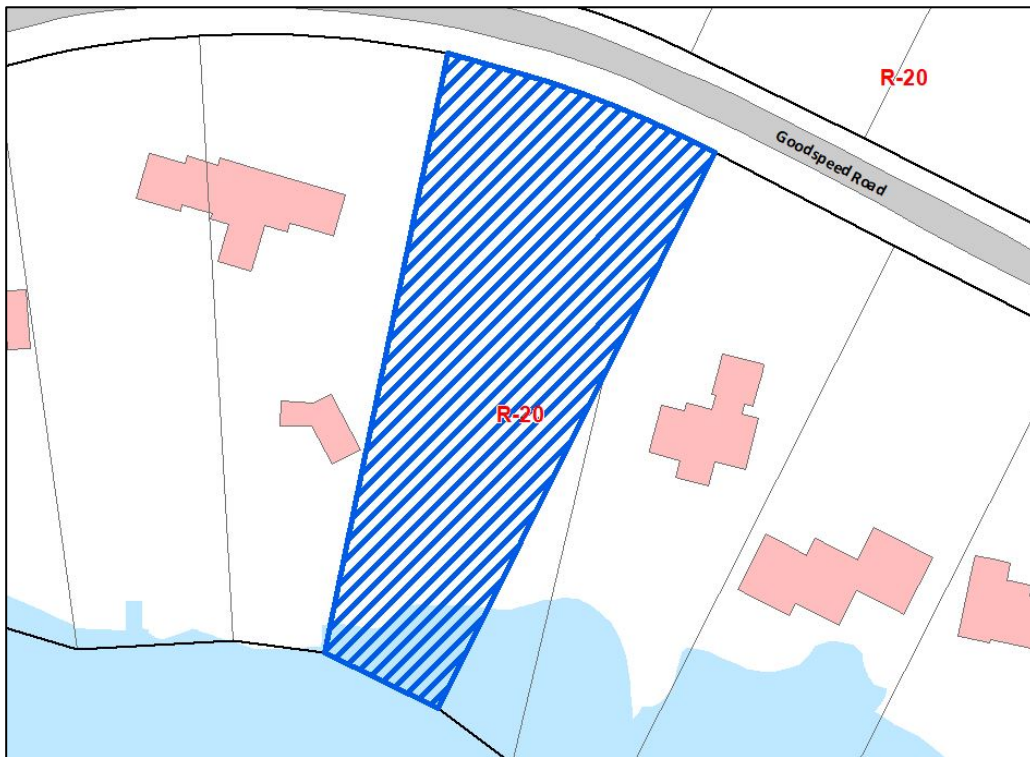
Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

6. 2022-WTRA-00085
Charis Properties, LLC [Applicant & Owner]

To construct a rip rap revetment and sand fill involving wetlands

465 Goodspeed Road
(GPIN 2419-41-8184)

Waterway – Crystal Lake
Subdivision – Princess Anne Hills
Council District: District 6



Part 1 – General Information

PLEASE PRINT OR TYPE ALL RESPONSES: If a question does not apply to your project, please print N/A (not applicable) in the block or space provided. If additional space is needed, attach 8-1/2" x 11" sheets of paper.

County or City in which the project is located: City of Virginia Beach
Waterway at project site: Crystal Lake, Lynnhaven River

1. Applicant's name* and complete mailing address: Charis Properties, LLC
c/o Mr. Lewis W. Webb, III
Kaufman and Kanoles, PC
150 W. Main Street, Suite 2100
Norfolk, VA 23510
- Contact Information:
Home () _____
Work (757) 624-3247
Fax () _____
Cell/ Pager () _____
e-mail lwwebb@kaufcan.com
- State Corporation Commission ID Number (if applicable) S3543636
2. Property owner(s) name* and complete address, if different from applicant
- Contact Information:
Home () _____
Work () _____
Fax () _____
Cell/ Pager () _____
e-mail _____
- State Corporation Commission ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable):
Gaddy Engineering Services, LLC
c/o Michael S. Gaddy
508 N. Birdneck Road, Suite D
Virginia Beach, VA 23451
- Contact Information:
Home () _____
Work () _____
Fax () _____
Cell/ Pager (757) 289-5933
e-mail mike.gaddy@gmail.com
- State Corporation Commission ID Number (if applicable) S3820828

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

4. Provide a detailed description of the project in the space below. If additional space is needed, provide a separate sheet of paper with the project description. Be sure to include how the construction site will be accessed, especially if clearing and/or grading will be required.
- This request is to construct additional riprap revetment along the existing riprap shoreline. The existing riprap shoreline is not high enough to protect the property from continued flooding inundation. The top elevation of the existing riprap revetment ranges from elevation 1.5 - 3.0 (NAVD88). The proposed revetment plan will construct additional riprap, 2' thick, along the existing riprap to a consistent elevation of 3.0. The elevation 3.0 matches the adjacent properties riprap revetment, to the east, and the bulkhead to the west. In addition, a small gap in the existing riprap will be filled in to connect the revetment along the property, as shown on the drawings.

FOR AGENCY USE ONLY

Notes:

JPA # 22-0794

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell / Pager () _____

email _____

State Corporation Commission ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 465 Goodspeed Road _____

Lot/Block/Parcel# _____

Subdivision _____

City / County Virginia Beach, VA _____

If the project is located in a rural area, please provide driving directions.

Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.

Part 1 - General Information (continued)

8. What is the primary and secondary purpose of the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of this project is to bolster the existing riprap revetment along the shoreline to help protect the property from flooding and erosion. The secondary purpose is to protect the shoreline from erosion due to wave action from boat wakes.

9. Proposed use (check one):

Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)

10. Describe the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction.

Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.

There will be no wetland impacts associated with this project.

11. Have you previously had a site visit, applied to, or obtained a permit from any agency (Federal, State, or Local) for any portion of the project described in this application or any other project at the site?

Yes* No * If you answered “Yes”, provide the following information:

| <u>Agency / Representative</u> | <u>Activity</u> | <u>Permit/Project No.</u> | <u>Action** & Date</u> |
|--------------------------------|-----------------|---------------------------|----------------------------|
|--------------------------------|-----------------|---------------------------|----------------------------|

(**Issued, Denied, Withdrawn, or Site Visit)

Part 1 - General Information (continued)

12. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___ Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

13. Approximate cost of the entire project (materials, labor, etc.): \$ 50,000
Approximate cost of that portion of the project which is below mean low water: \$ 10,000

14. Completion date of the proposed work: Estimated June 2022 - _____

15. Adjacent Property Owner Information: List the name and complete mailing address, including zip code, of each adjacent property owner to the project. (NOTE: a property owner/applicant cannot be their own adjacent property owner. You must give the next owner down the river, creek, etc).

THOMAS & CATHERINE SHEPPARD
469 GOODSPEED ROAD
VIRGINIA BEACH, VA 23451
GPIN: 2419-41-6195

FRANK & TERI CHOLEWICKI
463 GOODSPEED ROAD
VIRGINIA BEACH, VA 23451
GPIN: 2419-51-0144

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Lewis W. Webb, III, *Manager*

Applicant's Name (printed/typed)

(Use if more than one applicant)

[Signature]
Applicant's Signature

(Use if more than one applicant)

1/20/22
Date

Property Owner's Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Lewis W. Webb, III, hereby certify that I (we) have authorized Michael S. Gaddy
(Applicant's name(s)) (Agent's name(s))
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.
We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

APPLICANT


(Agent's Signature)

(Use if more than one agent)

1/28/22
(Date)


(Applicant's Signature)

(Use if more than one applicant)

3/28/22
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's Name(s)) (Contractor's Name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

December 2008 Revision

10

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: Projects for Access to the water (private and community piers, boathouses, marinas, moorings, boat ramps, aquaculture facilities, etc). Answer all questions that apply.

1. Briefly describe your proposed project.

n/a

2. For private, noncommercial piers:

What is the overall length of the structure? n/a feet.

channelward of Mean High Water? n/a feet.

channelward of Mean Low Water? n/a feet

What is the total size of any and all L- or T-head platforms? n/a sq. ft.

For boathouses, what is the overall size of the roof structure? n/a sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by VMRC, however, pursuant to § 28.2-1203(5) of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers, (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

3. For Corps permits, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information should be included:

- a. Written justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands
- b. Written justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
- c. Depth soundings across the waterway at increments designated by the Corps project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.). Inclusion of depth sounding data is recommended in order to expedite permit evaluation.

Part 3 – Appendices (continued)

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

| Type | Length | Width | Draft | Registration |
|------|--------|-------|-------|--------------|
| n/a | | | | |
| | | | | |
| | | | | |

5. For **Marinas, Commercial Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? n/a (required pursuant to Section 28.2-1205C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? n/a .
- C) Will the facility be equipped to off-load sewage from boats? n/a .
- D) How many wet slips are proposed? n/a . How many are existing? n/a .
- E) What is the area of the piers and platforms that will be constructed over
 - Tidal wetlands n/a square feet
 - Submerged lands n/a square feet

6. For **boat ramps**, what is the overall length of the structure? n/a feet.
 from Mean High Water? n/a feet.
 from Mean Low Water? n/a feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

7. For **aquaculture-related structures**:

Will the activity be commercial? Yes No

Will the proposed structures be attached to an existing pier or other structure? Yes No

What is the maximum area (square feet) of submerged land that will be occupied by the proposed structures? n/a square feet.

Describe the activity from time of acquisition of seed or other source material to the time of harvest, the source of the animals/plants, and clearly show distance to all proposed and existing structures and shellfish lease boundaries (if applicable) in your drawings. Include bathymetry (depths), relative to mean low water in your plan view drawing and show the location of any Submerged Aquatic Vegetation (SAV) in the project vicinity. **(NOTE: the presence or absence of SAV will be field verified during the project review).**

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches (including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, etc). Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service.

NOTE: Information on non-structural, vegetative alternatives (i.e. Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.

1. For riprap, bulkheads, marsh toe, breakwaters, groins, jetties: What is the overall length of the structure(s)? 150 linear feet. If applicable, what is the volume of the associated backfill? 20 cubic yards.
2. What is the maximum encroachment channelward of mean high water? 5 feet.
channelward of mean low water? 0 feet.
channelward of the back edge of the dune or beach? n/a feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 0 square feet
 - Nonvegetated wetlands 0 square feet
 - Subaqueous bottom 525 square feet
 - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.
5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g. vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).
NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.
riprap stone and sand fill will be brought in by a licensed contractor from licensed and regulated supplier. In addition, geotextile fabric will be Mirafi 140N, or approved equal, and will be installed per manufacturer's recommendations.
6. If using stone, broken concrete, etc., for your structure(s), what is the average weight of the:
Core (inner layer) material 5 pounds per stone Class size #3
Armor (outer layer) material 50 pounds per stone Class size 1

Part 3 – Appendices (continued)

Appendix C: Crossings in, on, over, or under, waters, submerged lands, tidal wetlands and/or dunes and beaches (including but not limited to bridges, walkways, pipelines and utility lines).

1. What is the purpose and method of installation of the crossing?

n/a

2. What is the width of the waterway and/or wetlands to be crossed?

from mean high water to mean high water? n/a feet.

from mean low water to mean low water? n/a feet.

3. For bridges (footbridges, golf cart bridges, roadway bridges, etc.), what is the width of the structure over the tidal wetlands, dunes/beaches and/or submerged lands? n/a square feet.

4. For overhead crossings:

a. What will be the height above mean high water? n/a feet.

b. If there are other overhead crossings in the area, what is the minimum height? n/a feet.

5. For buried crossings, what will be the depth below the substrate? n/a feet.

6. Will there be any excavation or fill required for placement of abutments, piers, towers, or other permanent structures on State-owned submerged lands, tidal wetlands, and dunes/beaches?

 Yes x No.

If yes, please provide the following:

a. Amount of excavation in wetlands cubic yards
 square feet

b. Amount of excavation in submerged land cubic yards
 square feet

c. Amount of excavation in dune/beach cubic yards
 square feet

d. Amount of fill in wetlands cubic yards
 square feet

e. Amount of fill in submerged lands cubic yards
 square feet

f. Amount of fill in dune/beach cubic yards
 square feet

Part 4- Project Drawings

Plan view and section view drawings are required for all projects. Application drawings do not need to be prepared by a professional draftsman, but they must be clear, accurate, and should be to an appropriate scale. If a scale is not used, all dimensions must be clearly depicted in the drawings. If available, a plat of the property should be included, with the existing and proposed structures clearly indicated. Distances from the proposed structure(s) to fixed points of reference (benchmarks) and to the adjacent property lines must be shown. A vicinity map (County road map, USGS Topographic map, etc.) must also be provided to show the location of the property.

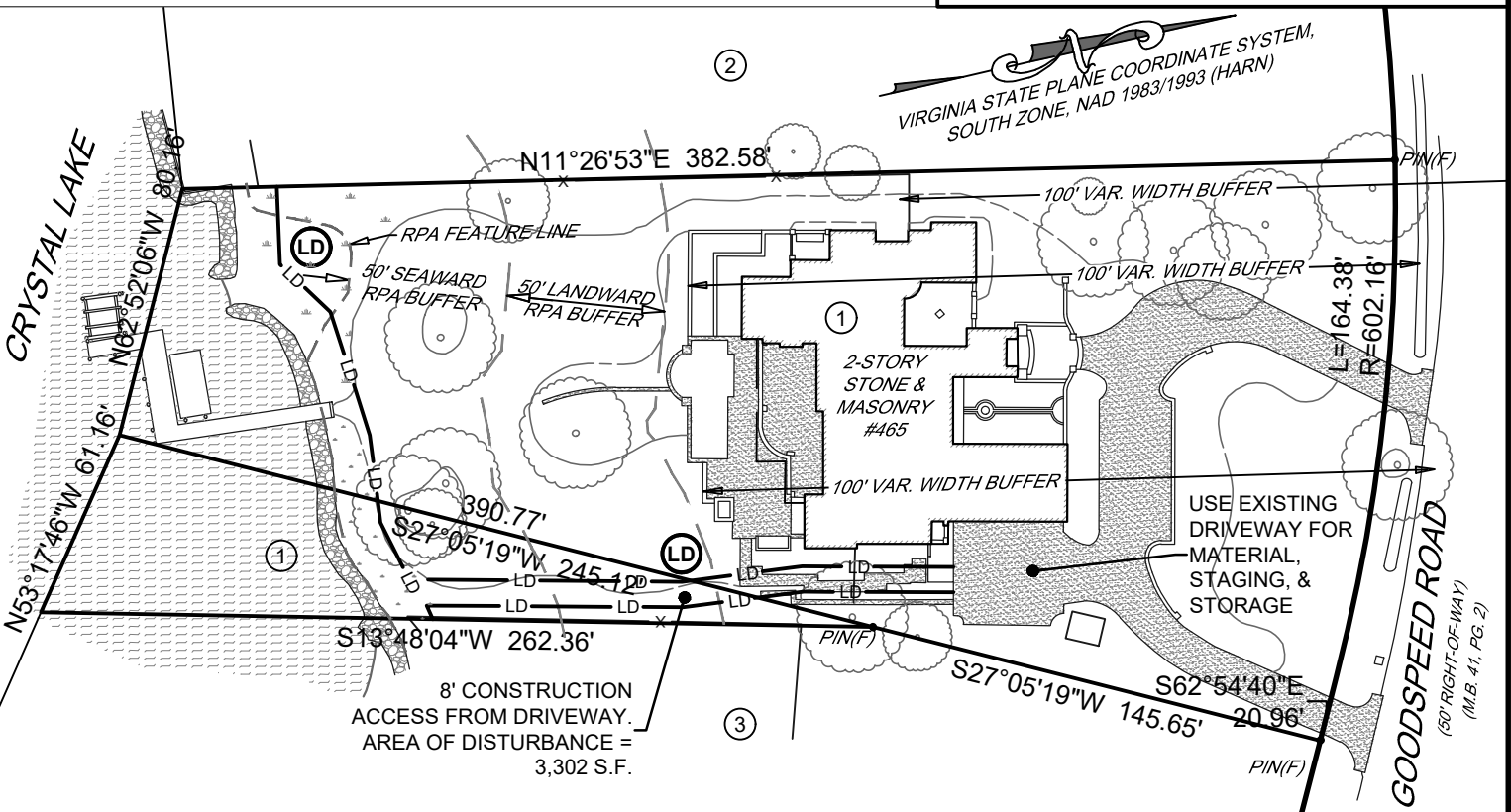
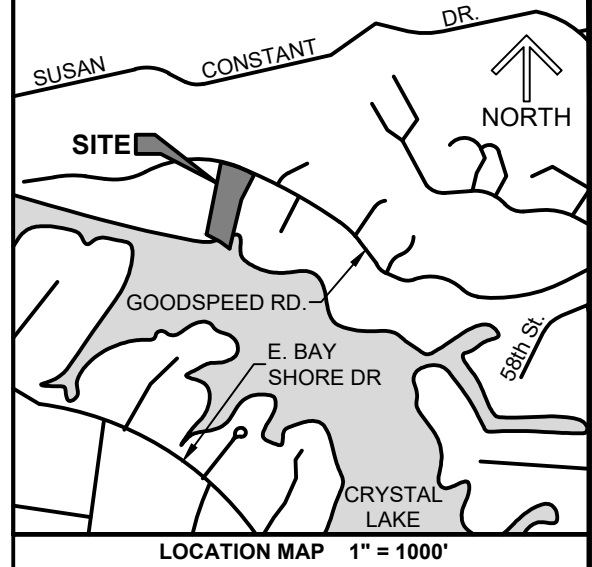
The following items must be included on ALL project drawings: (plan and section, as appropriate)

- **north arrow**
- **waterway name**
- **existing and proposed structures, labeled as such**
- **dimensions of proposed structures**
- **mean high water and mean low water lines**
- **limits of vegetated wetlands (if applicable)**
- **ebb/flood direction**
- **adjacent property lines and owner's name**
- **distances from proposed structures to fixed points of reference (benchmarks) and adjacent property lines**

NOTE: The sample drawings have been included at the end of this section to provide guidance on the information required for different types of projects. Clear and accurate drawings are essential for project review and compliance determination. Incomplete or unclear drawings may cause delays in the processing of your application.

SEQUENCE & TIMELINE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRECONSTRUCTION MEETINGS AS NECESSARY
3. STOCKPILE NEW MATERIAL WITHIN EXISTING DRIVEWAY
4. USE CONSTRUCTION ACCESS AS SHOWN. INSTALL SAFETY FENCING ALONG EDGE OF ACCESS.
5. INSTALL NEW RIP-RAP AND SAND FILL.
6. GRADE AND SEED ANY DISTURBED AREAS.
7. DEMOBILIZED EQUIPMENT FROM SITE. PROVIDE TOPSOIL AND SEED ALL AREAS OF DISTURBANCE.



SCALE: 1" = 60'

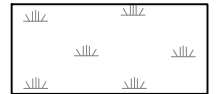
- ① **APPLICANT**
CHARIS PROPERTIES, LLC
465 GOODSPEED ROAD
VIRGINIA BEACH, VA 23451
GPIN: 2419-41-8184 & 2419-40-9906
- ② **ADJACENT OWNERS**
THOMAS & CATHERINE SHEPPARD
469 GOODSPEED ROAD
VIRGINIA BEACH, VA 23451
GPIN: 2419-41-6195
- ③ FRANK & TERI CHOLEWICKI
463 GOODSPEED ROAD
VIRGINIA BEACH, VA 23451
GPIN: 2419-51-0144

JOINT PERMIT APPLICATION
PROPOSED NEW SHORELINE RIPRAP
CHARIS PROPERTIES, LLC
465 GOODSPEED ROAD
VIRGINIA BEACH, VIRGINIA

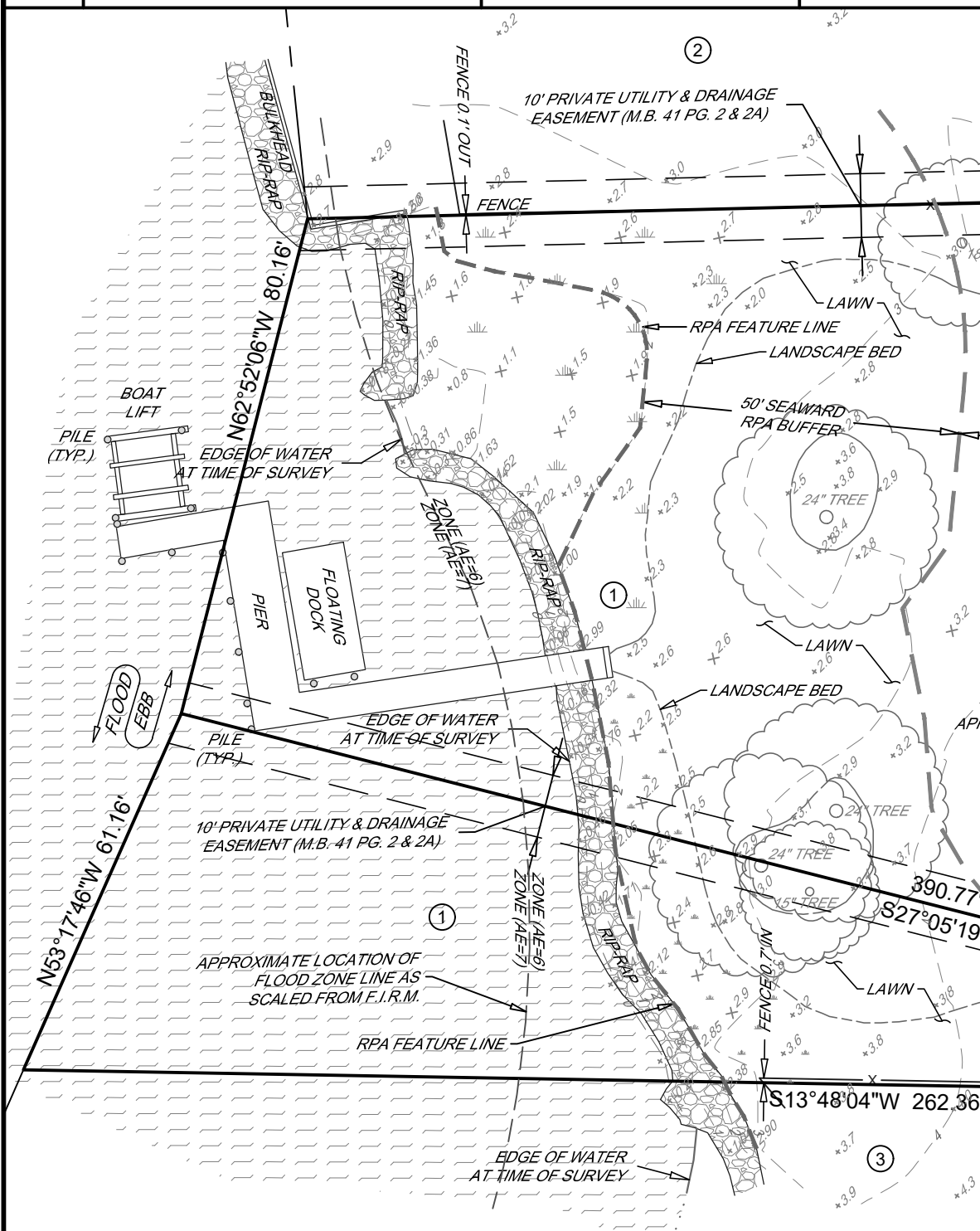


CONTACT:
MICHAEL S. GADDY, PE, LS
757-289-5933
508 N. BIRDNECK RD., SUITE D
VIRGINIA BEACH, VA, 23451

Elevations shown are based
on the NAVD 1988 datum.



DENOTES EXISTING
SPARTINA GRASS



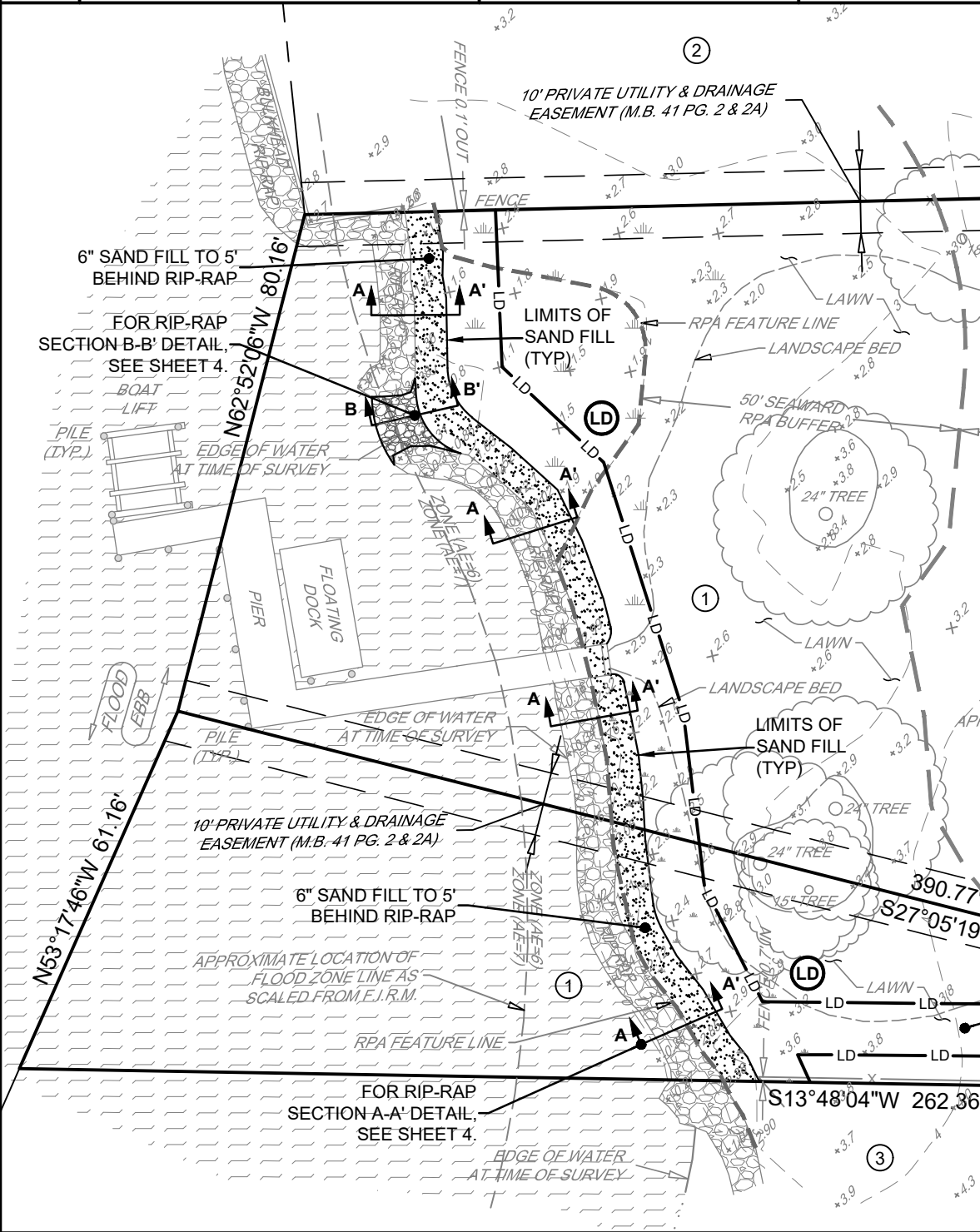
VIRGINIA STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE, NAD 1983/1993 (HARN)



GADDY
ENGINEERING SERVICES, LLC

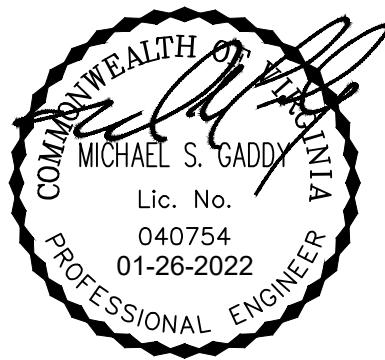
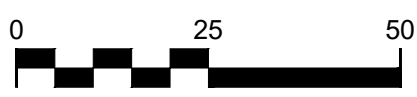
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757-289-5933
508 N. BIRDNECK RD., SUITE D
VIRGINIA BEACH, VA, 23451

Elevations shown are based on the NAVD 1988 datum.

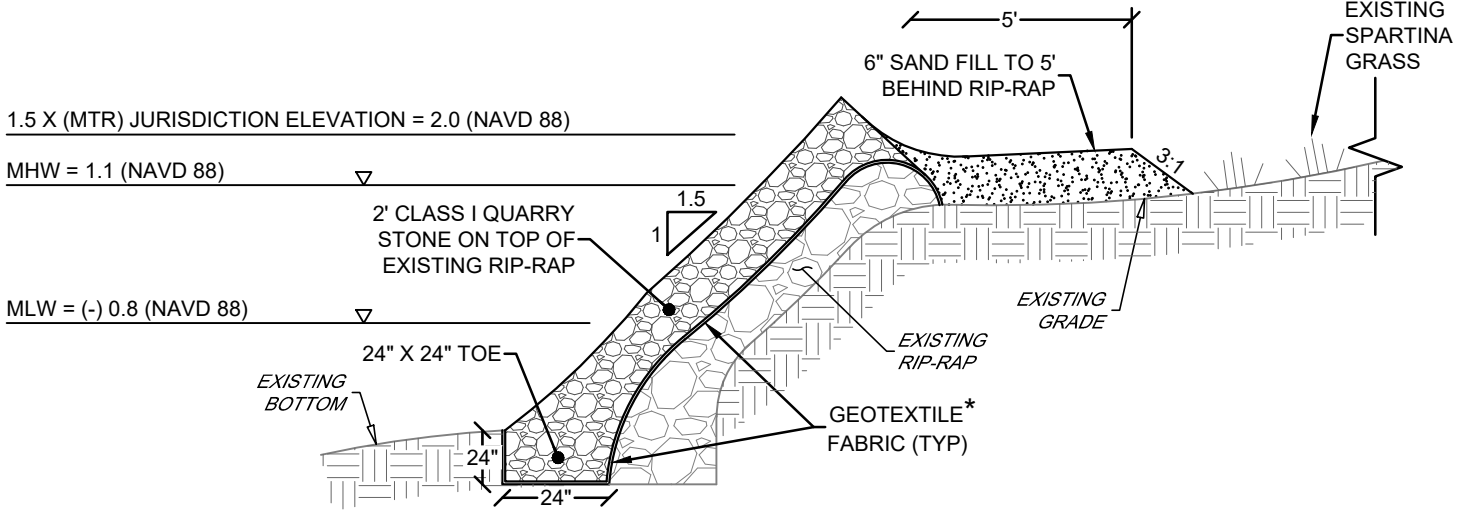


8' CONSTRUCTION ACCESS FROM DRIVEWAY. AREA OF DISTURBANCE = 3,302 S.F.

VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983/1993 (HARN)

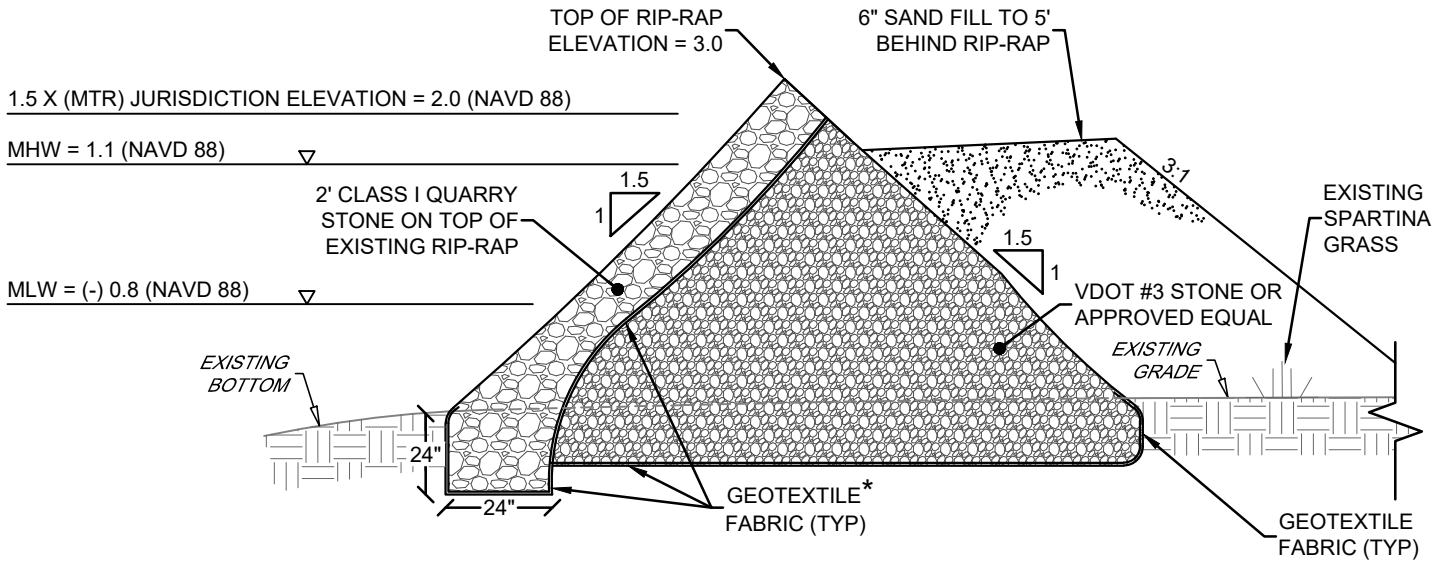


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 757-289-5933
 508 N. BIRDNECK RD., SUITE D
 VIRGINIA BEACH, VA, 23451



RIP-RAP SCHEMATIC SECTION A - A' DETAIL

NTS



RIP-RAP SCHEMATIC SECTION B - B' DETAIL

NTS

***MIRAFI 140N OR
APPROVED EQUAL
FILTER FABRIC**

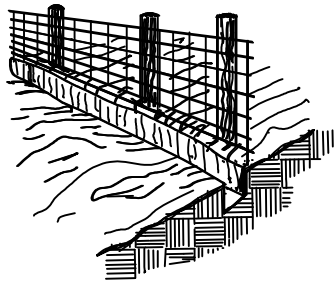
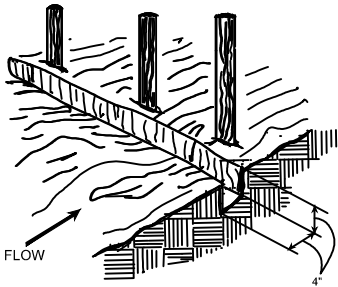


CONTACT:
 MICHAEL S. GADDY, PE, LS
 757-289-5933
 508 N. BIRDNECK RD., SUITE D
 VIRGINIA BEACH, VA, 23451

CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)

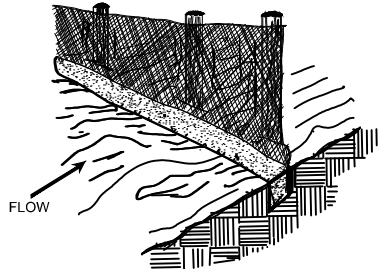
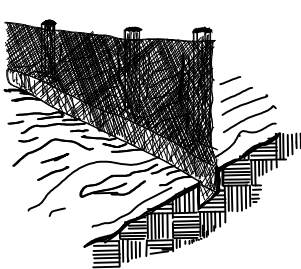
1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.

2. STAPLE WIRE FENCING TO THE POSTS.

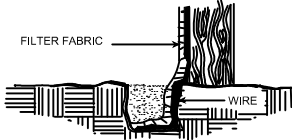


3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND IT INTO THE TRENCH.

4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



EXTENSION OF FABRIC AND WIRE INTO THE TRENCH.



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, PLATE. 3.05-1
Sherwood & Wyant

TABLE 3.32-E
(Revised June 2003)
PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

| LAND USE | SEED | |
|---|--|--|
| | SPECIES | APPLICATION RATES |
| <u>Minimum Care Lawn</u> (Commercial or Residential) | Tall Fescue | 175-200 lbs. |
| | Bermudagrass | 75 lbs. |
| <u>High-Maintenance Lawn</u> | Tall Fescue | 200-250 lbs. |
| | Bermudagrass (seed) | 40 lbs. (unhulled) 30 lbs. (hulled) |
| | Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.34) | |
| <u>General Slope (3:1 or less)</u> | Tall Fescue | 128 lbs. |
| | Red Top Grass or Creeping Red Fescue | 2 lbs. |
| | Seasonal Nurse Crop | 20 lbs. |
| | TOTAL: | 150 lbs. |
| <u>Low-Maintenance Slope</u> (Steeper than 3:1) | Tall Fescue | 93-108 lbs. |
| | Bermudagrass | 0-15 lbs. |
| | Red Top Grass or Creeping Red Fescue | 2 lbs. |
| | Seasonal Nurse Crop | 20 lbs. |
| | Sericea Lespedeza | 20 lbs. |
| | TOTAL: | 150 lbs. |

- When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at <http://sudan.cses.vt.edu/html/Turf/turf/publications/publications2.html>
- Use seasonal nurse crop in accordance with seeding dates as stated below:
 February, March-April.....Annual Rye
 May 1st-AugustFoxtail Millet
 September, October-November 15th.....Annual Rye
 November 16th-January.....Winter Rye
- May through October, use hulled seed. All other seeding periods, use unhulled seed. If Weeping Lovegrass is used, include in any slope or low maintenance mixture during warmer seeding periods increase to 30-40 lbs/acre.

FERTILIZER & LIME

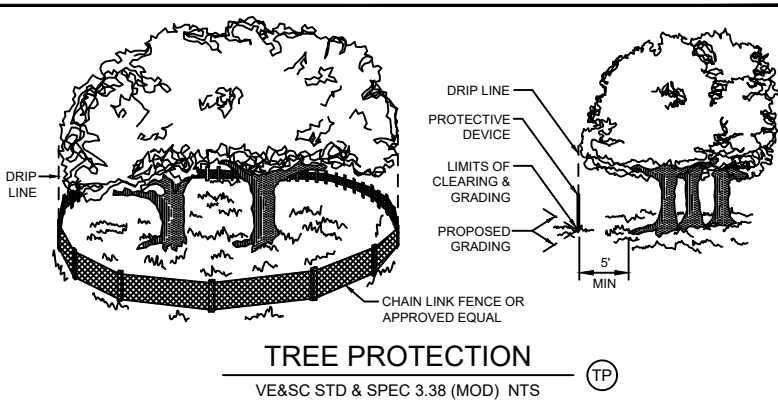
Apply 10-20-10 fertilizer at a rate of 500 lbs. / acre (or 12 lbs. / 1,000 sq. ft.) Apply **Pulverized Agricultural Limestone** at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)

NOTE:

- A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
- Incorporate the lime and fertilizer into the top 4-6 inches of the soil by disking or by other means.
- When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin# 4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/sw/e&s.htm#pubs>

SEEDING SCHEDULE

VE&SC STD & SPEC 3.32



GADDY
ENGINEERING SERVICES, LLC

CONTACT:
MICHAEL S. GADDY, PE, LS
757-289-5933
508 N. BIRDNECK RD., SUITE D
VIRGINIA BEACH, VA, 23451

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Thomas Sheppard and Catherine Sheppard, own land next to (across
(Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of Charis Properties, LLC
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 01-26-2022
(Date)

to be submitted for all necessary Federal, state and local permits.


I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).


Adjacent/nearby property owner's signature(s)

3/12/22
Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Frank Cholewicki, own land next to (across
(Print adjacent/nearby property owner’s name)

the water from/on the same cove as) the land of Charis Properties, LLC
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 01-26-2022
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).



Adjacent/nearby property owner’s signature(s)

3/7/2022

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



Regional Permit 17 Certificate of Compliance Form

Please obtain and read a copy of the 08-RP-17 prior to completion of this form. Copies can be obtained by contacting the Corps at (757) 201-7652 or on our website at:

<http://www.nao.usace.army.mil/technical%20services/Regulatory%20branch/RBregional.asp>

- YES__ NO__ N/A Is the proposed pier for private use ONLY?
- YES__ NO__ N/A Does the proposed pier extend LESS than 1/4 the width of the waterway as measured from MHW to MHW or OHW to OHW (including channelward wetlands) based on the narrowest distance across the waterway regardless of the orientation of the proposed pier (MHW = mean high water line; OHW = ordinary high water line)?
- YES__ NO__ N/A Does the proposed pier and/or mooring structure(s) extend LESS than 300 feet from the mean high water line or ordinary high water line?
- YES__ NO__ N/A If the proposed structure crosses wetland vegetation, is it of an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES__ NO__ N/A If the proposed pier is to include an attached open-sided roof designed to shelter boat slips or boatlifts, is the roof less than 700 square feet?
- YES__ NO__ N/A Have you confirmed that the proposed construction will not take place in one of the reaches which serve as habitat for federally threatened and endangered species, Federal Project Channels, and/or other areas as listed in the "NOTIFICATION REQUIREMENTS" section of this permit?
- YES__ NO__ N/A If the proposed work is in portions of any waterways listed in Special Condition 4, have you obtained an easement to cross government property from the Army Corps of Engineers Real Estate Office?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, THE REGIONAL PERMIT 17 WILL NOT APPLY AND YOU WILL NEED TO SUBMIT A JOINT PERMIT APPLICATION AND OBTAIN A SEPARATE PERMIT FROM THE CORPS BEFORE COMMENCING CONSTRUCTION.

IF YOU HAVE ANSWERED "YES" TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH THE REGIONAL PERMIT 17. PLEASE SIGN BELOW, ATTACH, AND SUBMIT WITH YOUR COMPLETED JOINT PERMIT APPLICATION. THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS. HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (08-RP-17), DATED AUGUST 14 2008, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY OFFICE, NORFOLK, VIRGINIA.

[Signature]
Signature of Property Owner(s) or Agent

Proposed work to be located at:
465 Goodspeed Road
VA. BEACH, VA 23451

Date 3/28/22

Revised: 18 NOV 2008