

Wetlands Board Agenda

May 16, 2022



Wetlands Board Hearing Procedures

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, May 16, 2022 at 10:00 a.m. in the Council Chamber - 2403 Courthouse Drive, Building 3 (former City Hall), Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m.. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vbgov.com or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at www.vbgov.com/wetlands for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at www.vbgov.com/wetlands. For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.

THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
 - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

* Deferral

** Withdrawal

**Wetlands Board Agenda
May 16, 2022**

- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

* Deferral
** Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

OLD BUSINESS – COASTAL PRIMARY SAND DUNE/BEACH

1. 2020-WTRA-00065

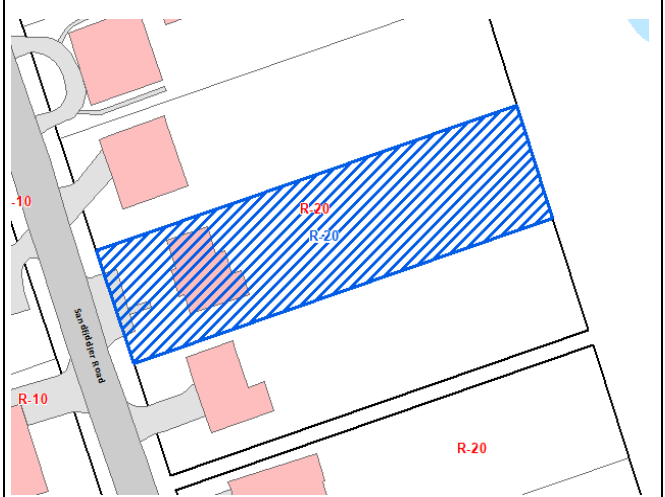
William R. Dinkins [Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To grade sand involving a Coastal Primary Sand Dune/Beach

3256 Sandfiddler Rd
(GPIN 2433-50-5019)

Waterway – Atlantic Ocean
Subdivision – Sandbridge
City Council District - District 2



2. 2022-WTRA-00014

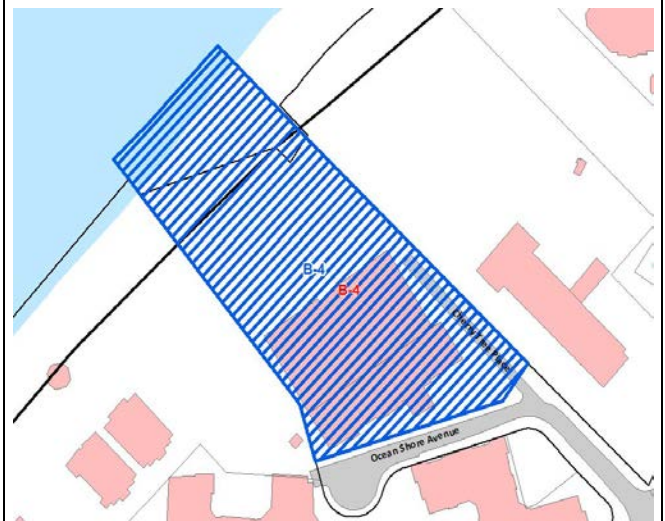
Harbor Gate Owners
Associates, Inc. [Applicant & Owner]

**DEFERRED FROM APRIL 18, 2022
PUBLIC HEARING**

To construct a bulkhead involving Coastal Primary Sand Dune/Beach

3300 Ocean Shore Ave
(GPIN 1489-89-1128)

Waterway – Chesapeake Bay
Subdivision – Harbor Gate Condominium
City Council District - District 5



* Deferral
** Withdrawal

OLD BUSINESS - WETLANDS

3. 2021-WTRA-00093

James J. Jamison

[Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To rework rip rap revetment, create oyster reef, and plant vegetation involving wetlands

1508 Duke of Windsor
(GPIN 2418-07-3353)

Waterway – Linkhorn Bay
Subdivision – Linkhorn Shores
Council District - District 5



4. 2021-WTRA-00073

John & Tama Profilet

[Applicants & Owners]

REQUEST FOR 1 YEAR EXTENSION

To construct a bulkhead and rip rap involving wetlands

1336 Holly Point Road
(GPIN 1498-67-3201)

Waterway – Eastern Branch Lynnhaven River
Subdivision – Trant Berkshire Area
Council District - District 5



* Deferral

** Withdrawal

NEW BUSINESS – WETLANDS

5. 2022-WTRA-00078
Haversham Close LLC
[Applicant & Owner]

To construct a bulkhead and groin wall involving wetlands

2393 Haversham Close
(GPIN 2409-14-6639)

Waterway – Dey Cove
Subdivision – Broad Bay Point Greens
Waterfront
Council District - District 8

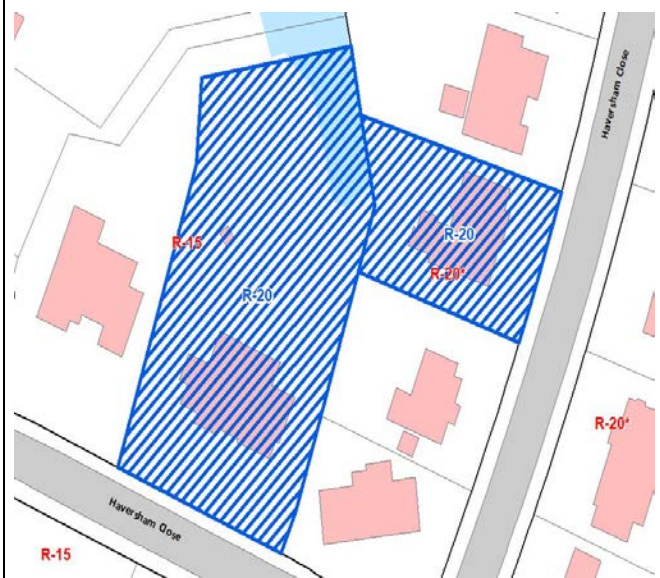


6. 2022-WTRA-00080
Patrick M. Cummings; Scott
M. Sachs & Jillian Reynolds
[Applicants & Owners]

To dredge and relocate bulkhead involving wetlands

2209 and 2484 Haversham Close
(GPINs 1499-94-1728 and 1499-84-9776)

Waterway – Man-made canal to Broad Bay
Subdivision – Broad Bay Point Greens
Waterfront
Council District - District 8



7. 2022-WTRA-00077
Rakhee Goel & Raman
Unnikrishnan
[Applicants & Owners]

To construct rip rap revetments involving wetlands

1624 Arrowhead Point
(GPIN 1489-02-9302)

Waterway – Western Branch Lynnhaven
River Bay
Subdivision – Thoroughgood
Council District - District 9



* Deferral
** Withdrawal

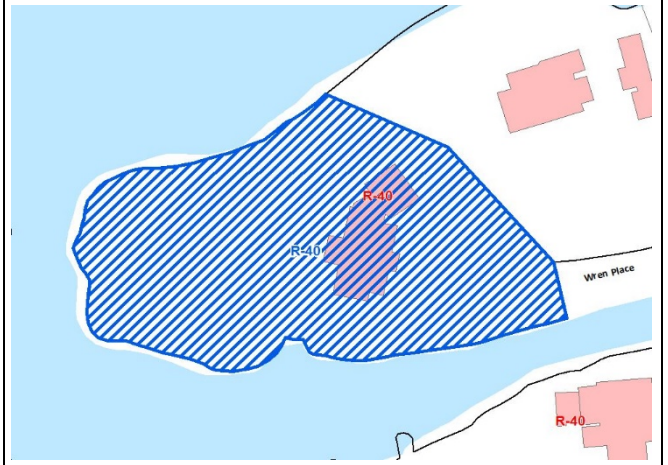
NEW BUSINESS – WETLANDS (CONTINUED)

8. 2022-WTRA-00076
Abbey & Brenda Horwitz
[Applicants & Owners]

To construct a rip rap revetment involving wetlands

1308 Wren Place
(GPIN 2418-13-9225)

Waterway – Linkhorn Bay
Subdivision – Birdneck Point
Council District - District 6



9. 2022-WTRA-00075
James E. & Maureen A. Cowan
[Applicants & Owners]

To dredge and construct a bulkhead and rip rap revetment involving wetlands

3181 Adam Keeling
(GPIN 1489-95-6772)

Waterway – Man-made canal to Lynnhaven Bay
Subdivision – Great Neck Point
Council District - District 8



* Deferral
** Withdrawal

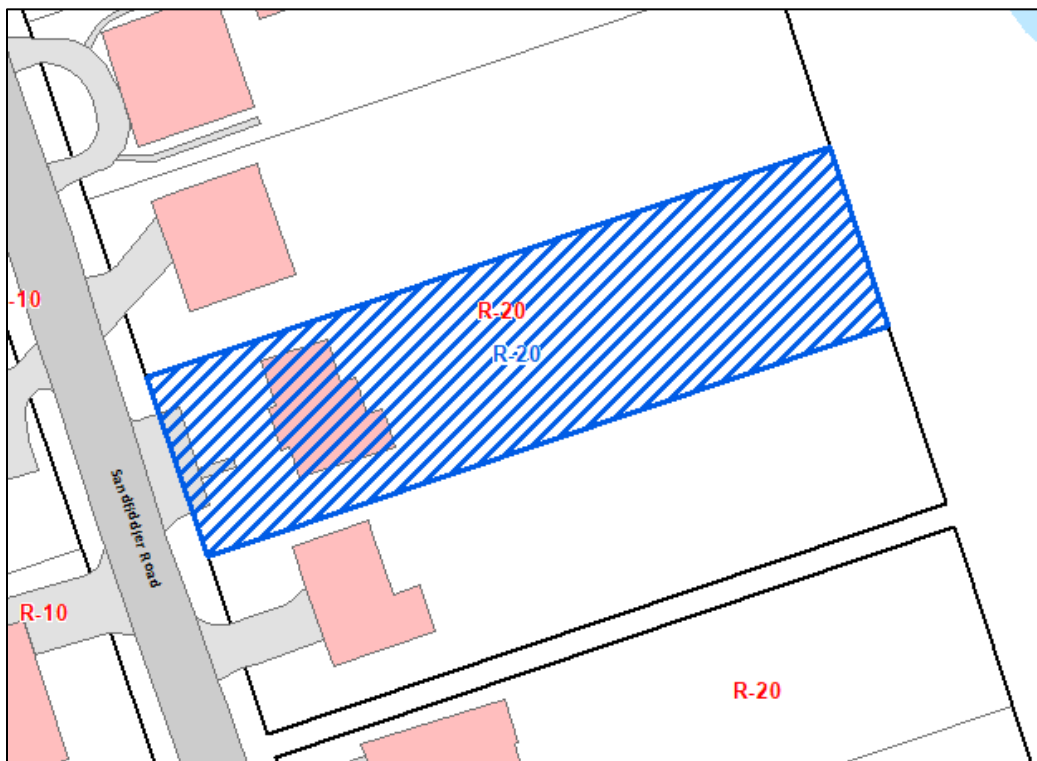
1. 2020-WTRA-00065
William R. Dinkins [Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To grade sand involving a Coastal Primary Sand Dune/Beach

3256 Sandfiddler Rd
(GPIN 2433-50-5019)

Waterway – Atlantic Ocean
Subdivision – Sandbridge
City Council District - District 2



Whitney K. McNamara

From: Jim Dinkins <vvab@warwick.net>
Sent: Friday, April 15, 2022 9:53 AM
To: Whitney K. McNamara
Subject: SAND PERMIT EXTEN.

CAUTION: This email originated from outside of the City of Virginia Beach. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Whitney,

REF:3256 SANDFIDDLER ROAD

WE WOULD LIKE TO REQUEST AN EXTENSION ON THE SAND PERMIT.

IF I NEED TO DO ANYTHING ELSE FOR THIS, PLEASE LET ME KNOW.

THANKS, JIM DINKINS

DATED: 04-15-22

2. 2022-WTRA-00014

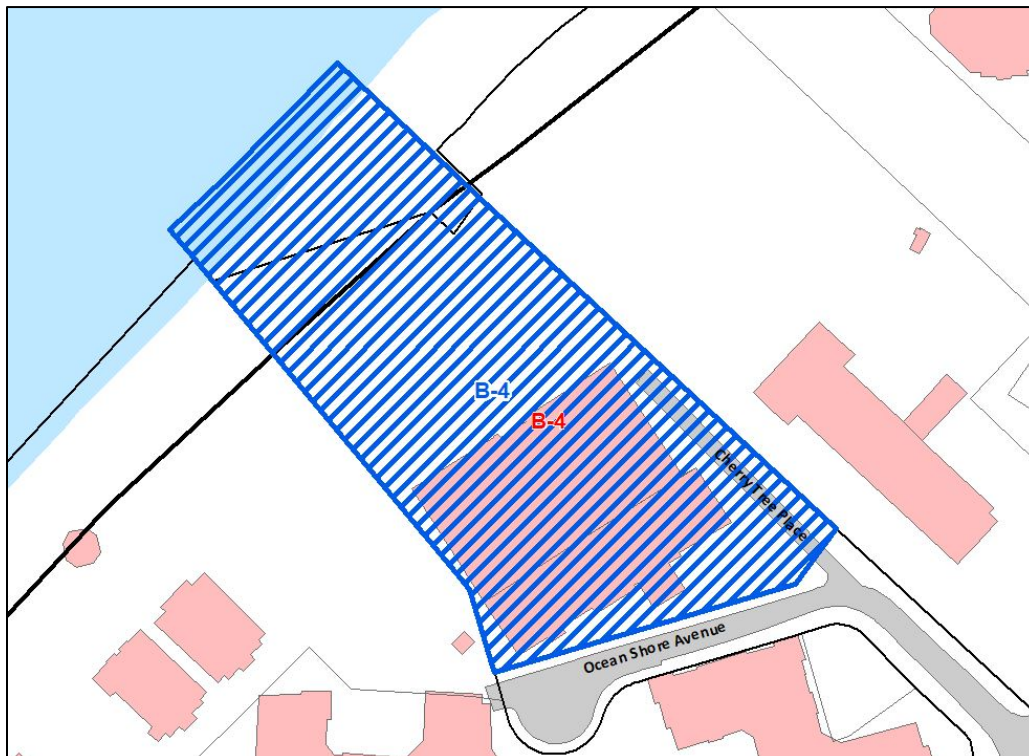
Harbor Gate Owners Associates, Inc. [Applicant & Owner]

DEFERRED FROM APRIL 18, 2022 PUBLIC HEARING

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3300 Ocean Shore Ave
(GPIN 1489-89-1128)

Waterway – Chesapeake Bay
Subdivision – Harbor Gate Condominium
City Council District - District 5



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Harbour Gate Owners Assoc. Inc.

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Calvert Marine, Richard Calvert

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Catherine Lane, President John Bergamino, Vice-President Barbara Reinhardt Vraa, Treasurer

Janet Ammerman, Secretary Ashley Cytron, Assistant Secretary

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

N/A

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If yes, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the financial institutions.

To Be Determined once it is known what the City will approve and proposals can be obtained

2. Does the applicant have a real estate broker/agent/realtor for current and anticipated future sales of the subject property? Yes No

- If yes, identify the real estate broker/realtor.
-

3. Does the applicant have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm or individual providing the service.

United Property Associates, Accounting DesRoches & Company, CPA

4. Does the applicant have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the firm or individual providing the service.
-

5. Is there any other pending or proposed purchaser of the subject property? Yes No

- If yes, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a construction contractor in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the construction contractor.

7. Does the applicant have an engineer/surveyor/agent in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the engineer/surveyor/agent.

Calvert Marine, Agent

8. Is the applicant receiving legal services in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If yes, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Harbour Gate Owners' Association

Catherine Lane

Applicant Signature

Catherine Lane, President

Print Name and Title

1-25-22

Date

Is the applicant also the owner of the subject property? Yes No

- If yes, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-0126


APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>		Regional Permit 17 (RP-17) <input type="checkbox"/>	
County or City in which the project is located: VIRGINIA BEACH				
Waterway at project site: CHESAPEAKE BAY				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
 Harbour Gate Owners Assoc. Inc.
 3300 Ocean Shore Avenue
 Virginia Beach, VA 23451
 Home () _____
 Work (757) 481-7997
 Fax () _____
 Cell () _____
 e-mail dhadley@unitedpropertyassociates.com
 State Corporation Commission Name and ID Number (if applicable) 01474592
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____
 State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:

 Calvert Marine
 3132 Riveredge Drive
 Portsmouth, VA 23703
 Home () _____
 Work (757) 777-6960
 Fax () _____
 Cell () _____
 e-mail Rich@CalvertMarine.net
 State Corporation Commission Name and ID Number (if applicable) S7252713

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The purpose of the project is to protect the property from continued erosion and loss of beach. Mean High Water has migrated approximately 148 feet since 2016 based on the historical permits at this property. The proposed seawall / bulkhead would mitigate the wave impacts at the Site that are eroding the shoreline at a heavy rate. The proposed seawall would be located at the adjacent property owner's bulkhead located at the Point Chesapeake property and continue 282 feet to the eastern property line. The seawall would continue south 138 ft. and tie into an existing concrete wall. Based on the current Site conditions, there is no definitive dune at this time with the current heavy erosion and loss of beach sand. Any existing vegetated wetlands that was present atop the existing dunes is now gone where the active erosion is present. The existing beach access walk has exposed pilings and portions that has broken and washed away from the heavy storm events. The Owner is reliant upon the City sand replenishment program to help protect the property. They are currently waiting for the next scheduled placement however; it appears that the rate of erosion is exceeding the sand installation. The approved seawall located next door at Point Chesapeake is performing well since it was installed and is very similar in design. The proposed seawall is also located behind the City Easements so that the sand replenishment program can continue.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* X No. *If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name* and complete mailing address:

Contact Information:

Home (____) _____

Work (____) _____

Fax (____) _____

Cell (____) _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot
150 Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) 3300 Ocean Shore Avenue, Virginia Beach, VA 23451

Lot/Block/Parcel# LYNNHAVEN SHORES BK 1 PARCEL

Subdivision Lynnhaven

City / County Virginia Beach ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.91 / -76.09 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary purpose is protect the Owner's property from further erosion and loss

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- There are no existing vegetated wetlands to be impacted by the proposed bulkhead. The area in front of the proposed bulkhead is currently permitted for sand replenishment under separate JPA.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 1.5 million
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 0
13. Completion date of the proposed work: OCT - 2022
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Point Chesapeake
The Terry Companies Five LLC
1492 S. Independence Blvd.
Suite 101
Virginia Beach, VA 23462

Cape Henry Towers, Council of Co-Owners
3288 Page Avenue
Virginia Beach, VA 23451

APO forms sent to each APO on 02/02/22 via USPS

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.
In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

HARBOUR GATE OWNERS' ASSOCIATION, INC.

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Catherine Lane

Applicant's Signature *President*

(Use if more than one applicant)

1-25-22

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), HARBOUR GATE OWNERS' ASSOCIATION, INC., hereby certify that I (we) have authorized CALVERT MARINE
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

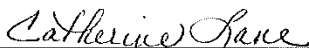


(Agent's Signature)

(Use if more than one agent)

1/15/22

(Date)



(Applicant's Signature)

(Use if more than one applicant)

1/25/22

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Harbour Gate Owners Assoc. Inc.
3300 Ocean Shore Avenue
Virginia Beach, VA 23451

PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The purpose of the project is to protect the property from continued erosion and loss of beach. Mean High Water has migrated approximately 148 feet since 2016 based on the historical permits at this property. The proposed seawall / bulkhead would mitigate the wave impacts at the Site that are eroding the shoreline at a heavy rate. Based on the current Site conditions, there is no definitive dune at this time with the current heavy erosion and loss of beach sand. Any existing vegetated wetlands that was present atop the existing dunes is now gone where the active erosion is present. The Owner is reliant upon the City sand replenishment program to help protect the property. They are currently waiting for the next scheduled placement however; it appears that the rate of erosion is exceeding the sand installation. The approved seawall located next door at Point Chesapeake is performing well since it was installed and is very similar in design. The proposed seawall is also located behind the City Easements so that the sand replenishment program can continue.

Since the project is located on the Chesapeake Bay, the fetch and harsh wave energy are not ideal conditions for a planting option. The existing dune was vegetated and has eroded heavily with no buffer for the heavy wave energy during storm events. The beach behind the property is also subject to public access. Dune Restoration of the existing dune along the Shoreline would not meet the structural requirements for FEMA to modify the Flood Zone and another restoration project next door failed. Natural and Dune restoration is not a long-term viable alternative for this property.

The possibility of using Rip Rap was examined to determine if this was the best solution for the long term, cost effective, rehabilitation of the Shoreline. The revetment would have to be approximately 13 ft. tall and extend sea-ward some 25 to 30 feet. A revetment would use a large amount of space to install correctly and would impact more area than a seawall. It also has a higher cost of construction and maintenance with a greater risk to adjacent properties in the event of failure. The large amount of stone that would be accessible to the General Public is not a risk that the Owner's would want to undertake.

After review of the property a new replacement bulkhead was found to be a better solution than a Living Shoreline or Rip Rap Revetment based on the site-specific conditions. Listed below are the reasons that this method was implemented:

1. The Seawall design is similar to the successful Virginia Beach oceanfront project and the wall next door.
2. The ACOE determined that the oceanfront seawall has excellent structural integrity and low failure risk.

Cape Henry Beach is scheduled for sand replenishment as soon the sand is available. The City of Virginia Beach has a program to maintain the beach in this area. Due to the numerous NE storms over the last year, the erosion rate has accelerated to the point where it exceeds the replenishment schedule. If this erosion continues the existing structures could be in jeopardy. The wall has the smallest footprint, lower cost of long-term maintenance and a lower potential risk to the adjacent property owners in the event of failure.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The proposed seawall would be located at the adjacent property owner's bulkhead located at the Point Chesapeake property and continue 282 feet to the eastern property line. The seawall would continue south 138 ft. and tie into an existing concrete wall. Total Length = 420 LF. Based on the current Site conditions, there is no definitive dune at this time with the current heavy erosion and loss of beach sand. Any existing vegetated wetlands that was present atop the existing dunes is now gone where the active erosion is present. The location of the new bulkhead was approximately 3 ft. from the edge of scarp when the survey was undertaken. It has since moved 20 to 30 ft. landward. The amount of sand required to backfill behind the wall to match grade caused by erosion at the time of the survey is approximately 1800 CY.

2. What is the maximum encroachment channelward of mean high water? 0 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? 3 feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 0 square feet
- Non-vegetated wetlands 0 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach 840 square feet

1,800 SF of sand backfill will be placed where the current erosion has occurred behind the proposed bulkhead

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? ___ Yes x No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? ___ Yes ___ No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The proposed Bulkhead / Seawall shall be steel sheet pile sheets with a reinforced 2' x 3' Concrete Cap atop the new wall. The wall shall have a continuous steel wale with a tie rod system to adequately secure the proposed wall. Contract Drawings to be provided for Construction of the wall to follow. Any sand backfill will be beach grade sand from an upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:
 Core (inner layer) material _____ pounds per stone Class size _____
 Armor (outer layer) material _____ pounds per stone Class size _____

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

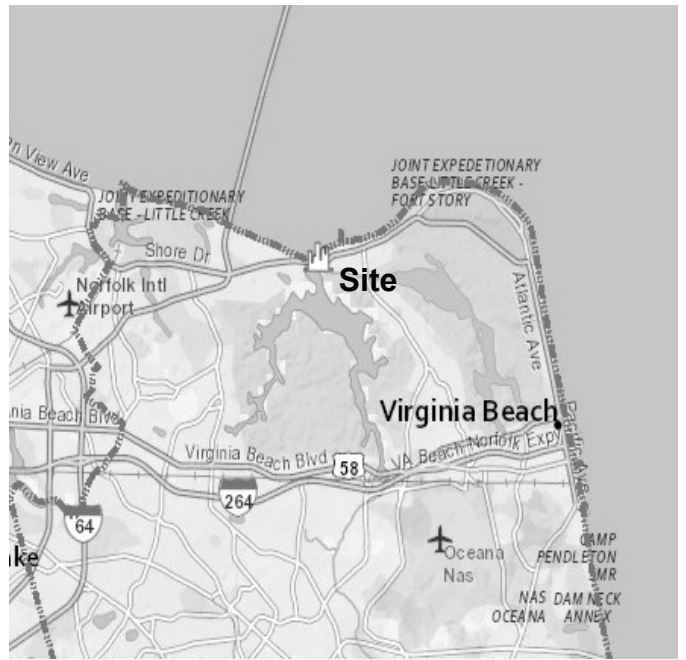
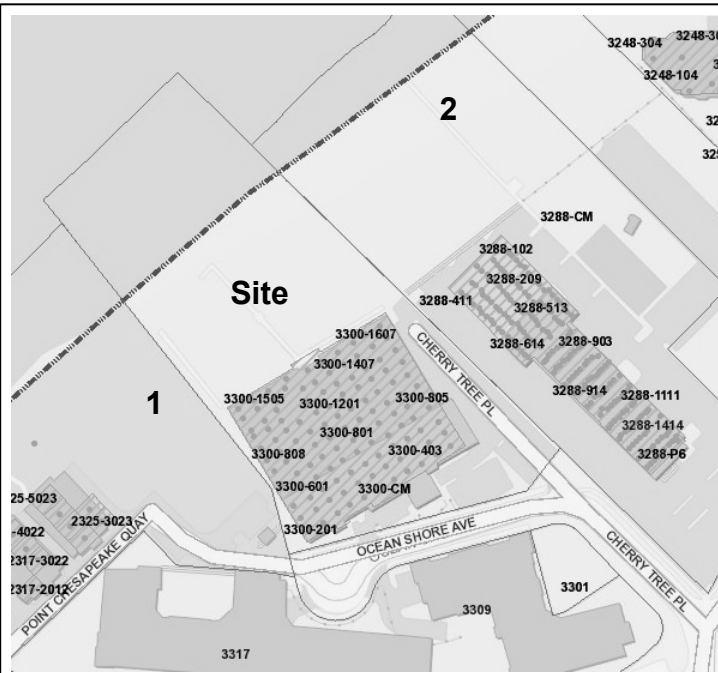
- Volume of material 0 _____ cubic yards channelward of mean low water
 0 _____ cubic yards landward of mean low water
 0 _____ cubic yards channelward of mean high water
 20400 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 20400 _____ square feet landward of mean low water
 1600 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): sand backfill will be beach grade sand from an upland source.
- Method of transportation and placement:

-
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

Owner to provide planting under separate Application if required.



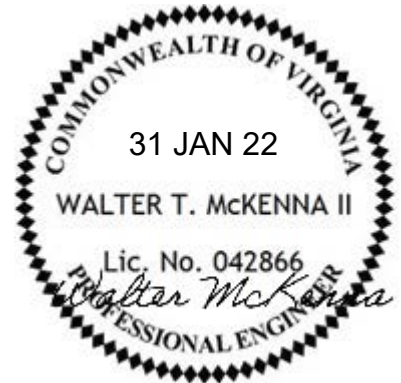
PROPERTY MAP

STREET MAP

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN".



THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS WILL BE PROVIDED ON THE DRAWINGS ISSUED FOR CONSTRUCTION.

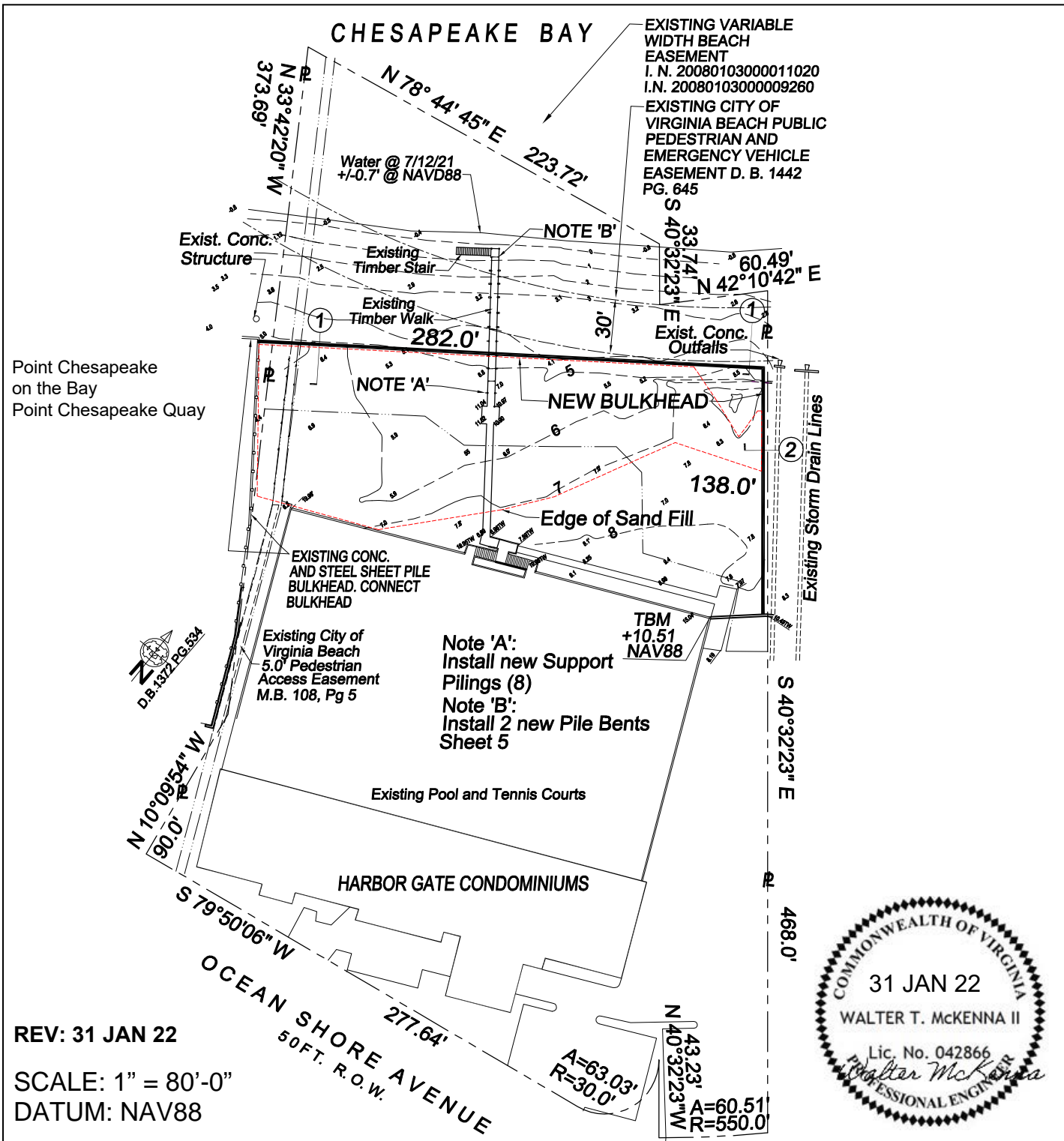
LEGAL: LYNNHAVEN SHORES BK 1 PARCEL



NO SCALE
DATUM: NAV88

REV: 31 JAN 22

 <p>CALVERT MARINE Marine and Environmental Permits</p>	 <p>WTM MARINE LLC Engineering 1 GORDON DRIVE PO QUOSON, VA</p>	<p>VICINITY MAP</p> <p>Adjacent Property Owners: 1. Point Chesapeake / The Terry Companies Five LLC 2. Cape Henry Towers Condominiums</p>	<p>Proposed: NEW BULKHEAD & ASSOC. FILL in: CHESAPEAKE BAY at: 3300 OCEAN SHORE AVE. County of: Virginia Beach Applicant: Harbour Gate Owners Assoc. Inc. Sheet: 1 of 7 Date: 08 AUG 2021</p>
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REV: 31 JAN 22

SCALE: 1" = 80'-0"

DATUM: NAV88

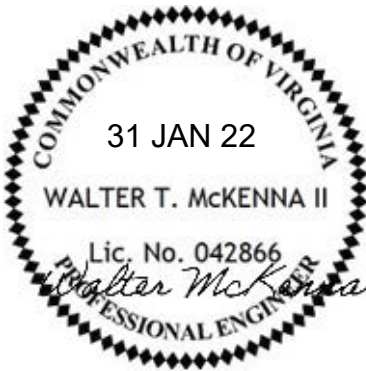
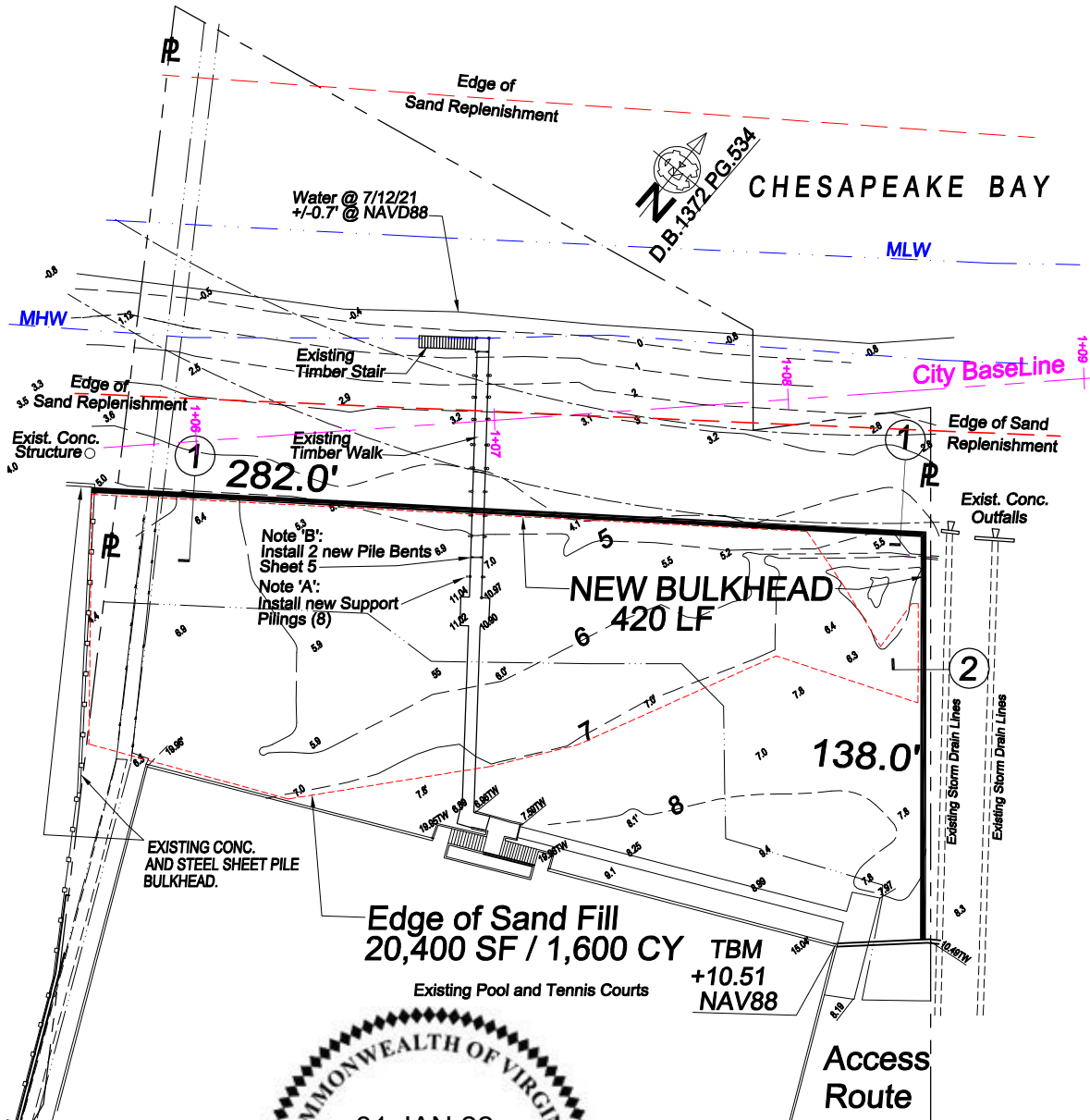
CALVERT MARINE
Marine and Environmental Permits

WTM MARINE LLC
Engineering
1 GORDON DRIVE
POQUOSON, VA

PLAN - EXISTING

Adjacent Property Owners:
1. Point Chesapeake / The Terry Companies Five LLC
2. Cape Henry Towers Condominiums

Proposed: **NEW BULKHEAD & ASSOC. FILL** in: **CHESAPEAKE BAY**
at: **3300 OCEAN SHORE AVE.**
County of: **Virginia Beach**
Applicant: **Harbour Gate Owners Assoc. Inc.**
Sheet: **2 of 7** Date: **08 AUG 2021**



REV: 31 JAN 22

SCALE: 1" = 60'-0"

DATUM: NAV88



CALVERT MARINE
Marine and Environmental Permits

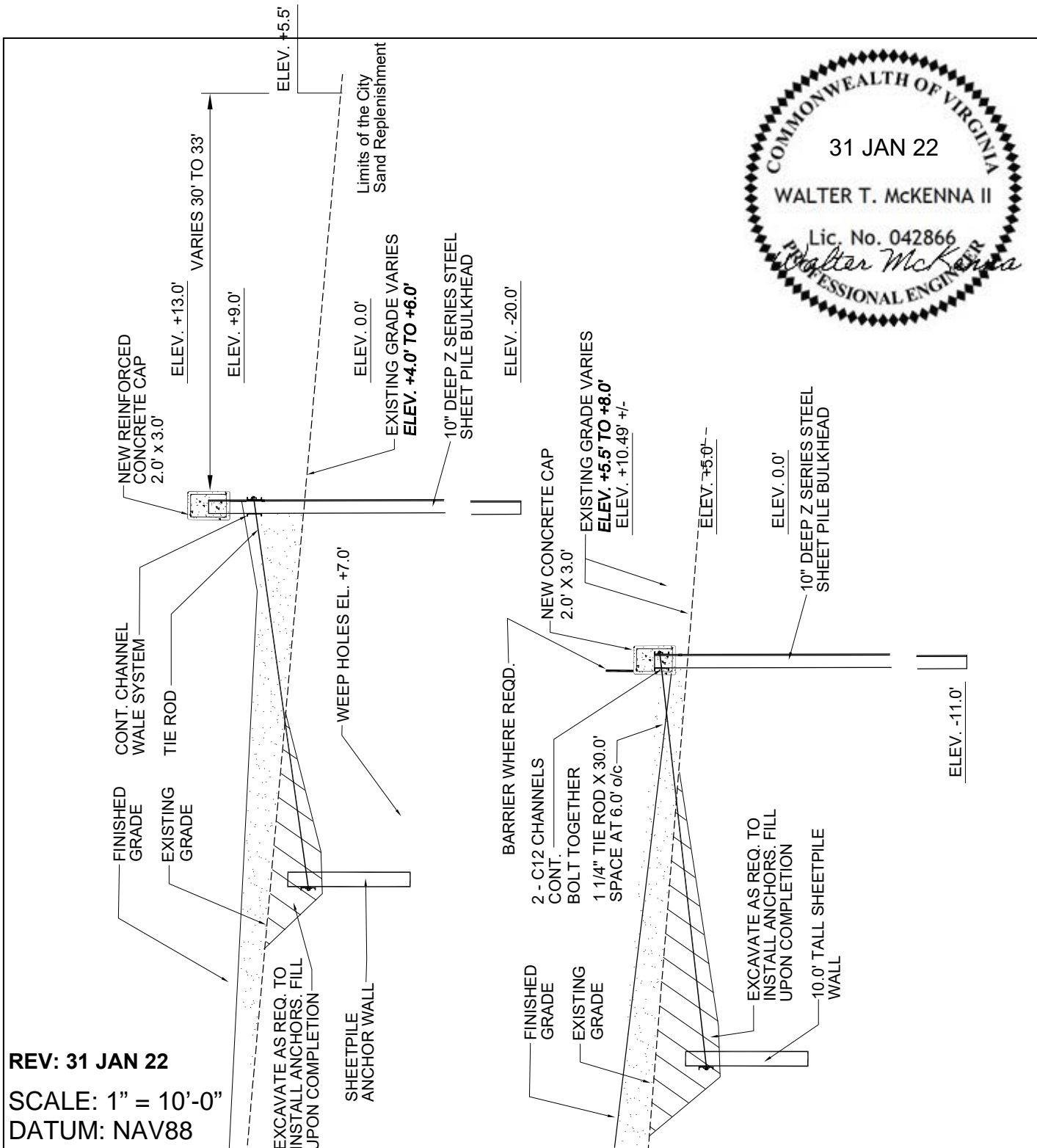
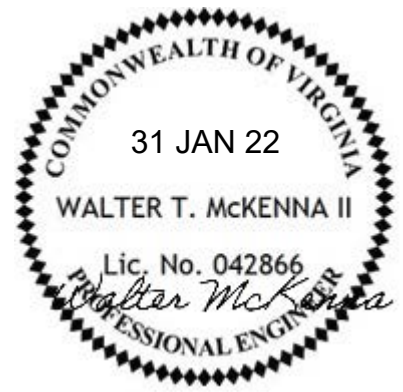


WTM MARINE LLC
Engineering
1 GORDON DRIVE
PO QUOSON, VA

PLAN - NEW WORK

Adjacent Property Owners:
1. Point Chesapeake / The Terry Companies Five LLC
2. Cape Henry Towers Condominiums

Proposed: **NEW BULKHEAD & ASSOC. FILL** in: **CHESAPEAKE BAY**
at: **3300 OCEAN SHORE AVE.**
County of: **Virginia Beach**
Applicant: **Harbour Gate Owners Assoc. Inc.**
Sheet: **3 of 7** Date: **08 AUG 2021**



REV: 31 JAN 22
 SCALE: 1" = 10'-0"
 DATUM: NAV88

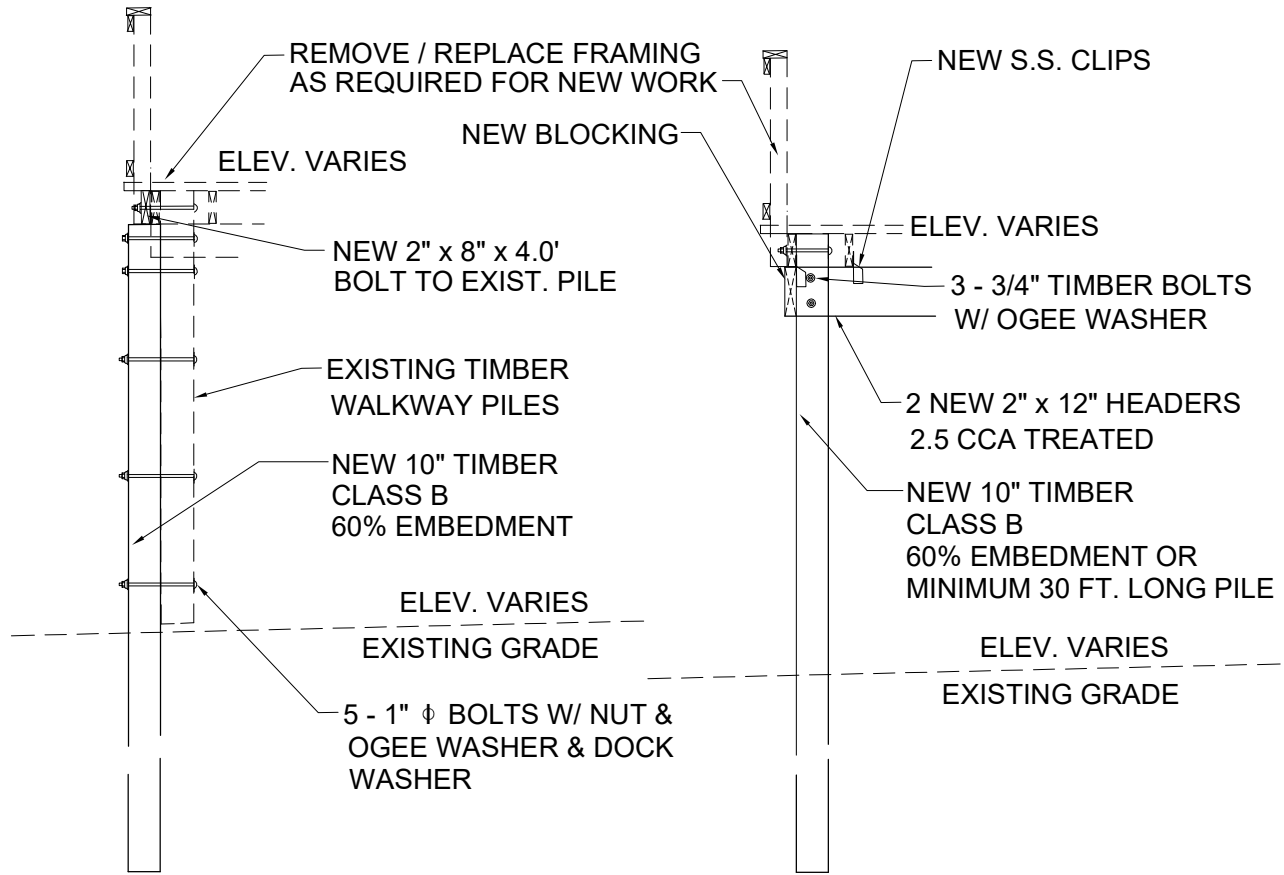
CALVERT MARINE
 Marine and Environmental Permits

WTM MARINE LLC
 Engineering
 1 GORDON DRIVE
 POQUOSON, VA

SECTIONS

Adjacent Property Owners:
 1. Point Chesapeake / The Terry Companies Five LLC
 2. Cape Henry Towers Condominiums

Proposed: **NEW BULKHEAD & ASSOC. FILL**
 in: **CHESAPEAKE BAY**
 at: **3300 OCEAN SHORE AVE.**
 County of: **Virginia Beach**
 Applicant: **Harbour Gate Owners Assoc. Inc.**
 Sheet: **4 of 7** Date: **08 AUG 2021**

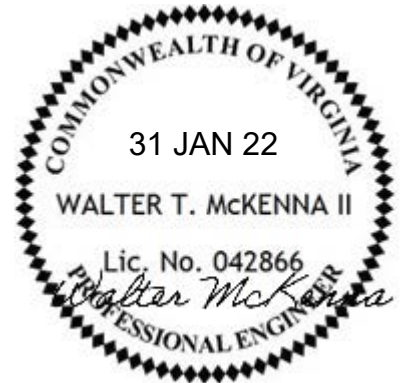


EXISTING PILE REPAIR DETAIL

NEW TIMBER PILE BENT DETAIL

REV: 31 JAN 22

SCALE: 1/4" = 1'-0"
 DATUM: NAV88

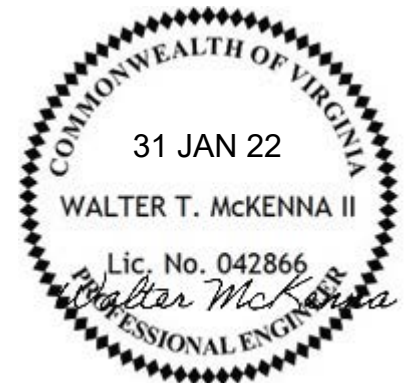


 <p>CALVERT MARINE Marine and Environmental Permits</p>	<p align="center">PILE REPAIR DETAIL</p> <p>Adjacent Property Owners: 1. Point Chesapeake / The Terry Companies Five LLC 2. Cape Henry Towers Condominiums</p>	<p>Proposed: NEW BULKHEAD & ASSOC. FILL in: CHESAPEAKE BAY at: 3300 OCEAN SHORE AVE. County of: Virginia Beach Applicant: Harbour Gate Owners Assoc. Inc. Sheet: 5 of 7 Date: 08 AUG 2021</p>
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NOTES:

1. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
2. CONTRACTOR SHALL LOCATE ALL PROPERTY LINES PRIOR TO THE START OF CONSTRUCTION. NO WORK SHOWN ON THIS PERMIT SHALL ENCROACH UPON ANY OTHER PROPERTY OWNERS.
3. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK. CONTRACTOR TO CONTACT THE CITY AND LOCATE THE EXISTING CONCRETE STORM DRAINS AT THE EASTERN PROPERTY LINE TO VERIFY THERE IS NO CONFLICT WITH THE NEW WALL.
4. CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURES TO REMAIN FROM DAMAGE DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL PROTECT THE WORK ARE FROM THE GENERAL PUBLIC BY FENCING AND SIGNAGE DURING THE CONSTRUCTION PROCESS.
5. THE WORK SHALL BE COMPLETED BY LAND.
6. ALL DENUDED AND OR DAMAGED VEGETATION SHALL BE REPLACED IN KIND. ALL STREETS AND ADJACENT PROPERTIES SHALL BE MAINTAINED DURING THE PROJECT AS WELL.
7. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
8. ALL TIMBER SHALL BE 2.5# CCA TREATED.
9. ALL DECKING SHALL BE 2" X 6", No. 1 GRADE.
10. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVERS ASSOCIATION.
11. ALL BOLTS SHALL BE HDG, 3/4" DIAMETER GALVANIZED BOLT (ASTM A307) U.O.N.
12. DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
13. ALL HARDWARE AND MISC. METALS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.
14. ALL DEMOLISHED MATERIAL SHALL BE HAULED OFFSITE AND LEGALLY DISPOSED.
15. THE DRAWINGS ARE FOR THE PURPOSE OF DEFINING THE SCOPE OF WORK FOR THE JOINT PERMIT APPLICATION. DESIGN DRAWINGS AND SPECIFICATIONS SHALL BE PROVIDED FOR THE CONSTRUCTION OF THE PROJECT. CONTRACTOR AND OWNER TO VERIFY THE DESIGN COMPLIES WITH THE CONDITIONS OF THE PERMITS ISSUED BY THE CITY, VMRC AND THE ARMY CORPS OF ENGINEERS.

THE APPLICANT IS REQUESTING THAT THE 5.0' PEDESTRIAN EASEMENT BE ABANDONED SINCE THERE WILL BE NO ACCESS TO THE BEACH THROUGH THE PROPERTY AFTER CONSTRUCTION OF THE NEW BULKHEAD.



REV: 31 JAN 22

 <p>CALVERT MARINE Marine and Environmental Permits</p>	 <p>WTM MARINE LLC Engineering 1 GORDON DRIVE POQUOSON, VA</p>	<p style="text-align: center;">NOTES</p> <p>Adjacent Property Owners: 1.Point Chesapeake / The Terry Companies Five LLC 2.Cape Henry Towers Condominiums</p>	<p>Proposed: NEW BULKHEAD & ASSOC. FILL in: CHESAPEAKE BAY at: 3300 OCEAN SHORE AVE. County of: Virginia Beach Applicant: Harbour Gate Owners Assoc. Inc. Sheet: 6 of 7 Date: 08 AUG 2021</p>
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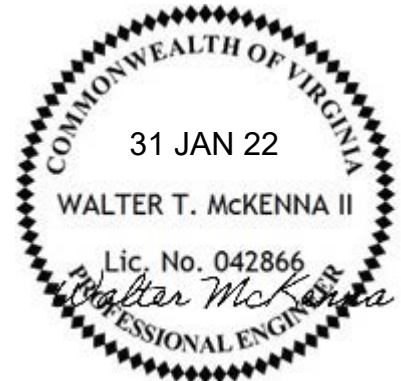
BULKHEAD NOTES:

1. Coordinate driving operations to prevent damage or displacement of concrete in substructure units or damage to adjacent facilities due to vibrations.
2. Drive sheeting with a variation of 1/4 inch or less per foot from the vertical. Ensure that the sheet piles are within 2 inches of the plan position after driving. Do not damage sheet piles attempting to correct for misalignment.
3. The new wall shall be secured / anchored with a steel sheet pile dead-man continuous wall as shown.
4. Drive sheet piles to or beyond the required tip elevation the plans show.
5. Furnish a sheet pile driving system capable of driving the sheet piles to the required minimum tip elevation the plans shown.
6. Drive sheet piles with diesel, air, steam, gravity, hydraulic, or vibratory hammers.
7. Brace the steel sheet piling with wales as the plans show. Provide continuous wales as shown for connection of the tie rods assembly.
8. Steel wale assembly shall comply with ASTM A36.
9. Provide a reinforced 4000 PSI concrete cap atop the new wall as shown.
10. Provide weep hole cartridges in the new wall as shown and noted.
11. Cold rolled steel sheet piles shall be ASTM A572. The sheets shall be sand blasted and coated with cold tar epoxy in accordance with the manufacturers' recommendations.
12. The drawings have been prepared for the Joint Permit Application only. Complete Engineered drawings and Specifications, including E. and S. controls, will be prepared for the new Construction.

CONSTRUCTION SEQUENCE:

1. Meet with City Staff prior to the start of work to discuss the project. 1D
(All access routes, signage and fencing shall be in place.)
2. Install new sheet pile wall 30D
3. Drive new Timber Piles 1D
4. Install Steel Wale / Anchor System 30D
5. Install Concrete Cap 30D

THE DESIGN AT LEAST EQUIVALENT TO OR BETTER THAN THE CITY OF VIRGINIA BEACH STANDARD WAKEFIELD DESIGN AS SHOWN IN APPENIX C OF THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARDS



NO SCALE
DATUM: NAV88

REV: 31 JAN 22



**CALVERT
MARINE**
Marine and
Environmental Permits



**WTM
MARINE LLC**
Engineering
1 GORDON DRIVE
POQUOSON, VA

SPECIFICATIONS

Adjacent Property Owners:
1. Point Chesapeake / The
Terry Companies Five LLC
2. Cape Henry Towers
Condominiums

Proposed: **NEW BULKHEAD & ASSOC. FILL**
in: **CHESAPEAKE BAY**
at: **3300 OCEAN SHORE AVE.**
County of: **Virginia Beach**
Applicant: **Harbour Gate Owners
Assoc. Inc.**
Sheet: **7 of 7** Date: **08 AUG 2021**

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), ^{Cape Henry Towers, Council of Co-Owners 3288 Page Avenue 23451}
_____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of ^{Harbour Gate Owners Assoc. Inc. 3300 Ocean Shore Avenue 23451}
_____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 08 AUG 21
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



CALVERT MARINE
Marine and
Environmental Permits

Richard Calvert
Owner



757-777-6960
Rich@CalvertMarine.net

MAILING ADDRESS:
The Terry Companies Five LLC
1492 S. Independence Blvd.
Suite 101
Virginia Beach, VA 23462

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Point Chesapeake The Terry Companies Five LLC, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Harbour Gate Owners Assoc. Inc. 3300 Ocean Shore Avenue 23451.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 08 AUG 21
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



CALVERT MARINE
Marine and
Environmental Permits

Richard Calvert
Owner

757-777-6960

Rich@CalvertMarine.net



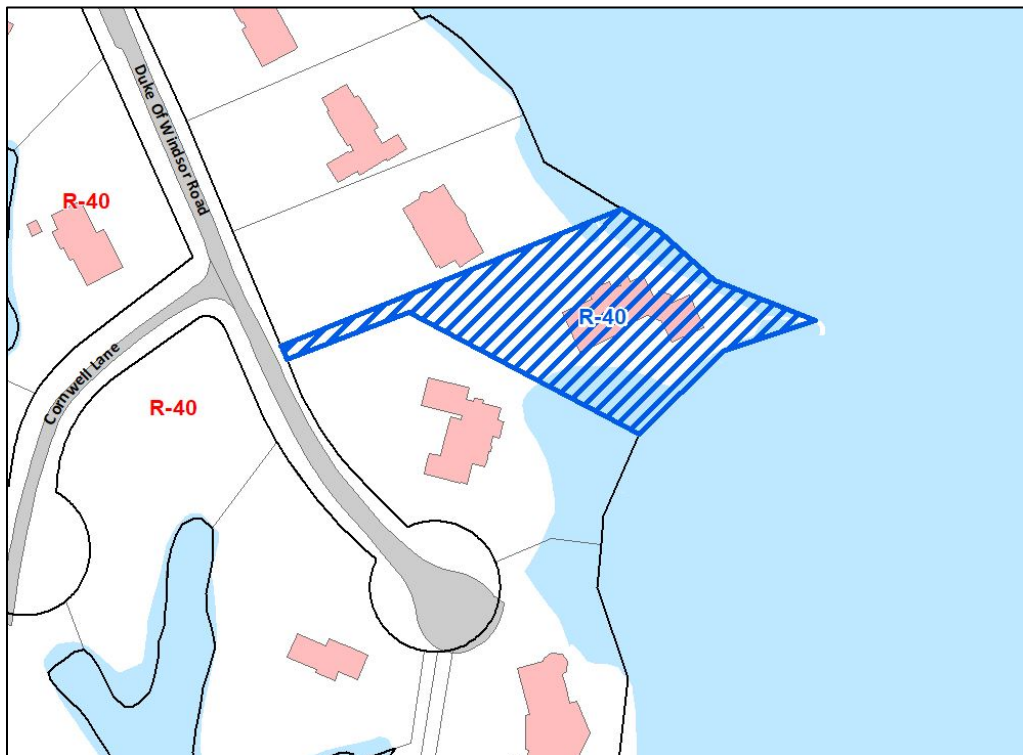
3. 2021-WTRA-00093
James J. Jamison [Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To rework rip rap revetment, create oyster reef, and plant vegetation involving wetlands

1508 Duke of Windsor
(GPIN 2418-07-3353)

Waterway – Linkhorn Bay
Subdivision – Linkhorn Shores
Council District - District 5





WATERFRONT CONSULTING, INC.
"Specializing in Permit Processing"

March 23, 2022

To: City of Virginia Planning & Community Development
VMRC, Habitat Management Division, Ms. Tiffany Birge
US ACOE, Regulatory Branch, Norfolk District, Autumn Crawford

**RE: MRC #21-0590, 2021-WTRA-00093 for James Jamison
Located at 1508 Duke of Windsor Road, Virginia Beach, VA 23454**

To all:

This letter is to request a one-year extension of time for the Virginia Beach Wetlands Permit referenced above. The permit is set to expire next month and due to Covid and contractor scheduling, Mr. Jamison and his contractor are now ready to commence the project.

There are no changes to the project save and except that the proposed 16' x 16' L-Head on the proposed pier will be reduced to 14' x 14' to meet the VMRC statutory guidelines of 400 SF of decking.

Please let me know if you have any other questions or concerns regarding this extension of Time request.

Thank you,

Robert E. Simon

Robert E. Simon, Vice President

CC: James Jamison, Applicant



City of Virginia Beach

VBgov.com

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT
PLANNING ADMINISTRATION DIVISION,
WATERFRONT OPERATIONS OFFICE
(757) 385-4621
FAX (757) 385-5667

2875 SABRE STREET, SUITE 500
VIRGINIA BEACH, VA 23452

April 29, 2021

Robert E. Simon
Waterfront Consulting, Inc.
2589 Quality Ct., Ste. 323
Virginia Beach, VA 23454

Subject: Wetlands/ Waterfront Construction Permit Approval for 2021-WTRA-00093, Proposed Rip Rap, Pier, Dock, Lift, and Roof for James Jamison at 1508 Duke of Windsor Road

Dear Mr. Simon:

The referenced application has been reviewed and approved with the following conditions:

1. Within 30 days of completion of the project, the contractor shall have engineer of record complete and return the enclosed Engineer's Final Inspection Report.
2. A silt fence shall be properly installed and maintained seaward of all disturbed areas at the conclusion of each workday and will remain until the site has been stabilized.
3. **An on-site pre-construction meeting will be required for this project.** The contractor must contact our office at (757) 385-8246 to schedule the pre-construction meeting, 48-hours prior to mobilizing equipment or materials to the site and prior any site work or beginning construction.
4. Pursuant to the erosion and sediment control ordinance, a perennial vegetative cover shall be established over all denuded areas before a final release will be granted. The vegetative cover must be planted within 14 days of project completion.

The Wetlands Permit will expire **April 19, 2022**. In the event the project is not complete, you or the applicant must request an extension of time in writing, **PRIOR** to expiration of your Wetlands Permit.

Page Two
Rip Rap, Pier, Dock, Lift, & Roof
Jamison
April 29, 2021

You **must** bring a copy of this complete package with the approved waterfront construction drawings dated received by VMRC March 16, 2021, sheets 1 through 11, to the Planning Department to obtain the required building permit from the Permits and Inspections Office.

The Permits and Inspections office is located at 2875 Sabre Street, Suite 500. You may contact the Permits and Inspections office at (757) 385-4211, concerning the cost of the building permit.

Be advised that no disturbance or construction may commence until after the pre-construction and the required building permit has been obtained and appropriately displayed on site. Any changes to the project must first be shown on revised drawings, the drawings resealed by the engineer of record, and re-submitted to the Virginia Marine Resource Commission for consideration of approval. Field changes are not allowed.

Prior to commencing construction, you may also need a permit from the following agencies:

U.S. Army Corps of Engineers, 803 Front Street, Norfolk, Virginia 23510
Virginia Marine Resource Commission, Habitat Management Division, 380 Fenwick Rd.,
Bldg. 96, Ft. Monroe, VA 23651

If you have any questions, call (757) 385-8246.

Sincerely,



Charles McKenna
Coastal Planning Technician

cc: Applicant: James Jamison
Virginia Marine Resources Commission – Justin Worrell
Virginia Institute of Marine Science

4. 2021-WTRA-00073

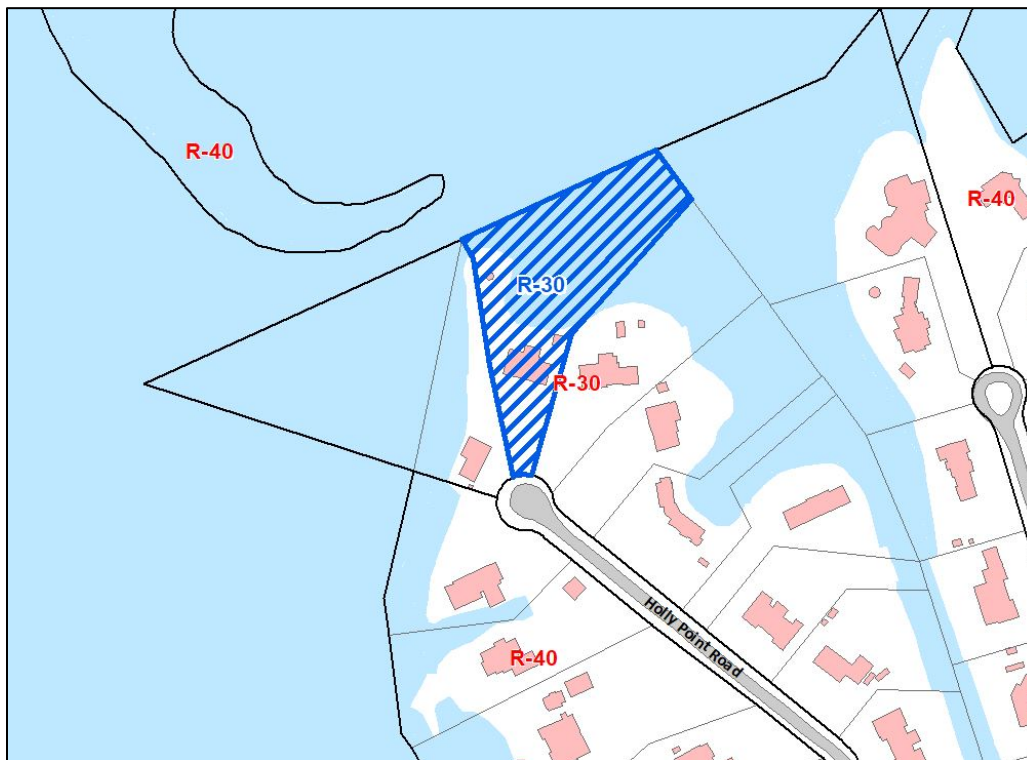
John & Tama Profilet [Applicants & Owners]

REQUEST FOR 1 YEAR EXTENSION

To construct a bulkhead and rip rap involving wetlands

1336 Holly Point Road
(GPIN 1498-67-3201)

Waterway – Eastern Branch Lynnhaven River
Subdivision – Trant Berkshire Area
Council District - District 5





City of Virginia Beach
Planning Department
2875 Sabre Street, Suite 500
Virginia Beach, VA 23452

March 9, 2022

Re: John / Tama Profilet
1336 Holly Point Road
2021-WTRA-00073

The Applicant for the above referenced project would like to extend the completion date of the Virginia Beach Permit approval for an additional year. The Owner is ready to begin this project but waiting for the Contractor. They are scheduled for fall.

Please let me know if you require any additional information from our office in regards to this matter.

Sincerely,

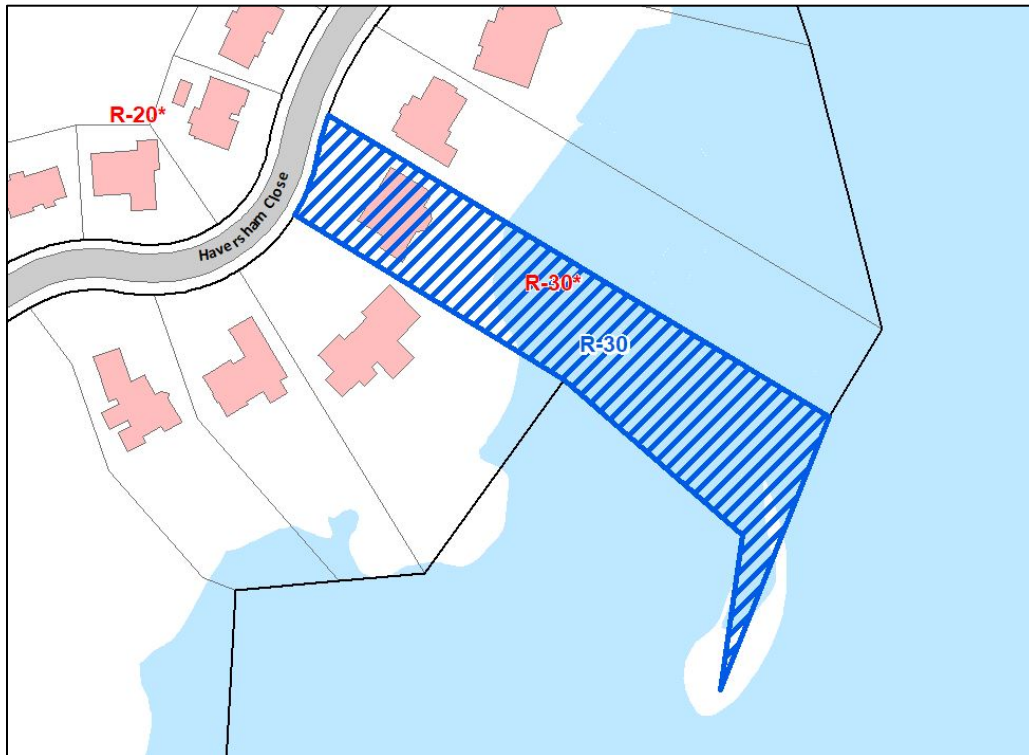
Richard Calvert
Agent
CALVERT MARINE

5. 2022-WTRA-00078
Haversham Close LLC [Applicant & Owner]

To construct a bulkhead and groin wall involving wetlands

2393 Haversham Close
(GPIN 2409-14-6639)

Waterway – Dey Cove
Subdivision – Broad Bay Point Greens Waterfront
Council District - District 8



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Haversham Close, LLC

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Waterfront Consulting, Inc, Robert E Simon and GPC, Billy Garrington

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Stephen B Ballard, Managing Member

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

N/A

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

Billy Almond, WPL

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the construction contractor.

Salmons Dredging, bulkhead, pier and boat house out for bid.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the engineer/surveyor/agent.

Waterfront Consulting, Inc, GPC, Chesapeake Bay Site Solutions, Carter Sinclair

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

Haversham Close, LLC by: Stephen B Ballard, Managing Member

Print Name and Title

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Dey Cove</u>				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
All	Pending/Maint. Dredging	2022-0602		
All	Approved/Bulkhead, Dredge	1989-0819	08/31/89	

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
 Haversham Close LLC Home () _____
 2393 Haversham Close Work (757) 689-5459 _____
 Virginia Beach, VA 23454 Fax () _____
 Cell (757) 647-5555 _____
 e-mail steve@sballard.com _____
 State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____
 State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
 Waterfront Consulting, Inc. Home () _____
 2589 Quality Court, Ste. 323 Work (757) 425-8244 _____
 Virginia Beach, VA 23454 Fax (757) 425-8244 _____
 Cell (757) 619-7302 _____
 e-mail bob@waterfrontconsulting.net _____
 State Corporation Commission Name and ID Number (if applicable) 047-4381-1 _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove the existing pier and a portion of the existing bulkhead, remove approximately 760 SF of upland, construct 131 LF of steel bulkhead, construct 68 LF of steel groin wall, construct a 33'x76' open sided boat house, install an eight pile boat lift with a wraparound deck, and construct a 8'x68' floating pier as shown in the permit drawings.

The pier will use (16) 10" timber piles, the boat house will use (18) 10" timber piles, and the boat lift will use (10) 10" timber piles that will all be driven via a crane barge.

Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot
150 W. Brambleton Avenue
Norfolk, VA 23510

(757) 622-1455

- 7. Give the following project location information:

Street Address (911 address if available) 2393 Haversham Close

Lot/Block/Parcel# Lot 61, Phase 1, Broad Bay Point Greens

Subdivision Broad Bay Point Greens

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):
36.89527 / -76.04236 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is shoreline stabilization for proposed dredging.

The secondary purpose of the project is dry storage of the applicant's vessel.

Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

A living shoreline and riprap were not considered for the following reasons. The existing bulkhead has an exposed height of 10-15' which would cause extensive grading to upland that would affect the existing and proposed structures on site. Also, dredging has been propose under a separate JPA that would make a living shoreline or riprap completely unfeasible. The neighboring lots are also currently bulkheaded. There will be 80 SF of VW impacts and 70 SF of NVW impacts that will be compensated for with an in-lieu fee..

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 450,000.00
 Approximate cost of that portion of the project that is channelward of mean low water:
 \$ 100,000.00

13. Completion date of the proposed work: Approximately 1 year from permit date - _____

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Barbara J. Larar	2389 Haversham Close	Virginia Beach, VA 23454
Robert A. Broermann et al	2397 Haversham Close	Virginia Beach, VA 23454

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Haversham Close LLC

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Applicant's Signature

(Use if more than one applicant)

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Haversham Close LLC, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

4/10/2022

(Date)

(Applicant's Signature)

(Use if more than one applicant)

4/04/2022

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Haversham Close LLC, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

The project is to remove the existing pier, construct a 33'x76' open sided boat house, install an eight pile boat lift with a wraparound deck, and construct a private open pile pier as shown in the permit drawings.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 76 feet.

Channelward of Mean High Water? 76 feet.

Channelward of Mean Low Water? 76 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 1,280 square feet.

What is the total size of any and all L- or T-head platforms? 1,280 sq. ft.

For boathouses, what is the overall size of the roof structure? 2,508 sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to remove a portion of the existing bulkhead, remove approximately 760 SF of upland, construct 131 LF of steel bulkhead, and construct 68 LF of steel groin wall. There will be 0.005 acres of aquatic impact and 50 CYs of fill placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 2 feet.
 Channelward of mean low water? 0 feet.
 Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
- Vegetated wetlands 80 square feet
 - Non-vegetated wetlands 70 square feet
 - Subaqueous bottom 0 square feet
 - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

The bulkhead will consist of steel sheets and walers, a concrete cap, and backfill from an approved upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material _____ pounds per stone Class size _____

Armor (outer layer) material _____ pounds per stone Class size _____

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
 _____ cubic yards landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Area to be covered _____ square feet channelward of mean low water
 _____ square feet landward of mean low water
 _____ cubic yards channelward of mean high water
 _____ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): _____

- Method of transportation and placement:

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

ENGINEER/SURVEYOR'S INSPECTION STATEMENT FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2393 Haversham Close

APPLICANT'S NAME: Haversham Close LLC

APPLICANT'S ADDRESS: 2393 Haversham Close

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: Bulkhead, Groin Wall, Open Sided Roof, Boat Lift, & Pier

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

DocuSigned by:
Gregory Milstead
CF51013686D3498

4/13/2022

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

SIGNATURE OF APPLICANT

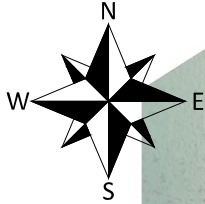
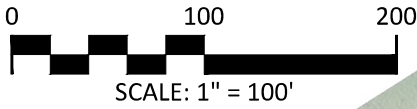
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

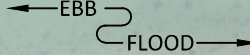
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



M.B. 188 PG. 08

BROAD BAY



5 31° 18' 35" W 273.87'

N 13° 52' 21" E 155.28'

MEAN LOW WATER

DEY COVE

MEAN HIGH WATER

N 50° 46' 17" W 589.93'

N 43° 28' 53" W 235.91'

APO #1
NOW OR FORMERLY
DAVID S CULPEPPER
2381 HAVERSHAM CLOSE
GPIN: 2409-15-7057

APO #2
NOW OR FORMERLY
ANDREW J DOWNING
2401 HAVERSHAM CLOSE
GPIN: 2409-14-4512

#2393

R = 326.74'
L = 44.21'

R = 169.13'
L = 59.87'

HAVERSHAM CLOSE
50' RIGHT-OF-WAY

EXISTING
CONDITIONS



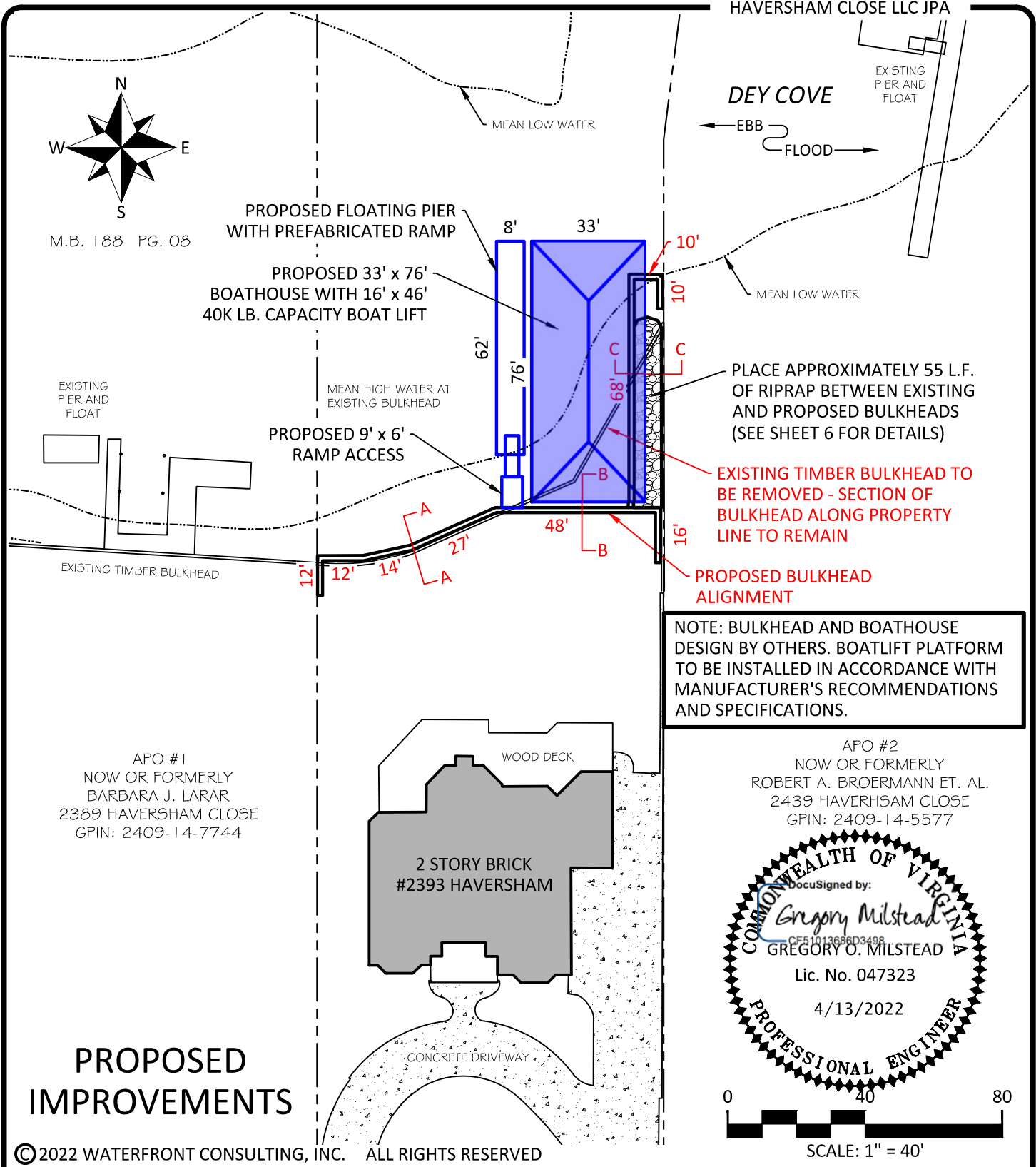
© 2022 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED

PURPOSE: EROSION CONTROL,
BOATING ACCESS
DATUM: MLW = 0.00'
APOS:
1. BABARA J. LARAR
2. ROBERT A. BROERMAN ET. AL.

WCI WATERFRONT CONSULTING, INC.
2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
CHESAPEAKE BAY SITE SOLUTIONS, INC.
P.O BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

PROPOSED: BULKHEAD, BOATHOUSE,
LIFT, FLOATING PIER
IN: DEY COVE
AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 1 OF 11
DATE: APRIL 6, 2022



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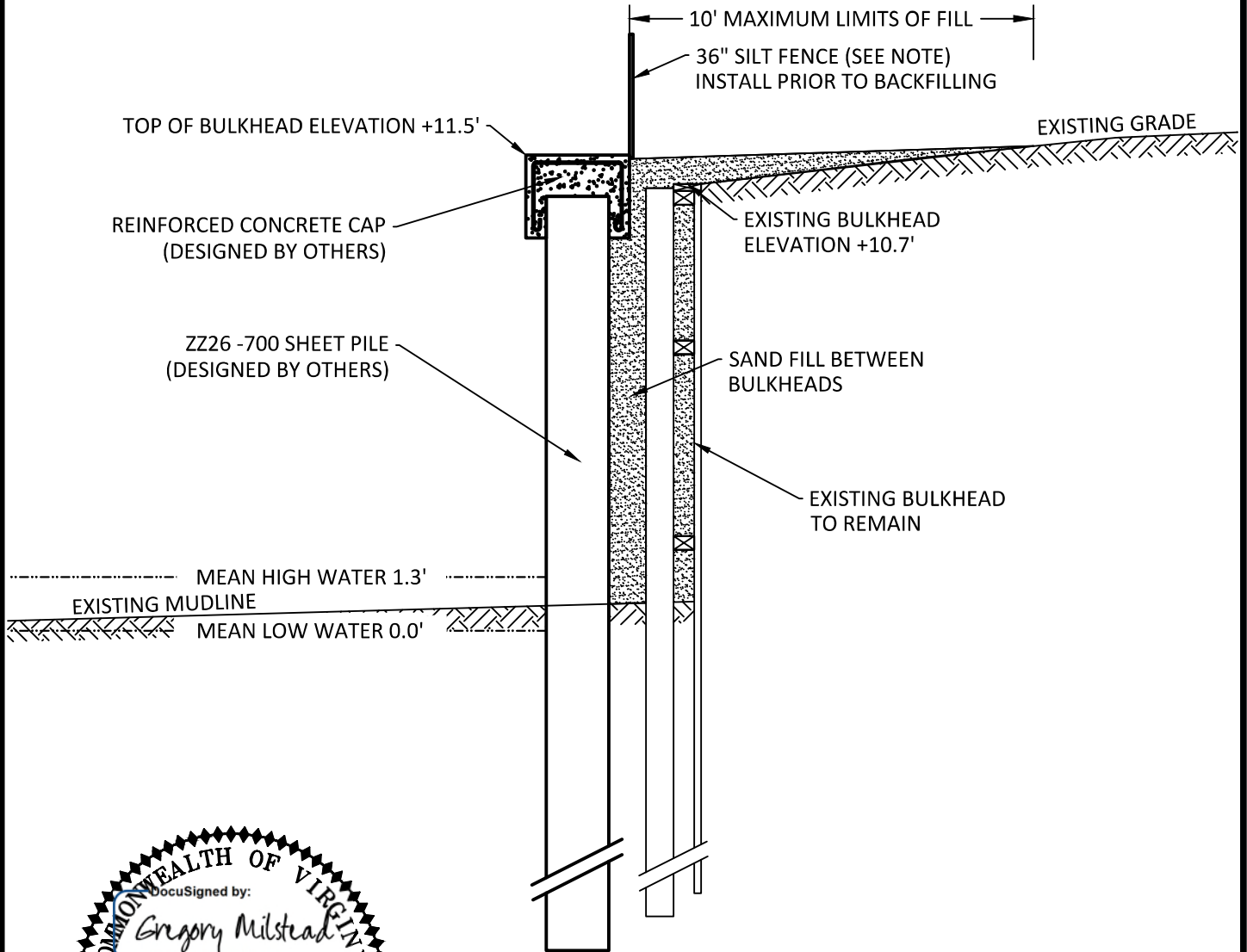
PURPOSE: EROSION CONTROL,
BOATING ACCESS
DATUM: MLW = 0.00'
APOS:
1. BABARA J. LARAR
2. ROBERT A. BROERMAN ET. AL.

WCI WATERFRONT CONSULTING, INC.
2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302
ENGINEERING SERVICES PROVIDED BY:
CHESAPEAKE BAY SITE SOLUTIONS, INC.
P.O BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

PROPOSED: BULKHEAD, BOATHOUSE,
LIFT, FLOATING PIER
IN: DEY COVE
AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 3 OF 11
DATE: APRIL 6, 2022



PROPOSED BULKHEAD CROSS SECTION A-A



SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05



SCALE: 1" = 4'

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PURPOSE: EROSION CONTROL,
BOATING ACCESS
DATUM: MLW = 0.00'
APOS:
1. BABARA J. LARAR
2. ROBERT A. BROERMAN ET. AL.



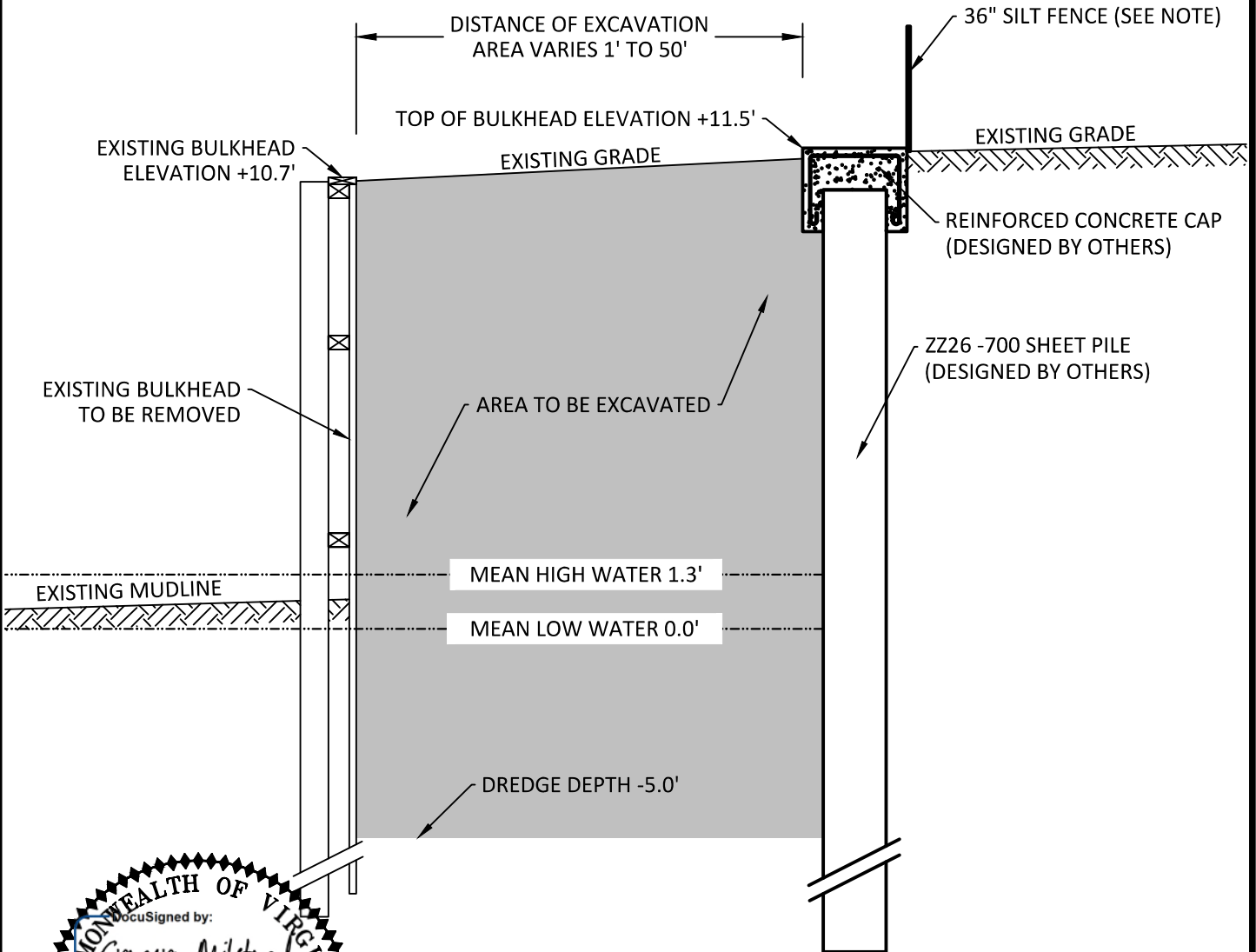
**WATERFRONT
CONSULTING, INC.**

2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

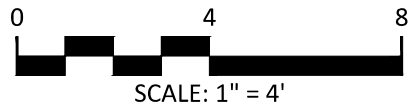
ENGINEERING SERVICES PROVIDED BY:
CHESAPEAKE BAY SITE SOLUTIONS, INC.
P.O BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

PROPOSED: BULKHEAD, BOATHOUSE,
LIFT, FLOATING PIER
IN: DEY COVE
AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 4 OF 11
DATE: APRIL 6, 2022

PROPOSED BULKHEAD CROSS SECTION B-B



SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05



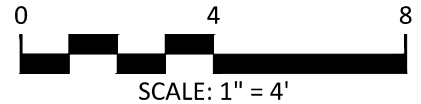
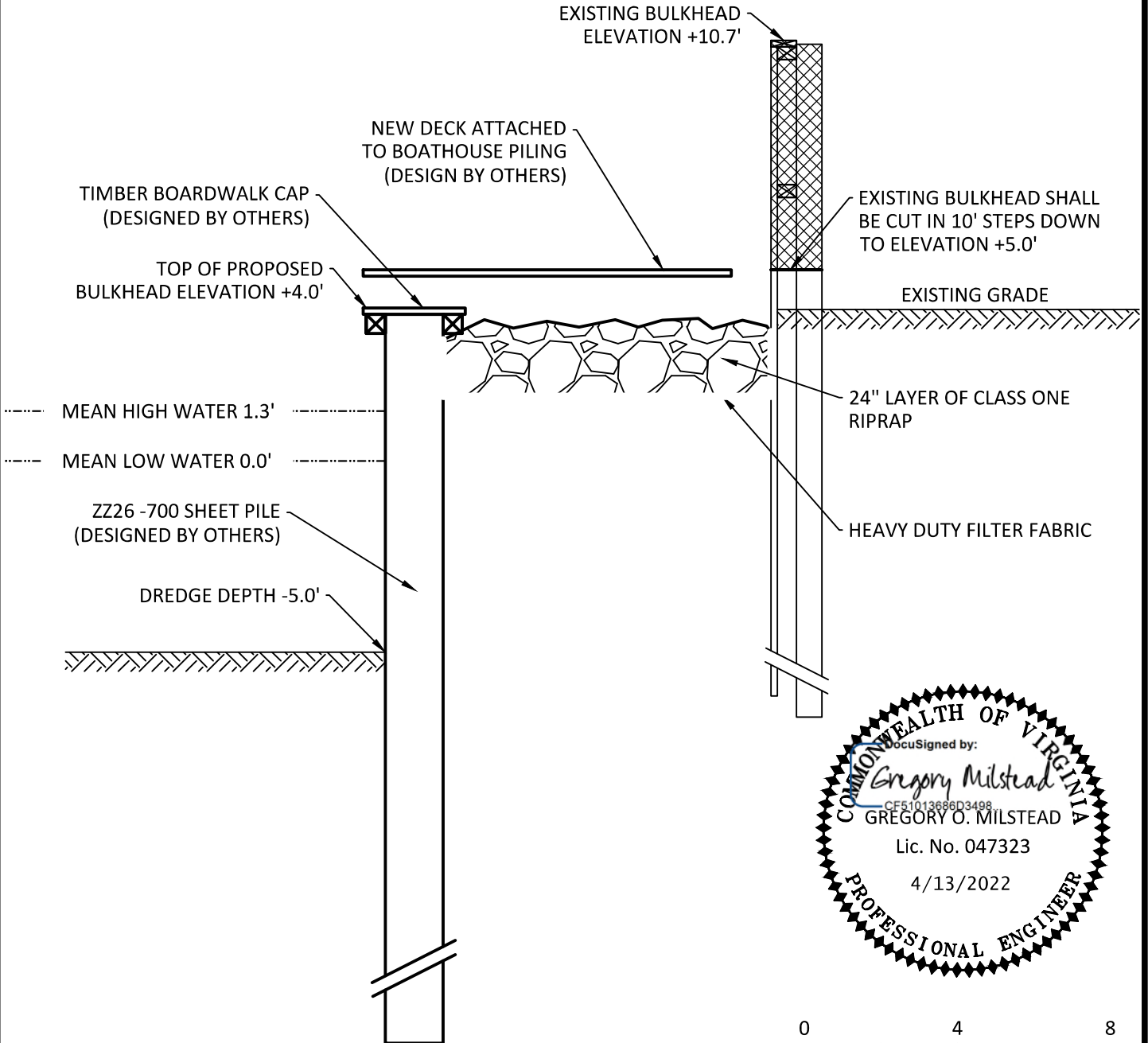
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PURPOSE: EROSION CONTROL,
 BOATING ACCESS
 DATUM: MLW = 0.00'
 APOS:
 1. BABARA J. LARAR
 2. ROBERT A. BROERMAN ET. AL.

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, SUITE 323
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 P.O BOX 6663 VIRGINIA BEACH, VA 23456
 PHONE: (757) 575-3715

PROPOSED: BULKHEAD, BOATHOUSE,
 LIFT, FLOATING PIER
 IN: DEY COVE
 AT: 2393 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 HAVERSHAM CLOSE LLC.
 SHEET: 5 OF 11
 DATE: APRIL 6, 2022

PROPOSED BULKHEAD CROSS SECTION C-C



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PURPOSE: EROSION CONTROL,
BOATING ACCESS
DATUM: MLW = 0.00'
APOS:
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2. ROBERT A. BROERMAN ET. AL.



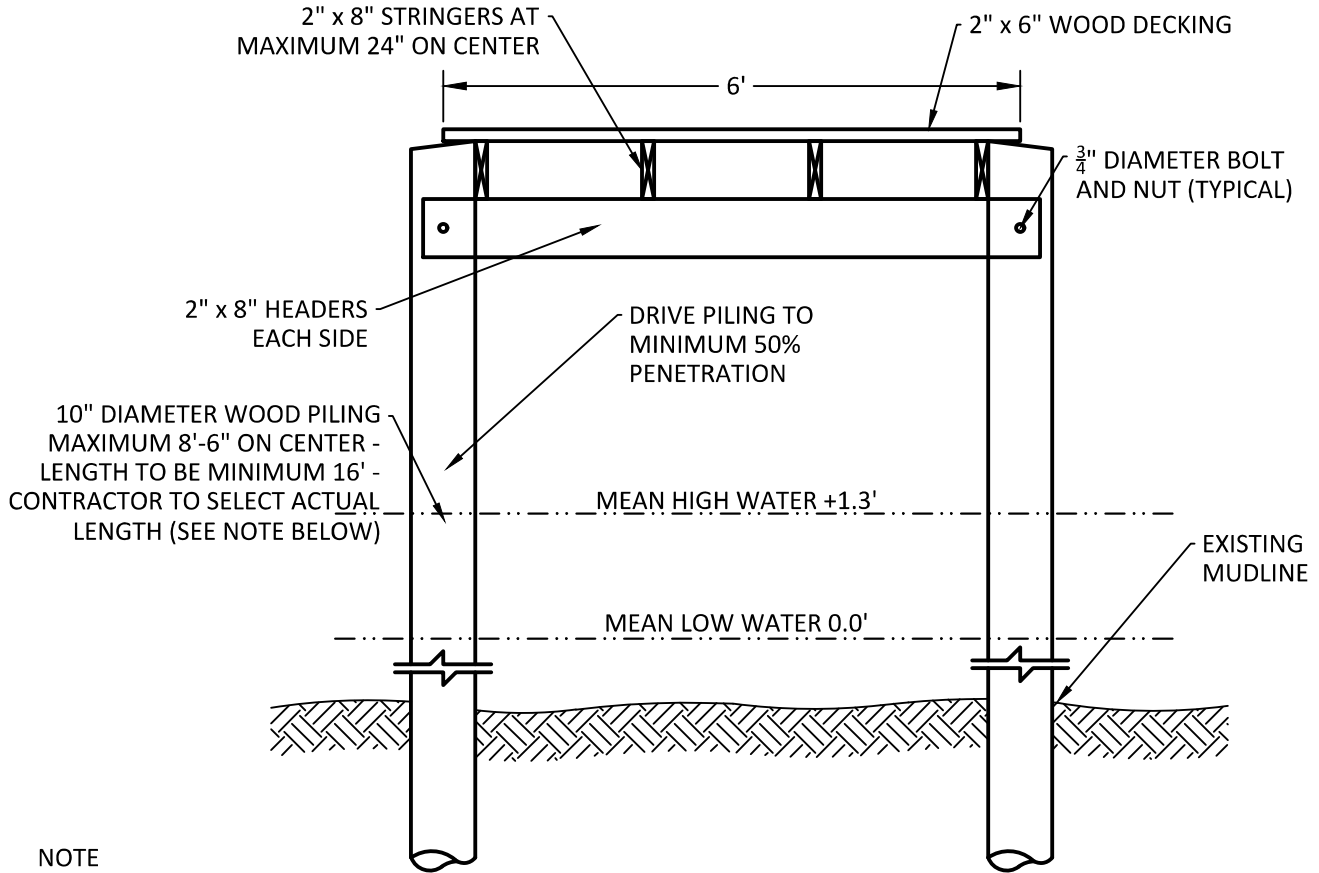
**WATERFRONT
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2589 QUALITY COURT, SUITE 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, MOBILE: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
CHESAPEAKE BAY SITE SOLUTIONS, INC.
P.O BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

PROPOSED: BULKHEAD, BOATHOUSE,
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IN: DEY COVE
AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 6 OF 11
DATE: APRIL 6, 2022

PROPOSED RAMP ACCESS CROSS SECTION



NOTE

1. ALL TIMBER MATERIAL FOR USE IN THIS MARINE ENVIRONMENT SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE AWP
2. ALL HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153.
3. DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS.
4. NO HYDROGRAPHIC SURVEYS OR SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS (FOR PILE LENGTH DETERMINATION).
5. PIER LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION.
6. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE MINIMUM PILE LENGTHS SHOWN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY DEPTH OF WATER AND SUBSURFACE CONDITIONS AND TO SELECT PILE LENGTHS ADEQUATE FOR THE STRUCTURE.

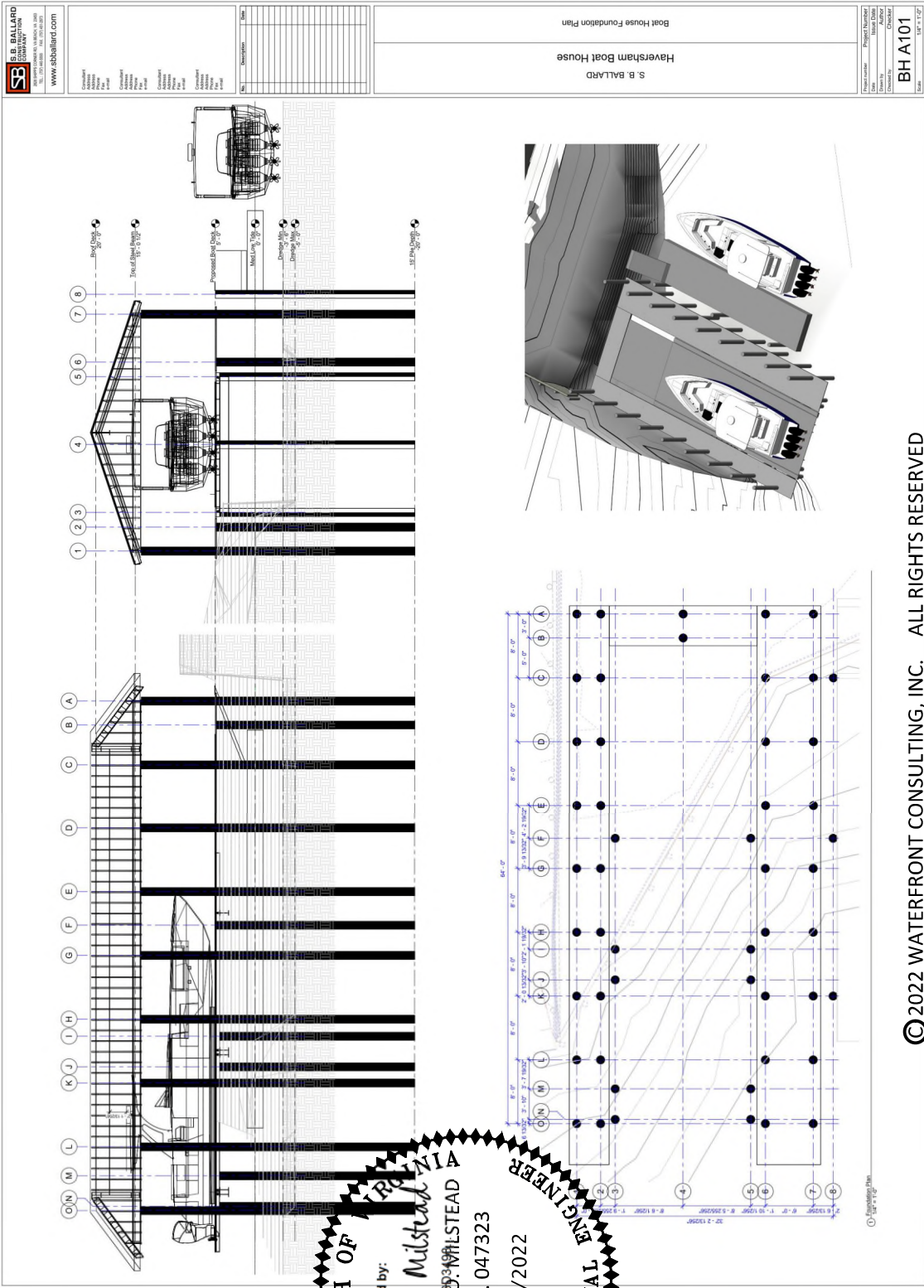


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PURPOSE: EROSION CONTROL,
BOATING ACCESS
DATUM: MLW = 0.00'
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IN: DEY COVE
AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 7 OF 11
DATE: APRIL 6, 2022



COMMONWEALTH OF VIRGINIA
 Registered Professional Engineer
 Signed by: Gregory Milstead
 GREGORY MILSTEAD
 Lic. No. 047323
 4/13/2022

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PURPOSE: EROSION CONTROL,
 BOATING ACCESS
 DATUM: MLW = 0.00'
 APOS:
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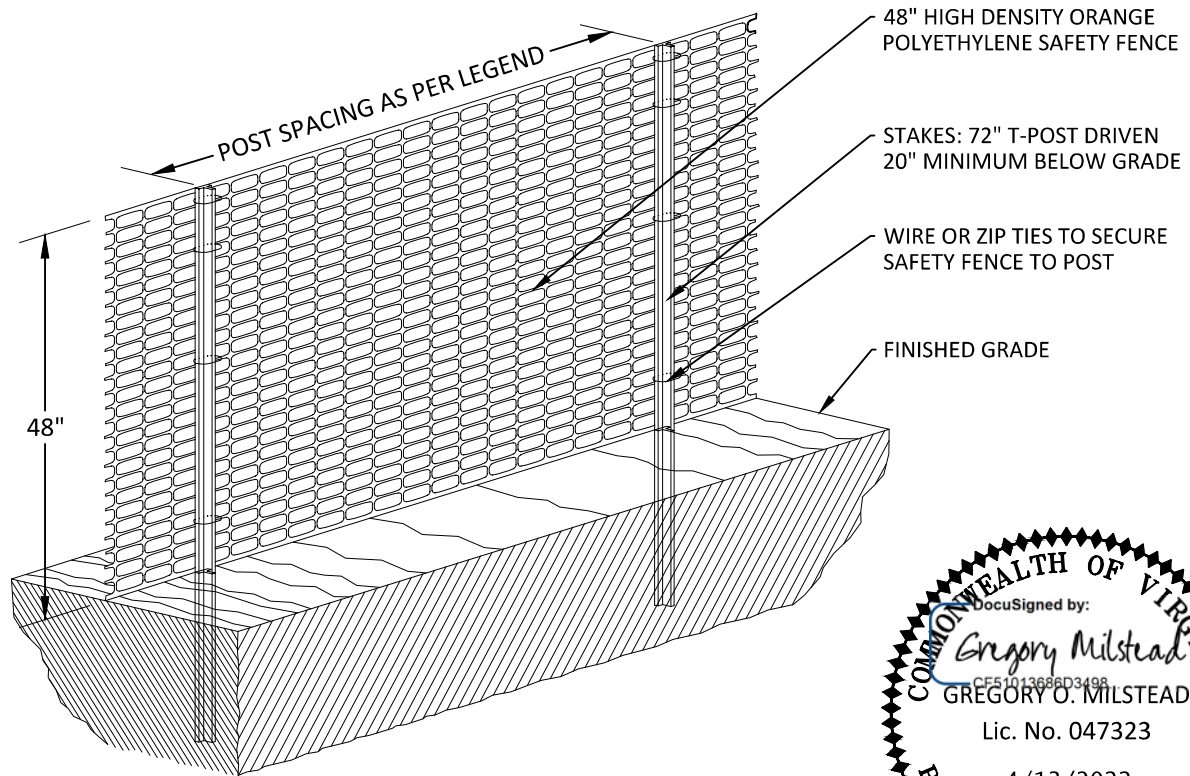
**WATERFRONT
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2589 QUALITY COURT, SUITE 323
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 AT: 2393 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 HAVERSHAM CLOSE LLC.
 SHEET: 8 OF 11
 DATE: APRIL 6, 2022

48" ORANGE SAFETY FENCE, 72" T-POSTS SENSITIVE AREA / TREE PROTECTION

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET ON CENTER
SAF11	48" ORANGE FENCE, 11 FEET ON CENTER
SAF10	48" ORANGE FENCE, 10 FEET ON CENTER
SAF9	48" ORANGE FENCE, 9 FEET ON CENTER
SAF8	48" ORANGE FENCE, 8 FEET ON CENTER
SAF7	48" ORANGE FENCE, 7 FEET ON CENTER
SAF6	48" ORANGE FENCE, 6 FEET ON CENTER



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PURPOSE: EROSION CONTROL,
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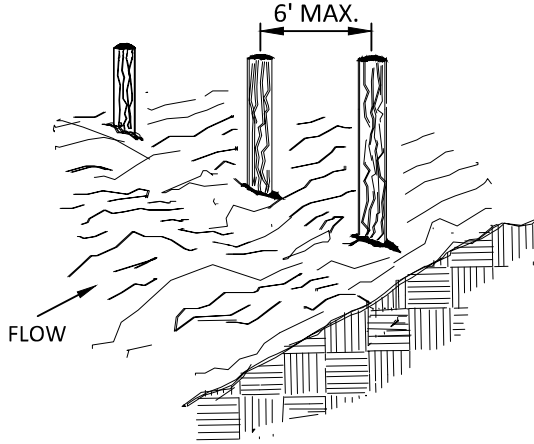
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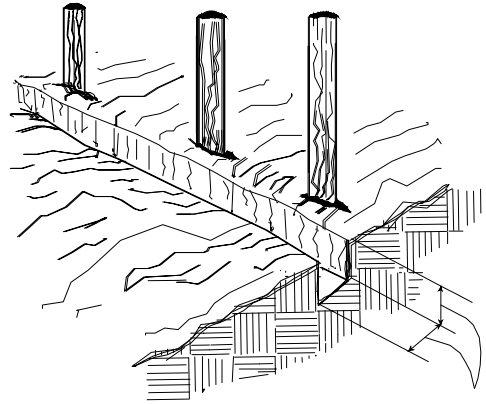
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AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 9 OF 11
DATE: APRIL 6, 2022

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

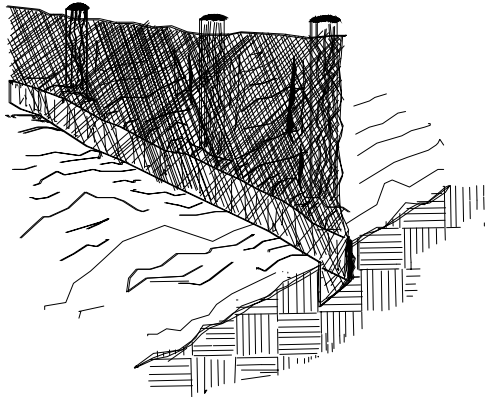
1. SET THE STAKES



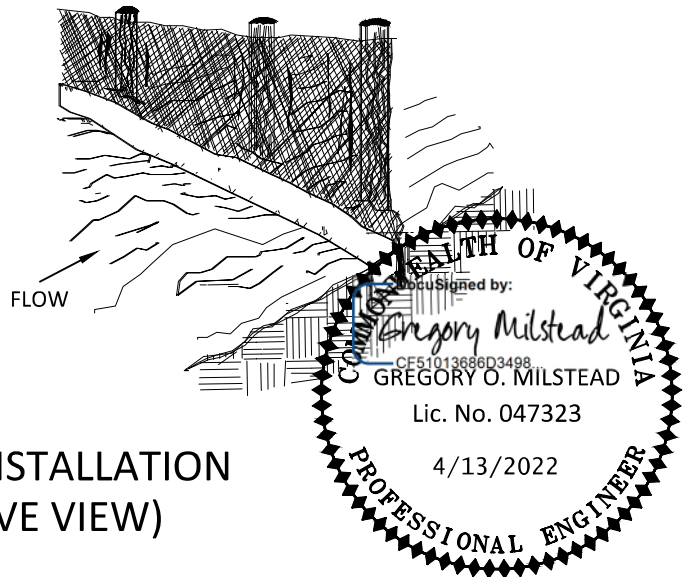
2. EXCAVATE A 4" x 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH



4. BACKFILL AND COMPACT THE EXCAVATED SOIL



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2



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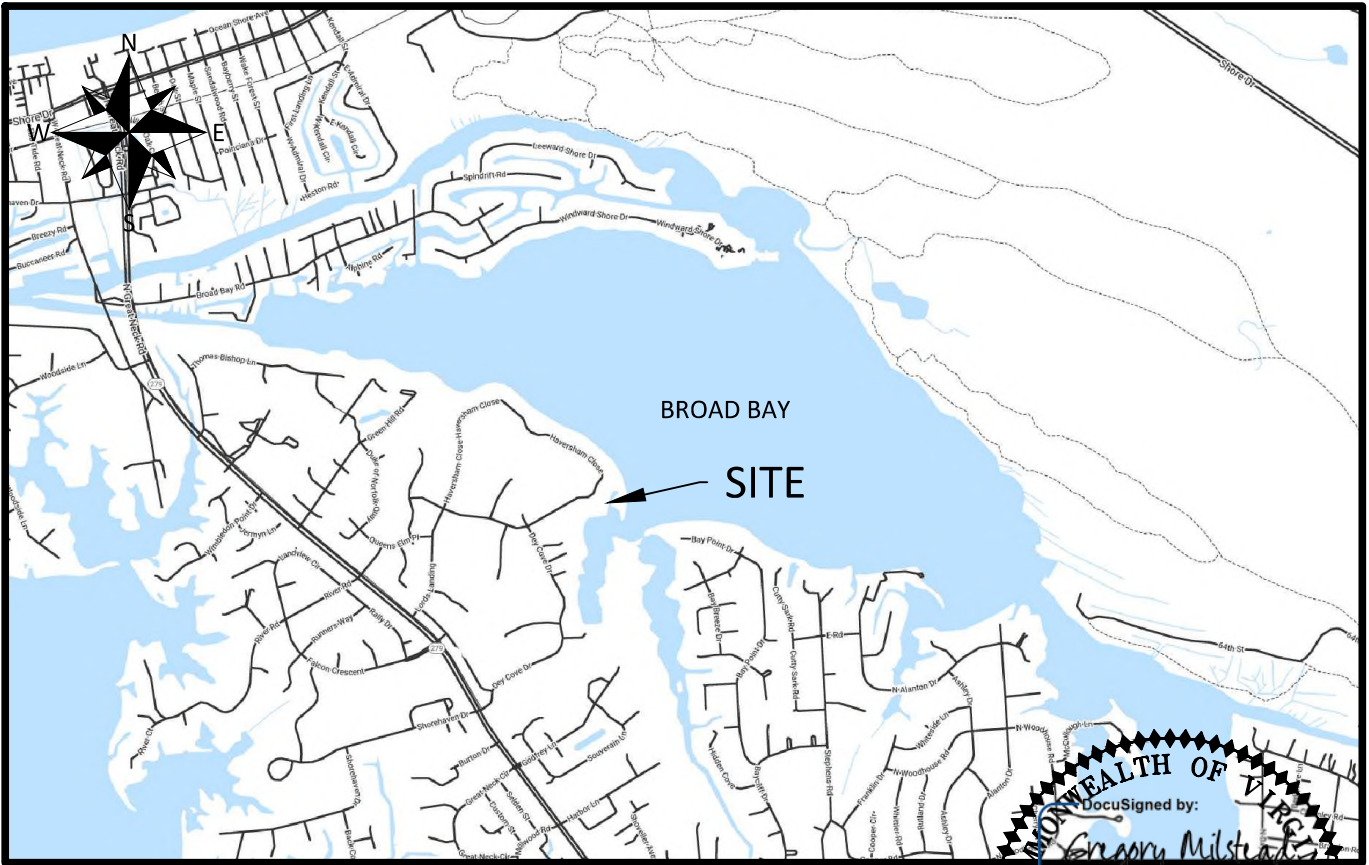
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AT: 2393 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454
APPLICATION BY:
HAVERSHAM CLOSE LLC.
SHEET: 10 OF 11
DATE: APRIL 6, 2022

SITE INFORMATION

LEGAL DESCRIPTION: LOT 61, BROAD BAY POINT GREENS PHASE 1
 REFERENCE: MAP BOOK 188, PAGE(S) 08, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA
 ZONING: R-30

SEQUENCE OF EVENTS

1. OBTAIN ALL NECESSARY PERMITS.
2. SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH COASTAL ZONE INSPECTOR.
3. MOBILIZE EQUIPMENT TO SITE, MARK ACCESS WAY WITH SAFETY FENCE.
4. CONSTRUCT IMPROVEMENTS.
5. DEMOBILIZE EQUIPMENT FROM SITE WHILE ADDING TOP SOIL AND SEED TO ALL AREAS DENUDED / DAMAGED BY CONSTRUCTION OPERATIONS.



VICINITY MAP

SCALE: 1" = 3,000'



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 AT: 2393 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 APPLICATION BY:
 HAVERSHAM CLOSE LLC.
 SHEET: 11 OF 11
 DATE: APRIL 6, 2022

Broad Bay Point Greens Civic League

September 17, 2021

Mr. Stephen B. Ballard
2393 Haversham Close
Virginia Beach, Virginia 23454

Re: Pool and Boat House

Dear Steve:

Thank you for your submission of information of the architectural and building elements included in your plans for improvements to your property.

On behalf of the Architectural Review Committee we are pleased to inform you that the Civic League, in accordance with the Guidelines, has reviewed and approved your plans and specifications for the above referenced improvements for the property commonly known as 2393 Haversham Close, Broad Bay Point Greens, based on the information submitted.

It was a very impressive and courteous approach to include aspects of your installation in extending consideration to neighboring residents.

Please ensure the project falls within all requirements of the City of Virginia Beach.

Please proceed and enjoy your upgrades.

Sincerely,

Broad Bay Point Greens Civic League, Inc.
Architectural Review Committee

By: Norm Guimond, President
Broad Bay Point Greens Civic League, Inc.
1817 Haversham Key
Virginia Beach, Virginia 23454

January 28th 2022

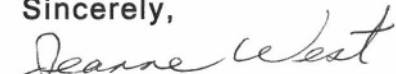
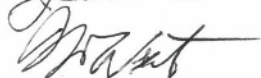
**Letter of Support for Improvement
Projects at 2393 Haversham Close**

To the Chair of Zoning Appeals and the Chesapeake Bay Board,

We have reviewed Mr. Ballard's plans for a new bulkhead, boat house, boat lift, and pool at 2393 Haversham Close.

We approve of the enhancement projects and look forward to the projects' final completion.

Sincerely,

Jeanne & Maynard West

2385 Haversham Close

January 28th 2022

**Letter of Support for Improvement
Projects at 2393 Haversham Close**

To the Chair of Zoning Appeals and the Chesapeake Bay Board,

We have reviewed Mr. Ballard's plans for a new bulkhead, boat house, boat lift, and pool at 2393 Haversham Close.

We approve of the enhancement projects and look forward to the projects' final completion.

Sincerely,



Barbara & Allen Larar

2389 Haversham Close

January 28th 2022

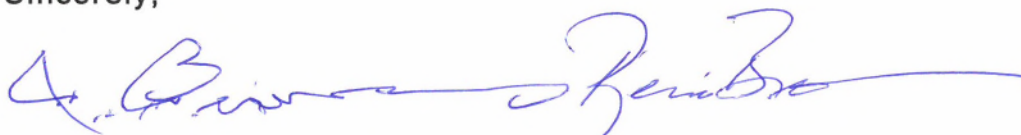
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Sincerely,



Renee & Robert Broermann

2397 Haversham Close

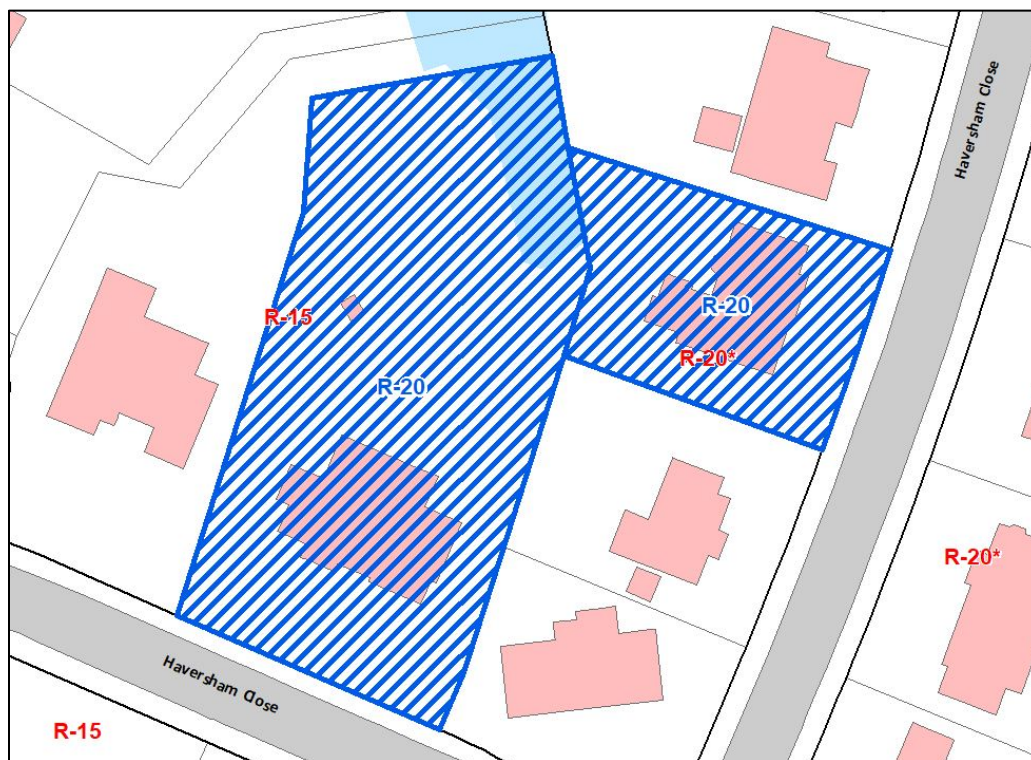
6. 2022-WTRA-00080

**Patrick M. Cummings; Scott M. Sachs & Jillian Reynolds
[Applicants & Owners]**

To dredge and relocate bulkhead involving wetlands

2209 and 2484 Haversham Close
(GPINs 1499-94-1728 and 1499-84-9776)

Waterway – Man-made canal to Broad Bay
Subdivision – Broad Bay Point Greens Waterfront
Council District - District 8



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name PATRICK CUMMINGS

Does the applicant have a representative? Yes No

- If **yes**, list the name of the representative.

DAVID KLEDZIK OF MARINE ENGINEERING LLC

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the company and individual providing the service.

Colin Marine

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm and individual providing the service.

MARINE ENGINEERING LLC DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Patrick M Cummings

Applicant Signature

Patrick M Cummings

Print Name and Title

11/12/21

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name SCOTT M SACHS ✓ Jillian Reynolds

Does the applicant have a representative? **Yes** **No**

- If yes, list the name of the representative.

DAVID KLEDZIK OF MARINE ENGINEERING LLC

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

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Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If yes, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If yes, identify the financial institutions providing the service.

Chase

2. Does the applicant have a real estate broker/agent/realtor for current and anticipated future sales of the subject property?

Yes No

- If yes, identify the company and individual providing the service.
-

3. Does the applicant have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

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Marine Engineering LLC David Kledzik

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- If **yes**, identify the firm and individual providing the service.

Applicant Signature

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<p></p> <p>Applicant Signature <u>Scott Sachs</u></p> <p>Print Name and Title <u>3/30/22</u></p> <p>Date</p>	<p></p> <p><u>Jillian Reynolds</u></p> <p><u>03/30/2022</u></p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------

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- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date		Signature	
				Print Name	

FOR AGENCY USE ONLY

	Notes:
JPA# 22-0771	

APPLICANTS

PLEASE PRINT OR TYPE ALL ANSWERS. If a question does not apply to your project, please print N/A (not applicable) in the space provided. **If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.**

Check all that apply

<input type="checkbox"/> Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <input type="checkbox"/> RP # 05 <i>(For NWP's & RP 05 ONLY - No DEQ-VWP permit writer will be assigned)</i>	<input type="checkbox"/> SPGP	<input type="checkbox"/> DEQ Reapplication Existing permit number: _____	<input type="checkbox"/> Receiving federal funds Agency providing funding: _____
<input type="checkbox"/> Regional Permit 17 Checklist (RP-17)			

PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
VB	dredge	08-222 16-00092 2021-WTRA-00082		
VMRC COE	dredge	08-2123 16-0838 96-0029-08 08-3318 21-0656		

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) PATRICK M CUMMINGS				Agent (if applicable) Marine Engineering LLC			
Mailing address 2209 HAVERSHAM CLOSE				Mailing address PO Box 5965			
City Virginia Beach		State VA	ZIP Code 23454	City Virginia Beach		State VA	ZIP Code 23471
Phone number w/area code		Fax		Phone number w/area code		Fax	
Mobile 757 553-0687		E-mail cummings.patrick@icloud.com		Mobile 757 477-4787		E-mail David@MarineEngineeringLLC.com	
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)			

Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: cummings.patrick@icloud.com

FOR AGENCY USE ONLY	
	Notes:
JPA#	

APPLICANTS

PLEASE PRINT OR TYPE ALL ANSWERS. If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.

Check all that apply			
<input type="checkbox"/> Pre-Construction Notification (PCN)	<input type="checkbox"/> SPGP	<input type="checkbox"/> DEQ Reapplication Existing permit number: _____	<input type="checkbox"/> Receiving federal funds Agency providing funding: _____
<input type="checkbox"/> NWP # _____ <input type="checkbox"/> RP # 05 (For NWPs & RP 05 ONLY - No DEQ-VWP permit writer will be assigned)			
<input type="checkbox"/> Regional Permit 17 Checklist (RP-17)			

PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
VB	DREDGE	08-222 16-00092 2021-WTRA-00082		
VMRC COE	DREDGE	08-2123 16-0838 96-0029-08 08-3318 21-0656		

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) SCOTT M SACHS CO-				Agent (if applicable) MARINE ENGINEERING LLC		
Mailing address 2484 HAVERSHAM CL				Mailing address PO BOX 5965		
City VIRGINIA BEACH		State VA	ZIP Code 23454	City VIRGINIA BEACH		State VA
Phone number w/area code		Fax		Phone number w/area code		Fax
Mobile		E-mail		Mobile		E-mail
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)		

Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: _____

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)

Property owner(s) legal name, if different from applicant N/A			Contractor, if known N/A		
Mailing address			Mailing address		
City	State	ZIP code	City	State	ZIP code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

2. PROJECT LOCATION INFORMATION

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

Street Address (911 address if available) 2209 HAVERSHAM CLOSE	City/County/ZIP Code Virginia Beach 23454
Subdivision BROAD BAY POINT GREENS	Lot/Block/Parcel # LOT #18
Name of water body(ies) within project boundaries and drainage area (acres or square miles). MAN MADE CANAL DRAINING 0.24 SQUARE MILES	
Tributary(ies) to: BROAD BAY Basin: LYNNHAVEN Sub-basin: BROAD BAY (Example: Basin: <i>James River</i> Sub-basin: <i>Middle James River</i>)	
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____	
Project type (check one) <input checked="" type="checkbox"/> Single user (private, non-commercial, residential) <input type="checkbox"/> Multi-user (community, commercial, industrial, government) <input type="checkbox"/> Surface water withdrawal	
Latitude and longitude at center of project site (decimal degrees): 36.8956 / -76.0508 (Example: 37.33164/-77.68200)	
USGS topographic map name: N/A	
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See http://cfpub.epa.gov/surf/locate/index.cfm): 02080108 If known, indicate the 10-digit and 12-digit USGS HUCs (see http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm): _____	
Name of your project (Example: <i>Water Creek driveway crossing</i>) HAVERSHAM 2209	
Is there an access road to the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input checked="" type="checkbox"/> public <input type="checkbox"/> private <input checked="" type="checkbox"/> improved <input type="checkbox"/> unimproved	
Total size of the project area (in acres): 789 SF	

2. PROJECT LOCATION INFORMATION (Continued)

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

Beginning at intersection of Great Neck Rd & Lords Landing, proceed northward on Lords Landing approximately 1775 feet until it becomes Haversham Close then continue straight for approximately 300 feet to arrive at 2209 Haversham Close.

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)? Yes No

If so, name those localities:

3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in stream flows, include the water supply issues that form the basis of the proposed project.

Dredge private access driveway between community maintained channel and existing bulkhead to a depth of 4' at MLW. Remove existing bulkhead and excavate 14' landward to depth of 3' at MLW to create mooring basin. Replace bulkhead with 14' retreat and install boatlift in mooring basin.

Wetlands and 2x buffer impacts tabulated. No wetland vegetation present. Canal is man made. Wetlands are accumulated organic debris at canal head augmented by stormwater outfall. Living shore considered though space in canal unsuitable for natural shore features.

No trees removed, no clearing or grading.

Date of proposed commencement of work (MM/DD/YYYY)
5/1/2022

Date of proposed completion of work (MM/DD/YYYY)
6/30/2022

Are you submitting this application at the direction of any state, local, or federal agency? Yes No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?
 Yes No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property? Yes No
(If yes, please explain)

4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ 60,000

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ N/A

5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line. Per Army Regulation (AR 25-51) outgoing correspondence must be addressed to a person or business.

Failure to provide this information may result in a delay in the processing of your application by VMRC.

Property owner's name	Mailing address	City	State	ZIP code
CHARLES GUTHRIE	2492 HAVERSHAM CL	VIRGINIA BEACH	VA	23454
SCOTT SACHS	2484 HAVERSHAM CL	VIRGINIA BEACH	VA	23454
CHRISTOPHER HOOPER	2213 HAVERSHAM CL	VIRGINIA BEACH	VA	23454

Name of newspaper having general circulation in the area of the project: Virginian Pilot
Address and phone number (including area code) of newspaper: 150 W BRAMBLETON AVE NORFOLK, VA 23509 (757) 222-5346

Have adjacent property owners been notified with forms in Appendix A? ___ Yes No (attach copies of distributed forms)

6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

7. HISTORIC RESOURCES INFORMATION

Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.

Are any historic properties located within or adjacent to the project site? ___ Yes ___ No Uncertain
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site? ___ Yes ___ No Uncertain
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district? ___ Yes ___ No Uncertain

If Yes, please indicate which district: _____

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	Dredge Driveway EX T PE SB NV				
Latitude / Longitude (in decimal degrees)	36.89188 -76.02914				
Wetland/waters impact area (square feet / acres)	238 SUBAQUEOUS 74 NV WETLAND				
Dune/beach impact area (square feet)	0				
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)	N/A				
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0				

8. WETLANDS/WATERS IMPACT INFORMATION (Continued)

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>	E1 UB- 2,3,4 E2 US- 2,3,4				
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)	N/A				
Contributing drainage area in acres or square miles (<i>VMRC cannot complete review without this information</i>)	0.2 SQ MILE				
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII https://law.lis.virginia.gov	ESTAURINE CLASS II				

For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.

For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS

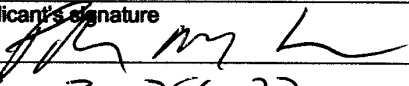
READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)

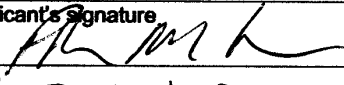
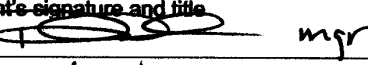
Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Legal name & title of Applicant PATRICK M CUMMINGS	Second applicant's legal name & title, if applicable
Applicant's signature 	Second applicant's signature
Date 3-28-22	Date
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT(S)'S BEHALF (IF APPLICABLE)

I (we), **PATRICK M CUMMINGS** (and) _____,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized **MARINE ENGINEERING LLC** (and) _____
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature 	Second applicant's signature, if applicable
Date 3-28-22	Date
Agent's signature and title  mgr	Second agent's signature and title, if applicable
Date 3/31/2022	Date

N/A

CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)

I (we), _____ (and) _____,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

have contracted _____ (and) _____
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated _____.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)

Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Legal name & title of Applicant SCOTT M SACHS CO-	Second applicant's legal name & title, if applicable <i>William Reynolds</i>
Applicant's signature <i>[Signature]</i>	Second applicant's signature <i>[Signature]</i>
Date 3/30/22	Date 03/30/2022
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

I (we), **SCOTT M SACHS** (and) *William Reynolds*,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized **MARINE ENGINEERING LLC** (and) _____
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature <i>[Signature]</i>	Second applicant's signature, if applicable <i>[Signature]</i>
Date 3/30/22	Date 03/30/2022
Agent's signature and title <i>[Signature] mgr</i>	Second agent's signature and title, if applicable
Date 3/31/2022	Date

N/A

I (we), _____ (and) _____,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

have contracted _____ (and) _____,
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated _____.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	



END OF GENERAL INFORMATION

The following sections are activity-specific. Fill out only the sections that apply to your particular project.

10. PRIVATE PIERS, MARGINAL WHARVES, AND UNCOVERED BOAT LIFTS

Regional Permit 17 (RP-17), authorizes the installation and/or construction of open-pile piers, mooring structures/devices, fender piles, covered boathouses/boatslips, boatlifts, osprey pilings/platforms, accessory pier structures, and certain devices associated with shellfish gardening, for private use, subject to strict compliance with all conditions and limitations further set out in the RP-17 enclosure located at http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/. In addition to the information required in this JPA, prospective permittees seeking authorization under RP-17 must complete and submit the 'Regional Permit 17 Checklist' with their JPA. A copy of the 'Regional Permit 17 Checklist' is found in Appendix B of this application package. If the prospective permittee answers "yes" (or "N/A", where applicable) to all of the questions on the 'Regional Permit 17 Checklist', the permittee is in compliance with RP-17 and will not receive any other written authorization from the Corps but may not proceed with construction until they have obtained all necessary state and local permits. Note: If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work.

If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work. In those circumstances, the following information must be included in the application and/or on the drawings in order for the application to be considered complete:

- 1. The applicant MUST provide written justification/need for the encroachment if the proposed structure(s) will extend greater than one-fourth of the distance across the waterway measured from either mean high water to mean high water (including all channelward wetlands) or ordinary high water to ordinary high water (including all channelward wetlands). The measurement should be based on the narrowest distance across the waterway regardless of the orientation of the proposed structure(s).
2. The applicant MUST provide written justification/need if the proposed structure(s) is greater than five (5) feet wide or there will be less than four (4) feet elevation between the decking and the vegetated wetlands substrate.
3. The Corps MAY require depth soundings across the waterway at increments designated by the Corps project manager. Inclusion of depth sounding data in the original JPA submittal is highly recommended in order to expedite permit evaluation. Depth soundings are typically taken at 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide. Please include the date and time the measurements were taken, whether the data was collected at mean low water (MLW) or MHW, and how the soundings were taken (e.g., tape, range finder, etc.).

Number of vessels to be moored at the pier or wharf: 1
Do you have an existing pier on your property? Yes x No
If yes, will it be removed? Yes No
Is your lot platted to the mean low water shoreline? x Yes No

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

N/A

11. BOATHOUSES, GAZEBOS, COVERED BOAT LIFTS, AND OTHER ROOFED STRUCTURES OVER WATERWAYS

Number of vessels to be moored at the proposed structure:
Will the sides of the structure be enclosed? Yes No
Area covered by the roof structure square feet

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

15. TIDAL/NONTIDAL SHORELINE STABILIZATION STRUCTURES (INCLUDING BULKHEADS AND ASSOCIATED BACKFILL, RIPRAP REVETMENTS AND ASSOCIATED BACKFILL, MARSH TOE STABILIZATION, GROINS, JETTIES, AND BREAKWATERS, ETC.) Information on non structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.

Is any portion of the project maintenance or replacement of an existing and currently serviceable structure? Yes No
 If yes, give length of existing structure: 38 linear feet

If your maintenance project entails replacement of a bulkhead, is it possible to construct the replacement bulkhead within 2 feet channelward of the existing bulkhead? Yes No If not, please explain below:

Proposed bulkhead retreated 14' landward to create mooring basin

Length of proposed structure, including returns: 44 - 61 linear feet

Average channelward encroachment of the structure from Mean high water/ordinary high water mark: <u>0</u> feet	Maximum channelward encroachment of the structure from Mean high water/ordinary high water mark: <u>0</u> feet
Mean low water: <u>0</u> feet	Mean low water: <u>0</u> feet
Maximum channelward encroachment from the back edge of the Dune <u>N/A</u> feet	Maximum channelward encroachment from the back edge of the Beach <u>N/A</u> feet

Describe the type of construction including all materials to be used (including all fittings). Will filter cloth be used? Yes No

Timber sheet / pile / wale and steel fasteners

What is the source of the backfill material? upland

What is the composition of the backfill material? clean sand

N/A If rock is to be used, give the average volume of material to be used for every linear foot of construction: _____ cubic yards
 What is the volume of material to be placed below the plane of ordinary high water mark/mean high water? _____ cubic yards

For projects involving stone:
 Average weight of core material (bottom layers): _____ pounds per stone (Class _____)
 Average weight of armor material (top layers): _____ pounds per stone (Class _____)

Are there similar shoreline stabilization structures in the vicinity of your project site? Yes No
 If so, describe the type(s) and location(s) of the structure(s):

If you are building a groin or jetty, will the channelward end of the structure be marked to show a hazard to navigation? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Has your project been reviewed by the Shoreline Erosion Advisory Service (SEAS)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please attach a copy of their comments.
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

N/A **16. BEACH NOURISHMENT**

Source of material and composition (percentage sand, silt, clay): _____	Volume of material: _____ cubic yards
Area to be covered _____ square feet channelward of mean low water _____ square feet channelward of mean high water _____ square feet landward of mean low water _____ square feet channelward of mean high water	
Mode of transportation of material to the project site (truck, pipeline, etc.):	

16. BEACH NOURISHMENT (Continued)

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

N/A

17. DREDGING, MINING, AND EXCAVATING

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands							0	0
Non-vegetated wetlands							13	74
Subaqueous land							33	238
Totals							46	312

Is this a one-time dredging event? ___ Yes ___ No If "no", how many dredging cycles are anticipated: _____
 (___ initial cycle in cu. yds.) (___ subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

10% sand 30% silt 60% organic

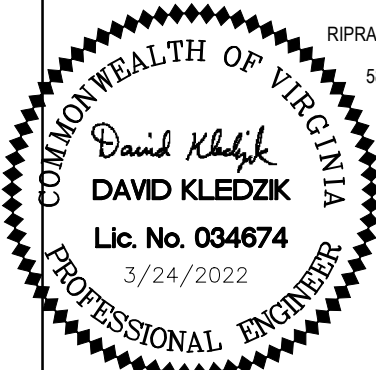
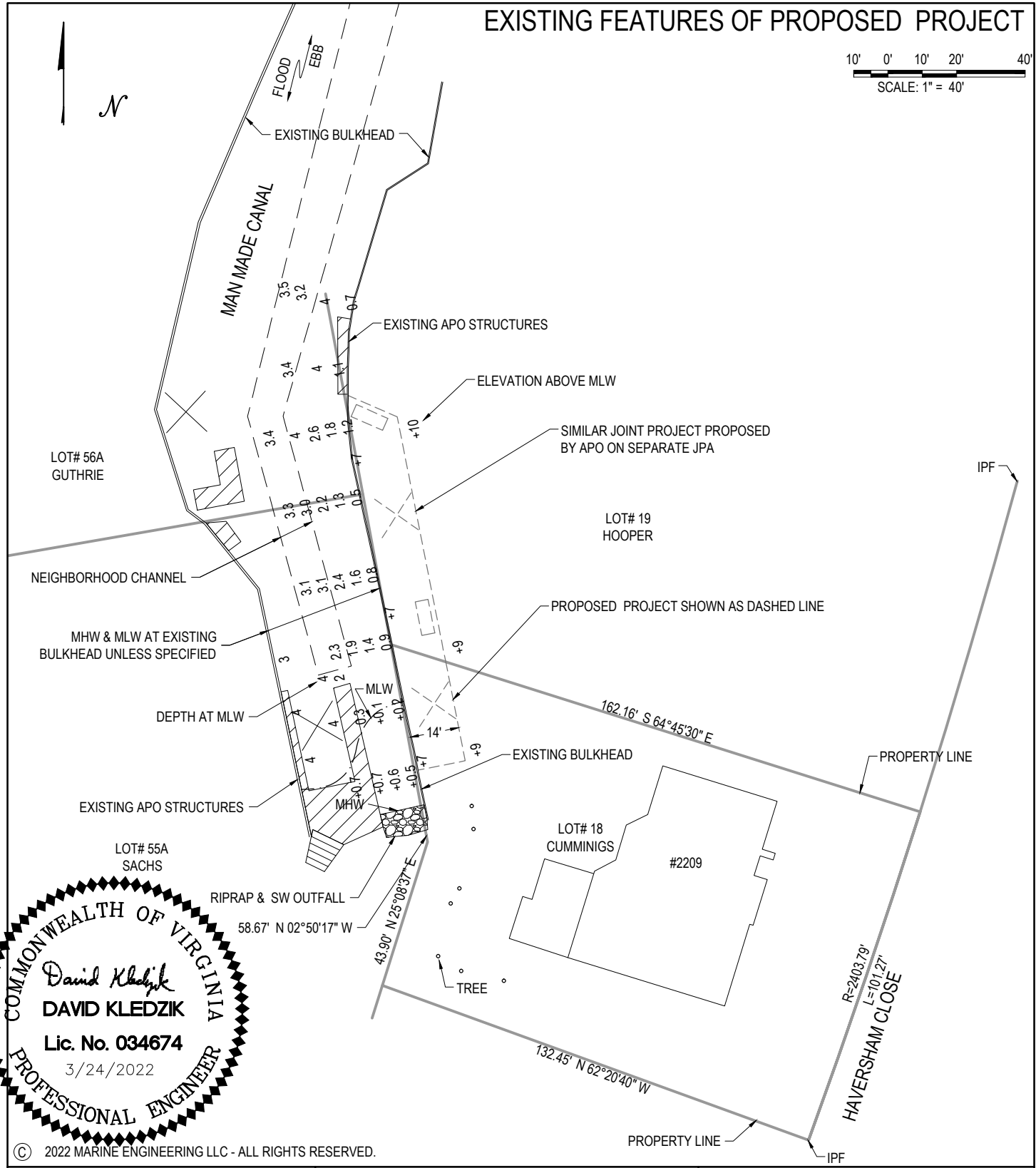
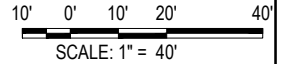
Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

All dredge materials will be removed by a licensed marine contractor, loaded into barge containers and transported To the contractor's approved site to be offloaded onto trucks then hauled to the paxton disposal facility or other approved location.

Will the dredged material be used for any commercial purpose or beneficial use? ___ Yes No
 If yes, please explain:

If this is a maintenance dredging project, what was the date that the dredging was last performed? 1996
 Permit number of original permit: 96-0029-08 (It is important that you attach a copy of the original permit.)

EXISTING FEATURES OF PROPOSED PROJECT



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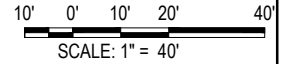
APPLICANT: PATRICK M CUMMINGS
 2209 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454
 ADJACENT PROPERTY OWNERS
 SHOWN ON SHEET ONE

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION
 CONTROL AND WATERCRAFT MOORING
 DATUM: MLW = 0.00'
 SHEET 1 OF 7
 DATE: OCTOBER 20, 2021
 REV-

JOB NUMBER 21092-2

SITE PLAN OF PROPOSED BULKHEAD & DREDGE PROJECT



SEQUENCE & TIME LINE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRE CONSTRUCTION MEETING
4. INSTALL CONSTRUCTION & ACCESSWAY LIMITS
5. INSTALL SILT FENCE SEAWARD OF SOIL DISTURBANCE
9. BEGIN TO DREDGE DRIVEWAY & BARGE SPOILS AWAY
9. BEGIN TO EXCAVATE NEW MOORING BASIN & BARGE SPOILS AWAY
10. BEGIN TO REMOVE EXISTING BULKHEAD FOR DISPOSAL IN LAWFUL MANNER
11. BEGIN TO CONSTRUCT NEW BULKHEAD WHARF & BOATLIFT
12. RESTORE LIMITS WITH IN-KIND REPLACEMENT
13. REMOVE E&S CONTROLS AFTER LAND DISTURBANCE HAS BEEN STABILIZED.

DREDGE TIEDOWN

	1	2
C'	117'	102'
D'	106'	96'
E	70'	72'
F	105'	87'

BULKHEAD & EXCAVATION TIEDOWN

	1	2
C	93'	70'
D	65'	57'
E	70'	72'
F	105'	87'

HEAVY CONSTRUCTION FROM WATERSIDE BARGE DIRECT EARTH ANCHORS TO AVOID TREE ROOTS

MAN MADE CANAL

EXISTING BULKHEAD

EXISTING APO STRUCTURES

GUTHRIE 56A

SIMILAR JOINT PROJECT PROPOSED BY APO ON SEPARATE JPA

LOT 19 HOOPER

ANY DISTURBED GROUND COVER OR VEGETATION (TURF, SHRUBS, OR TREES) SHALL BE REPLACED IN-KIND.

PROPOSED:

- DREDGE CHANNELWARD DRIVEWAY
- EXCAVATE LANDWARD TO CREATE MOORING BASIN
- REMOVE EXISTING BULKHEAD
- INSTALL NEW TIMBER BULKHEAD & BOATLIFT

CONSTRUCTION ACCESSWAY & LIMITS

NEIGHBORHOOD CHANNEL

MHW & MLW AT EXISTING BULKHEAD UNLESS SPECIFIED

EXISTING APO STRUCTURES

LOT 55A SACHS

RIPRAP & SW OUTFALL

58.67' N 02°50'17" W

43.90' N 25°08'37" E

SILT FENCE

2389 SF POTENTIAL IMPACT TO TURFGRASS & PLANTING BEDS WITHIN CONSTRUCTION LIMITS

LOT 18 CUMMINGS

#2209

PROTECT TREES & ROOTS FROM DAMAGE BY CONSTRUCTION EQUIPMENT EMPLOY TIMBER MATT AND THICK MULCH COVER ON GROUND UNDER CANOPY

SEQUENCE OF SPOIL TRANSFER & DISPOSAL

1. DREDGED & EXCAVATED SPOILS LOADED DIRECTLY INTO SMALL BARGE
2. TRANSFER SPOILS TO CONTRACTOR'S LARGE BARGE MOORED IN DEEPER WATER
3. MOVE LARGE BARGE TO CONTRACTOR'S APPROVED TRANSFER FACILITY FOR DISPOSAL IN LAWFUL MANNER.

132.45' N 62°20'40" W

PROPERTY LINE

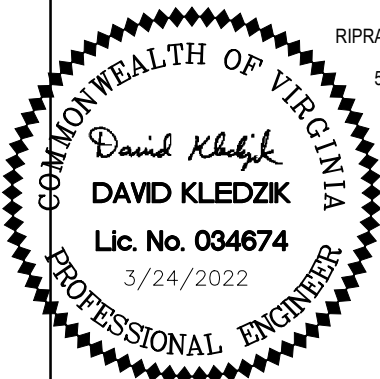
R=2403.79'

L=101.27'

HAVERSHAM CLOSE

PROPERTY LINE

IPF



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APPLICANT:
PATRICK M CUMMINGS
2209 HAVERSHAM CLOSE
VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL AND WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 2 OF 7
DATE: OCTOBER 20, 2021
REV-

PROPOSED BULKHEAD & DREDGE DETAILS

SCALE: 1" = 20'

DREDGING DATA		EXCAVATION DATA	
SF AREA	CY VOLUME	SF AREA	CY VOLUME
312	46	480	196

DREDGE IMPACT DATA SF AREA

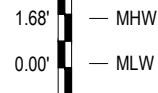
WETLAND IMPACT		BUFFER IMPACT	
NON-VEG	VEG	NON-VEG	VEG
74	-	192	-

AN IN-LIEU FEE FOR WETLAND COMPENSATION IS OFFERED AS NEEDED.
 74 X \$5.50 = \$407 186 X \$5.50 = \$1023

- SIMILAR PROJECT PROPOSED BY APO ON SEPARATE JPA
- RETREAT BULKHEAD
 - EXCAVATE MOORING BASIN
 - DREDGE DRIVEWAY

VERTICAL DATUM

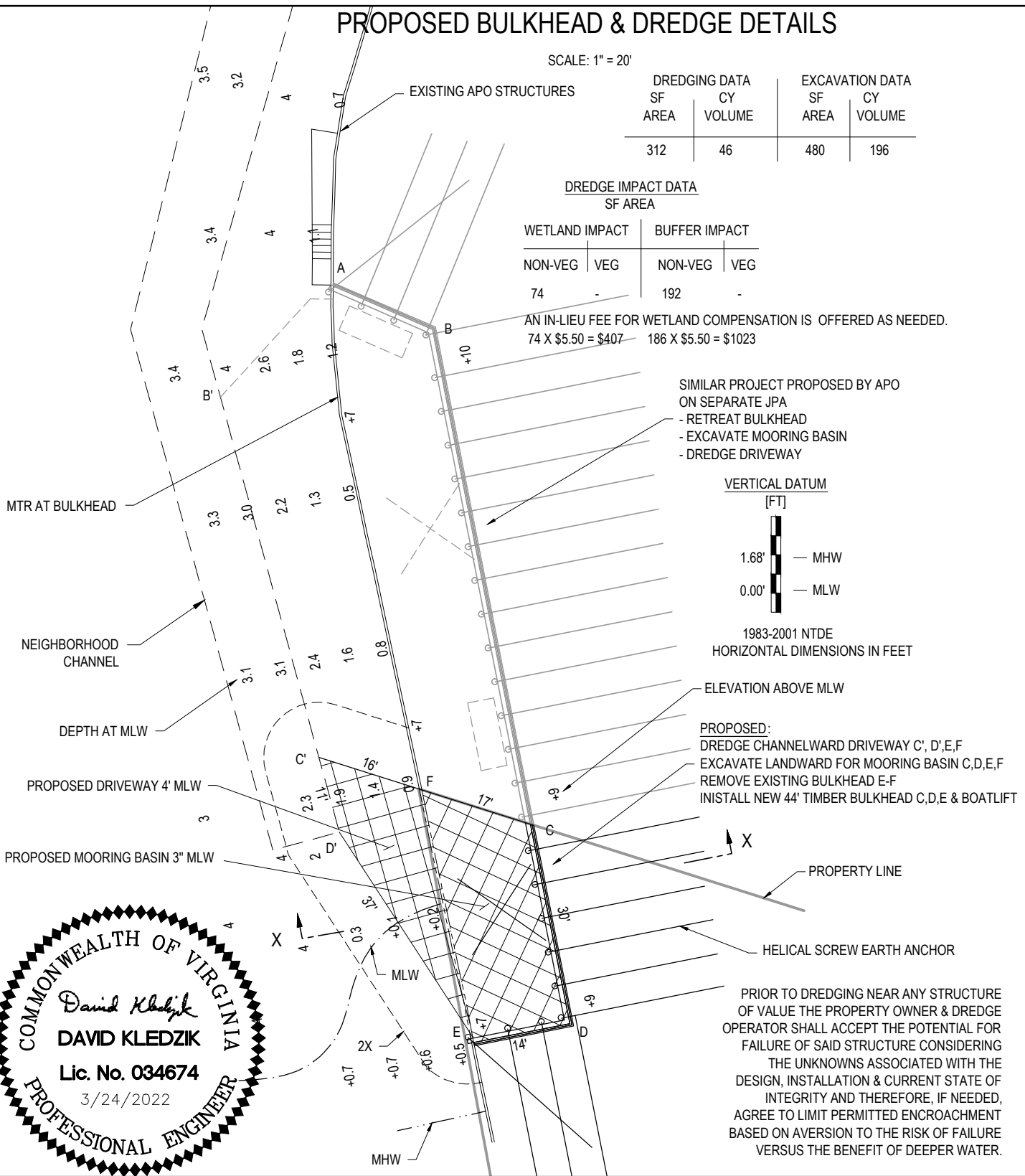
[FT]



1983-2001 NTDE
HORIZONTAL DIMENSIONS IN FEET

ELEVATION ABOVE MLW

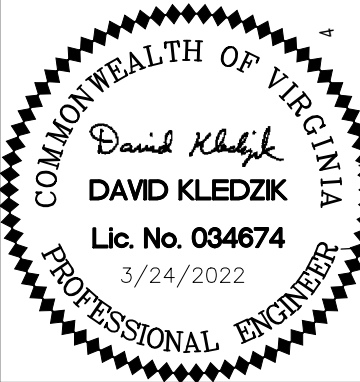
- PROPOSED:
- DREDGE CHANNELWARD DRIVEWAY C', D', E, F
 - EXCAVATE LANDWARD FOR MOORING BASIN C, D, E, F
 - REMOVE EXISTING BULKHEAD E-F
 - INSTALL NEW 44' TIMBER BULKHEAD C, D, E & BOATLIFT



PROPERTY LINE

HELICAL SCREW EARTH ANCHOR

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.



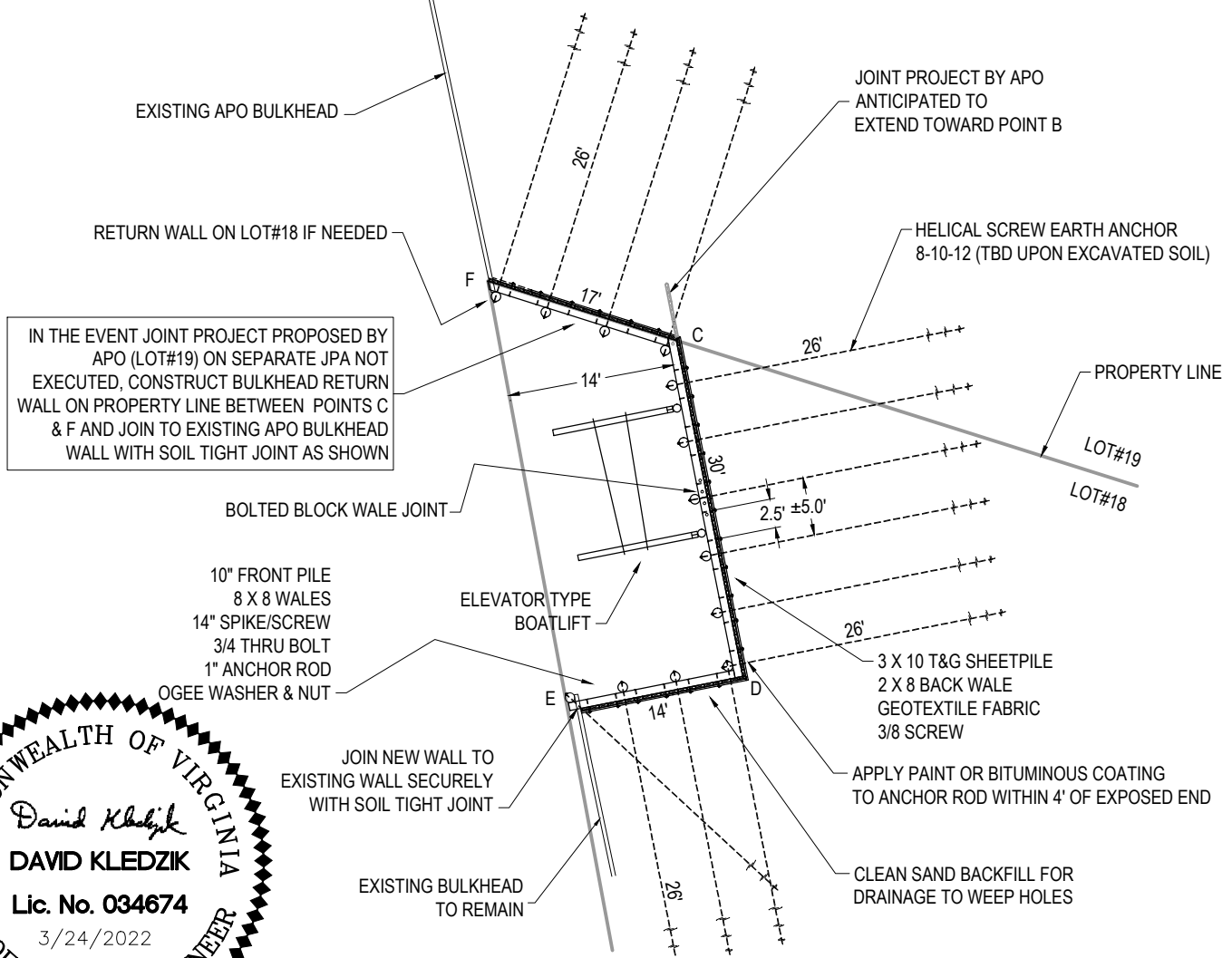
APPLICANT:
 PATRICK M CUMMINGS
 2209 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL AND WATERCRAFT MOORING
 DATUM: MLW = 0.00'
 SHEET 3 OF 7
 DATE: OCTOBER 20, 2021
 REV-

BULKHEAD DETAILS

SCALE: 1" = 15'



IN THE EVENT JOINT PROJECT PROPOSED BY APO (LOT#19) ON SEPARATE JPA NOT EXECUTED, CONSTRUCT BULKHEAD RETURN WALL ON PROPERTY LINE BETWEEN POINTS C & F AND JOIN TO EXISTING APO BULKHEAD WALL WITH SOIL TIGHT JOINT AS SHOWN



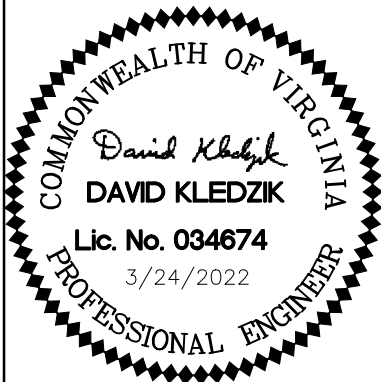
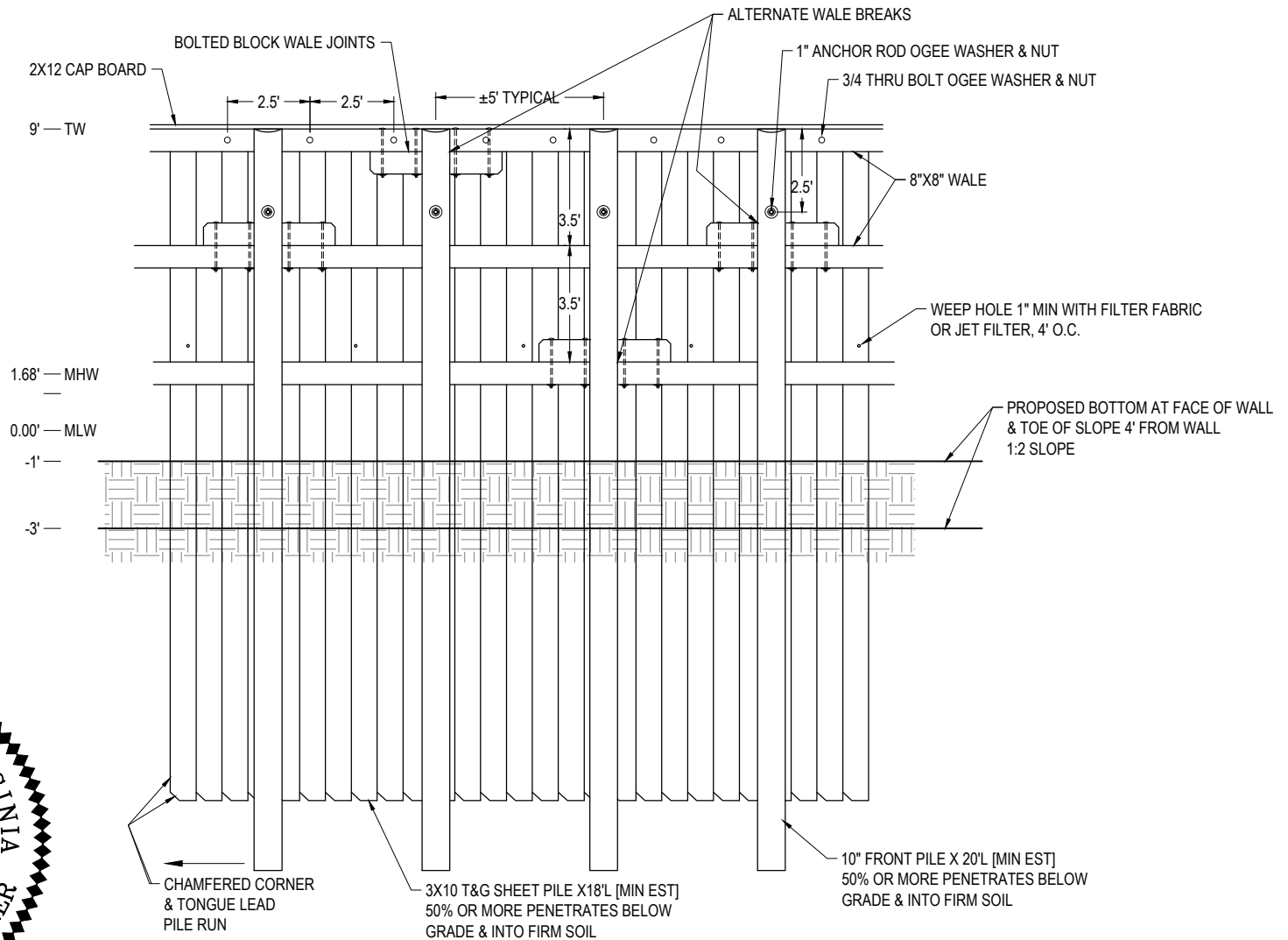
APPLICANT:
 PATRICK M CUMMINGS
 2209 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL AND WATERCRAFT MOORING
 DATUM: MLW = 0.00'
 SHEET 4 OF 7
 DATE: OCTOBER 20, 2021
 REV-

TYPICAL BULKHEAD DETAILS

SCALE: 1" = 5'



APPLICANT:
 PATRICK M CUMMINGS
 2209 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454

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 VIRGINIA BEACH, VA 23471
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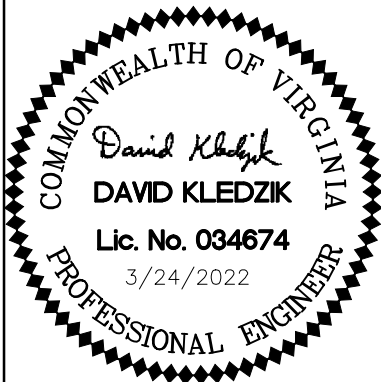
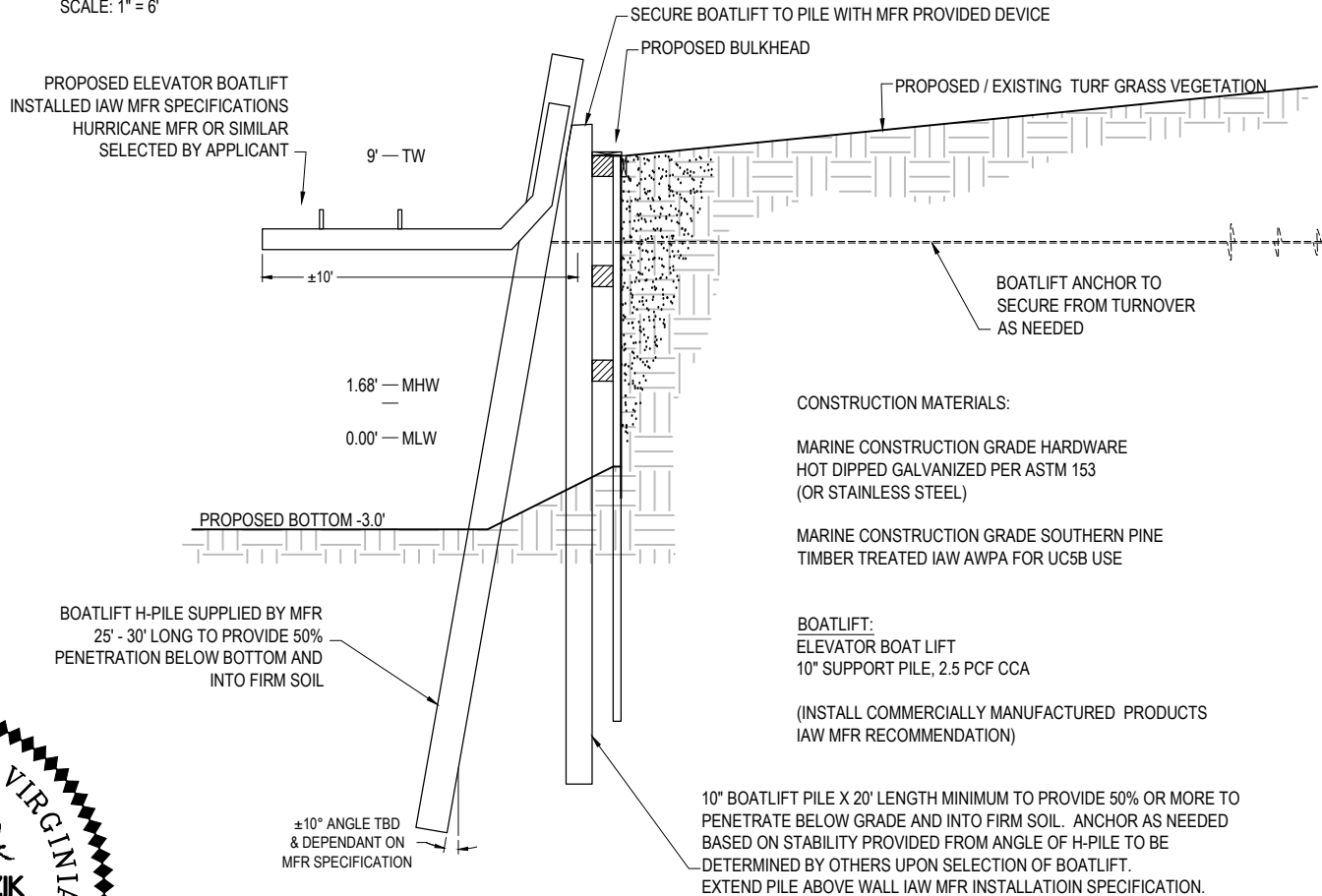
PROPOSED PROJECT FOR EROSION CONTROL AND WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 5 OF 7
 DATE: OCTOBER 20, 2021
 REV-

SECTION X - X PROPOSED BOATLIFT DETAILS

SCALE: 1" = 6'



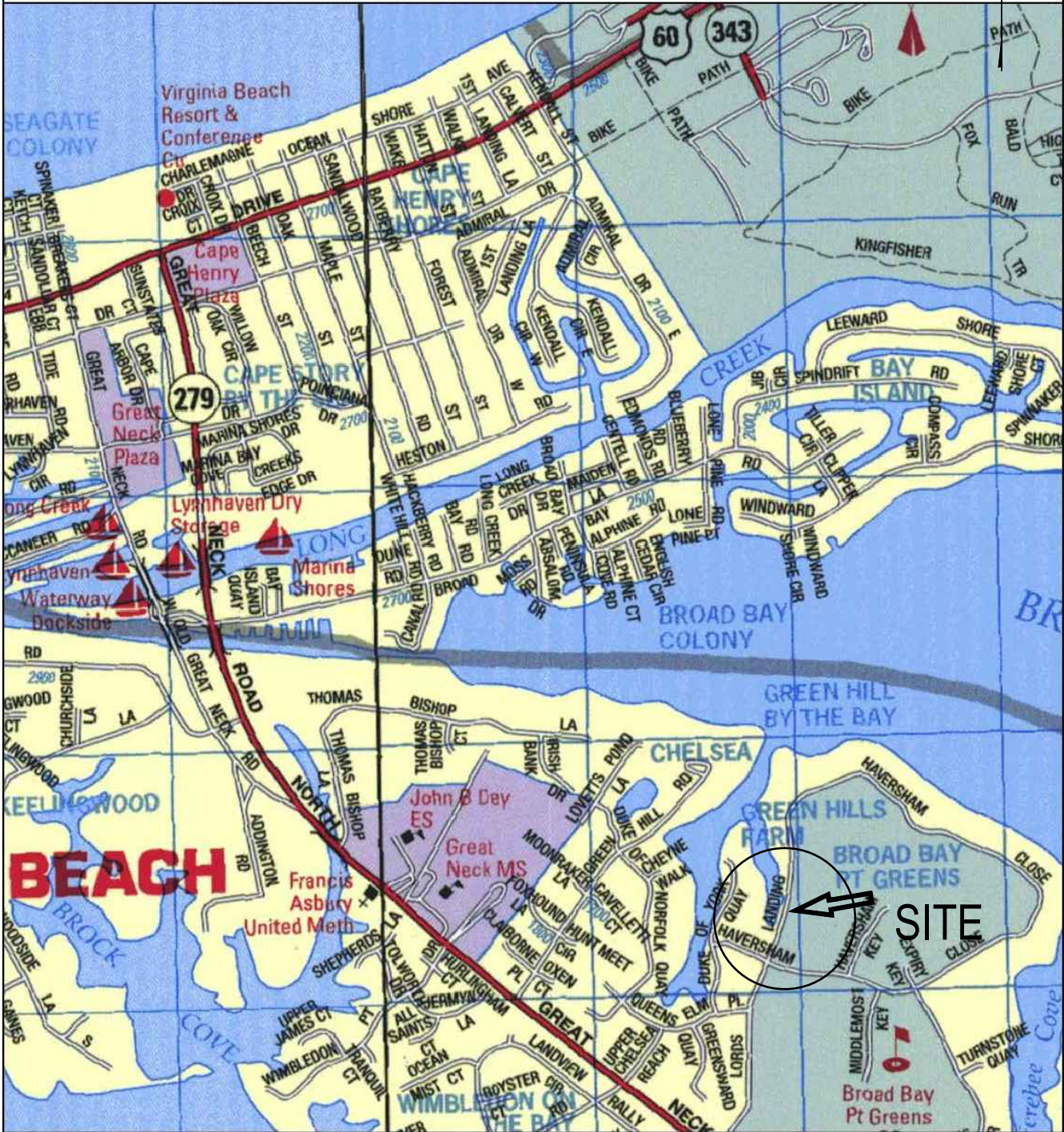
APPLICANT:
 PATRICK M CUMMINGS
 2209 HAVERSHAM CLOSE
 VIRGINIA BEACH, VA 23454

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL AND WATERCRAFT MOORING
 DATUM: MLW = 0.00'
 SHEET 7 OF 7
 DATE: OCTOBER 20, 2021
 REV-

AREA MAP OF 2209 HAVERSHAM CLOSE VIRGINIA BEACH, VA 23454

SCALE 1" : 1200'



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2209 HAVERSHAM CLOSE

APPLICANT'S NAME: PATRICK M CUMMINGS

APPLICANT'S ADDRESS: 2209 HAVERSHAM CLOSE

Virginia Beach, VA 23454

ENGINEER OF RECORD: David Kledzik

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: David Kledzik

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

3/31/2022

DATE

David Kledzik

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

3-28-22

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2484 HAVERSHAM CLOSE

APPLICANT'S NAME: SCOTT M SACHS

APPLICANT'S ADDRESS: 2484 HAVERSHAM CLOSE

Virginia Beach, VA 23454

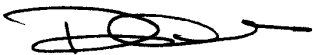
ENGINEER OF RECORD: David Kledzik

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: David Kledzik

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

3/31/2022

DATE

David Kledzik

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

3/30/22

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

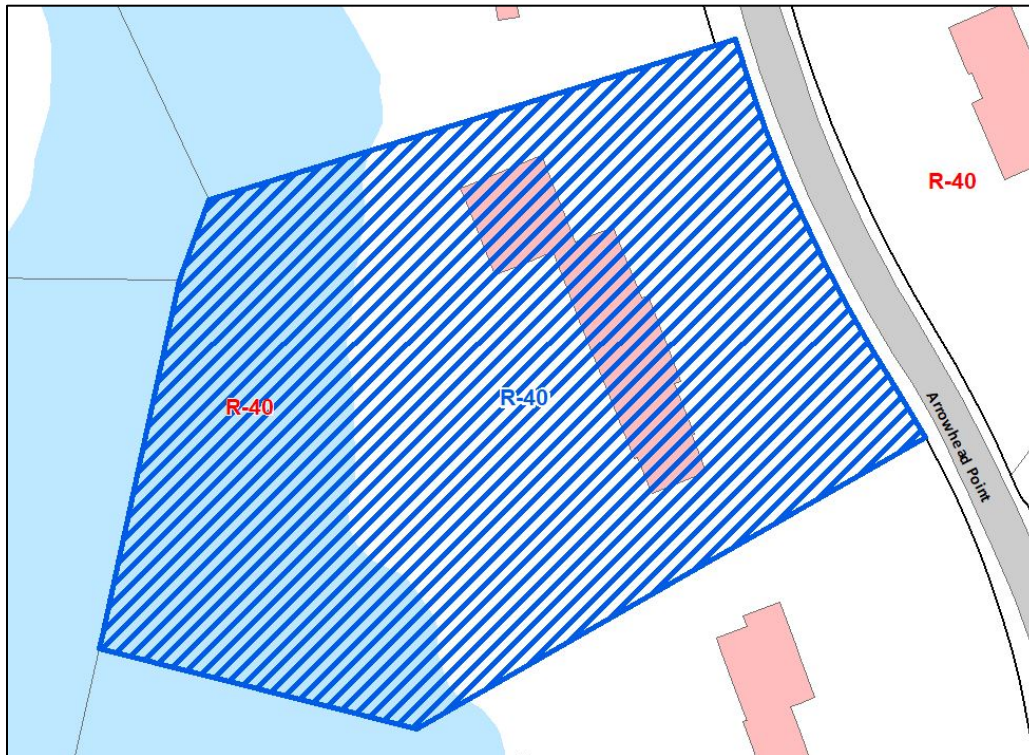
7. 2022-WTRA-00077

Rakhee Goel & Raman Unnikrishnan [Applicants & Owners]

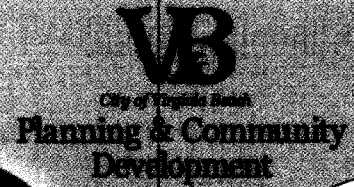
To construct rip rap revetments involving wetlands

1624 Arrowhead Point
(GPIN 1489-02-9302)

Waterway – Western Branch Lynnhaven River Bay
Subdivision – Thoroughgood
Council District - District 9



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name RAKHEE GOEL

Does the applicant have a representative? Yes No

- If **yes**, list the name of the representative.

DAVID KLEDZIK

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

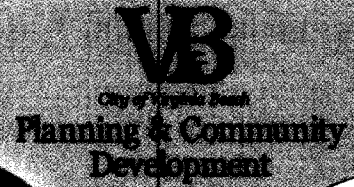
- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

MARINE ENGINEERING LLC & DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Paul Seel

Applicant Signature

Rachel Voel

Print Name and Title

3/28/22

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-0762

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)		Regional Permit 17 (RP-17) <input type="checkbox"/>	
County or City in which the project is located: VIRGINIA BEACH				
Waterway at project site: LYNNHAVEN RIVER WESTERN BRANCH				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
NAO		2021-0964_RP19_Letter		
VMRC	Group 2 Living Shore	2021-0746		

VB

2021 WTRA

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
RAHKEE GOEL Home () _____
1624 ARROWHEAD POINT Work () _____
VIRGINIA BEACH, VA 23455 Fax () _____
Cell (202) 957-4937
e-mail RakheeGoel@gmail.com
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
N/A Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
MARINE ENGINEERING LLC C/O DAVID KLEDZIK Home () _____
4212 DOUGHERTY CT Work () _____
VIRGINIA BEACH, VA 23455 Fax () _____
Cell (757) 477-4787
e-mail David@MarineEngineeringLLC.com
State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Construction of two separate riprap revetments to modify and augment previously approved 301 foot long Group 2 Living Shore (VMRC# 2021-0746). Section A-B of unconstructed Group 2 Living Shore to be replaced by a riprap revetment to better protect pool and surrounding deck. Second revetment D-E extends from point D of Group 2 Living Shore to protect from stormwater outfall near side of home. A new pier landing (4' x 8') will span proposed revetment for access to pier.

Potentially, up to 4345 square feet (0.1 acre) uplands may be subject to disturbance from materials and equipment. Construction access is similar to that approved for Living Shore.

Proposed revetment A-B is 106' L x 6.6' W and positioned to straddle eroded shoreline step. Proposed revetment D-E is 30' L x 3' W and positioned adjacent to stormwater outfall.

Living shore line B-C-D (201 LF) will be constructed. Proposed revetments necessary due to height of bank, proximity of pool & home structures and sun shading.

1 additional small tree removed at Point D for access as needed. No grading or clearing proposed. Site access by single accessway from street.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

N/A

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

VIRGINIAN PILOT
150 W BRAMBLETON AVE
NORFOLK, VA 23509

Telephone number

(757) 222-5346

** Please Instruct Newspaper to Contact
Permit Applicant for Proof and Payment.

7. Give the following project location information:

Street Address (911 address if available) 1624 ARROWHEAD POINT

Lot/Block/Parcel# LOT 249

Subdivision THOROUGHGOOD

City / County VIRGINIA BEACH ZIP Code 23455

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.819 / -76.113 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to protect eroding shoreline.

Secondary purpose is same.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- To avoid and minimize impact of construction activity, a single access way will be used, equipment and materials will be staged within construction limits. Any disturbed ground cover or vegetation will be replaced in-kind. A silt fence and construction limits will be installed as necessary. Filter cloth will be used under revetment.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ \$24,000
Approximate cost of that portion of the project that is channelward of mean low water:
\$ 0
13. Completion date of the proposed work: UPON OBTAINING PERMIT APPROVAL - ONE YEAR
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

LOT # B1
N/F ALEXANDER ROSS BERTRAND
1630 ARROWHEAD POINT
VIRGINIA BEACH, VA 23455

LOT 246
N/F MCGLEMRE P PETERS
1608 KEELINGS LANDING
VIRGINIA BEACH, VA 23455

LOT 244
N/F ICHARD P WILLIAMS
1600 KEELINGS LANDING
VIRGINIA BEACH, VA 23455

LOT 250
N/F LARRY D LARUE
1616 ARROWHEAD POINT
VIRGINIA BEACH, VA 23455

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

RAKHEE GOEL

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Rakhee Goel

Applicant's Signature

(Use if more than one applicant)

Date

3/28/22

N/A

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

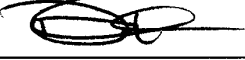
2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), RAKHEE GOEL, hereby certify that I (we) have authorized MARINE ENGINEERING LLC
 (Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.


We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.



 (Agent's Signature)

03/28/2022

 (Date)



 (Applicant's Signature)

3/28/22

 (Date)

AGENT PROVIDES LIMITED SUPPORT EXCLUSIVELY TO THE PERMIT APPLICANT (PRINCIPAL) AND DOES NOT CONSENT OR ENTER INTO AGREEMENTS WITH OTHERS TO ACCEPT THE PRINCIPAL'S LIABILITY FOR ANY COST OR PERFORMANCE REQUIREMENT RELATED TO THE ACTIVITIES OF THIS PERMIT APPLICATION.

N/A 3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted N/A
 (Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

 Contractor's name or name of firm

 Contractor's or firms address

 Contractor's signature and title

 Contractor's License Number

 Applicant's signature

 (use if more than one applicant)

 Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

Replace existing pier landing (4' x 8') between access steps & walkway to elevate above proposed riprap revetment.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? 8 feet.

Channelward of Mean High Water? 2 feet.

Channelward of Mean Low Water? N/A feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 3 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 0 square feet.

What is the total size of any and all L- or T-head platforms? 137 sq. ft.

N/A For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Proposed riprap revetment A-B is 106' L x 6.6' W
318 SF & 498 CF (18 CY) granite quarystone below MHW

Proposed revetment D-E is 30' L x 3' W
26 SF & 22 CF (1 CY) granite quarystone below MHW

2. What is the maximum encroachment channelward of mean high water? 3 feet.
Channelward of mean low water? NA feet.
Channelward of the back edge of the dune or beach? N/A feet.

3. Please calculate the square footage of encroachment over:

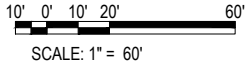
- Vegetated wetlands 0 square feet
- Non-vegetated wetlands 344 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach 0 square feet

- N/A 4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

SITE PLAN OF PROPOSED PROJECT



SEQUENCE & TIME LINE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRECONSTRUCTION MEETING
4. INSTALL CONSTRUCTION & ACCESSWAY LIMITS
5. INSTALL SILT FENCE SEAWARD OF SOIL DISTURBANCE
6. INSTALL RIPRAP REVETMENT
7. RESTORE LIMITS WITH IN-KIND REPLACEMENT
8. REMOVE FENCE AFTER LAND DISTURBANCE HAS BEEN STABILIZED.

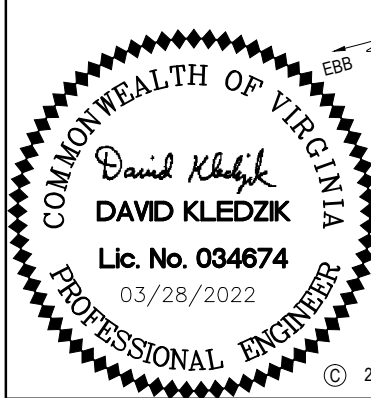
WETLAND IMPACTS

REVETMENT A-B:
318 SF NV INTERTIDAL MUD BANK

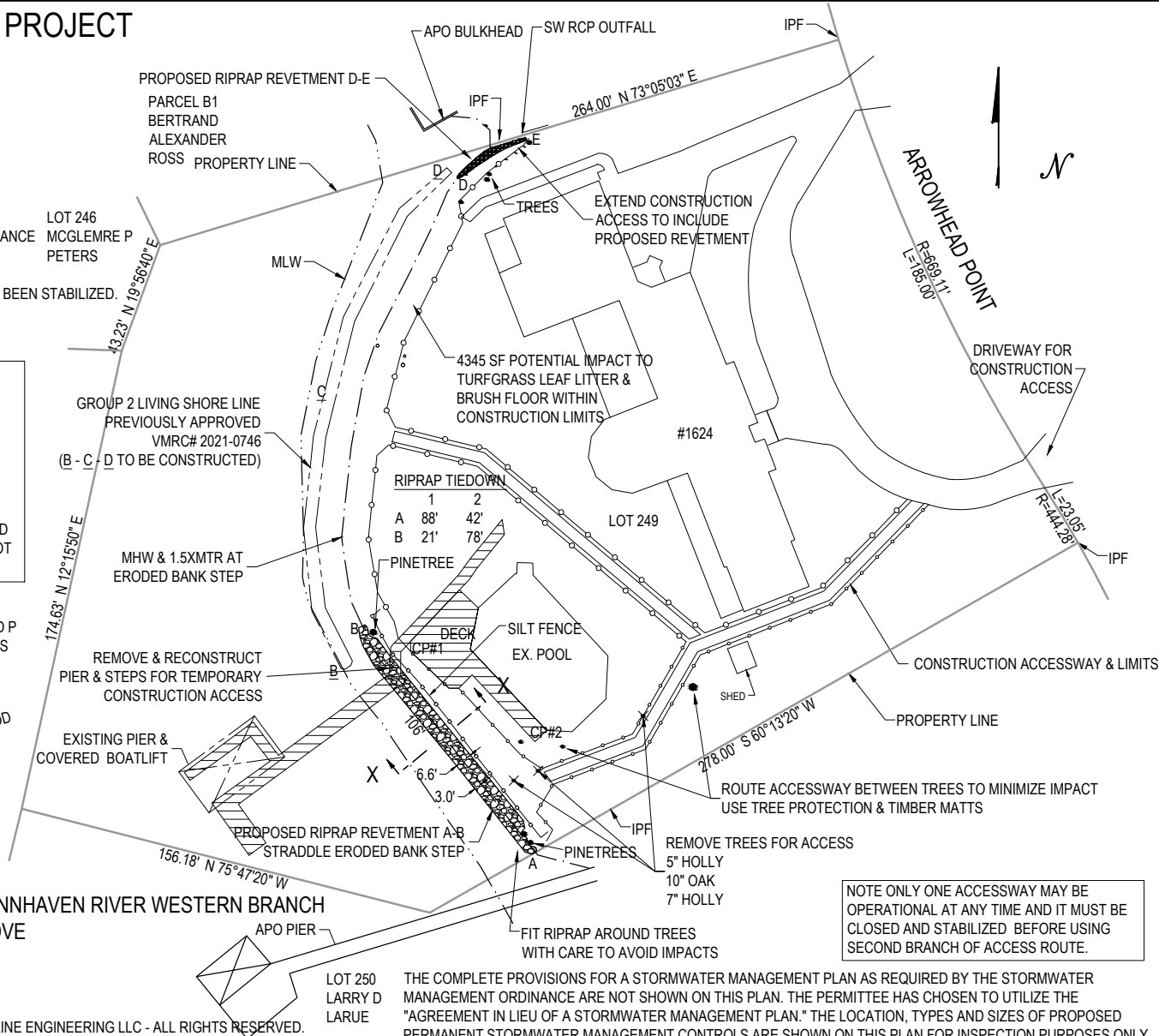
REVETMENT D-E:
26 SF NV INTERTIDAL MUD BANK

ANTICIPATED THAT QUARRYSTONE ON NONVEGETATED WETLANDS PROVIDES A SIMILAR HABITAT AND WILL NOT REQUIRE COMPENSATION SUCH AS IN LIEU FEE

ANY DISTURBED GROUND COVER OR VEGETATION (TURF, SHRUBS, OR TREES) SHALL BE REPLACED IN-KIND.



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NOTE ONLY ONE ACCESSWAY MAY BE OPERATIONAL AT ANY TIME AND IT MUST BE CLOSED AND STABILIZED BEFORE USING SECOND BRANCH OF ACCESS ROUTE.

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN." THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.

APPLICANT: RAKHEE GOEL
1624 ARROWHEAD POINT
VIRGINIA BEACH, VA 23455

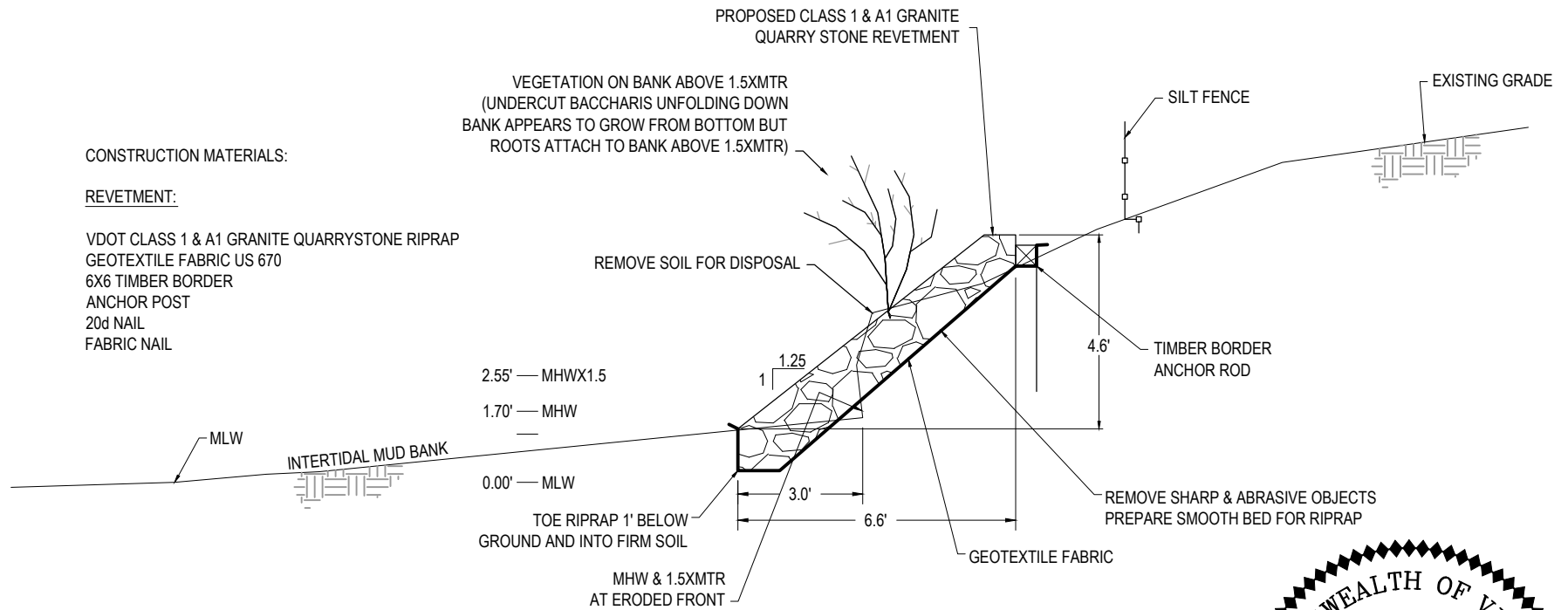
ADJACENT PROPERTY OWNERS
SHOWN ON SHEET ONE

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL
DATUM: MLW = 0.00'
SHEET 1 OF 4
DATE: MARCH 28, 2022
REV -

SECTION X - X PROPOSED REVETMENT DETAILS

SCALE: 1" = 4'



CONSTRUCTION MATERIALS:

REVETMENT:

- VDOT CLASS 1 & A1 GRANITE QUARRYSTONE RIPRAP
- GEOTEXTILE FABRIC US 670
- 6X6 TIMBER BORDER
- ANCHOR POST
- 20d NAIL
- FABRIC NAIL

SILT FENCES WILL BE PROPERLY INSTALLED (STAKED AND TRENCHED) SEAWARD OF ALL DISTURBED AREAS AT THE CONCLUSION OF EACH WORK DAY AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED.

ALL MATERIALS REMOVED SHALL BE PROPERLY DISPOSED IN LAWFUL MANNER

DESIGN BASED ON STANDARD PRACTICES WITHOUT THE BENEFIT OF SOILS TESTING. NO ALLOWANCES HAVE BEEN MADE FOR UNKNOWN SUBSOIL CONDITIONS. DEVELOPER SHALL MONITOR INSTALLATION TO DISCOVER SUBSOIL CONDITIONS AND CONTACT THE ENGINEER OF RECORD IF SOIL DISCOVERED NOT FIRM. ALL DIMENSIONS AND MATERIAL SPECIFICATIONS ARE MINIMUMS UNLESS OTHERWISE SPECIFIED.



APPLICANT:
RAKHEE GOEL
1624 ARROWHEAD POINT
VIRGINIA BEACH, VA 23455

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

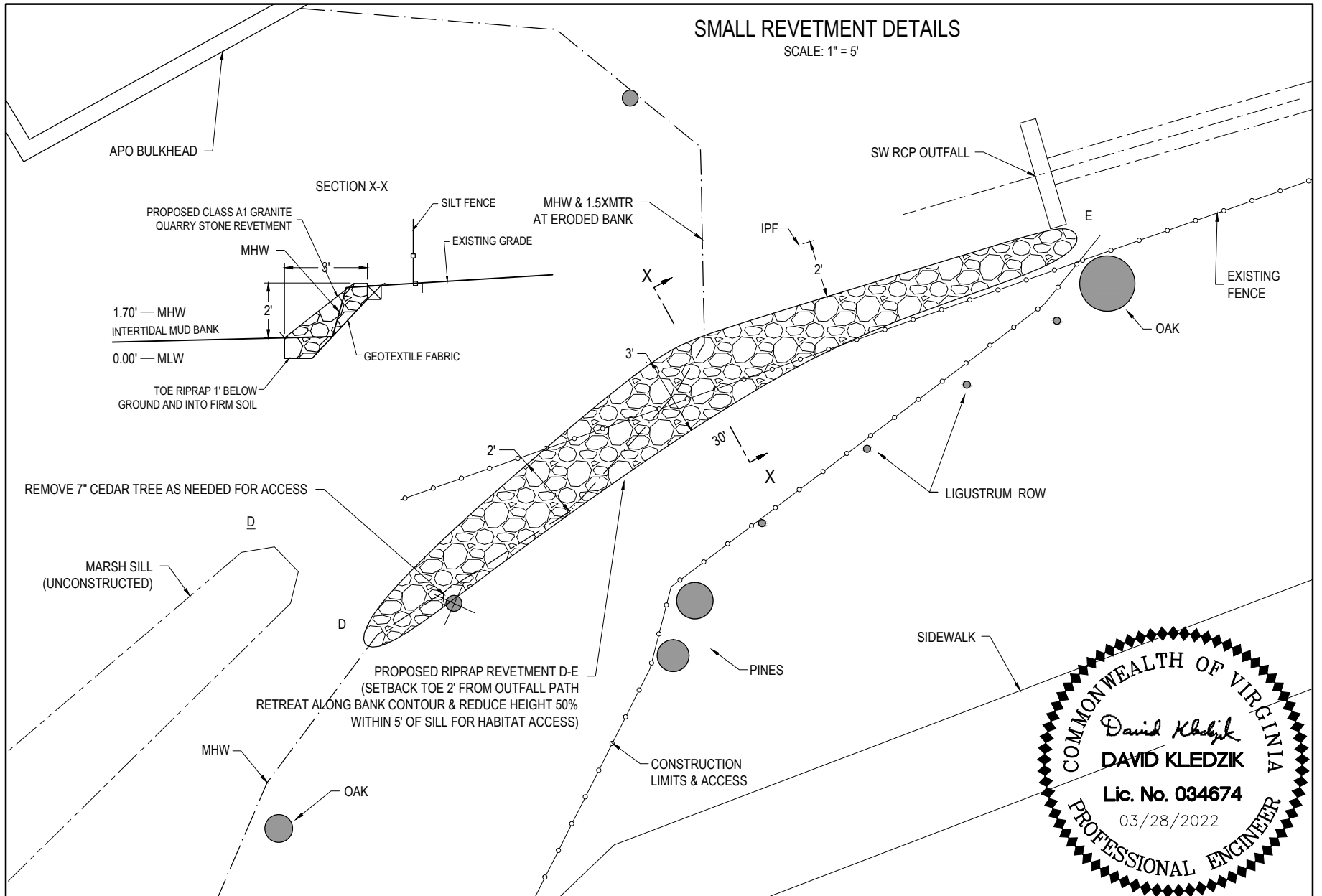
PROPOSED PROJECT FOR EROSION CONTROL

DATUM: MLW = 0.00'

SHEET 2 OF 4
DATE: MARCH 28, 2022
REV-

SMALL REVETMENT DETAILS

SCALE: 1" = 5'



APPLICANT:
 RAKHEE GOEL
 1624 ARROWHEAD POINT
 VIRGINIA BEACH, VA 23455

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL

DATUM: MLW = 0.00'

SHEET 3 OF 4
 DATE: MARCH 28, 2022
 REV-

PIER ACCESS LANDING

SCALE: 1" = 4'

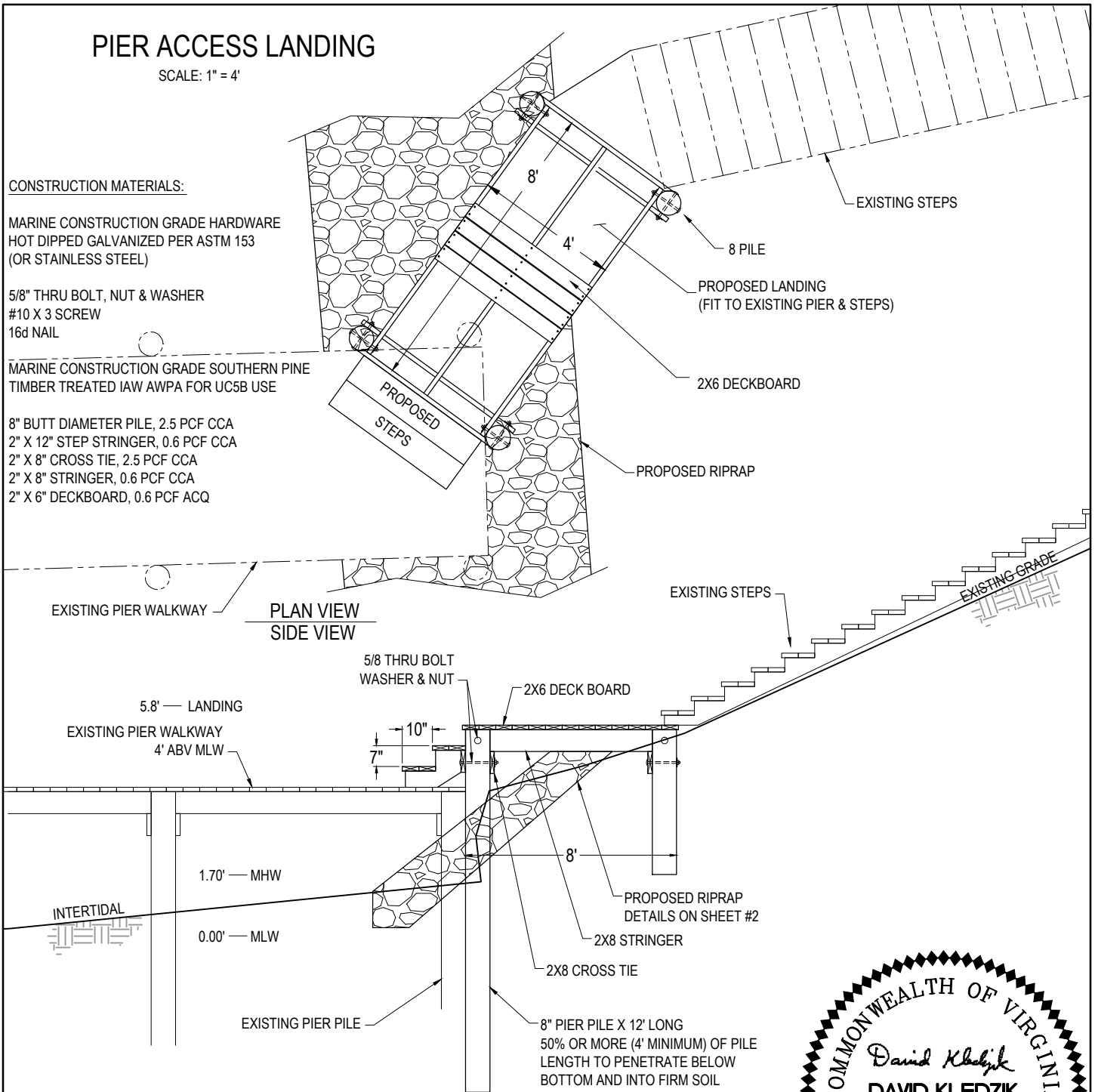
CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153
(OR STAINLESS STEEL)

5/8" THRU BOLT, NUT & WASHER
#10 X 3 SCREW
16d NAIL

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE

8" BUTT DIAMETER PILE, 2.5 PCF CCA
2" X 12" STEP STRINGER, 0.6 PCF CCA
2" X 8" CROSS TIE, 2.5 PCF CCA
2" X 8" STRINGER, 0.6 PCF CCA
2" X 6" DECKBOARD, 0.6 PCF ACQ



PLAN VIEW
SIDE VIEW

PROPOSED LANDING AND STEPS ARE
SKEWED ACROSS RIPRAP BUT SHOWN
SQUARE FOR ILLUSTRATIVE PURPOSES.



APPLICANT:
RAKHEE GOEL
1624 ARROWHEAD POINT
VIRGINIA BEACH, VA 23455

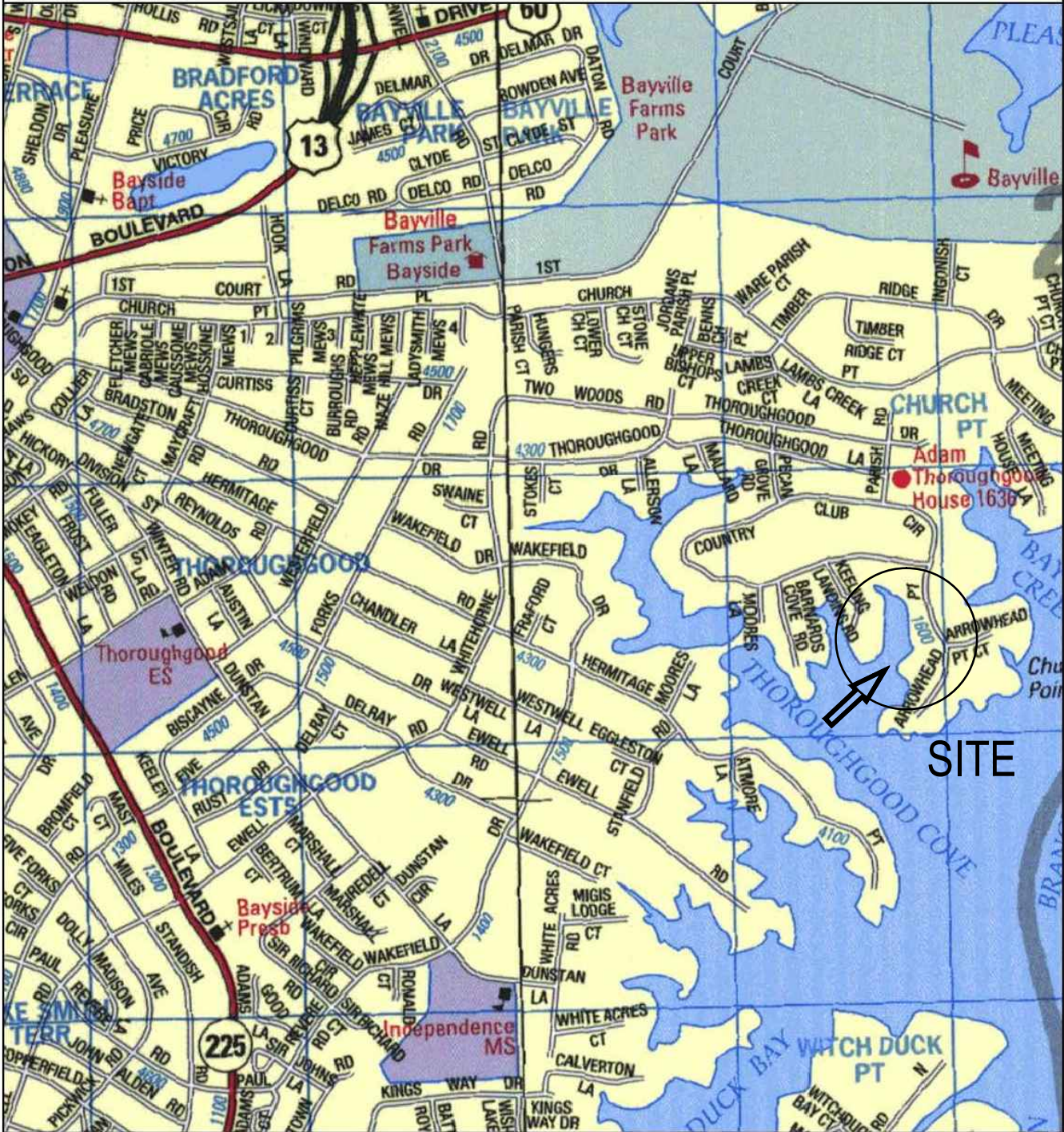
MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL
DATUM: MLW = 0.00'
SHEET 4 OF 4
DATE: MARCH 28, 2022
REV-

AREA MAP OF 1624 ARROWHEAD POINT VIRGINIA BEACH, VA 23455



SCALE 1" : 1200'



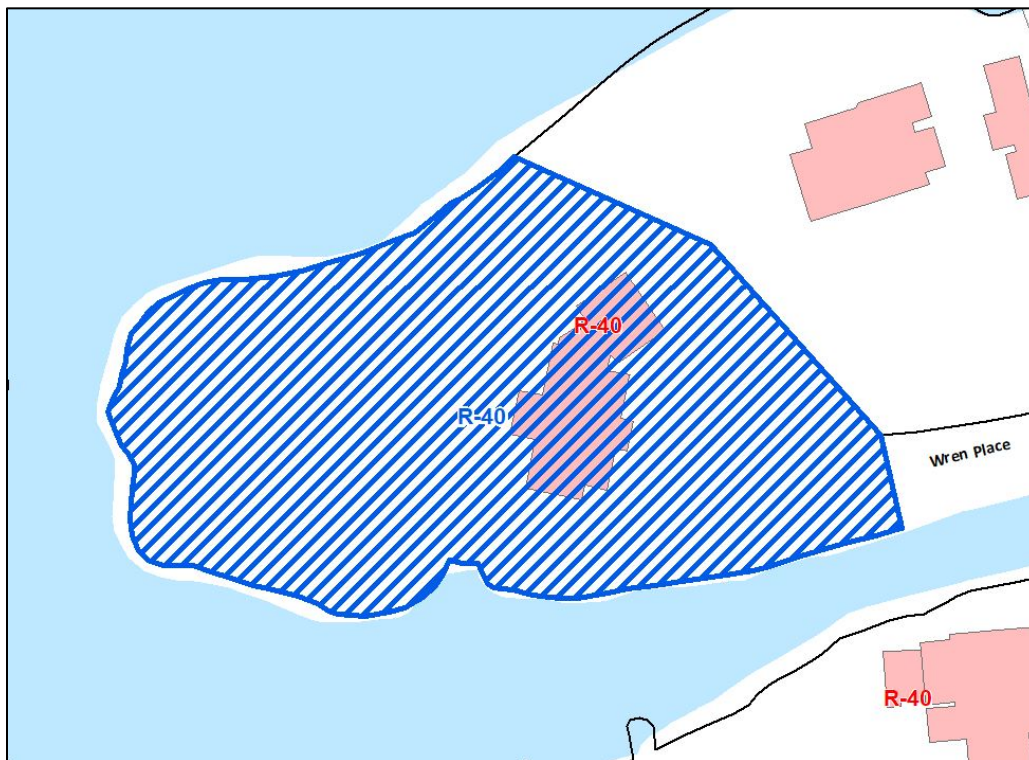
8. 2022-WTRA-00076

Abbey & Brenda Horwitz [Applicants & Owners]

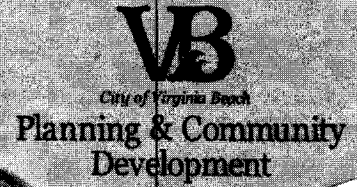
To construct a rip rap revetment involving wetlands

1308 Wren Place
(GPIN 2418-13-9225)

Waterway – Linkhorn Bay
Subdivision – Birdneck Point
Council District - District 6



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name ABBEY HORWITZ

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

DAVID KLEDZIK

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or **are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

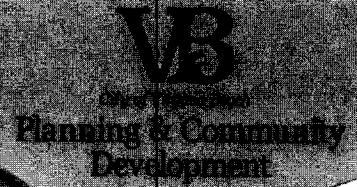
4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If yes, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If yes, identify the firm and individual providing the service.

MARINE ENGINEERING LLC DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If yes, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Abbey Hewitz

Print Name and Title

3/18/2022

Date

- Is the applicant also the owner of the subject property? Yes No

- If yes, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 22-0759

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)		Regional Permit 17 (RP-17) <input type="checkbox"/>	
County or City in which the project is located: VIRGINIA BEACH				
Waterway at project site: COVE OF LINKHORN BAY				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
NAO	RP18 & 19	NAO 2011-01097		
VMRC	PERMIT	VMRC 11-0699		

VIRGINIA BEACH CITY APPROVAL

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:
ABBEY HORWITZ Home () _____
1308 WREN PL Work () _____
VIRGINIA BEACH, VA 23451 Fax () _____
Cell (757) 748-6495
e-mail abwitz1@gmail.com
State Corporation Commission Name and ID Number (if applicable) _____
2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:
N/A Home () _____
Work () _____
Fax () _____
Cell () _____
e-mail _____
State Corporation Commission Name and ID Number (if applicable) _____
3. Authorized agent name* and complete mailing address (if applicable): Contact Information:
MARINE ENGINEERING LLC C/O DAVID KLEDZIK Home () _____
4212 DOUGHERTY CT Work () _____
VIRGINIA BEACH, VA 23455 Fax () _____
Cell (757) 477-4787
e-mail David@MarineEngineeringLLC.com
State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Construction of a 7.5' wide x 233' long riprap revetment to replace a concrete stacked rubble wall using shore based equipment. The upper courses of wall blocks will be removed for disposal. The revetment will be positioned behind footer of wall remnant and will creat 536 sf rocky wetlands from uplands.

Site access by single accessway from street. Up to 3595 square feet (0.083 acre) turfgrass may be subject to disturbance from materials and equipment.

No tree removal, grading, or clearing proposed.

The previous approvals included riprap in same area but was not constructed due to cost.

A living shoreline was considered at this location but due to elevation differences and proximity of channel in narrow canal a riprap revetment is requested.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

N/A

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

VIRGINIAN PILOT
150 W BRAMBLETON AVE
NORFOLK, VA 23509

Telephone number

(757) 222-5346

** Please Instruct Newspaper to Contact
Permit Applicant for Proof and Payment.

7. Give the following project location information:

Street Address (911 address if available) 1308 WREN PLACE

Lot/Block/Parcel# LOT #206

Subdivision BIRDNECK POINT

City / County VIRGINIA BEACH ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.8626 / - 76.0076 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to protect from erosion due to tidal & stormwater action.

Secondary purpose is to prevent soils from entering watercourse.

Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

To avoid and minimize impact of construction activity, a single access way will be used, equipment and materials will be staged within construction limits. Any disturbed ground cover or vegetation will be replaced in-kind. A silt fence and construction limits will be installed. Filter cloth will be used beneath riprap. A living shoreline was considered at this location but due to wall height exceeding 5' and close proximity of channel in narrow canal a riprap revetment behind existing wall is requested. In addition, there are trees approximately 16' landward of wall which would cause shoreline slope to be approximately 1:3 which is unsuitable for stability of planting substrate due to boatwakes in canal.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 50,000

Approximate cost of that portion of the project that is channelward of mean low water:
\$ 0

13. Completion date of the proposed work: UPON OBTAINING PERMIT APPROVAL - ONE YEAR

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

LOT #207 (1304 WREN)
N/F TEVOR DUNLAP
1720 S MILITARY HW
CHESAPEAKE VA 23320

LOT #205
N/F EVAN M REKANT
941 BOBOLINK DR
VIRGINIA BEACH, VA 23451

LOT #204
N/F DANIEL V UNGER IV
1304 KINGFISHER CT
VIRGINIA BEACH, VA 23451

LOT #203 (1312 KINGFISHER)
N/F TONY LUCAS
11800 LEWIS RD
CHESTER VA 23831

LOT #202
N/F SHARON J SLIPLow TRUST
2476 NIMMO PKWY STE 121
VIRGINIA BEACH VA 23456

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

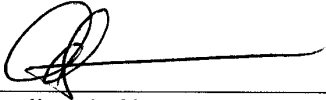
NOTE: REQUIRED FOR ALL PROJECTS

<p>PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.</p>
<p>CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.</p> <p>In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.</p>

ABBEY HORWITZ

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

3/15/2022

Date

N/A

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

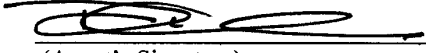
I (we), ABBEY HORWITZ, hereby certify that I (we) have authorized MARINE ENGINEERING LLC

(Applicant's legal name(s))

(Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

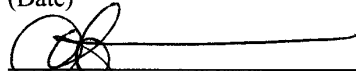
We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.



(Agent's Signature)

3/21/2022

(Date)



(Applicant's Signature)

3/22/2022

(Date)

AGENT PROVIDES LIMITED SUPPORT EXCLUSIVELY TO THE PERMIT APPLICANT (PRINCIPAL) AND DOES NOT CONSENT OR ENTER INTO AGREEMENTS WITH OTHERS TO ACCEPT THE PRINCIPAL'S LIABILITY FOR ANY COST OR PERFORMANCE REQUIREMENT RELATED TO THE ACTIVITIES OF THIS PERMIT APPLICATION.

N/A 3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____

(Applicant's legal name(s))

(Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Construction of a 7.5' wide x 233' long riprap revetment to replace a concrete stacked rubble wall using shore based equipment. The upper courses of wall blocks will be removed for disposal. The revetment will be positioned behind footer of wall remnant and will create 536 sf rocky wetlands from uplands. 3595 SF upland disturbance from materials and equipment.

No fill below MHW

2. What is the maximum encroachment channelward of mean high water? 1.5 feet.
Channelward of mean low water? 0 feet.
Channelward of the back edge of the dune or beach? N/A feet.

3. Please calculate the square footage of encroachment over:

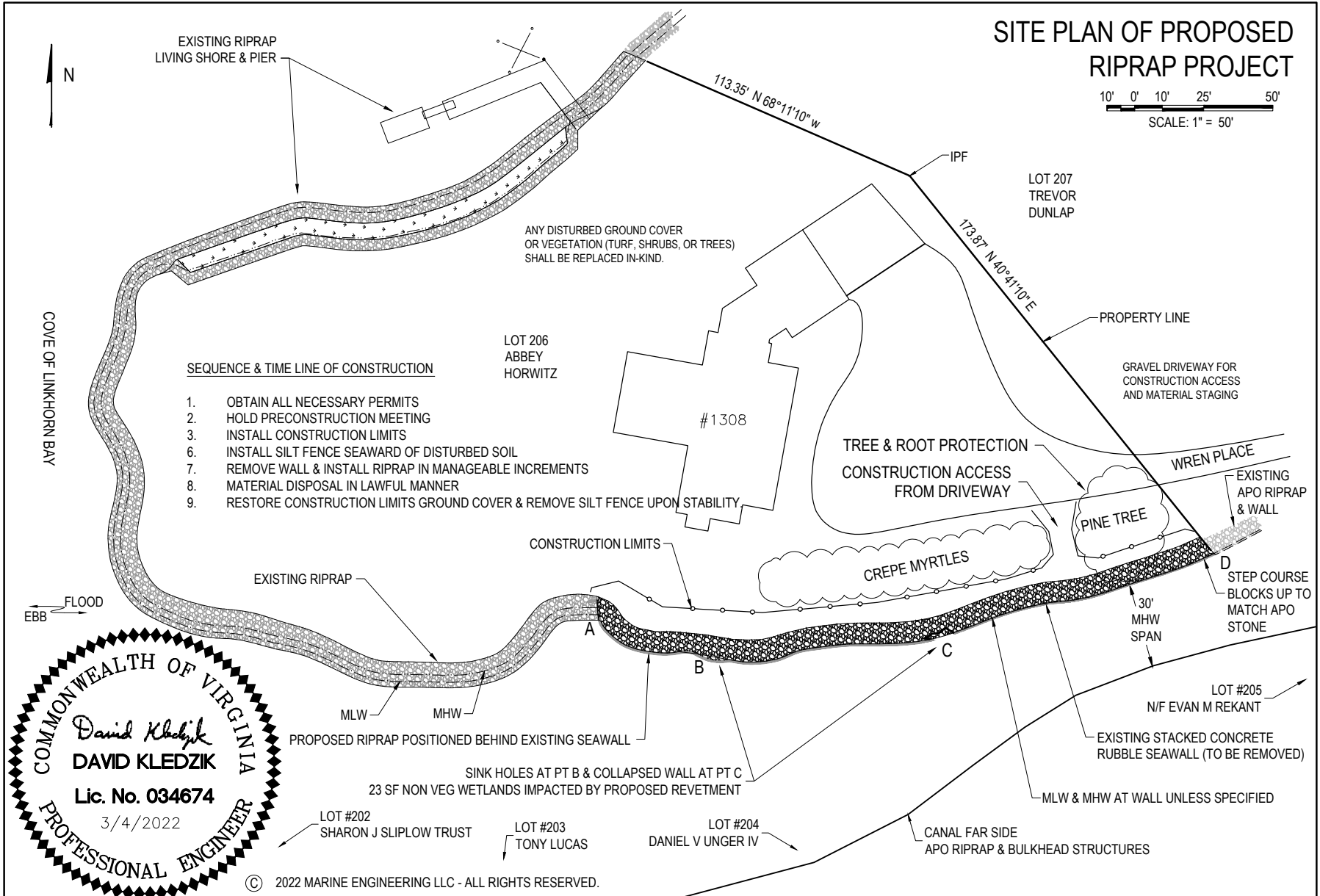
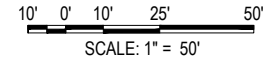
- Vegetated wetlands 0 square feet
- Non-vegetated wetlands 23 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach N/A square feet

- N/A 4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

SITE PLAN OF PROPOSED RIPRAP PROJECT



APPLICATION BY
 ABBEY HORWITZ
 1308 WREN PLACE
 VIRGINIA BEACH, VA 23451

ADJACENT PROPERTY OWNERS
 SHOWN ON SHEET ONE

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL

DATUM: MLW = 0.00'

SHEET 1 OF 4
 DATE: MARCH 4, 2022
 REV-

CONSTRUCTION MATERIALS:

VDOT CLASS 1 & A1 GRANITE QUARRYSTONE RIPRAP
 CLEAN SAND / GRAVEL
 GEOTEXTILE FABRIC US 670
 TIMBER BORDER 6X6
 ANCHOR ROD / POST
 20d NAIL
 FABRIC STAPLE

RIPRAP DETAILS

SCALE: 1" = 30'

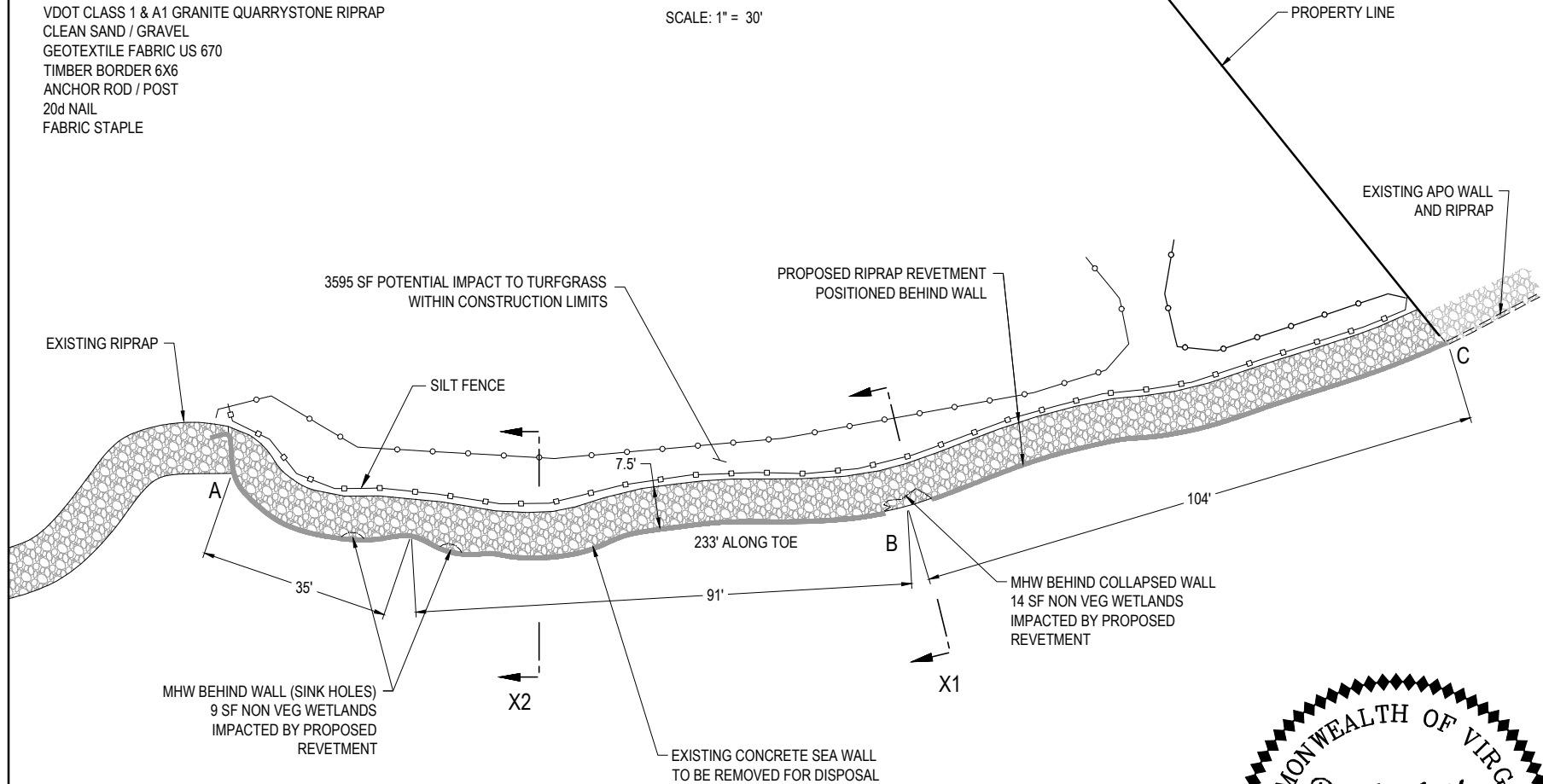
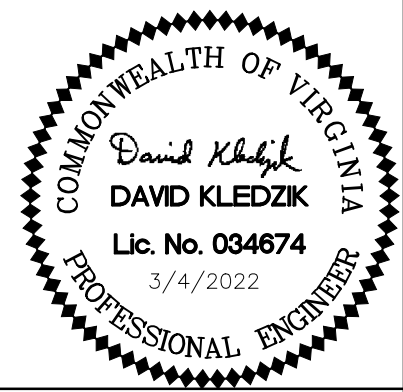


TABLE OF IMPACTS	
AREA [SF]	DESCRIPTION
23	RIPRAP ON NON-VEGETATED WETLANDS
QUARRYSTONE PLACEMENT ON NON VEGETATED INTERTIDAL SLOPE ANTICIPATED TO PROVIDE AN ALTERNATIVE HABITAT WITH NO REQUIREMENT FOR IN-LIEU FEE COMPENSATION	



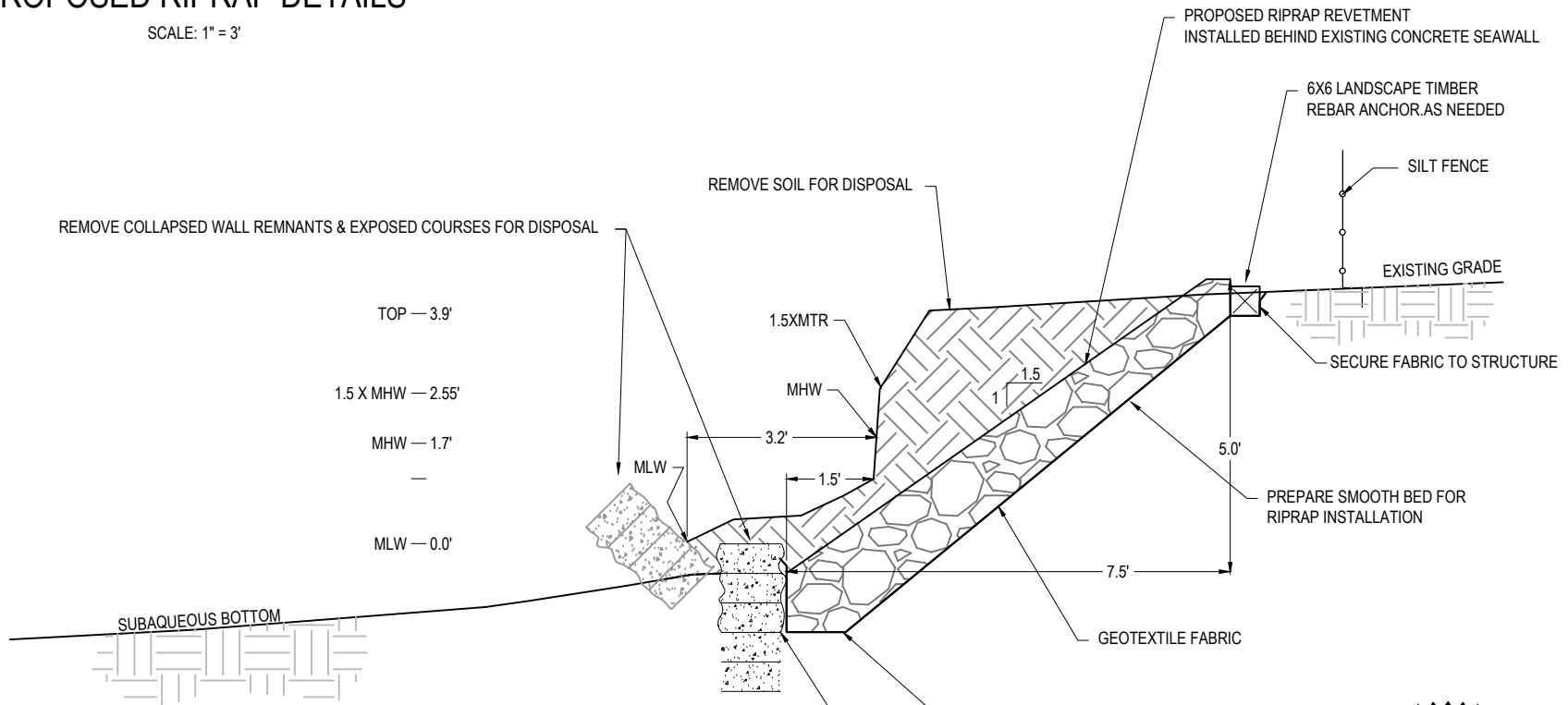
APPLICATION BY
 ABBEY HORWITZ
 1308 WREN PLACE
 VIRGINIA BEACH, VA 23451

MARINE ENGINEERING LLC
 PO BOX 5965
 VIRGINIA BEACH, VA 23471
 PH: (757) 477-4787

PROPOSED PROJECT FOR EROSION CONTROL
 DATUM: MLW = 0.00'
 SHEET 2 OF 4
 DATE: MARCH 4, 2022
 REV-

SECTION X1 - X1 PROPOSED RIPRAP DETAILS

SCALE: 1" = 3'



CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153

20d NAIL
ANCHOR ROD / POST

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE

VDOT CLASS 1 & A1 GRANITE QUARRYSTONE RIPRAP
GEOTEXTILE FABRIC SUCH AS US670
CLEAN SAND/GRAVEL TOE UNDERLAYMENT



APPLICATION BY
ABBEY HORWITZ
1308 WREN PLACE
VIRGINIA BEACH, VA 23451

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

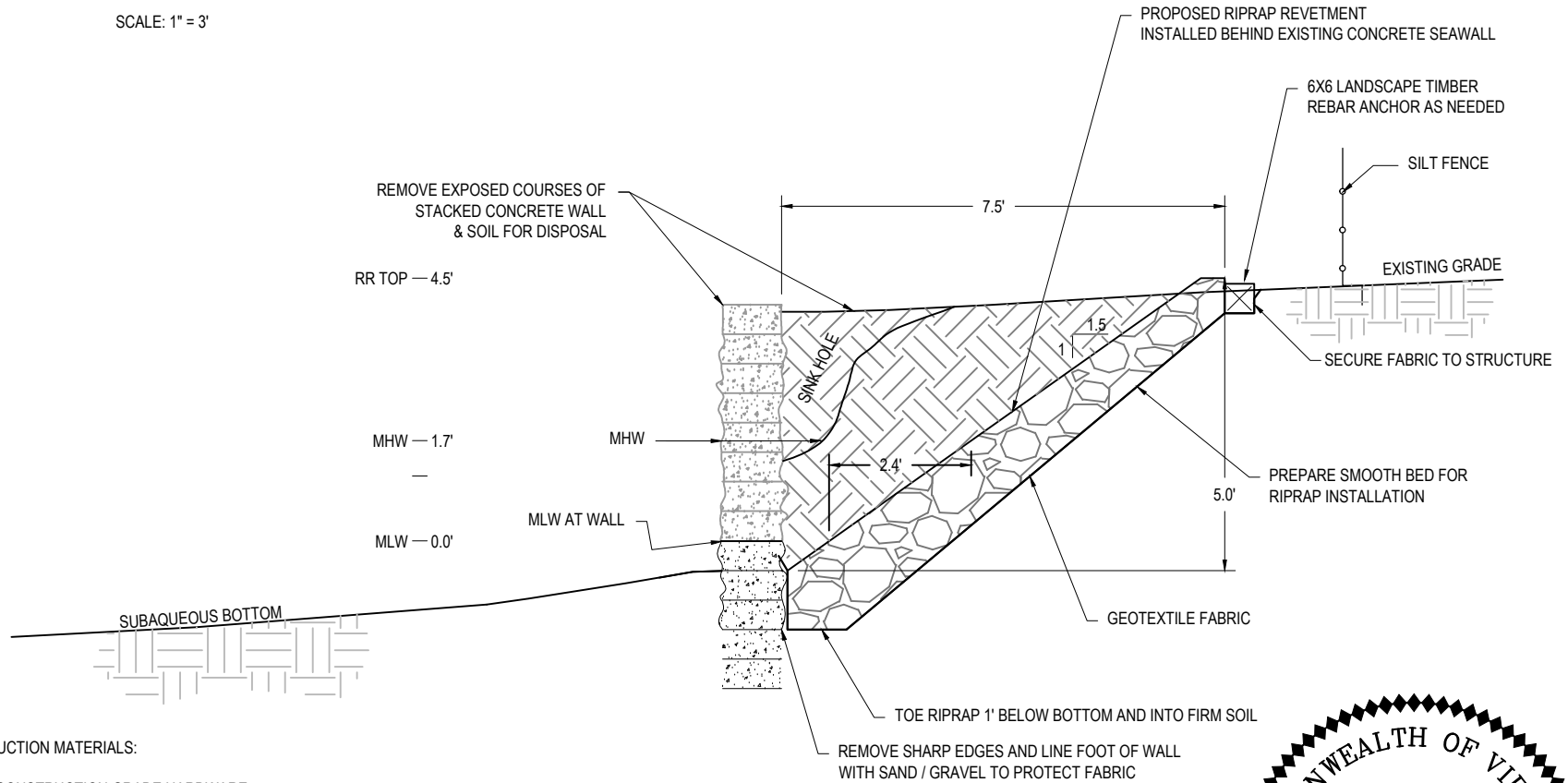
PROPOSED PROJECT FOR EROSION CONTROL

DATUM: MLW = 0.00'

SHEET 3 OF 4
DATE: MARCH 4, 2022
REV-

SECTION X2 - X2 PROPOSED RIPRAP DETAILS

SCALE: 1" = 3'



CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153

20d NAIL
ANCHOR ROD / POST

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE

VDOT CLASS 1 & A1 GRANITE QUARRYSTONE RIPRAP
GEOTEXTILE FABRIC SUCH AS US670
CLEAN SAND/GRAVEL TOE UNDERLAYMENT



APPLICATION BY
ABBEY HORWITZ
1308 WREN PLACE
VIRGINIA BEACH, VA 23451

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

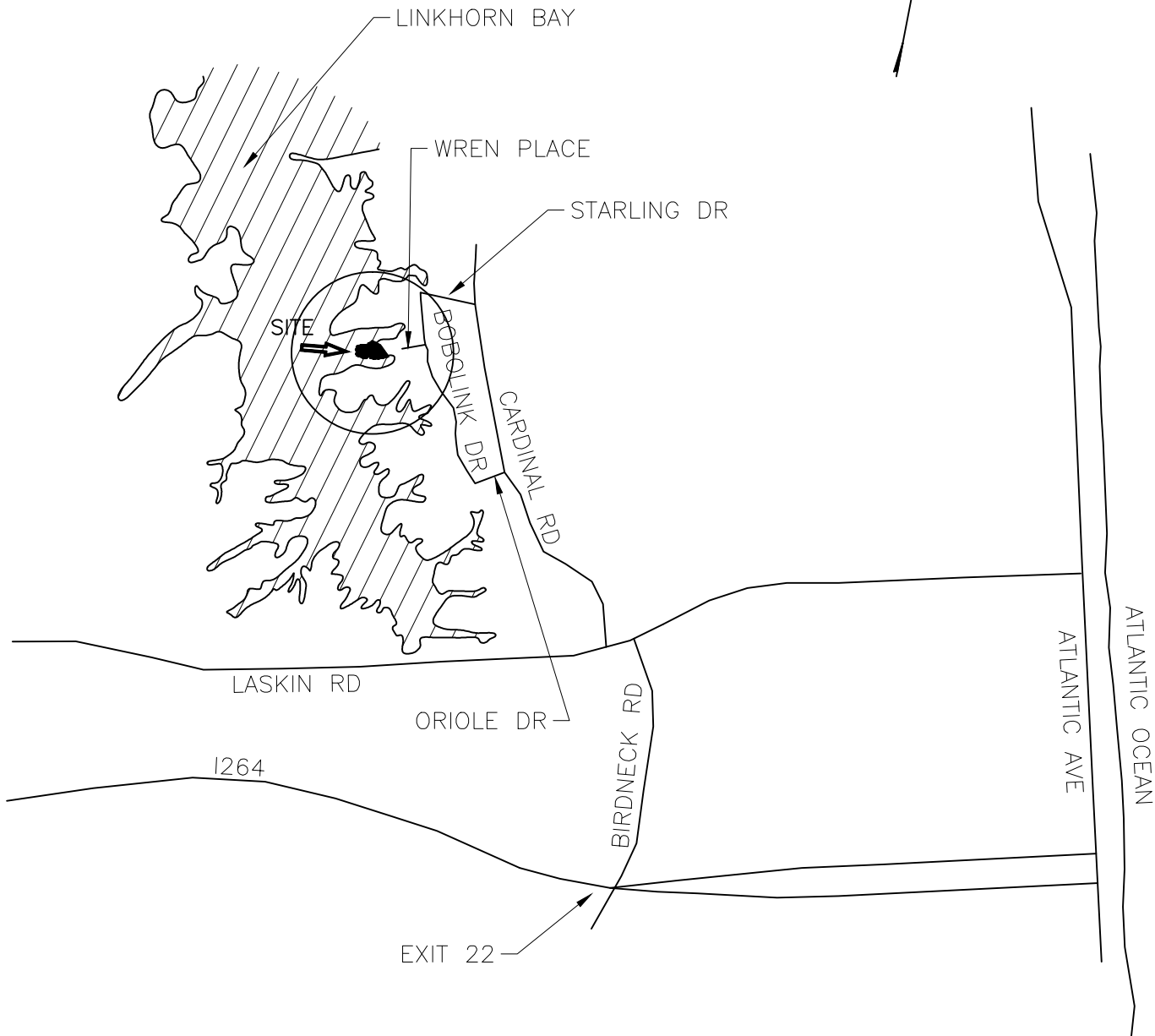
PROPOSED PROJECT FOR EROSION CONTROL

DATUM: MLW = 0.00'

SHEET 4 OF 4
DATE: MARCH 4, 2022
REV-

AREA MAP OF 1308 WREN PLACE VIRGINIA BEACH, VIRGINIA 23454

SCALE 1' : 2000"



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1308 WREN PLACE

APPLICANT'S NAME: ABBEY HORWITZ

APPLICANT'S ADDRESS: 1308 WREN PLACE

Virginia Beach, VA 23451

ENGINEER OF RECORD: David Kledzik

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: David Kledzik

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



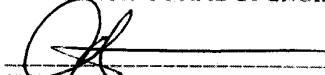
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

3/21/2022

DATE

David Kledzik

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

3/18/2022

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

9. 2022-WTRA-00075

James E. & Maureen A. Cowan [Applicants & Owners]

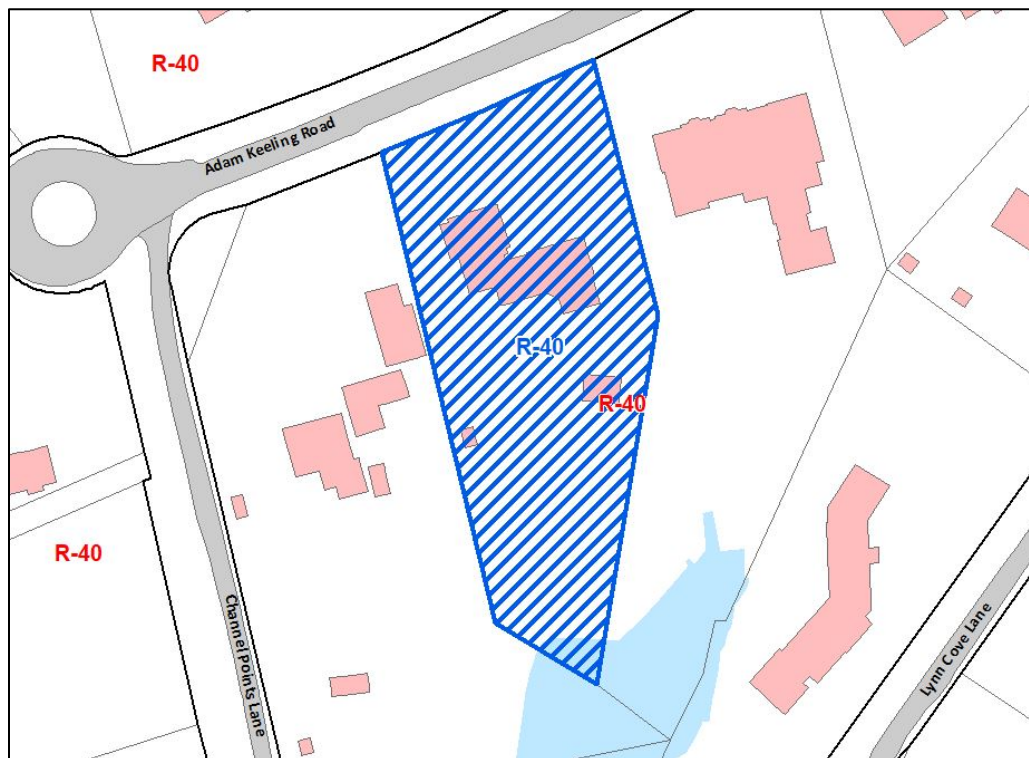
To dredge and construct a bulkhead and rip rap revetment involving wetlands

3181 Adam Keeling
(GPIN 1489-95-6772)

Waterway – Man-made canal to Lynnhaven Bay

Subdivision – Great Neck Point

Council District - District 8



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name JAMES E COWAN

Does the applicant have a representative? Yes No

- If **yes**, list the name of the representative.

DAVID KLEDZIK

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-sub subsidiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-sub subsidiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-sub subsidiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Disclosure Statement



City of Virginia Beach
Planning & Community
Development

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.

MORTGAGE WITH WELLS FARGO

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



City of Virginia Beach

Planning & Community
Development

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

MARINE ENGINEERING LLC DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

JAMES E. COWARD, OWNER

Print Name and Title

3/5/22

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

FOR AGENCY USE ONLY

	Notes:
JPA# 22-07583	

APPLICANTS

PLEASE PRINT OR TYPE ALL ANSWERS. If a question does not apply to your project, please print N/A (not applicable) in the space provided. ***If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.***

<i>Check all that apply</i>			
<input type="checkbox"/> Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <input type="checkbox"/> RP # 05 <i>(For NWPs & RP 05 ONLY - No DEQ-VWP permit writer will be assigned)</i>	<input type="checkbox"/> SPGP	<input type="checkbox"/> DEQ Reapplication Existing permit number: _____	<input type="checkbox"/> Receiving federal funds Agency providing funding: _____
<input type="checkbox"/> Regional Permit 17 Checklist (RP-17)			

PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) JAMES E COWAN				Agent (if applicable) Marine Engineering LLC			
Mailing address 3181 ADAM KEELING ROAD				Mailing address PO Box 5965			
City Virginia Beach		State VA	ZIP Code 23454	City Virginia Beach		State VA	ZIP Code 23471
Phone number w/area code		Fax		Phone number w/area code		Fax	
Mobile 757 775-6325		E-mail tradewindspmc@gmail.com		Mobile 757 477-4787		E-mail David@MarineEngineeringLLC.com	
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)			

Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: tradewindspmc@gmail.com

1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)

Property owner(s) legal name, if different from applicant N/A			Contractor, if known N/A		
Mailing address			Mailing address		
City	State	ZIP code	City	State	ZIP code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

2. PROJECT LOCATION INFORMATION

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

Street Address (911 address if available) 3181 ADAM KEELING ROAD	City/County/ZIP Code Virginia Beach 23454
Subdivision GREAT NECK POINT COVE FRONT	Lot/Block/Parcel # LYNNHAVEN RIVER 1.05 ACRES
Name of water body(ies) within project boundaries and drainage area (acres or square miles). MAN MADE CANAL & BROAD BAY DRAINING 0.2 SQUARE MILES	
Tributary(ies) to: LYNNHAVEN RIVER Basin: LYNNHAVEN RIVER Sub-basin: LYNNHAVEN RIVER (Example: Basin: <i>James River</i> Sub-basin: <i>Middle James River</i>)	
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____	
Project type (check one) <input checked="" type="checkbox"/> Single user (private, non-commercial, residential) <input type="checkbox"/> Multi-user (community, commercial, industrial, government) <input type="checkbox"/> Surface water withdrawal	
Latitude and longitude at center of project site (decimal degrees): 36.8982 / -76.0827 (Example: 37.33164/-77.68200)	
USGS topographic map name: N/A	
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See http://cfpub.epa.gov/surf/locate/index.cfm): 02080108 If known, indicate the 10-digit and 12-digit USGS HUCs (see http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm): _____	
Name of your project (Example: <i>Water Creek driveway crossing</i>) ADAM KEELING 3181	
Is there an access road to the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input checked="" type="checkbox"/> public <input type="checkbox"/> private <input checked="" type="checkbox"/> improved <input type="checkbox"/> unimproved	
Total size of the project area (in acres): 0.108 ACRES (4697 SF)	

2. PROJECT LOCATION INFORMATION (Continued)

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

Beginning at intersection of Great Neck Rd and Adam Keeling Rd proceed west on Adam Keeling Rd approximately 5600 feet to arrive at 3181 Adam Keeling Rd

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)? Yes No

If so, name those localities:

3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in stream flows, include the water supply issues that form the basis of the proposed project.

Construction of (1) a 14' x 25' x 3' deep excavated mooring basin, (2) a boatlift, (3) an 8' x 23' pier platform with access walkways & (4) an 8' x 16' floating dock using shore based equipment and waterside barge as needed. Potentially, up to 4057 square feet (0.093 acre) of uplands and intertidal may be subject to disturbance from materials and equipment. The pier boatlift & bulkhead will use 39 piles (8" & 10"). Installation method anticipated to be by vibratory hammer. Site access by waterside barge and single accessway from street. No tree removal, grading, or clearing proposed. The purpose of this project is for improved access in close quarters that involves modifications to an existing riprap revetment. A living shore line approach has been considered, however due to large differential elevations, redesign of existing shoreline riprap features augmented with sheetpiles for better depths is clearly necessary. NV wetland impacts & compensation in lieu fee tabulated on sheet 2 of site plan.

Date of proposed commencement of work (MM/DD/YYYY)
6/2022

Date of proposed completion of work (MM/DD/YYYY)
55/31/2022

Are you submitting this application at the direction of any state, local, or federal agency? ____ Yes No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?
____ Yes No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property? ____ Yes No
(If yes, please explain)

4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ 60,000

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ 5000

5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line. Per Army Regulation (AR 25-51) outgoing correspondence must be addressed to a person or business.

Failure to provide this information may result in a delay in the processing of your application by VMRC.

Property owner's name	Mailing address	City	State	ZIP code
CONKWRIGHT FAMILY RLT	3185 ADAM KEELING RD	VIRGINIA BEACH	VA	23454
ROBERT PRODAN	3179 ADAM KEELING RD	VIRGINIA BEACH	VA	23454
MICHAEL KING	1921 LYNN COVE LN	VIRGINIA BEACH	VA	23454

Name of newspaper having general circulation in the area of the project: Virginian Pilot
Address and phone number (including area code) of newspaper: 150 W BRAMBLETON AVE NORFOLK, VA 23509 (757) 222-5346

Have adjacent property owners been notified with forms in Appendix A? Yes No (attach copies of distributed forms)

6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

7. HISTORIC RESOURCES INFORMATION

Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.

Are any historic properties located within or adjacent to the project site? Yes No Uncertain
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site? Yes No Uncertain
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district? Yes No Uncertain

If Yes, please indicate which district: _____

7. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes No Uncertain

If Yes, please provide the following information: Date of Survey: _____

Name of firm: _____

Is there a report on file with the Virginia Department of Historic Resources? Yes No Uncertain

Title of Cultural Resources Management (CRM) report: _____

Was any historic property located? Yes No Uncertain

8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	EXCAVATE MOORING SLIP EX S T PE SB NV	RIPRAP S T PE NV			
Latitude / Longitude (in decimal degrees)	36.8982 -76.0827	36.8982 -76.0827			
Wetland/waters impact area (square feet / acres)	85 SF INTERTIDAL 67 SF SUBAQUEOUS	21 SF INTERTIDAL			
Dune/beach impact area (square feet)	0	0			
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)	N/A	N/A			
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0	0			

8. WETLANDS/WATERS IMPACT INFORMATION (Continued)

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>	E1 UB- 2,3,4 E2 US- 2,3,4	E2 US- 2,3,4			
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)	N/A	N/A			
Contributing drainage area in acres or square miles (VMRC cannot complete review without this information)	1.08 ACRES	1.08 ACRES			
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII https://law.lis.virginia.gov	ESTAURINE CLASS II	ESTAURINE CLASS II			

For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.

For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS

READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

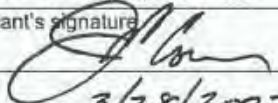

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)

Is/Are the Applicant(s) and Owner(s) the same? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Legal name & title of Applicant JAMES E COWAN	Second applicant's legal name & title, if applicable
Applicant's signature 	Second applicant's signature
Date 3/28/2022	Date
Property owner's legal name, if different from Applicant N/A	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S)' BEHALF (IF APPLICABLE)

I (we), JAMES E COWAN (and) _____,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant
 hereby certify that I (we) have authorized MARINE ENGINEERING LLC (and) _____
 AGENT'S NAME(S) – complete the second blank if more than one Agent
 to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature 	Second applicant's signature, if applicable
Date 3/28/2022	Date
Agent's signature and title 	Second agent's signature and title, if applicable
Date 3/28/2022	Date

N/A

CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)

I (we), _____ (and) _____,
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant
 have contracted _____ (and) _____
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor
 to perform the work described in this Joint Permit Application, signed and dated _____.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	



END OF GENERAL INFORMATION

The following sections are activity-specific. Fill out only the sections that apply to your particular project.

10. PRIVATE PIERS, MARGINAL WHARVES, AND UNCOVERED BOAT LIFTS

Regional Permit 17 (RP-17), authorizes the installation and/or construction of open-pile piers, mooring structures/devices, fender piles, covered boathouses/boatslips, boatlifts, osprey pilings/platforms, accessory pier structures, and certain devices associated with shellfish gardening, for private use, subject to strict compliance with all conditions and limitations further set out in the RP-17 enclosure located at http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/. In addition to the information required in this JPA, prospective permittees seeking authorization under RP-17 must complete and submit the 'Regional Permit 17 Checklist' with their JPA. A copy of the 'Regional Permit 17 Checklist' is found in Appendix B of this application package. If the prospective permittee answers "yes" (or "N/A", where applicable) to all of the questions on the 'Regional Permit 17 Checklist', the permittee is in compliance with RP-17 and will not receive any other written authorization from the Corps but may not proceed with construction until they have obtained all necessary state and local permits. Note: If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work.

If the prospective permittee answers "no" to any of the questions on the 'Regional Permit 17 Checklist' then their proposed structure(s) does not meet the terms and conditions of RP-17 and written authorization from the Corps is required before commencement of any work. In those circumstances, the following information must be included in the application and/or on the drawings in order for the application to be considered complete:

- 1. The applicant MUST provide written justification/need for the encroachment if the proposed structure(s) will extend greater than one-fourth of the distance across the waterway measured from either mean high water to mean high water (including all channelward wetlands) or ordinary high water to ordinary high water (including all channelward wetlands). The measurement should be based on the narrowest distance across the waterway regardless of the orientation of the proposed structure(s).
2. The applicant MUST provide written justification/need if the proposed structure(s) is greater than five (5) feet wide or there will be less than four (4) feet elevation between the decking and the vegetated wetlands substrate.
3. The Corps MAY require depth soundings across the waterway at increments designated by the Corps project manager. Inclusion of depth sounding data in the original JPA submittal is highly recommended in order to expedite permit evaluation. Depth soundings are typically taken at 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide. Please include the date and time the measurements were taken, whether the data was collected at mean low water (MLW) or MHW, and how the soundings were taken (e.g., tape, range finder, etc.).

Number of vessels to be moored at the pier or wharf: 1
Do you have an existing pier on your property? x Yes ___ No
If yes, will it be removed? x Yes ___ No
Is your lot platted to the mean low water shoreline? ___ Yes ___ No

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

11. BOATHOUSES, GAZEBOS, COVERED BOAT LIFTS, AND OTHER ROOFED STRUCTURES OVER WATERWAYS

Number of vessels to be moored at the proposed structure:
Will the sides of the structure be enclosed? ___ Yes ___ No
Area covered by the roof structure ___ square feet

In the spaces provided below, give the type (e.g., sail, power, skiff, etc.), size, and registration number of the vessel(s) to be moored

Table with 5 columns: TYPE, LENGTH, WIDTH, DRAFT, REGISTRATION #

15. TIDAL/NONTIDAL SHORELINE STABILIZATION STRUCTURES (INCLUDING BULKHEADS AND ASSOCIATED BACKFILL, RIPRAP REVETMENTS AND ASSOCIATED BACKFILL, MARSH TOE STABILIZATION, GROINS, JETTIES, AND BREAKWATERS, ETC.) Information on non structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.

Is any portion of the project maintenance or replacement of an existing and currently serviceable structure? Yes No
 If yes, give length of existing structure: 46 linear feet

If your maintenance project entails replacement of a bulkhead, is it possible to construct the replacement bulkhead within 2 feet channelward of the existing bulkhead? Yes No If not, please explain below:

Length of proposed structure, including returns: 80 BH / 94 RIPRAP linear feet

Average channelward encroachment of the structure from Mean high water/ordinary high water mark: <u>2</u> feet	Maximum channelward encroachment of the structure from Mean high water/ordinary high water mark: <u>3.7</u> feet
Mean low water: <u>0</u> feet	Mean low water: <u>0</u> feet

Maximum channelward encroachment from the back edge of the Dune <u>N/A</u> feet	Maximum channelward encroachment from the back edge of the Beach <u>N/A</u> feet
---------------------------------------------------------------------------------	----------------------------------------------------------------------------------

Describe the type of construction including all materials to be used (including all fittings). Will filter cloth be used? Yes No

Class 1&A1 riprap / vinyl sheet & pile bulkhead with timber piles/wales and steel fasteners

What is the source of the backfill material? N/A

What is the composition of the backfill material? _____

If rock is to be used, give the average volume of material to be used for every linear foot of construction: 0.3 cubic yards
 What is the volume of material to be placed below the plane of ordinary high water mark/mean high water? 1 cubic yards

For projects involving stone:
 Average weight of core material (bottom layers): 50 pounds per stone (Class 1 & A1)
 Average weight of armor material (top layers): 50 pounds per stone (Class A1 & 1)

Are there similar shoreline stabilization structures in the vicinity of your project site? Yes No
 If so, describe the type(s) and location(s) of the structure(s):

RIPRAP ON ADJACENT PROPERTY

If you are building a groin or jetty, will the channelward end of the structure be marked to show a hazard to navigation?
 Yes No

Has your project been reviewed by the Shoreline Erosion Advisory Service (SEAS)? Yes No
 If yes, please attach a copy of their comments.

16. BEACH NOURISHMENT

Source of material and composition (percentage sand, silt, clay): _____	Volume of material: _____ cubic yards
----------------------------------------------------------------------------	---------------------------------------

Area to be covered _____ square feet channelward of mean low water _____ square feet channelward of mean high water
 _____ square feet landward of mean low water _____ square feet channelward of mean high water

Mode of transportation of material to the project site (truck, pipeline, etc.):

16. BEACH NOURISHMENT (Continued)

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

17. DREDGING, MINING, AND EXCAVATING

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands								
Non-vegetated wetlands							12	85
Subaqueous land							6	67
Totals							18	152

Is this a one-time dredging event? ___ Yes ___ No If "no", how many dredging cycles are anticipated: _____
 (___ initial cycle in cu. yds.) (___ subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

40% SAND / 40% SILT / 20% ORGANIC

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

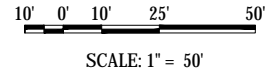
Dredged material will be loaded directly into truck for transport to disposal area

Will the dredged material be used for any commercial purpose or beneficial use? ___ Yes No
 If yes, please explain:

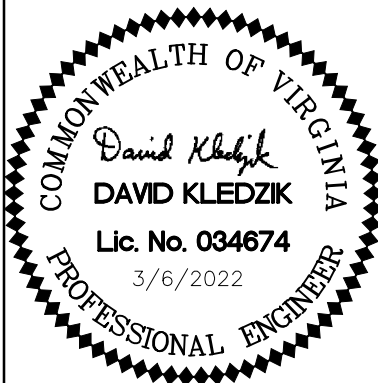
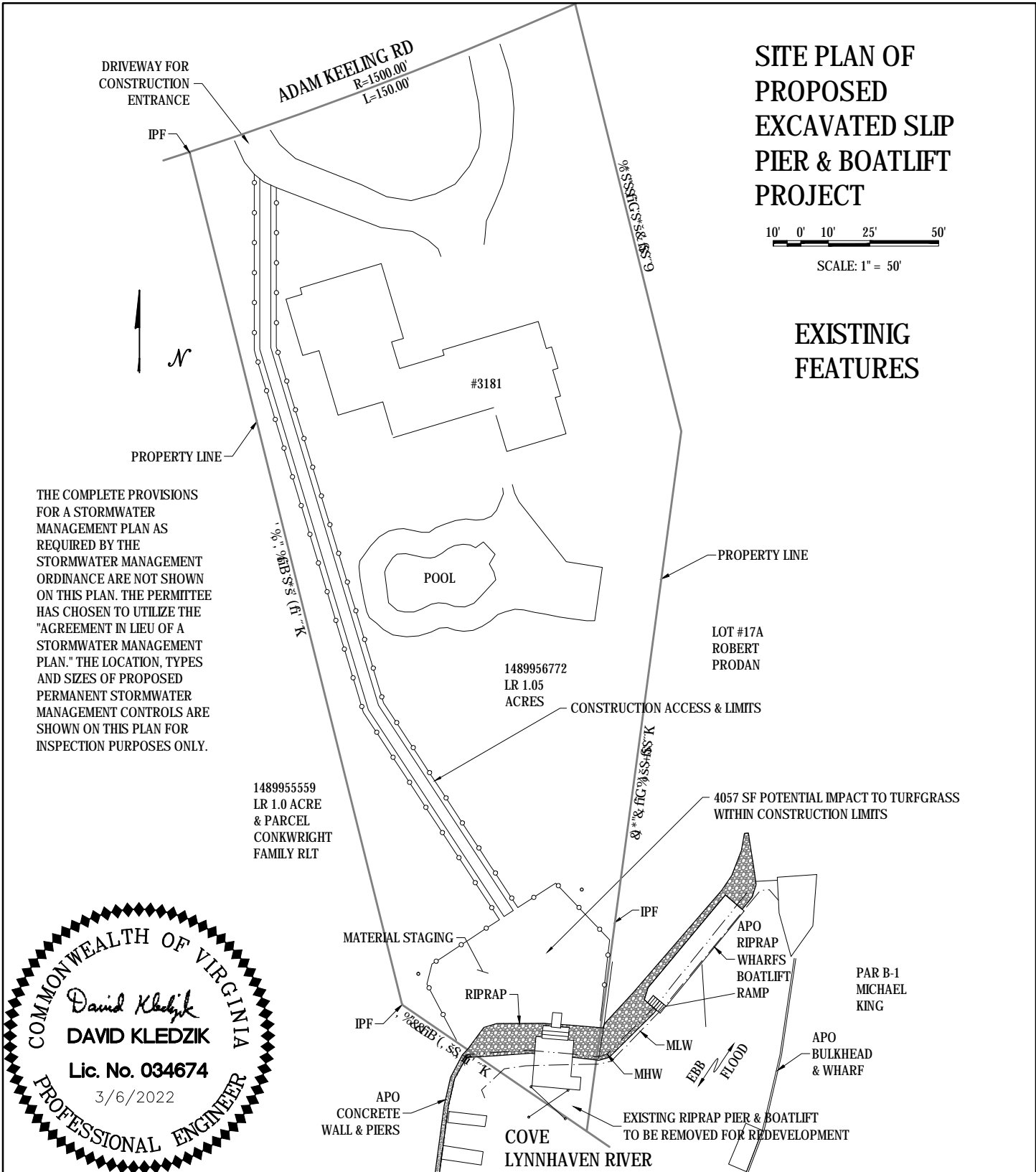
All dredge materials will be removed by a licensed marine contractor, loaded into barge containers and transported to the contractor's approved site to be offloaded onto trucks then hauled to an approved location.

If this is a maintenance dredging project, what was the date that the dredging was last performed? _____
 Permit number of original permit: _____ (It is important that you attach a copy of the original permit.)

SITE PLAN OF PROPOSED EXCAVATED SLIP PIER & BOATLIFT PROJECT



EXISTING FEATURES



APPLICANT: JAMES COWAND
3181 ADAM KEELING ROAD
VIRGINIA BEACH, VA 23454
ADJACENT PROPERTY OWNERS
SHOWN ON SHEET ONE

MARINE ENGINEERING LLC
PO BOX 5965
VIRGINIA BEACH, VA 23471
PH: (757) 477-4787

PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 1 OF 8
DATE: MARCH 6, 2021
REV-

JOB NUMBER 21187

PROPOSED EXCAVATED SLIP BULKHEAD & RIPRAP PIER & BOATLIFT

SCALE: 1" = 20'

DREDGING DATA		EXCAVATION DATA	
SF AREA	CY VOLUME	SF AREA	CY VOLUME
152	18	659	145

DREDGE IMPACT DATA SF AREA

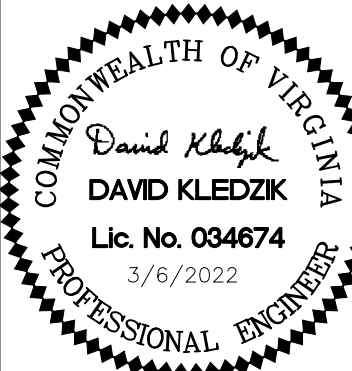
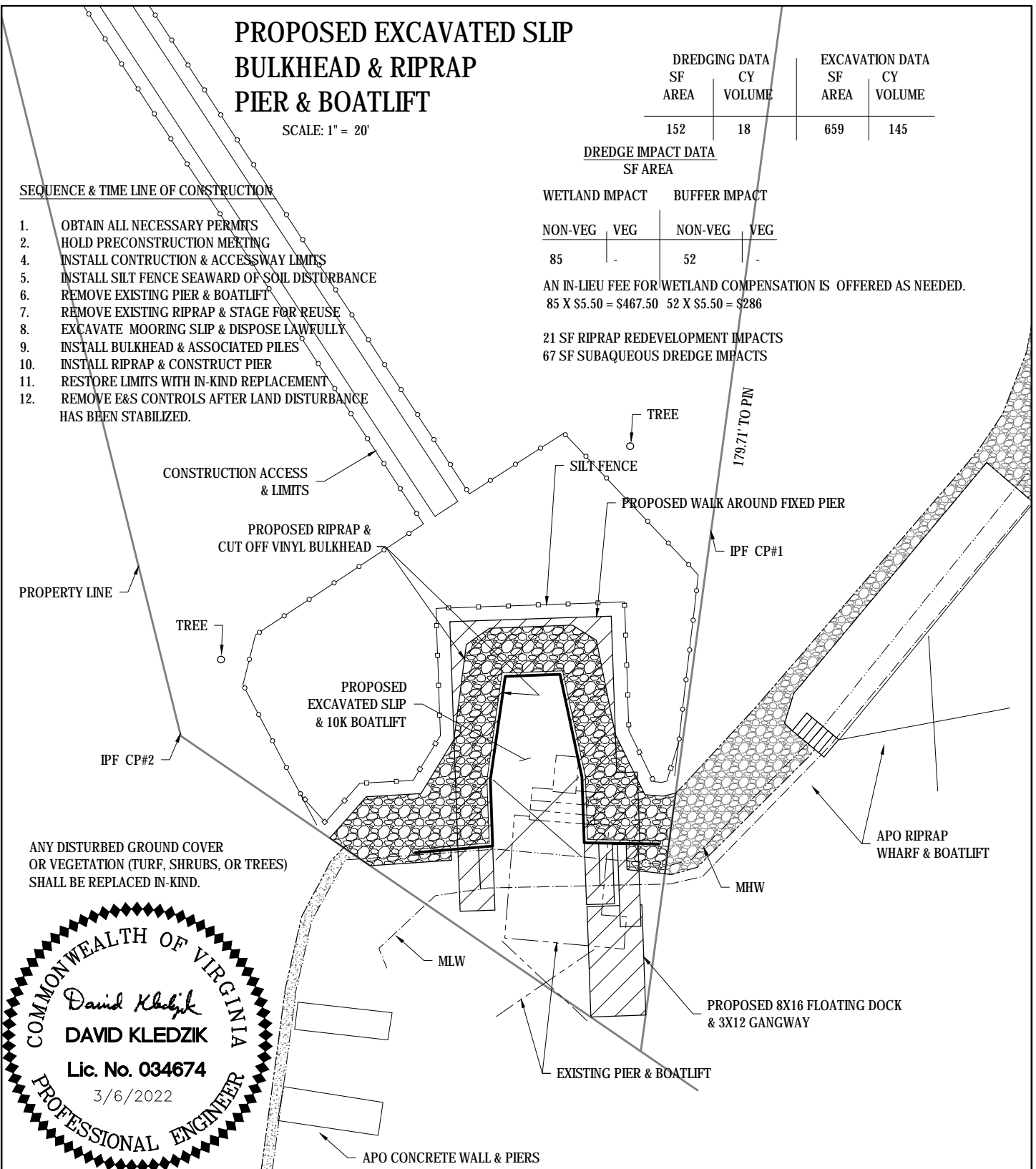
WETLAND IMPACT		BUFFER IMPACT	
NON-VEG	VEG	NON-VEG	VEG
85	-	52	-

AN IN-LIEU FEE FOR WETLAND COMPENSATION IS OFFERED AS NEEDED.
85 X \$5.50 = \$467.50 52 X \$5.50 = \$286

21 SF RIPRAP REDEVELOPMENT IMPACTS
67 SF SUBAQUEOUS DREDGE IMPACTS

SEQUENCE & TIME LINE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRECONSTRUCTION MEETING
4. INSTALL CONSTRUCTION & ACCESSWAY LIMITS
5. INSTALL SILT FENCE SEAWARD OF SOIL DISTURBANCE
6. REMOVE EXISTING PIER & BOATLIFT
7. REMOVE EXISTING RIPRAP & STAGE FOR REUSE
8. EXCAVATE MOORING SLIP & DISPOSE LAWFULLY
9. INSTALL BULKHEAD & ASSOCIATED PILES
10. INSTALL RIPRAP & CONSTRUCT PIER
11. RESTORE LIMITS WITH IN-KIND REPLACEMENT
12. REMOVE E&S CONTROLS AFTER LAND DISTURBANCE HAS BEEN STABILIZED.



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PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING
DATUM: MLW = 0.00'
SHEET 2 OF 8
DATE: MARCH 6, 2021
REV-

CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153
(OR STAINLESS STEEL)

#10X3 SCREW

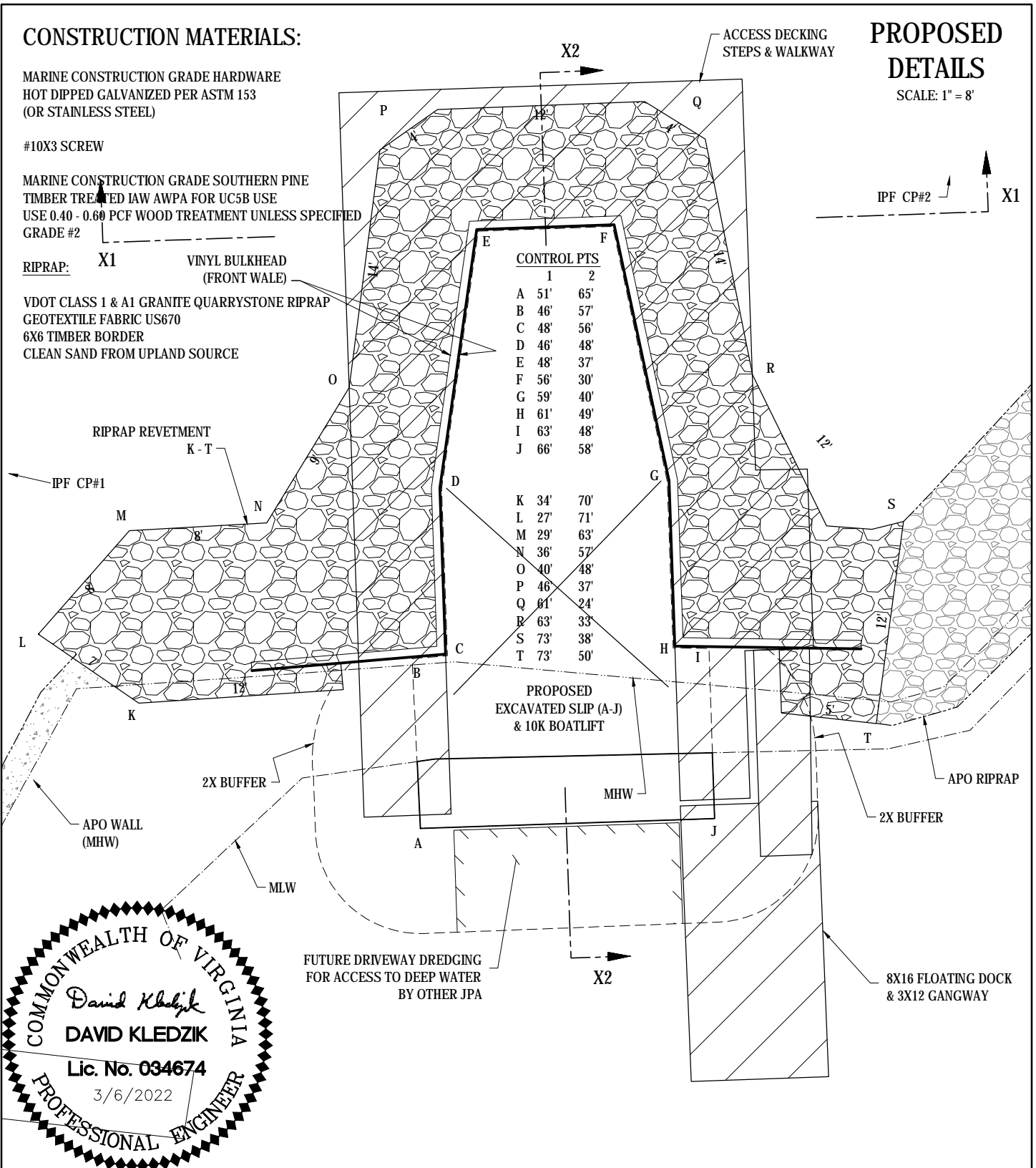
MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE
USE 0.40 - 0.60 PCF WOOD TREATMENT UNLESS SPECIFIED
GRADE #2

RIPRAP: X1 VINYL BULKHEAD
(FRONT WALE)

VDOT CLASS 1 & A1 GRANITE QUARRYSTONE RIPRAP
GEOTEXTILE FABRIC US670
6X6 TIMBER BORDER
CLEAN SAND FROM UPLAND SOURCE

**PROPOSED
DETAILS**

SCALE: 1" = 8'



CONTROL PTS

	1	2
A	51'	65'
B	46'	57'
C	48'	56'
D	46'	48'
E	48'	37'
F	56'	30'
G	59'	40'
H	61'	49'
I	63'	48'
J	66'	58'
K	34'	70'
L	27'	71'
M	29'	63'
N	36'	57'
O	40'	48'
P	46'	37'
Q	61'	24'
R	63'	33'
S	73'	38'
T	73'	50'



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PROPOSED PROJECT FOR ACCESS &
WATERCRAFT MOORING
DATUM: MLW = 0.00'
SHEET 3 OF 8
DATE: MARCH 6, 2021
REV-

BULKHEAD CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153
(OR STAINLESS STEEL)

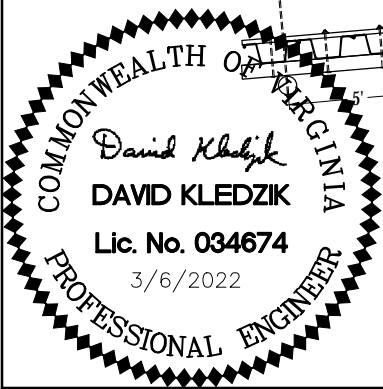
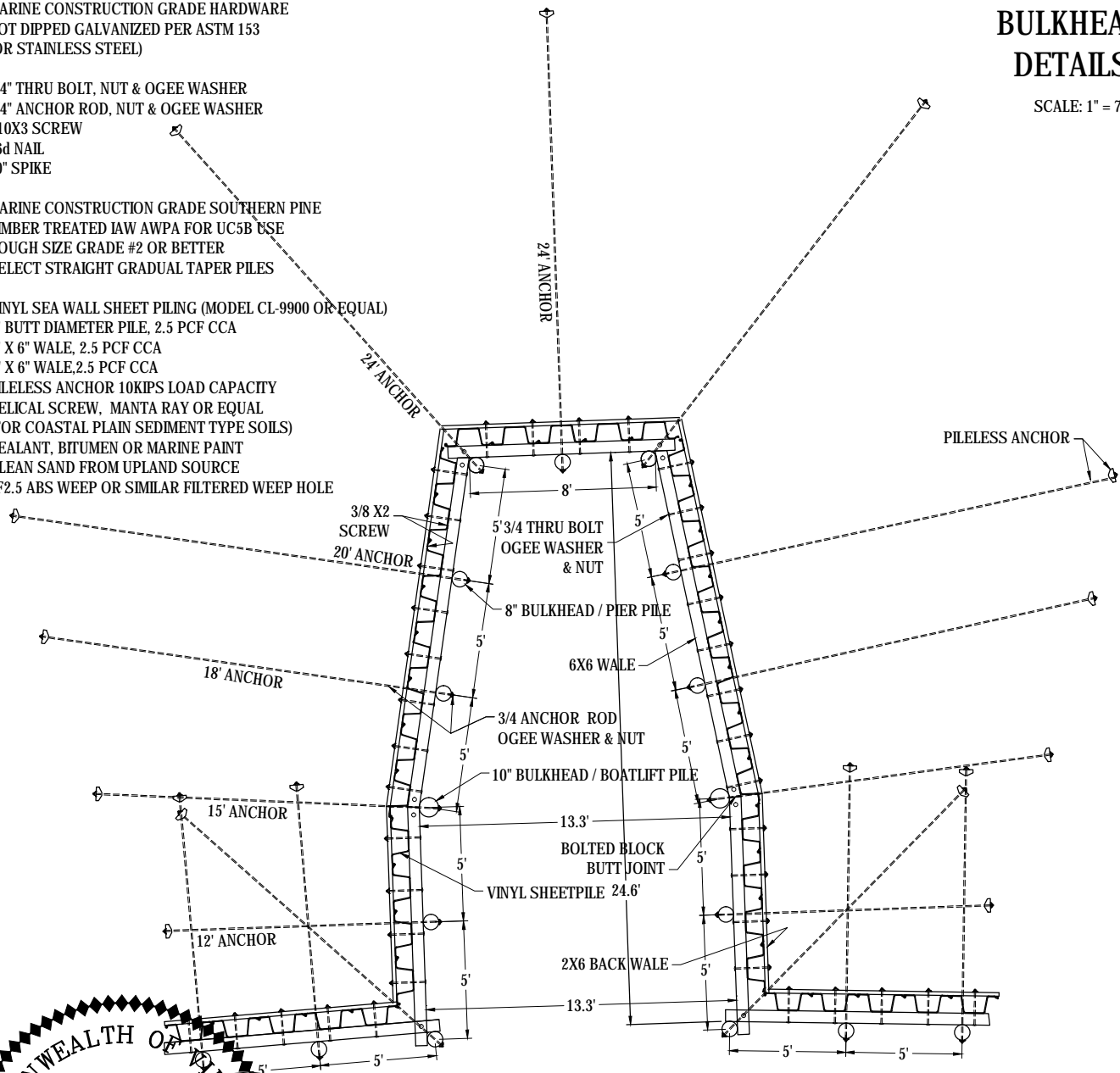
3/4" THRU BOLT, NUT & OGEE WASHER
3/4" ANCHOR ROD, NUT & OGEE WASHER
#10X3 SCREW
16d NAIL
10" SPIKE

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE
ROUGH SIZE GRADE #2 OR BETTER
SELECT STRAIGHT GRADUAL TAPER PILES

VINYL SEA WALL SHEET PILING (MODEL CL-9900 OR EQUAL)
8" BUTT DIAMETER PILE, 2.5 PCF CCA
6" X 6" WALE, 2.5 PCF CCA
2" X 6" WALE, 2.5 PCF CCA
PILELESS ANCHOR 10KIPS LOAD CAPACITY
HELICAL SCREW, MANTA RAY OR EQUAL
(FOR COASTAL PLAIN SEDIMENT TYPE SOILS)
SEALANT, BITUMEN OR MARINE PAINT
CLEAN SAND FROM UPLAND SOURCE
JF2.5 ABS WEEP OR SIMILAR FILTERED WEEP HOLE

**PROPOSED
BULKHEAD
DETAILS**

SCALE: 1" = 7'



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PROPOSED PROJECT FOR ACCESS &
WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 4 OF 8
DATE: MARCH 6, 2021
REV-

CONSTRUCTION MATERIALS:

MARINE CONSTRUCTION GRADE HARDWARE
HOT DIPPED GALVANIZED PER ASTM 153
(OR STAINLESS STEEL)

3/4" THRU BOLT, NUT & WASHER
#10X3 SCREW
16d NAIL

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE
*USE ACQ FOR PERSONAL CONTACT SURFACES
USE 0.40 - 0.60 PCF WOOD TREATMENT UNLESS SPECIFIED
GRADE #2

PIER:

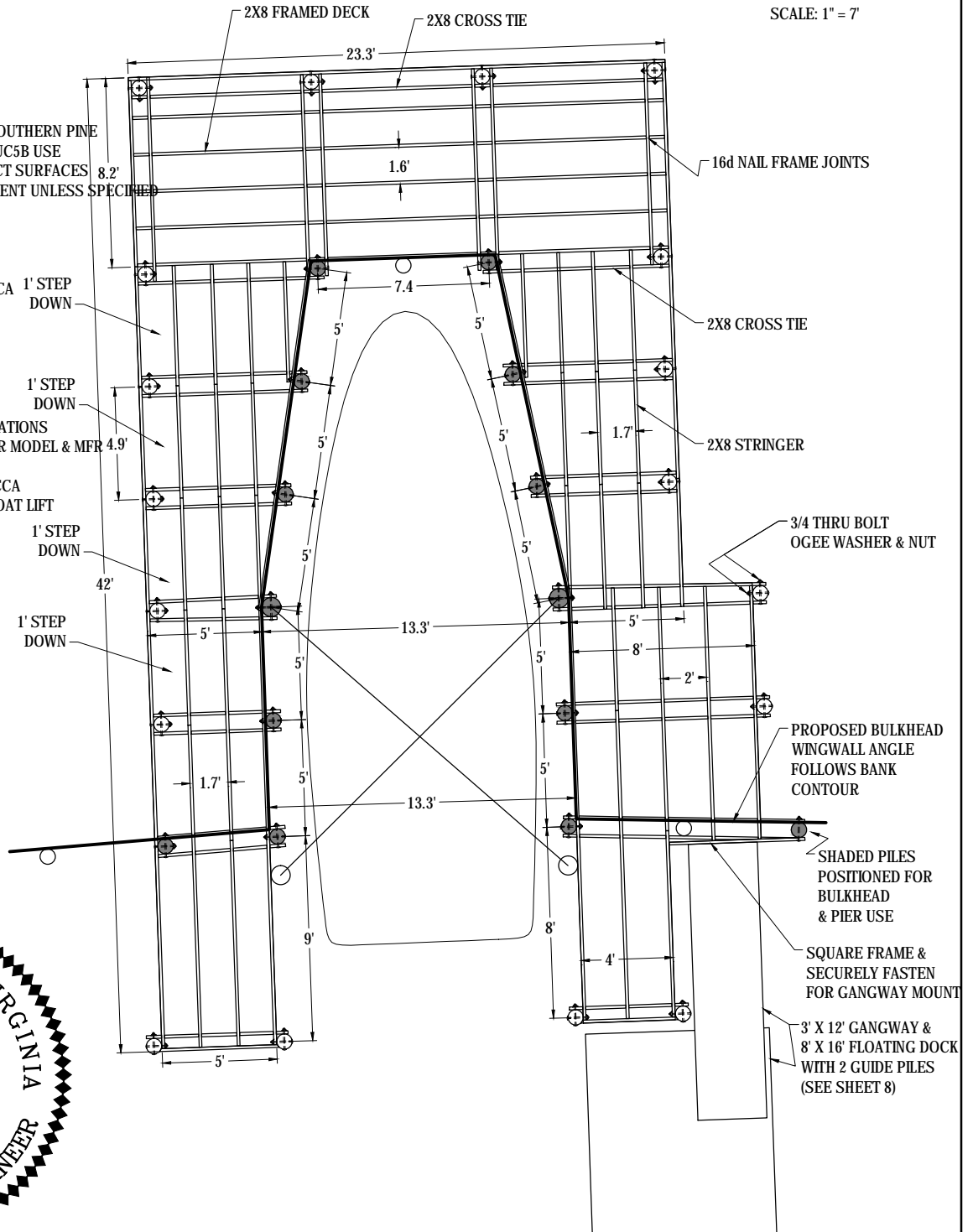
8" BUTT DIAMETER PILE, 2.5 PCF CCA
2" X 8" CROSS TIE, 2.5 PCF CCA
2" X 8" STRINGER
2" X 6" DECKBOARD*

BOAT LIFT:

INSTALLED PER MFR RECOMMENDATIONS
MOUNTING FOOTPRINT VARIES PER MODEL & MFR 4.9'
10" BUTT DIAMETER PILE, 2.5 PCF CCA
10,000 LB FOUR PILE OVERHEAD BOAT LIFT

**PROPOSED
FRAMING
DETAILS**

SCALE: 1" = 7'



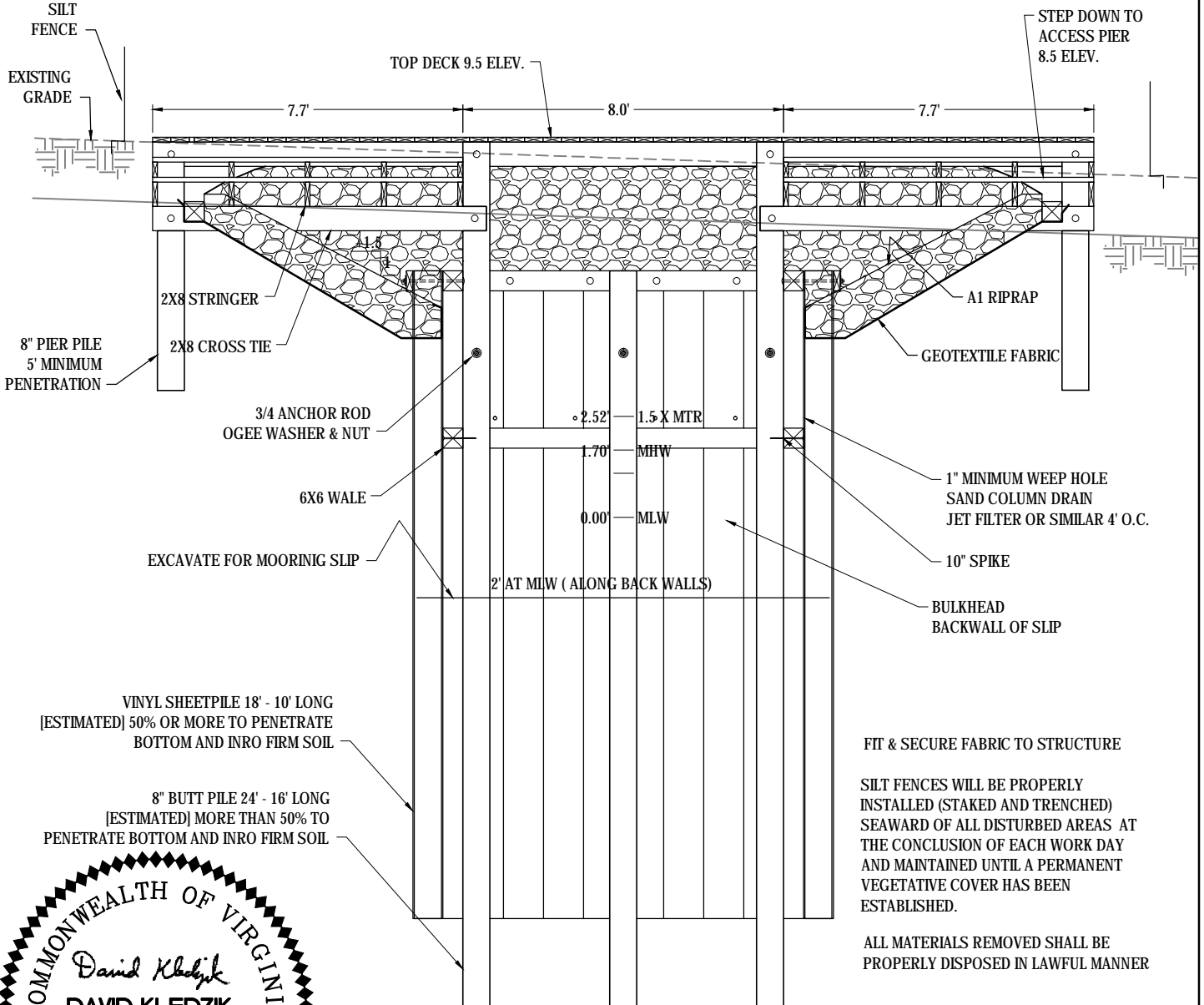
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VIRGINIA BEACH, VA 23454

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PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING
DATUM: MLW = 0.00'
SHEET 5 OF 8
DATE: MARCH 6, 2021
REV-

SECTION X1 - X1 PROPOSED SLIP DETAILS

SCALE: 1" = 4'

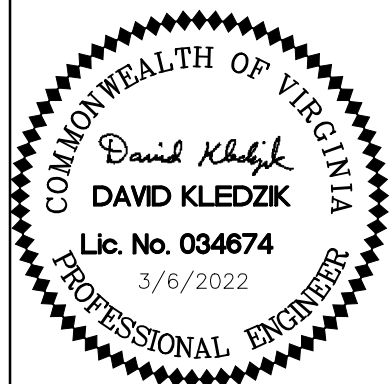
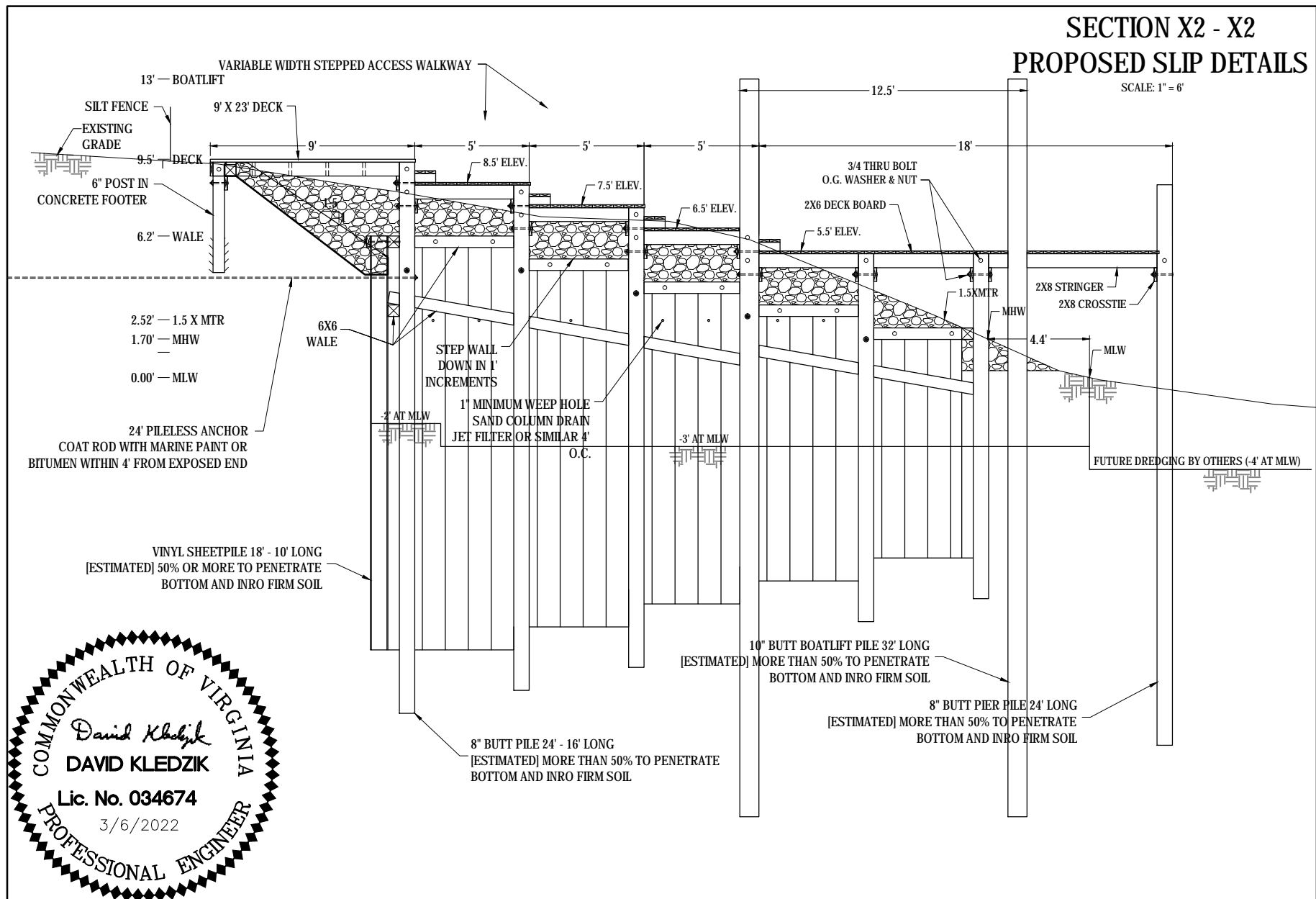


DESIGN BASED ON STANDARD PRACTICES WITHOUT THE BENEFIT OF SOILS TESTING. NO ALLOWANCES HAVE BEEN MADE FOR UNKNOWN SUBSOIL CONDITIONS. DEVELOPER SHALL MONITOR INSTALLATION AND PILE DRIVING RESISTANCE TO ASCERTAIN SUBSOIL CONDITIONS AND ADEQUATE PENETRATION AND CONTACT THE ENGINEER OF RECORD IF EITHER MINIMUM PENETRATION DEPTHS OF PILES CANNOT BE MET OR IF SOIL DISCOVERED NOT FIRM. ESTIMATED PILE LENGTHS SHOWN MAY REQUIRE GREATER LENGTH TO ACHIEVE 50% PENETRATION INTO FIRM SOIL. ALL DIMENSIONS AND MATERIAL SPECIFICATIONS ARE MINIMUMS UNLESS OTHERWISE SPECIFIED.

APPLICANT: JAMES COWAND 3181 ADAM KEELING ROAD VIRGINIA BEACH, VA 23454	MARINE ENGINEERING LLC PO BOX 5965 VIRGINIA BEACH, VA 23471 PH: (757) 477-4787	PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING DATUM: MLW = 0.00' SHEET 6 OF 8 DATE: MARCH 6, 2021 REV-
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SECTION X2 - X2 PROPOSED SLIP DETAILS

SCALE: 1" = 6'



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PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING
 DATUM: MLW = 0.00'
 SHEET 7 OF 8
 DATE: MARCH 6, 2021
 REV-

FLOATING DOCK DETAILS

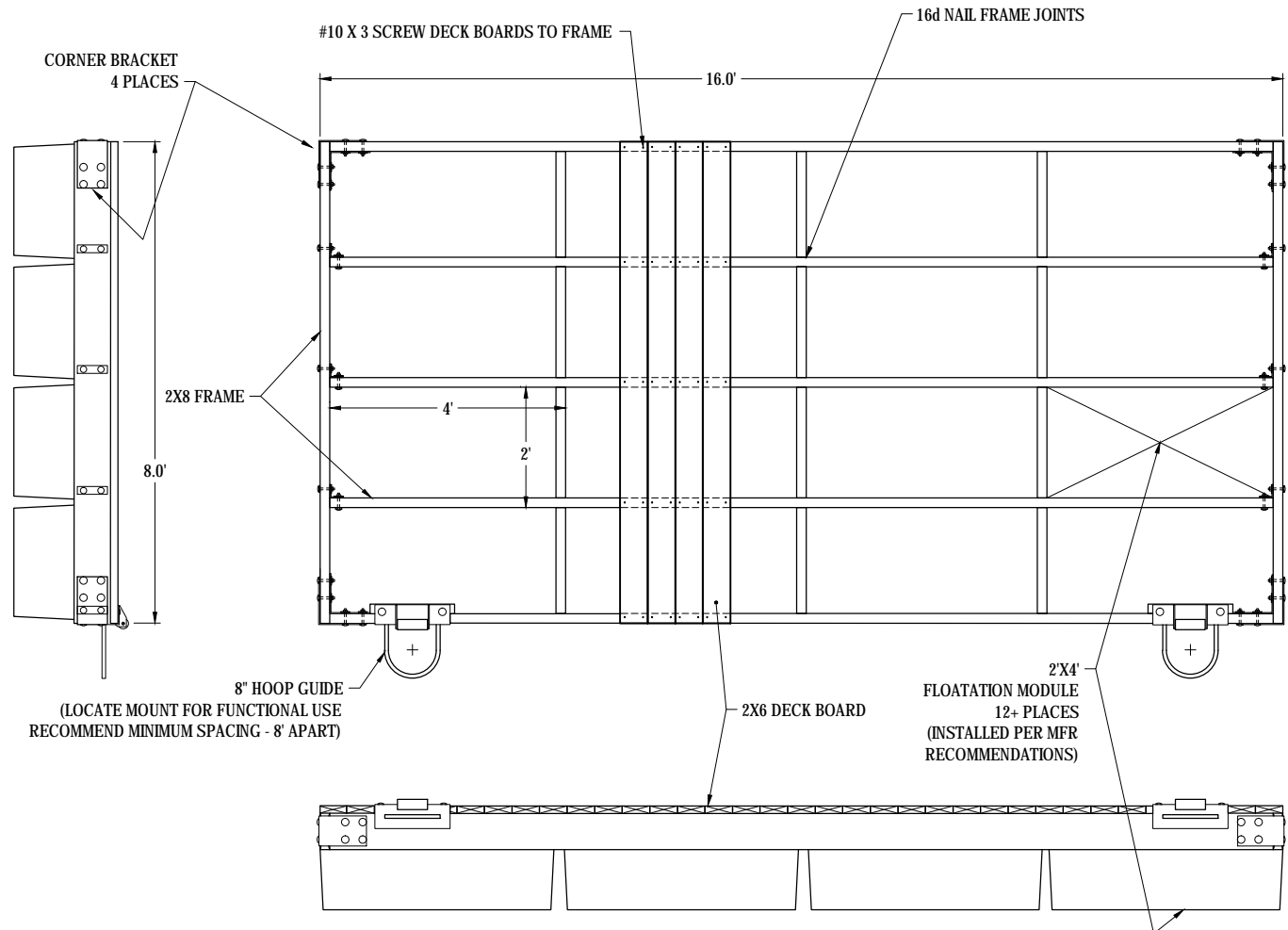
SCALE: 1" = 3'

FLOATING DOCK CONSTRUCTION MATERIALS:

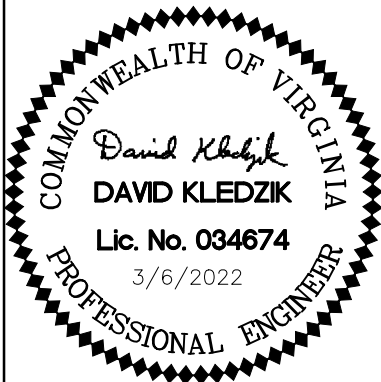
MARINE CONSTRUCTION GRADE HARDWARE HOT
DIPPED GALVANIZED PER ASTM 153

MARINE CONSTRUCTION GRADE SOUTHERN PINE
TIMBER TREATED IAW AWPA FOR UC5B USE
* USE ACQ FOR PERSONAL CONTACT SURFACES
(OR STAINLESS STEEL)

2" X 8" FRAME
2" X 6" DECKBOARD *
16d NAILS
#10X3 SCREW
HEAVY DUTY 8" PILING HOOP GUIDE ASSEMBLY
HEAVY DUTY CORNER BRACKET ASSEMBLY
2" X 4" POLYFLOAT SYSTEM (OR SIMILAR)
3'X12' ALUMINUM GANGWAY
(INSTALL COTS ITEMS IAW MFR)



FLOATING DOCK STABILITY & ELEVATION
DEPENDENT ON APPLIED LOADS, FLOAT MODULE QUANTITY & ARRANGEMENT
AVOID CONCENTRATED LOADS NEAR EDGE.



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PROPOSED PROJECT FOR ACCESS & WATERCRAFT MOORING

DATUM: MLW = 0.00'

SHEET 8 OF 8
DATE: MARCH 6, 2021
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AREA MAP OF 3181 ADAM KEELING RD VIRGINIA BEACH, VA 23454

SCALE 1" : 1200'



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 3181 ADAM KEELING RD

APPLICANT'S NAME: JAMES E COWAN

APPLICANT'S ADDRESS: 3181 ADAM KEELING RD

Virginia Beach, VA 23454

ENGINEER OF RECORD: David Kledzik

PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT

CONSTRUCTION: David Kledzik

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



3/27/2022

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

David Kledzik

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION


SIGNATURE OF APPLICANT

3/5/22
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____