



# Wetlands Board Agenda

November 15, 2021

# Wetlands Board Hearing Procedures

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, November 15, 2021 at 10:00 a.m. in the Council Chamber - City Hall, Bldg. 1 Municipal Center, Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m.. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to [waterfront@vb.gov](mailto:waterfront@vb.gov) or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands). For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

**PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.**

**THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.**

## **THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING**

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
  - a. An applicant may **WITHDRAW** an application without the Boards' approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
  - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

\* Deferral

\*\* Withdrawal

**Wetlands Board Agenda  
November 15, 2021**



- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

\* Deferral  
\*\* Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

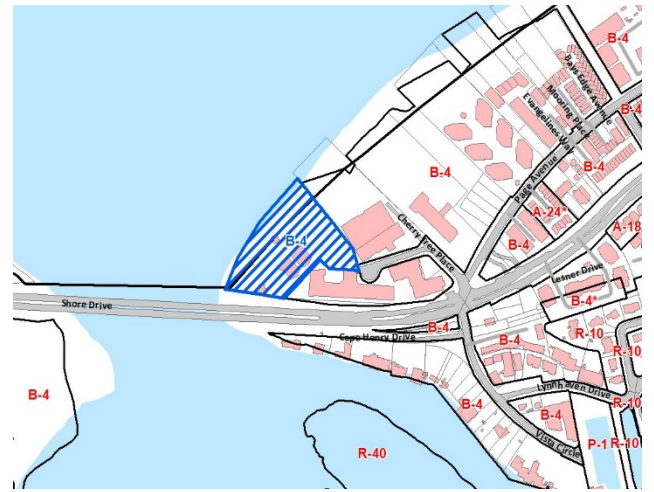
NEW BUSINESS – COASTAL PRIMARY SAND DUNE/BEACH

1. 2021-WTRA-00298  
The Terry Companies Five,  
LLC [Applicant & Owner]

**To construct access stairs involving Coastal Primary Sand Dune/Beach**

2301 Point Chesapeake Quay  
(GPIN 1489-79-7159)

Waterway – Chesapeake Bay  
Subdivision – Point Chesapeake  
Council District – Lynnhaven



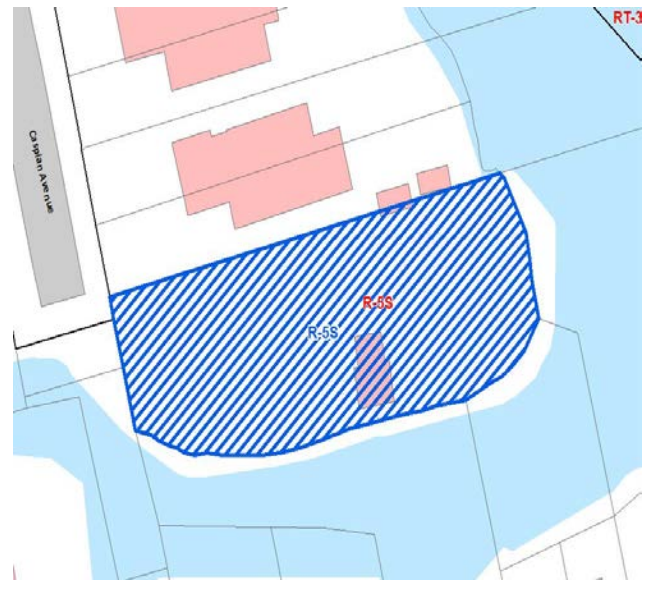
NEW BUSINESS – WETLANDS

2. 2021-WTRA-00130  
Joseph J. Lamontagne [Applicant  
& Owner], City of Virginia Beach  
[Owner], Lee Percy [Owner]

**To construct rip rap revetment involving wetlands**

Lot 1 of Shadow Lawn Heights, Caspian  
Ave  
(GPINs 2427-01-6963, 2427-01-8283 &  
2427-01-7858)

Waterway – Canal from Lake Rudee  
Subdivision – Shadow Lawn Heights  
Council District – Beach



\* Deferral  
\*\* Withdrawal

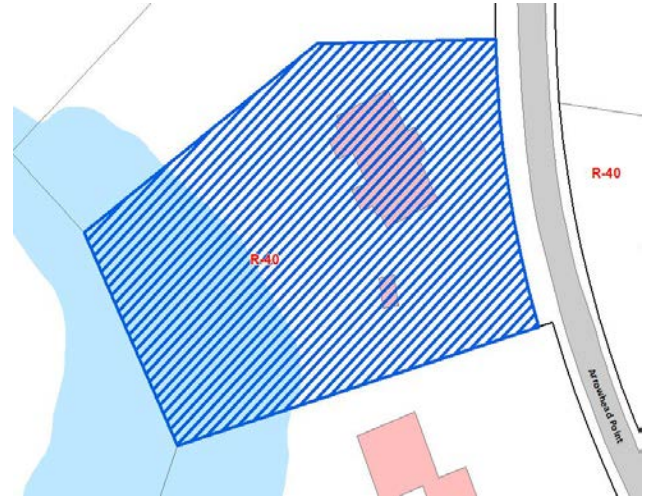
NEW BUSINESS – WETLANDS (CONTINUED)

3. 2021-WTRA-00270  
 Bertrand Ross & Susanne  
 Hughes [Applicant & Owner]

**To install rip rap with living shoreline  
 involving wetlands**

1630 Arrowhead Pt  
 (GPIN 1489-02-8555)

Waterway – Western Branch of Lynnhaven  
 River  
 Subdivision – Thoroughgood  
 Council District – Bayside

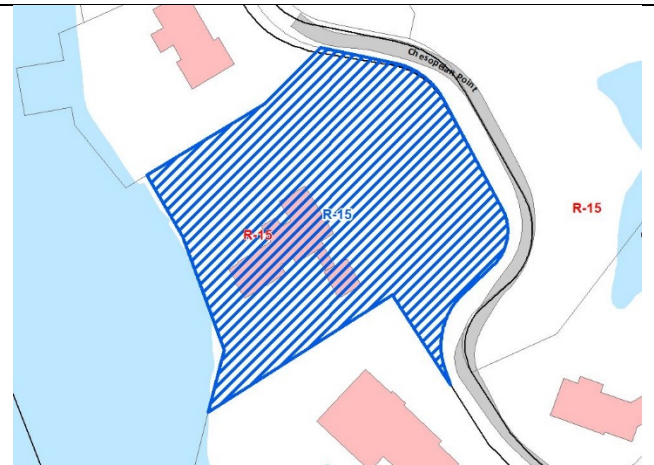


4. 2021-WTRA-00299  
 Lauren Graham [Applicant & Owner]

**To construct rip rap revetment and plant  
 vegetation involving wetlands**

665 Chesopean Pt  
 (GPIN 1497-59-3425)

Waterway – Eastern Branch Lynnhaven  
 River  
 Subdivision – Chesopean Colony  
 Council District – Beach

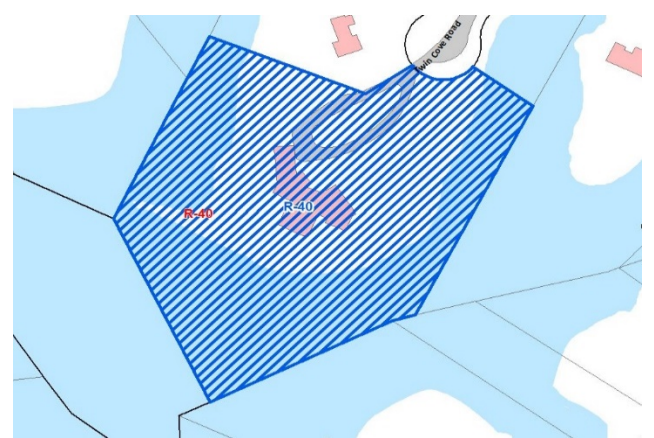


5. 2021-WTRA-00300  
 Brian & Mary Geary  
 [Applicant & Owner]

**To construct rip rap revetment and sill  
 and plant vegetation involving wetlands**

1900 W Twin Cove Rd  
 (GPIN 1499-15-0874)

Waterway – Lynnhaven River  
 Subdivision – Great Neck Point  
 Council District – Lynnhaven



\* Deferral  
 \*\* Withdrawal



NEW BUSINESS – WETLANDS (CONTINUED)

6. 2021-WTRA-00301  
James Bennett and Mary Mantey [Applicant & Owner]

**To construct rip rap and oyster castles and plant vegetation involving wetlands**

1618 Duke of Windsor Rd  
(GPIN 2408-88-5861)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Shores  
Council District – Lynnhaven

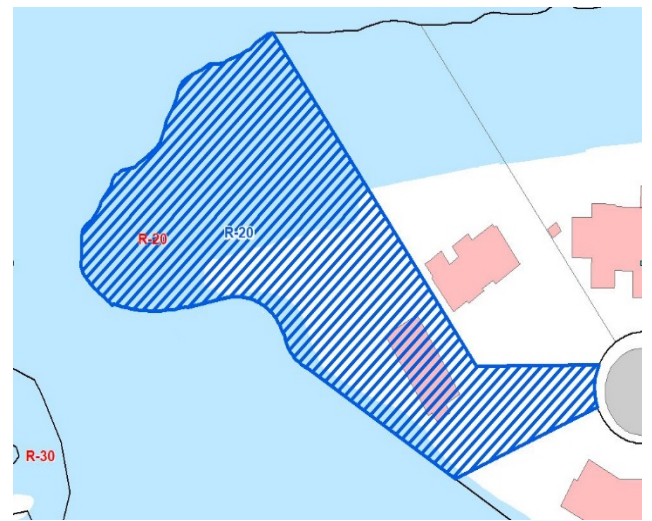


7. 2021-WTRA-00280  
John S. Alspaugh Living Trust & Patricia H. Alspaugh Living Trust [Applicant & Owner]

**To construct rip rap revetment involving wetlands**

1661 Bay Point  
(GPIN 2409-24-4243)

Waterway – Broad Bay  
Subdivision – Baycliff  
Council District – Lynnhaven

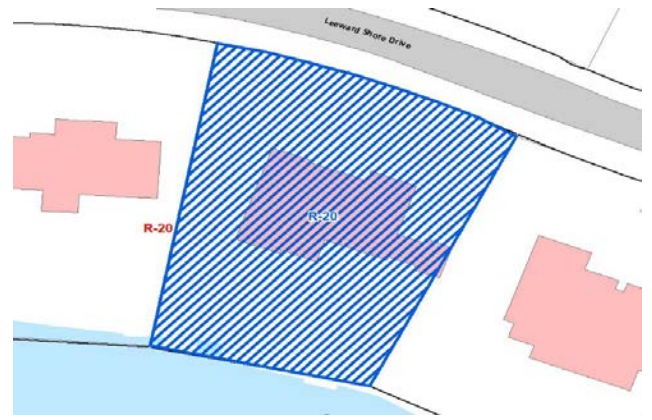


8. 2021-WTRA-00296  
Christian & Jennifer Cool [Applicant & Owner]

**To install a bulkhead involving wetlands**

2317 Leeward Shore Dr  
(GPIN 2409-09-7975)

Waterway – Bay Island  
Subdivision – Bay Island  
Council District – Lynnhaven



\* Deferral  
\*\* Withdrawal

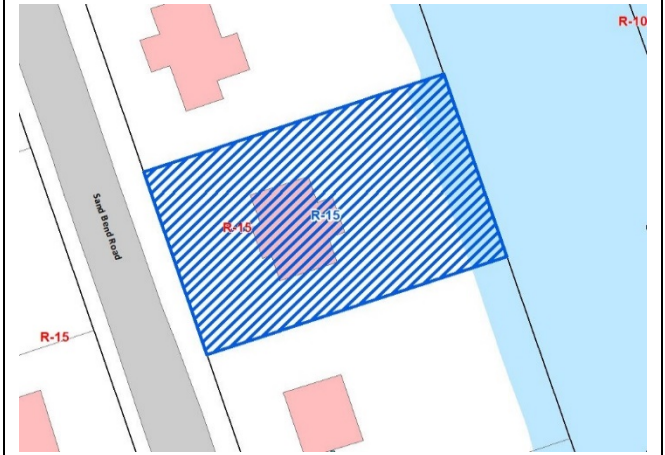
NEW BUSINESS – WETLANDS (CONTINUED)

9. 2021-WTRA-00305  
 Lucy Ann Maeyer Trust  
 [Applicant & Owner]

**To install a bulkhead, marginal wharf  
 and deck involving wetlands**

2964 Sand Bend Rd  
 (GPIN 2433-33-5044)

Waterway – North Bay Inlet  
 Subdivision – Sandbridge  
 Council District – Princess Anne



**TENTATIVE 2022 WETLANDS BOARD PUBLIC HEARING DATES**

Thursday	<b>January 20<sup>th</sup></b>	Monday	<b>July 18<sup>th</sup></b>
Monday	<b>February 21<sup>st</sup></b>	Monday	<b>August 15<sup>th</sup></b>
Monday	<b>March 21<sup>st</sup></b>	Monday	<b>September 19<sup>th</sup></b>
Monday	<b>April 18<sup>th</sup></b>	Monday	<b>October 17<sup>th</sup></b>
Monday	<b>May 16<sup>th</sup></b>	Monday	<b>November 21<sup>st</sup></b>
Wednesday	<b>June 22<sup>nd</sup></b>	Monday	<b>December 19<sup>th</sup></b>

\* Deferral  
 \*\* Withdrawal

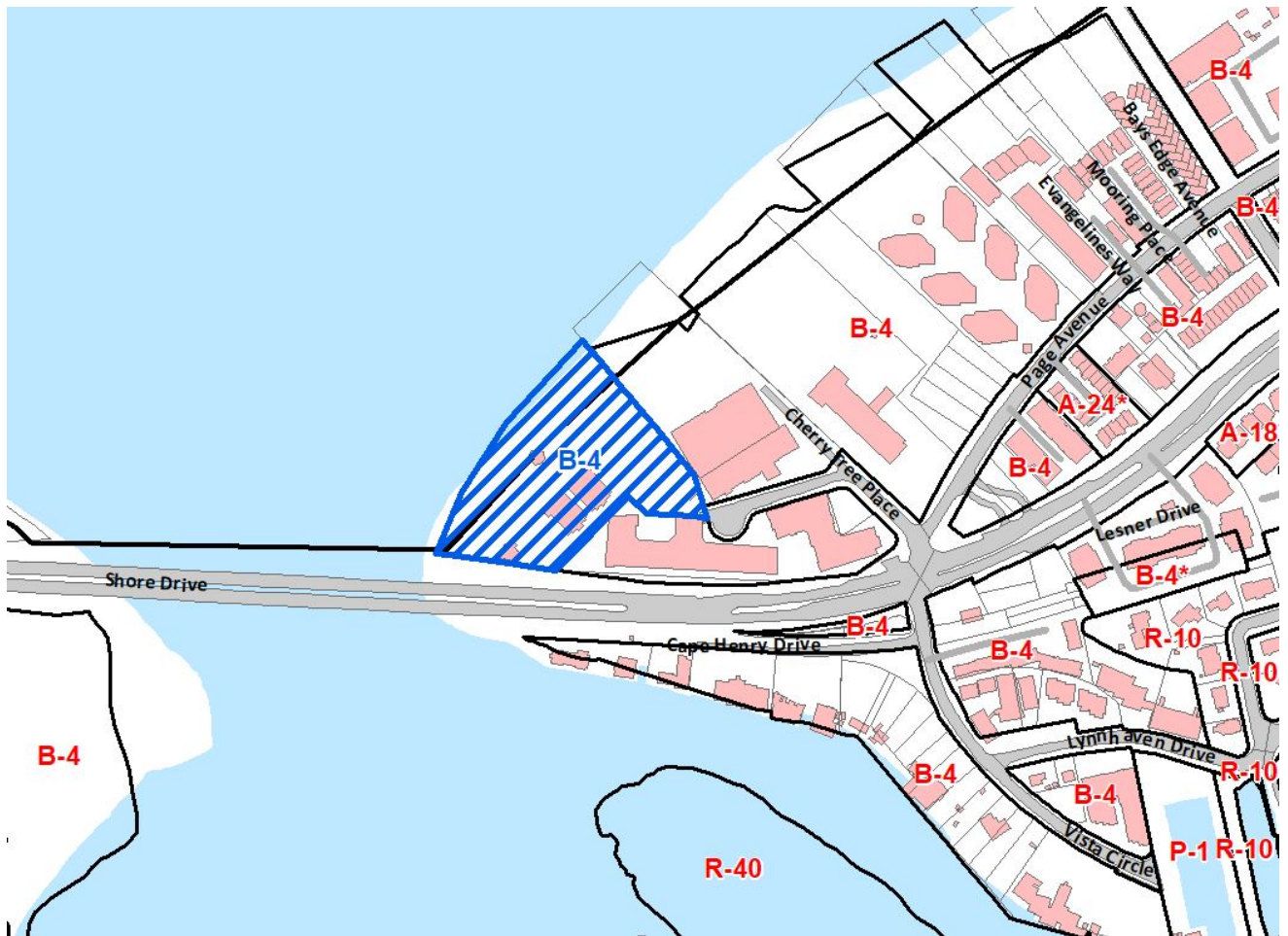
1. 2021-WTRA-00298

The Terry Companies Five, LLC [Applicant & Owner]

**To construct access stairs involving Coastal Primary Sand Dune/Beach**

2301 Point Chesapeake Quay  
(GPIN 1489-79-7159)

Waterway – Chesapeake Bay  
Subdivision – Point Chesapeake  
Council District – Lynnhaven





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** The Terry Companies Five, L.L.C., a Virginia limited liability company

Does the applicant have a representative?  **Yes**  **No**

- If **yes**, list the name of the representative.

Tuck Bowie

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

John H. Peterson III, Assistant Operating Manager of The Terry Companies Five, L.L.C.

Members: Point Chesapeake, L.L.C., a Virginia limited liability company, and  
Napolitano III, L.L.C., a Virginia limited liability company

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

N/A

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the financial institutions.

TowneBank

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  **Yes**  **No**

- If **yes**, identify the real estate broker/realtor.

Berkshire Hathaway Towne Realty

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

Cherry Bekaert

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

Cox Kliewer, Architect; MSA P.C. Landscape Architect and Land Planner

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

Napolitano Homes

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

MSA, P.C.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

Ruloff Swain Haddad Morecock Talbert & Woodward, P.C.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

John H. Peterson III, Assistant Operating Manager

Print Name and Title

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	



- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-2026

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)				
<b>County or City in which the project is located:</b> _____ <b>Waterway at project site:</b> _____				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
City of VB	JPA for Seawall	VMRC 11-0939	Approved	
City of VB	JPA for staircase repair	2021-WTRA-00161	Approved	

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
The Terry Companies Five, LLC C/O Tuck Bowie Home ( ) \_\_\_\_\_  
4705 Columbus Street, Suite 150 Work ( 757 ) 932-7458  
Virginia Beach, VA. 23462 Fax ( ) \_\_\_\_\_  
tuckbow@terrypeterson.com Cell ( ) \_\_\_\_\_  
e-mail tuckbow@terrypeterson.com  
State Corporation Commission Name and ID Number (if applicable) S1230335
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Same as applicant Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Brian Owen Home ( ) \_\_\_\_\_  
MSA, P.C. Work ( 757 ) 490-9264  
5032 Rouse Drive, Suite 100 Fax ( ) \_\_\_\_\_  
Virginia Beach, VA. 23462 Cell ( ) \_\_\_\_\_  
e-mail brian.owen@msaonline.com  
State Corporation Commission Name and ID Number (if applicable) 0195533-5

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

See Cover Letter

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot  
150 West Brambleton Avenue  
Norfolk, VA. 23510

( 757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 2301 Point Chesapeake Way

Lot/Block/Parcel# \_\_\_\_\_

Subdivision \_\_\_\_\_

City / County Virginia Beach ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.908 / - 76.090 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

264 east, exit Independence Blvd north, turn right on Pleasure House Road, turn right on First Court Rd, turn right on Shore Drive, cross the Lesner Bridge and take next left on Page Avenue, take an immediate left on Cherry Tree Place, continue straight on Point Chesapeake Way to the end.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to provide safe beach access for tenants via the previously built staircase attached to the gazebo at Point Chesapeake.



## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- Project is minimum to allow safe access. The prior application and permits received from the City involved repair of the existing staircase, but the contractor cannot access it to complete the repair to beach erosion.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ TBD  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 0
13. Completion date of the proposed work: ASAP - \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.
- Harbor Gate Condominiums - 3300 Ocean Shore Avenue, Virginia Beach, VA. 23451
- Harbor Preserve, LLC - 3319 Shore Drive, Virginia Beach, VA. 23451
- City of Virginia Beach - 2405 Courthouse Road, Virginia Beach, VA. 23456

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.  
In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

John H. Peterson, III.

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

  
Applicant's Signature

(Use if more than one applicant)

9/24/2021  
Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), The Terry Companies Five, LLC, hereby certify that I (we) have authorized Brian Owen of MSA, P.C.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

9/24/2021  
(Date)

→   
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

→ 9/24/2021  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

### Part 3 – Appendices (continued)


**Appendix C: Crossings** in, on, over, or under, waters, submerged lands, tidal wetlands and/or dunes and beaches, including but not limited to, bridges, walkways, pipelines and utility lines.

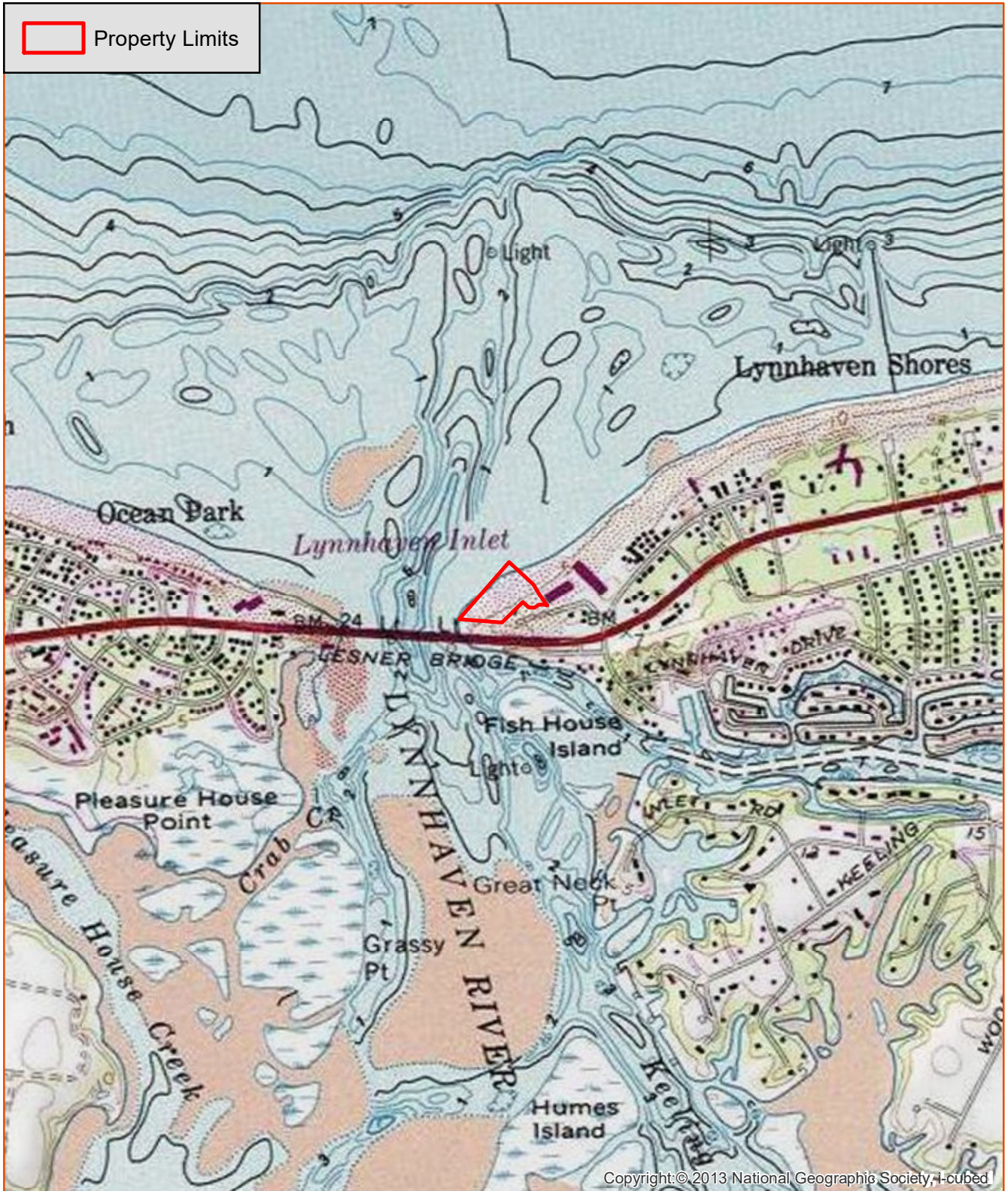
1. What is the purpose and method of installation of the crossing?  
 Purpose is to provide safe beach access for the residents of the condominium.  
 Method is via construction of a staircase on the north side of the gazebo walkway, with anchoring support piles, to the beach.
2. What is the width of the waterway and/or wetlands to be crossed  
 from mean high water to mean high water (tidal waters)?   N/A   feet.  
 from mean low water to mean low water (tidal waters)?   N/A   feet.  
 from ordinary high water to ordinary high water (non-tidal waters)?   N/A   feet.
3. For bridges (footbridges, golf cart bridges, roadway bridges, etc.), what is the width of the structure over the tidal wetlands, dunes/beaches and/or submerged lands?   4'x23'   square feet.
4. For overhead crossings:
  - a. What will be the height above mean high water?   N/A   feet.
  - b. If there are other overhead crossings in the area, what is the minimum height?   N/A   feet.
  - c. If the proposed crossing is an electrical line, please confirm the total number of electrical circuits:   N/A
5. For buried crossings, what will be the depth below the substrate?   N/A   feet. Will the proposed utility provide empty conduits for any additional utilities that may propose to co-locate at a later date?    Yes    No.
6. Will there be any excavation or fill required for placement of abutments, piers, towers, or other permanent structures on State-owned submerged lands, tidal wetlands, and dunes/beaches?   x   Yes    No.

If yes, please provide the following:

- |   |   |
|---|---|
| a. Amount of excavation in wetlands       | <u>  N/A  </u> cubic yards<br><u>  N/A  </u> square feet  |
| b. Amount of excavation in submerged land | <u>  N/A  </u> cubic yards<br><u>  N/A  </u> square feet  |
| c. Amount of excavation in dune/beach     | <u>  1-2  </u> cubic yards<br><u>  9-27  </u> square feet |
| d. Amount of fill in wetlands             | <u>  N/A  </u> cubic yards<br><u>  N/A  </u> square feet  |
| e. Amount of fill in submerged lands      | <u>  N/A  </u> cubic yards<br><u>  N/A  </u> square feet  |
| f. Amount of fill in dune/beach           | <u>  N/A  </u> cubic yards<br><u>  N/A  </u> square feet  |



 Property Limits



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Mapped by BRO  
Cape Henry, VA USGS Quadrangle Topographic Map



### USGS TOPOGRAPHIC VICINITY MAP

JOINT PERMIT APPLICATION  
**POINT CHESAPEAKE GAZEBO STAIRCASE**

2301 POINT CHESAPEAKE WAY, VIRGINIA BEACH, VA

**MSA, P.C.**  
Environmental Sciences, Surveying,  
Civil & Environmental Engineering  
5032 Rouse Drive, Suite 100  
Virginia Beach, VA, 23462  
757-490-9264 (Ofc) 757-490-0634 (Fax)  
[www.msaonline.com](http://www.msaonline.com)



MSA JOB #  
04017C

DATE:  
SEPT 22, 2021

MAPPED BY:  
BRO

SCALE  
AS SHOWN

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- Property Limits
- MLW
- MHW
- Dune Limits

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus-DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Mapped by BRO  
Cape Henry, VA USGS Quadrangle Topographic Map



## AERIAL PHOTOGRAPH EXHIBIT

JOINT PERMIT APPLICATION  
**POINT CHESAPEAKE GAZEBO STAIRCASE**  
 2301 POINT CHESAPEAKE WAY, VIRGINIA BEACH, VA

**MSA, P.C.**  
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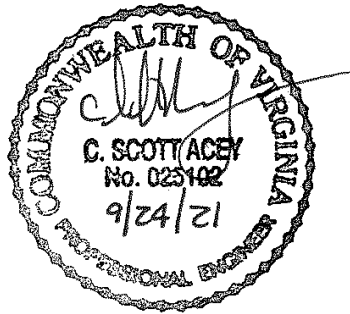
MSA JOB # 04017C	DATE: SEPT 22, 2021	MAPPED BY: BRO	SCALE AS SHOWN
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Received by VMRC September 27, 2021 /blh

# POINT CHESAPEAKE STAIRCASE REPLACEMENT

## OCEAN SHORE AVENUE VIRGINIA BEACH, VA.

<u>SHEET</u>	<u>TITLE</u>
1	COVER SHEET
2	PROPERTY SURVEY
3	PROPERTY SURVEY
4	PROPERTY FEATURES
5	PROPOSED STAIRCASE
6	STAIR DETAILS



### CONSTRUCTION SEQUENCE

1. Acquire all necessary permits
2. Designate construction limits
3. Demolish existing staircase
3. Install piles and build new staircase
4. Restore areas temporary disturbed by construction activities

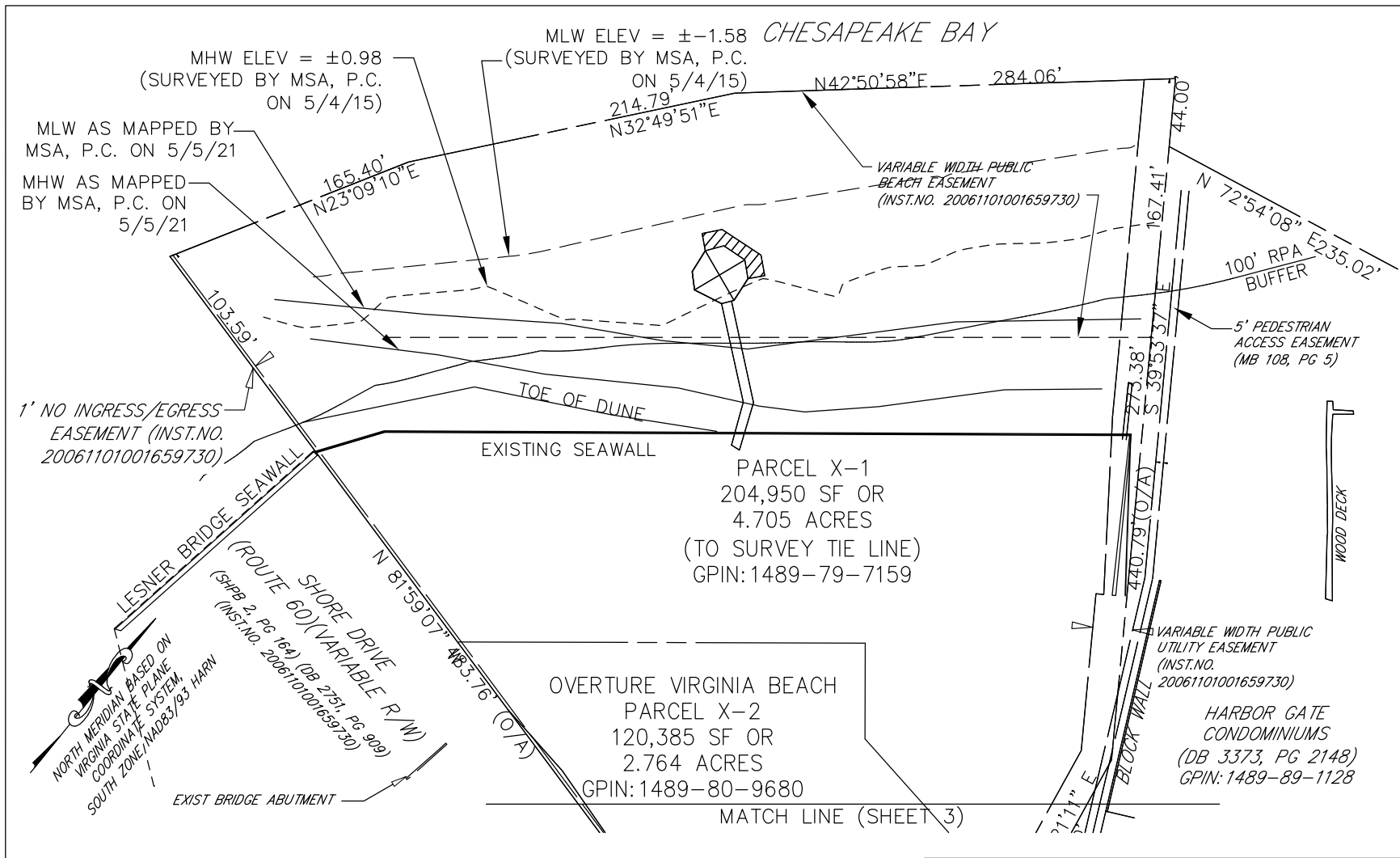
### COVER SHEET

DATE: 9/20/2021  
 DRAWN BY: BRO  
 CHK'D BY: BRO, CSA

PROJ# 04017C  
 SHEET 1 OF 6

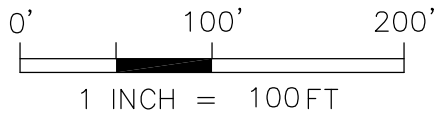


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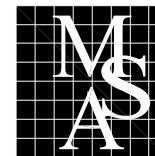


**PROPERTY SURVEY**

DATE: 9/20/2021  
DRAWN BY: BRO  
CHKD'D BY: BRO, CSA



PROJ# 04017C  
SHEET 2 OF 6

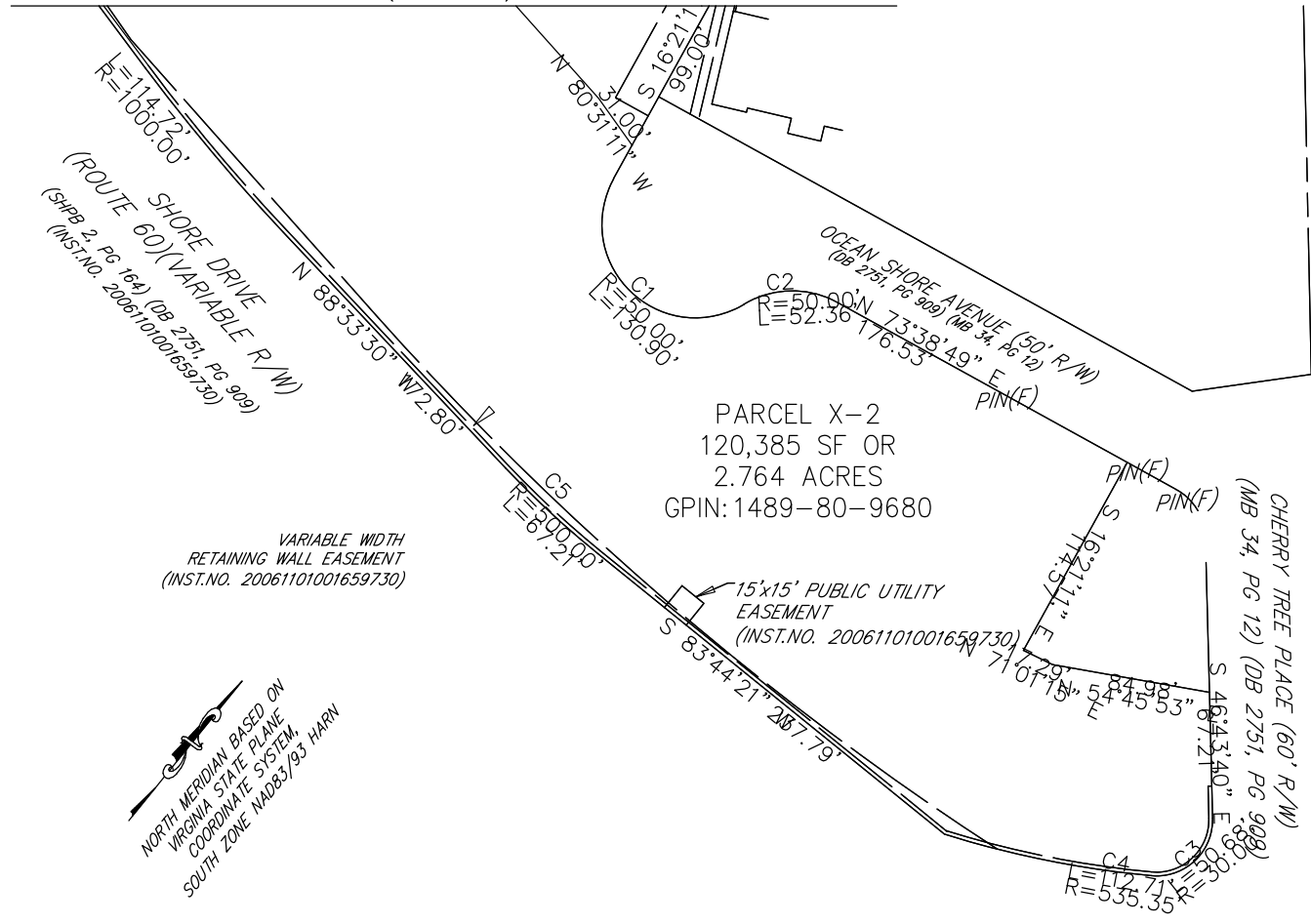


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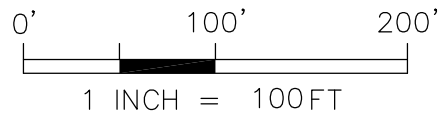
5033 Rouse Drive, Virginia Beach, VA 23462  
757-490-9264 (Ofc) 757-490-0634 (Fax)  
www.msainline.com

MATCH LINE (SHEET 2)

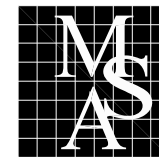


# PROPERTY SURVEY

DATE: 9/20/2021  
DRAWN BY: BRO  
CHKD'D BY: BRO, CSA



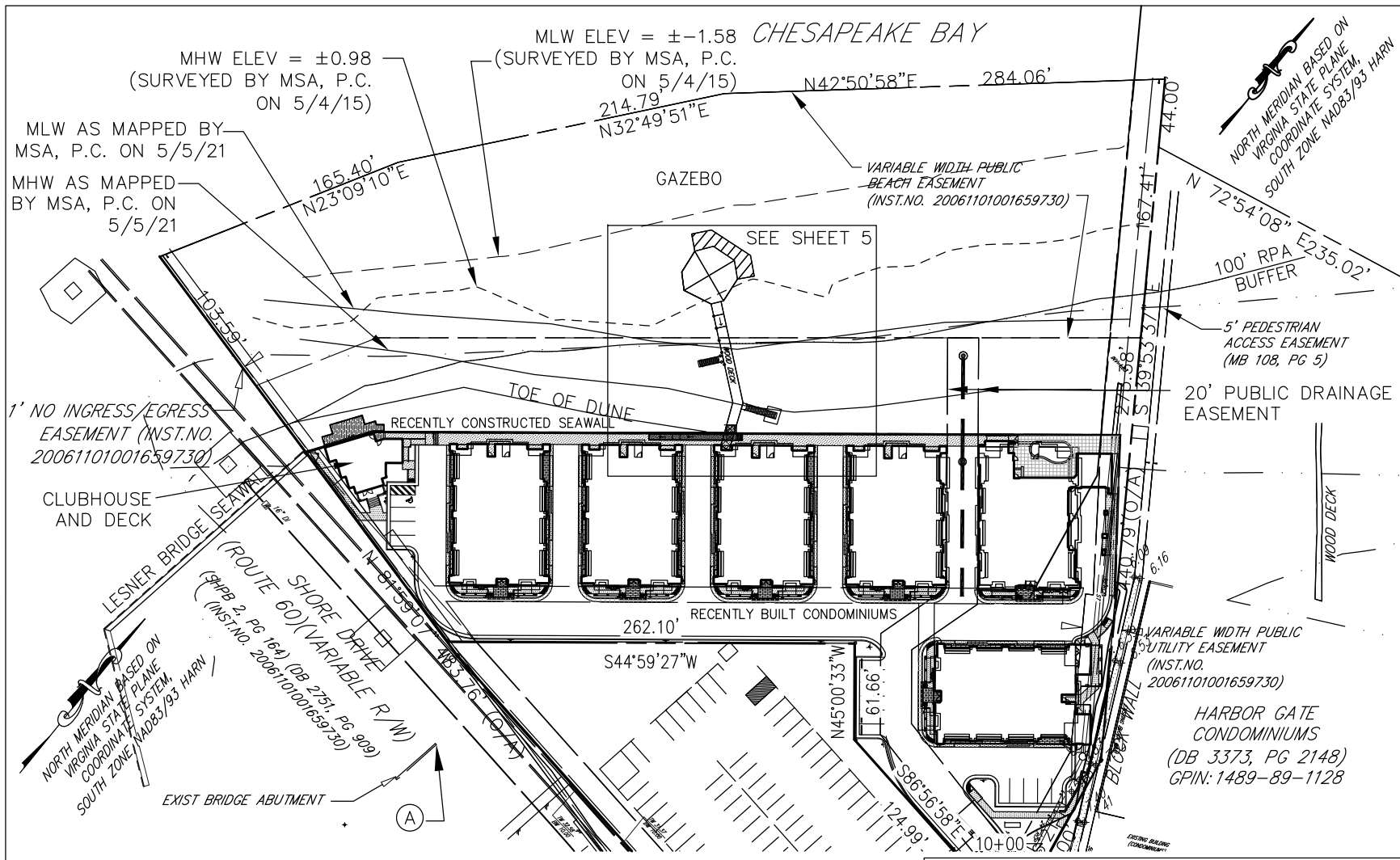
PROJ# 04017C  
SHEET 3 OF 6



## MSA, P.C.

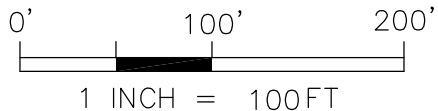
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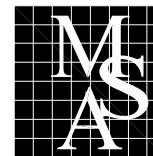


**PROPERTY FEATURES**

DATE: 9/20/2021  
 DRAWN BY: BRO  
 CHK'D BY: BRO, CSA



PROJ# 04017C  
 SHEET 4 OF 6

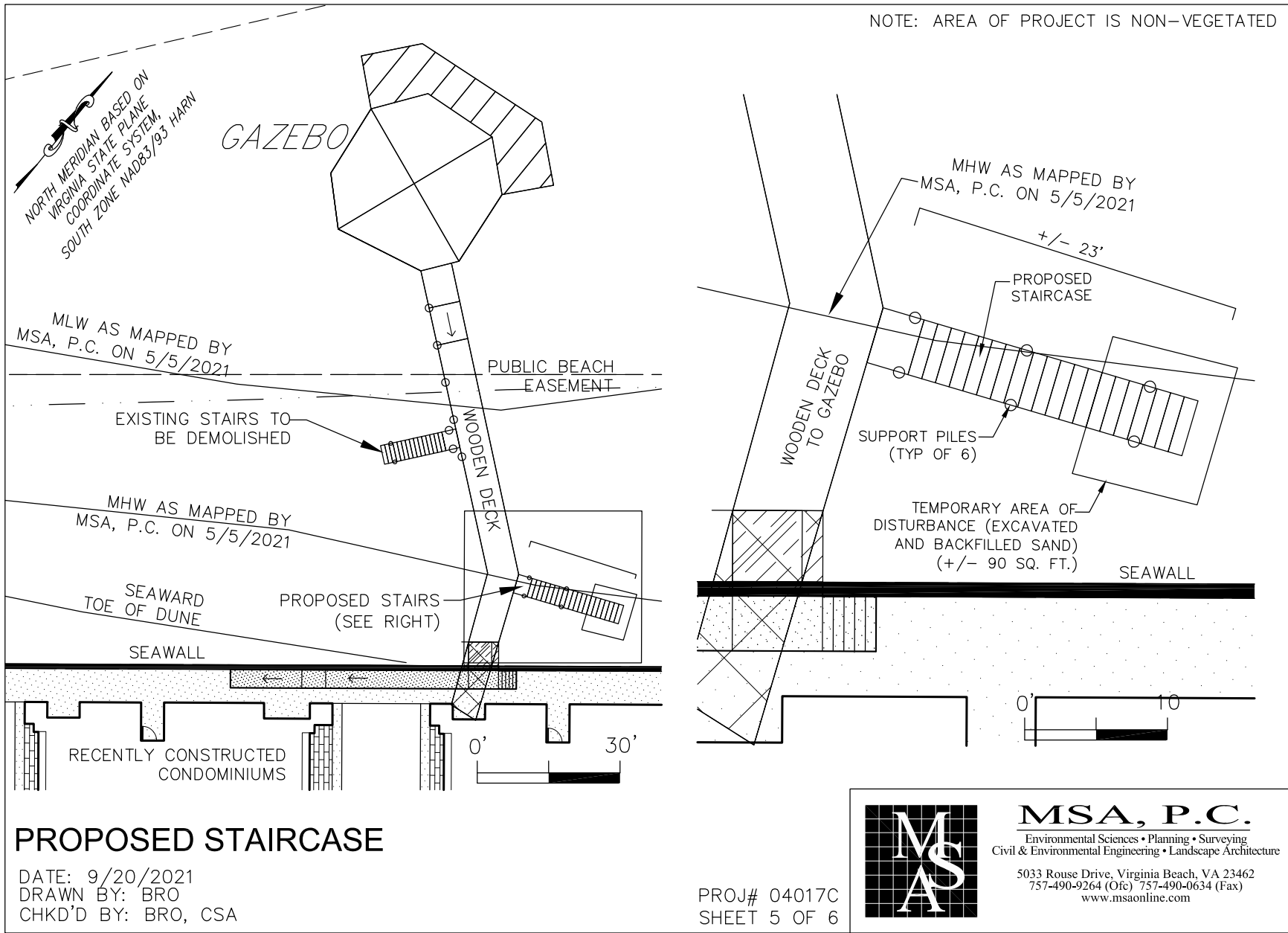


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**Adjacent Properties:**

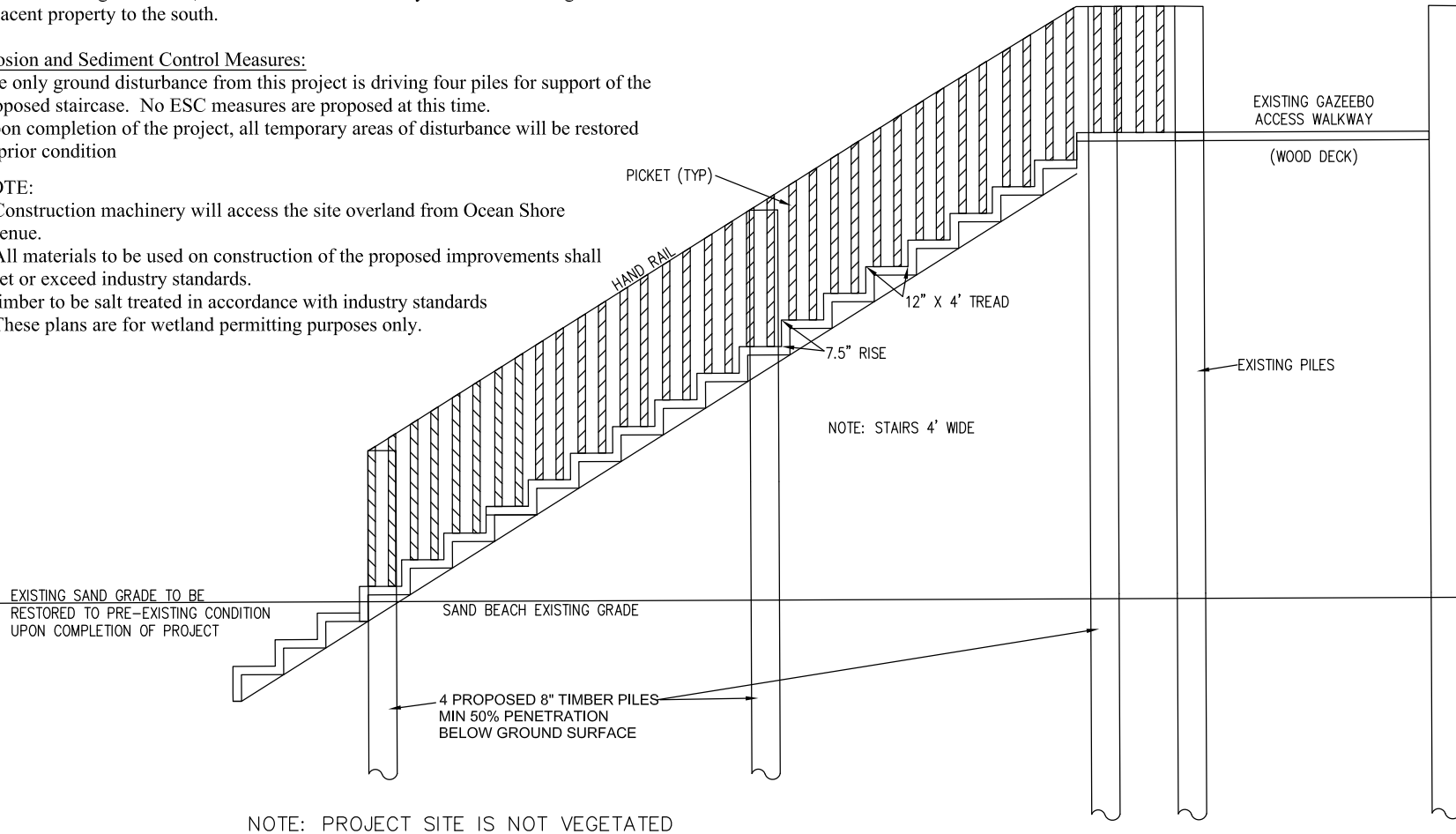
The adjacent property to the north contains Harbor Gate Condominiums. To the east is Overture Virginia Beach, a condominium community. The Lesner Bridge is the adjacent property to the south.

**Erosion and Sediment Control Measures:**

The only ground disturbance from this project is driving four piles for support of the proposed staircase. No ESC measures are proposed at this time. Upon completion of the project, all temporary areas of disturbance will be restored to prior condition

**NOTE:**

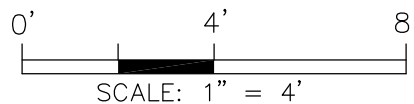
- Construction machinery will access the site overland from Ocean Shore Avenue.
- All materials to be used on construction of the proposed improvements shall meet or exceed industry standards.
- timber to be salt treated in accordance with industry standards
- These plans are for wetland permitting purposes only.



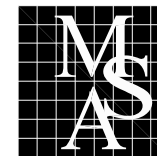
NOTE: PROJECT SITE IS NOT VEGETATED

# STAIR DETAILS

DATE: 9/20/2021  
DRAWN BY: BRO  
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PROJ# 04017C  
SHEET 6 OF 6



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Environmental Sciences • Surveying • Civil & Environmental Engineering

September 24, 2021

Virginia Marine Resources Commission  
Mr. Justin Worrell  
Habitat Management Division  
2600 Washington Avenue, 3<sup>rd</sup> Floor  
Newport News, VA 23607-8062

RE: Point Chesapeake Gazebo Stairs  
MSA Project #04017C (former VMRC #11-0939, 15-0504)  
2021-WTRA-00161

Dear Mr. Worrell,

On behalf of The Terry Companies Five, L.L.C., MSA, P.C. is submitting this JPA for the relocation of the stairs that provide access from the gazebo to the beach at Point Chesapeake, located at Point Chesapeake Way in Virginia Beach.

Prior permits were obtained for construction of a seawall, approved under VMRC 11-0939. That seawall was constructed in early 2015. Additional permits were approved under VMRC 15-0504 to improve the gazebo, and construct a deck and ADA access ramp, and a stormwater outfall. A clubhouse for the tenants was built in the southwest corner of the property adjacent to the new Lesner Bridge, and the permits were subsequently modified to not build the deck adjacent to the gazebo as originally planned, but in front of the clubhouse. In 2016, a staircase was added from the gazebo walkway to the beach, since tenants only had one access to the beach from inside the community – via a gate at Building 6, approved under 2016-BDCA-13536. This wood construction and pile supported stairway has a locked metal gate at the top of the stairs to limit use to tenants of the condominium association.

At the time of construction, the staircase was well above MHW but was seaward of the toe of the dune. The base of the staircase was securely in the beach sand. However, due to beach erosion, the dune is gone from this area, the water lines have moved significantly landward, and the staircase is now between MHW and MLW. The sand completely washed out from below the staircase, with the last step suspended about 18” above the beach grade in the intertidal zone. For safety reasons, the staircase was taken out of service, and earlier this year, the applicant obtained City wetland board approval under 2021-WTRA-00161 to add several piles and four additional steps to the staircase, to restore its usability.

Accessing the staircase site requires pile driving equipment to drive around the gazebo, which is impossible due to the erosion of the beach, and access from the southern end is no longer possible due to the condominiums and the new Lesner Bridge improvements, Thus the contractor cannot access the staircase location with the required equipment to drive the permitted piles, and cannot make the repairs authorized under 2021-WTRA-00161.

The Terry Companies Five, LLC proposes to demolish the current staircase, and build a new staircase on the north side of the gazebo walkway, just seaward of the seawall as shown in the attached plans. The new staircase will be the same as the existing, starting at the gazebo walkway and secured to the beach by

*Making Clients Successful Since 1973*

Received by VMRC September 27, 2021 /blh



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six 8" piles. The last few treads of the staircase will be excavated into the sand, which will require excavation of the sand from around the end of the new steps to facilitate construction, then backfilling the sand upon completion, which will likely bury the bottom 1-2 steps. Completion of the project will allow tenant access to the beach, and future beach nourishment from adjacent dredging projects will hopefully check the erosion of the shoreline.

This project will result in temporary impact to approximately 90 square feet of the sand beach most of which is currently above MHW. There is no dune remaining in this location, and no vegetation is present within or in the immediate vicinity of the footprint of the proposed stairs. Permanent impacts from this project are 6 square feet for installation of six new piles, and +/- 16 square feet for the last few steps where they anchor into the beach sand. Shading impacts from the rest of the staircase on the beach sand is +/- 92 square feet, much of which will be offset by demolition of the existing staircase.

This project is landward of the limits of the public beach easement, and no impacts will occur to these features. No dune features are present at or immediately adjacent to the project limits. Due to the minimal footprint and scope of the project, no impacts are expected to sensitive species. No known historic resources are present in the vicinity.

Please see attached JPA and site plans for location of the project site.

We appreciate your continued review of this project. If I can answer any questions, please call me at 490-9264.

Sincerely,

Brian R. Owen  
Senior Environmental Scientist

*Copy: Tuck Bowie, The Terry Companies Five, L.L.C.*

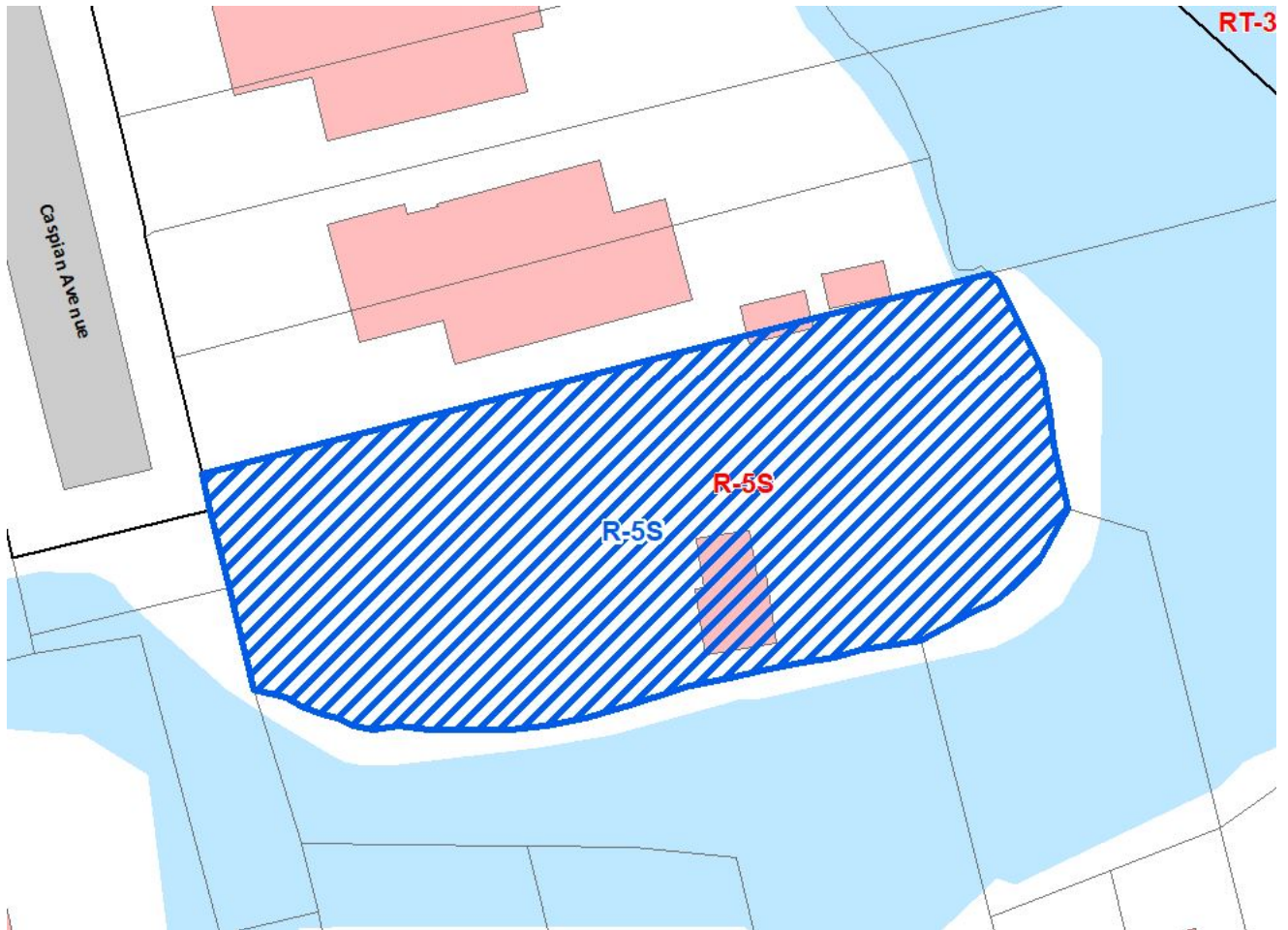
2. 2021-WTRA-00130

Joseph J. Lamontagne [Applicant & Owner], City of Virginia Beach [Owner], Lee Percy [Owner]

**To construct rip rap revetment involving wetlands**

Lot 1 of Shadow Lawn Heights, Caspian Ave  
(GPINs 2427-01-6963, 2427-01-8283 & 2427-01-7858)

Waterway – Canal from Lake Rudee  
Subdivision – Shadow Lawn Heights  
Council District – Beach





# Disclosure Statement

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Joseph LaMontagne

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.

Billy Garrington

---

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)
- 
- 
- 

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)
- 
- 

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

GALLUP SURVEYORS & ENGINEERS, David Butler

---

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.

GALLUP SURVEYORS & ENGINEERS, David Butler

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature



Print Name and Title

Joseph LaMontagne, Owner

Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

**LICENSE/AGENCY AGREEMENT**

RE:

1. I/we, the undersigned and property owner of Parcel A shown in map book 7 at page 14 having GPIN 2427-01-7858 , hereby authorize Joseph J. Lamontagne to make application in our name to the City of Virginia Beach, Planning Department for the purpose of making certain improvements to the above property owned by us, which improvements are more fully set forth in a copy of the proposed Permit Application attached hereto and incorporated herein by reference. We further authorize Joseph J. Lamontagne to execute the necessary permits and bonds on our behalf if the City of Virginia Beach, Planning Department grants approval for such a permit.
  
2. We do further grant to the agents of the City of Virginia Beach, Virginia for a period of time until the project is released by the City of Virginia Beach, Planning Department's authorized agent, in writing, the irrevocable right to go upon our said property described above for the purpose of making such improvements deemed necessary to correct or complete any activity referenced on the attached application for Waterfront Construction Permit pursuant to an approved permit(s) from said City. The period of time mentioned above is to commence upon the issuance of a valid permit for said improvements on said property by the City of Virginia Beach, Planning Department.
  
3. All of the improvements made under any permit issued by the City of Virginia Beach, Planning Department, the Virginia Marine Resources Commission and/or the U. S. Army Corps of Engineers are to be made at the sole expense of Joseph J. Lamontagne including the posting of any required bond or other surety.

Harriet H. Jones

*Harriet H. Jones*

*10-5-21*

(Printed Name of Owner)

(Signature of Owner)

(Date)

Joseph J. Lamontagne

*[Signature]*

*10/2/21*

(Printed Name of Applicant)

(Signature of Applicant)

(Date)

"Any alteration of this form or its endorsements without express consent from the originator shall invalidate this instrument."



## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

Joseph J. Lamontagne  
203 Caspian Avenue  
Virginia Beach, VA 23451  
Email: jlamontagne@prioritytitlells.com

Home ( ) \_\_\_\_\_  
Work (757 ) 320-0471  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

[Redacted]

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:

Billy Garrington  
471 Southside Road  
Virginia Beach, VA 23451

Home ( ) \_\_\_\_\_  
Work (757 ) 478-4245  
Fax (757 ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail dave@gallupsurveyors.c

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Construct I rip rap revetment. Construct timber wharf, pier and boat house with boat lift. Access from land and water. Piles will be installed via vibratory hammer. 8" piles and class B (12" diam) piles will be utilized and driven via vibratory hammer.

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Joe Lamontagne

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Applicant's Signature

(Use if more than one applicant)

Friday April 2, 2021

Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

**Part 2 – Signatures (continued)**

*2. Applicants having agents (if applicable)*

**CERTIFICATION OF AUTHORIZATION**

I (we), Joe Lamontagne, hereby certify that I (we) have authorized David R. Butler  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

David R. Butler  
(Agent's Signature) (Use if more than one agent)

4/5/21  
(Date)

[Signature]  
(Applicant's Signature) (Use if more than one applicant)

Friday April 2, 2021  
(Date)

*3. Applicant's having contractors (if applicable)*

**CONTRACTOR ACKNOWLEDGEMENT**

I (we), Joe LaMontagne, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title Contractor's License Number

\_\_\_\_\_  
Applicant's signature (use if more than one applicant)

\_\_\_\_\_  
Date

### Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

Install pier, wharf, boat house and boat lift.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? See plans feet.

Channelward of Mean High Water? 45 feet.

Channelward of Mean Low Water? 38 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 960 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 1,804 square feet.

What is the total size of any and all L- or T-head platforms? n/a sq. ft.

For boathouses, what is the overall size of the roof structure? 700 sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.



**Part 3 – Appendices (continued)**

3. For **USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:

- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
- b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
- c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Not yet purchased				

Not yet purchased

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
- C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
- D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
- E) What is the area of the piers and platforms that will be constructed over
  - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
  - Tidal vegetated wetlands \_\_\_\_\_ square feet
  - Submerged lands \_\_\_\_\_ square feet

6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.

From Mean High Water? \_\_\_\_\_ feet.

From Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**



## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install 293.5 L.F. of rip rap, most of which is over existing stone. The existing stone will be removed, the bank will be graded. Filter fabric will be installed with two layers of class I rip rap.

823 sq. ft. of rip rap will be placed within the intertidal zone and will replace the same amount of existing concrete rubble.

216 cubic yards of rip rap will be placed between mean low water and the top of bank.

Approximately 265 sq. ft. of salt bush (baccharis) will be lost to construction.

The preferred shoreline treatment, having a living shore (marsh) component, is not feasible

2. What is the maximum encroachment channelward of mean high water? 4.5 feet.  
Channelward of mean low water? 1 feet.  
Channelward of the back edge of the dune or beach? n/a feet.
3. Please calculate the square footage of encroachment over:
- Vegetated wetlands 265 square feet
  - Non-vegetated wetlands 823 square feet
  - Subaqueous bottom 19 square feet
  - Dune and/or beach n/a square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



7

ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR

WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: VACANT (SOUTH OF 203 CASPIAN AVE

APPLICANT'S NAME: JOSEPH J. LANMONTAGNE

APPLICANT'S ADDRESS: 203 CASPIAN AVE  
VIRGINIA BEACH, VA 23451

ENGINEER OF RECORD: DAVID R. BUTLER, P.E.

PROFESSIONAL ENGINEER/SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION:

DAVID R. BUTLER, P.E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

David R. Butler

9.7.21

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

DAVID R. BUTLER, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

[Signature]

9.7.21

Applicant's Signature

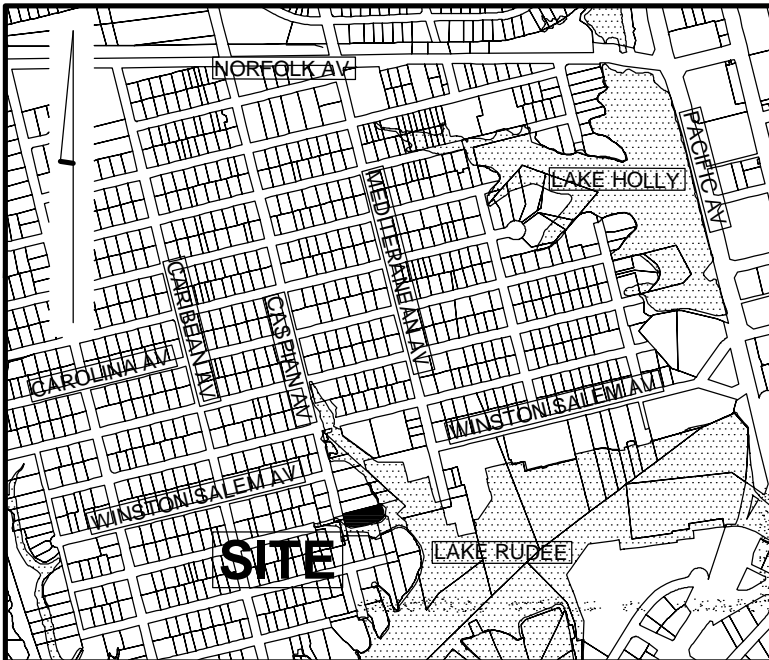
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



LOCATION MAP

SCALE: 1" = 1,000'

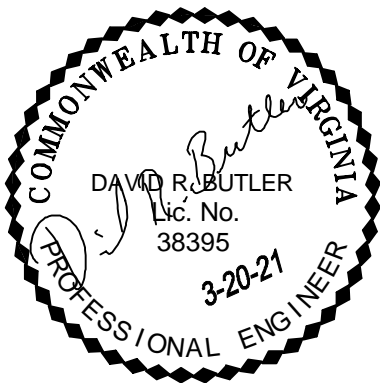
**SITE DATA**

- 1.) SITE ADDRESS: VACANT, ADDRESS NOT YET ASSIGNED
- 2.) LEGAL: PARCEL 1, I.N. 202000100354  
LOT 1, BLOCK 30  
SHADOWLAWN HEIGHTS  
M.B. 7 P. 41
- 3.) GPIN: 2427-01-6963
- 4.) VERTICAL DATUM: NAVD 88
- 5.) ZONED: R-5S
- 6.) THIS PLAN WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ANY AND/OR ALL EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN.
- 7.) PHYSICAL FEATURES SHOWN OBTAINED FROM A SURVEY PROVIDED BY THE OWNER PREPARED EUGENE T. REYNOLDS DATED OCTOBER 24, 2020 TOPO DATA PROVIDED BY COMPASS AND CHAIN

SEE SHEET 19 FOR WETLANDS IMPACTS

**OWNER/DEVELOPER**

JOSEPH LAMONTAGNE  
203 CASPIAN AVENUE  
VIRGINIA BEACH, VA 23451  
PH. 757-320-0471  
EMAIL: JLAMONTAGNE@PRIORITYTILEUS.COM



**SHEET INDEX**

SHEET NO.	DESCRIPTION
1	COVER
2	OVERALL PLAN
3-6	EXISTING CONDITIONS
7-11	IMPROVEMENTS PLAN
12-16	PIER/WHARF DETAILS
17-18	MATERIAL NOTES
19	NOTES
20-22	BOAT HOUSE DETAILS
23	RIP RAP SECTION

**NOTES**

- 1.) MEAN LOW WATER ELEVATION = -2.18 (NAVD 88)
- 2.) MEAN HIGH WATER ELEVATION = 1.21 (NAVD 88)
- 3.) 1.5X JURISDICTIONAL ELEV.= 2.91 (NAVD 88)

**GALLUP**  
SURVEYORS & ENGINEERS  
323 FIRST COLONIAL ROAD  
VIRGINIA BEACH, VIRGINIA 23454  
(757)428-8132 FAX (757)425-2390

DATE	COMMENT
8-1-21	REVISE RIP RAP LOCATION

**REVISION SCHEDULE**

**PROJECT: RIP RAP, BOAT HOUSE AND PIER**

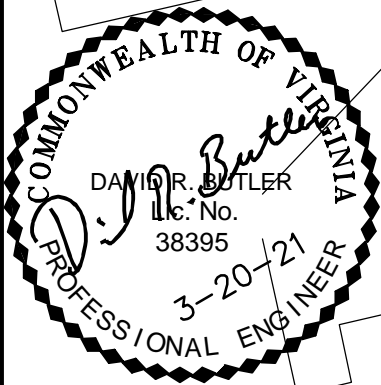
ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**COVER SHEET**

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 1 OF 23

8-1-21 REV.

**LAKE RUDEE**  
 SHADOW LAWN HEIGHTS  
 M.B. 7, P. 41  
 CITY OF VIRGINIA BEACH  
 GRIN: 2427-01-8263

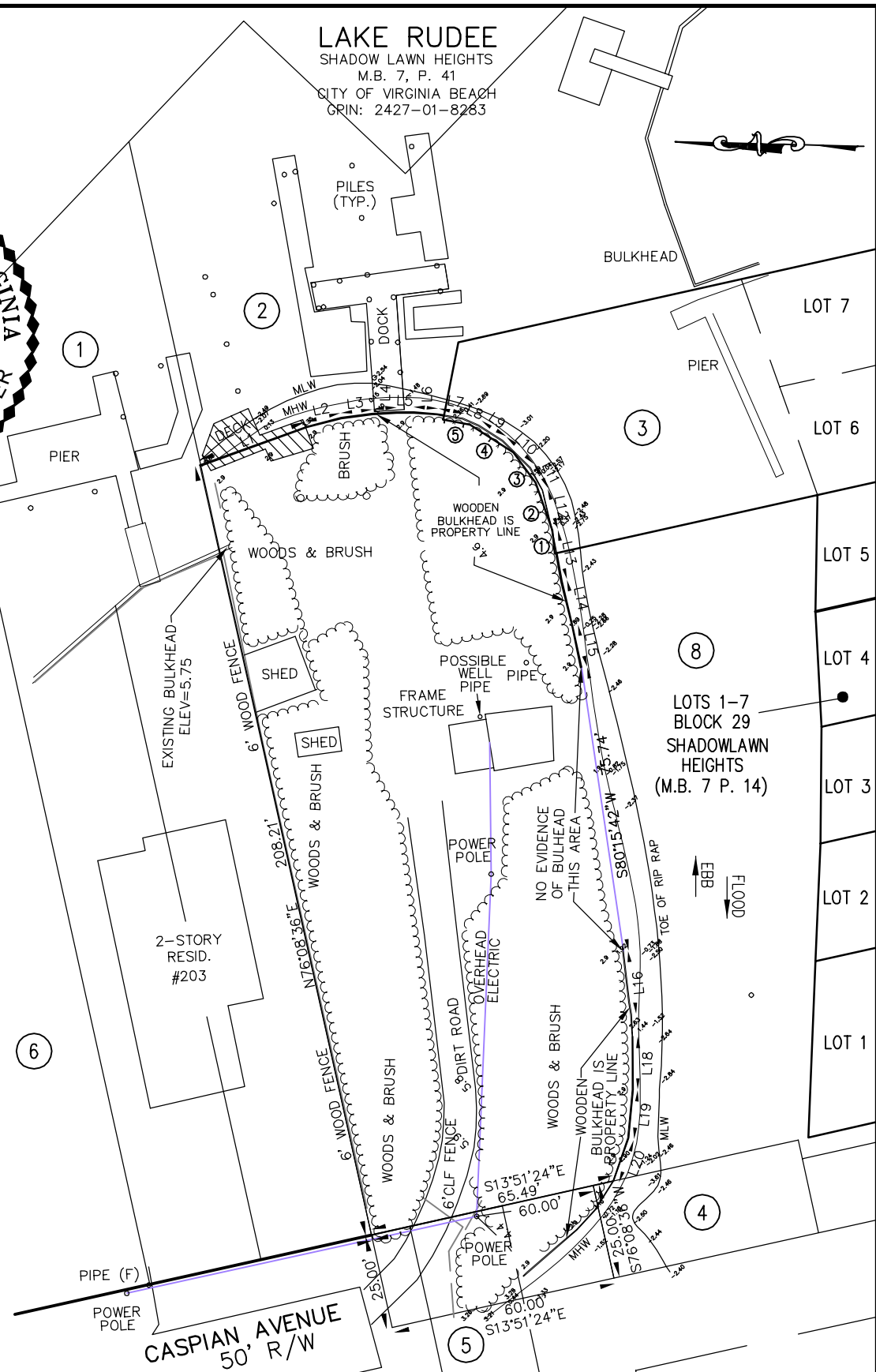


NO.	BEARING	DISTANCE
①	N 89°39'52" E	6.21'
②	N 76°03'42" E	13.19'
③	N 58°48'58" E	10.06'
④	N 38°00'37" E	13.49'
⑤	N 16°19'11" E	7.28'

METES AND BOUNDS ①-⑤  
 OBTAINED FROM A PHYSICAL SURVEY  
 OF PARCEL A (SUBAQUEOUS LAND)  
 ABUTTING ALONG THE NORTH SIDE  
 OF LOTS 6 & 7 IN BLOCK 29,  
 SHADOWLAWN HEIGHTS (M.B. 7, P. 14)

- JOSEPH JOHN LAMONTAGNE
- CITY OF VIRGINIA BEACH
- PERCY LEE JONES, JR.  
AND HARRIET H. JONES
- UNKNOWN OWNERSHIP
- KENNETH LINDSLEY
- RICHARD L. NEATHERLY
- RICHARD L. NEATHERLY
- UNKNOWN OWNERSHIP

LINE TABLE		
NO.	BEARING	DISTANCE
L1	S21°13'12"E	29.87'
L2	S15°41'30"E	9.31'
L3	S08°36'10"E	8.23'
L4	S05°01'34"E	6.51'
L5	S01°57'46"E	4.50'
L6	S03°07'41"W	6.19'
L7	S08°11'20"W	6.89'
L8	S21°42'55"W	4.69'
L9	S31°49'17"W	7.46'
L10	S43°17'11"W	10.17'
L11	S59°28'18"W	6.84'
L12	S75°10'04"W	10.91'
L13	S78°00'53"W	13.54'
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L17	S84°48'04"W	5.83'
L18	S88°35'15"W	14.00'
L19	N86°05'15"W	12.91'
L20	N72°18'22"W	11.97'



ADJACENT PROPERTY OWNERS:  
 SEE LIST, THIS SHEET

**OVERALL PLAN**  
 EXISTING CONDITIONS  
 SCALE: 1" = 40'

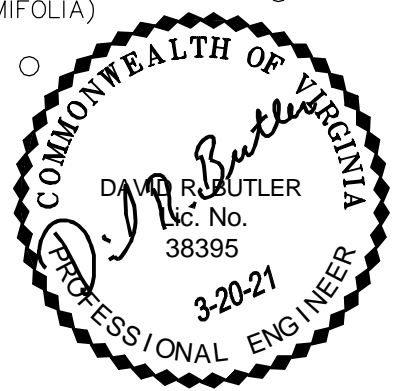
PROJECT: RIP RAP, BOAT HOUSE, PIER  
 IN: LAKE RUDEE  
 BY: JOSEPH J. LAMONTAGNE  
 DATE: MARCH 21, 2021 SHEET 2 OF 23

8-1-21 REV.



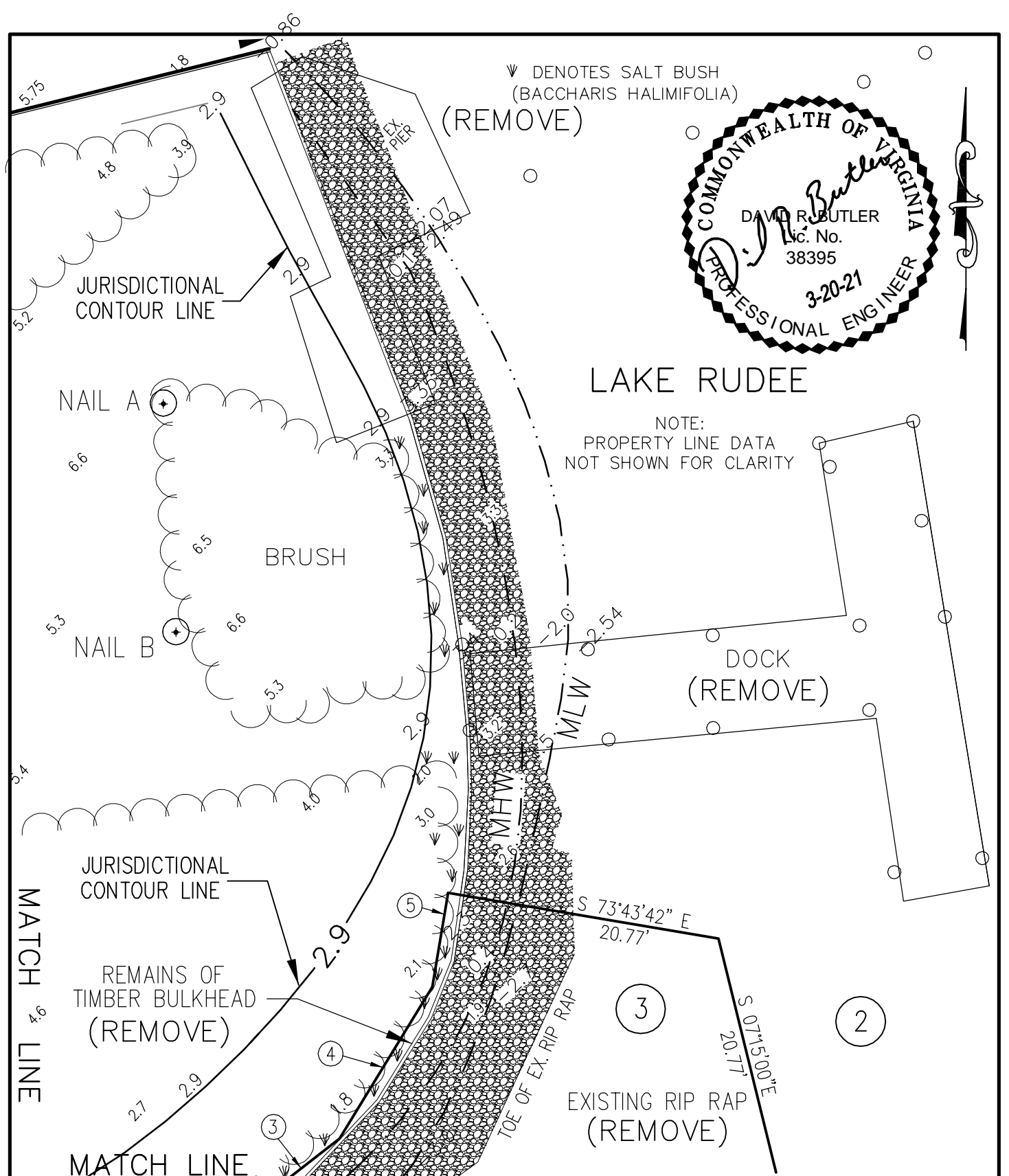
▼ DENOTES SALT BUSH  
(BACCHARIS HALIMIFOLIA)

(REMOVE)



# LAKE RUDEE

NOTE:  
PROPERTY LINE DATA  
NOT SHOWN FOR CLARITY

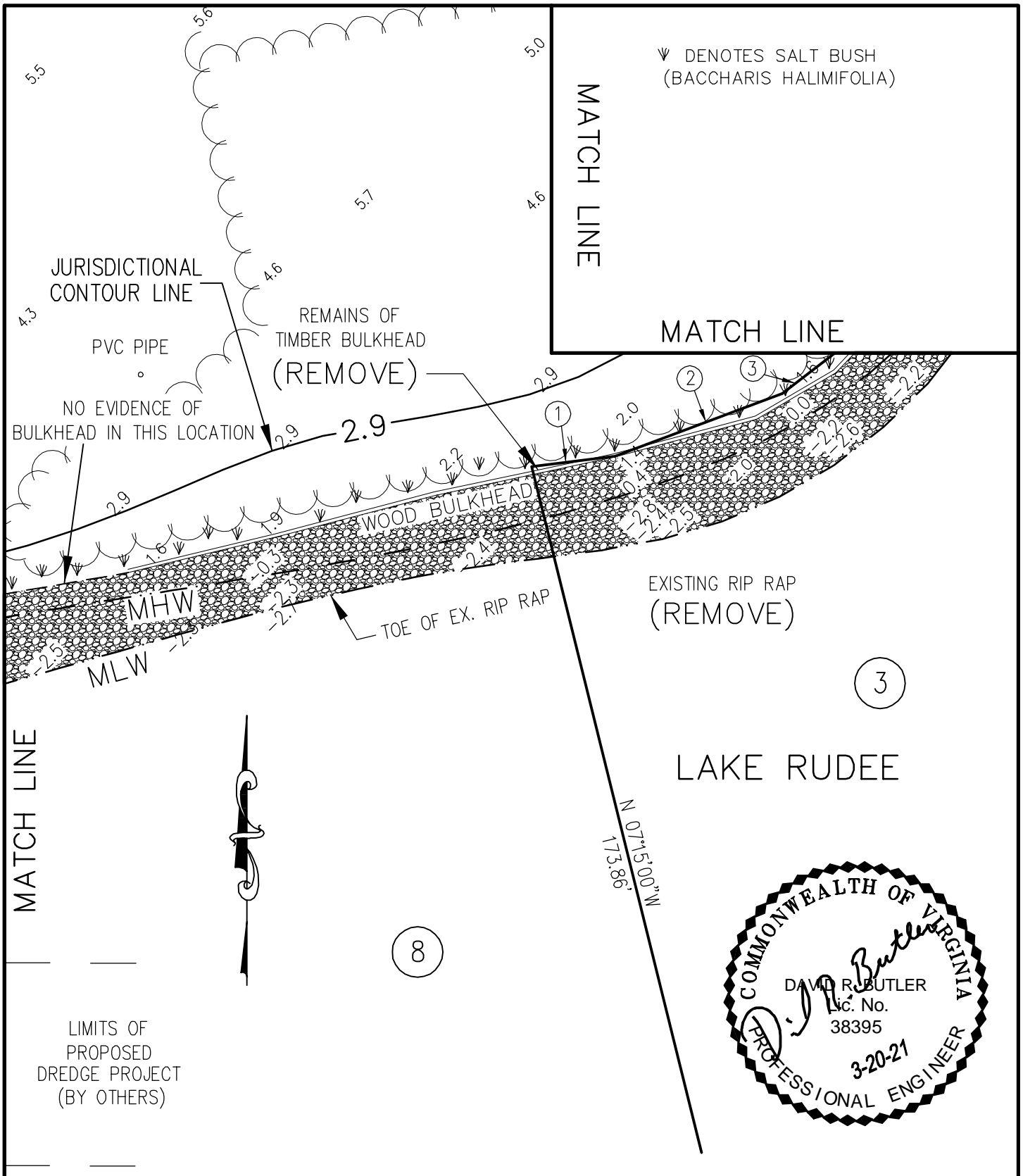


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

PLAN  
EXISTING CONDITIONS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 3 OF 23

8-1-21 REV.



∇ DENOTES SALT BUSH  
(BACCHARIS HALIMIFOLIA)

MATCH LINE

MATCH LINE

JURISDICTIONAL  
CONTOUR LINE

PVC PIPE

REMAINS OF  
TIMBER BULKHEAD  
(REMOVE)

NO EVIDENCE OF  
BULKHEAD IN THIS LOCATION

WOOD BULKHEAD

EXISTING RIP RAP  
(REMOVE)

MHW

TOE OF EX. RIP RAP

MLW

MATCH LINE



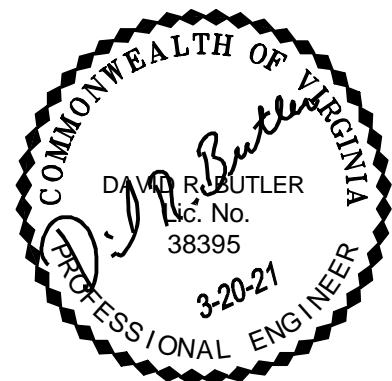
LAKE RUDEE

3

8

N 07°15'00"  
173.86'

LIMITS OF  
PROPOSED  
DREDGE PROJECT  
(BY OTHERS)

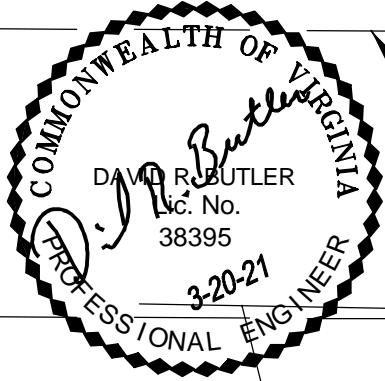
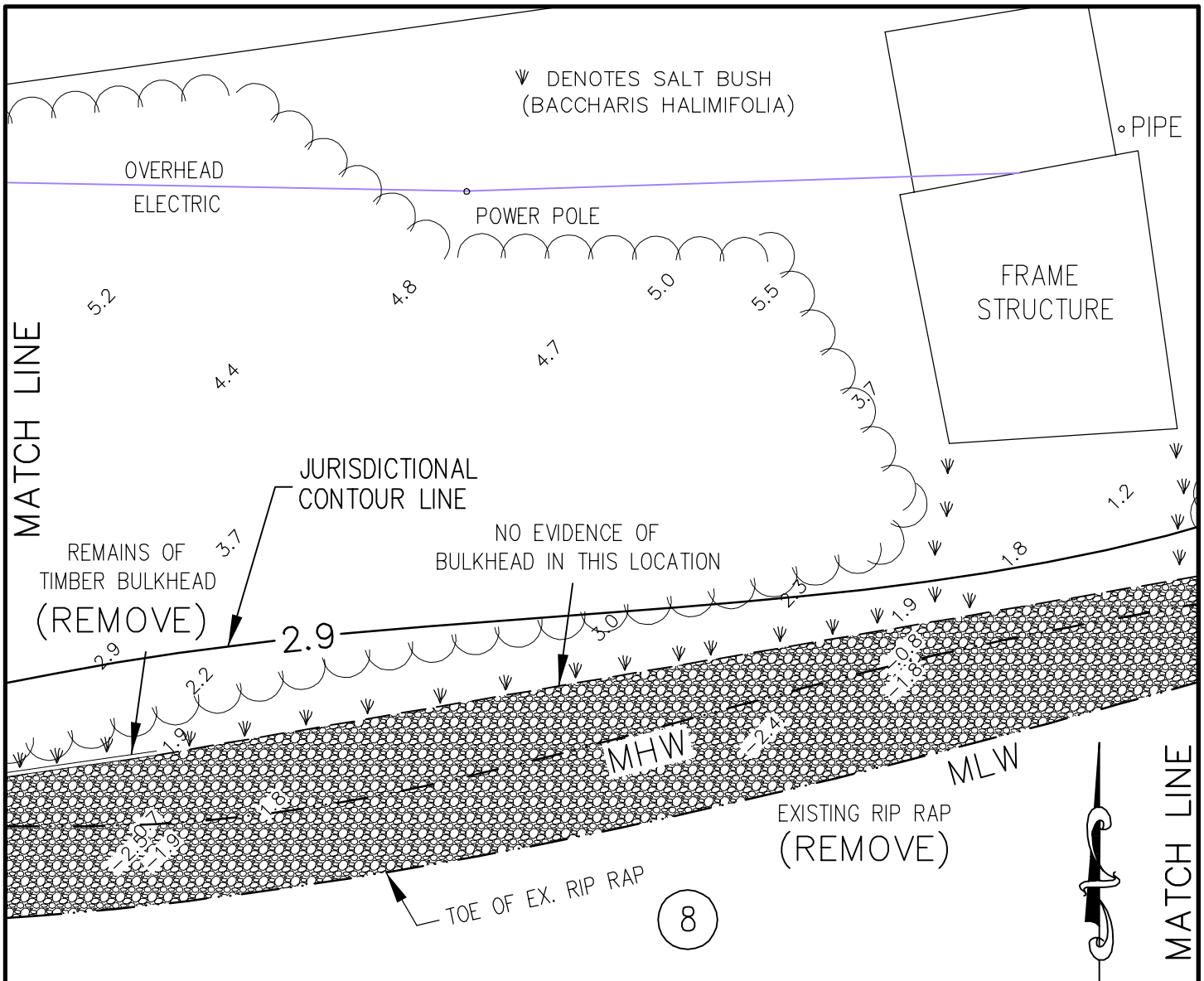


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

PLAN  
EXISTING CONDITIONS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 4 OF 23

8-1-21 REV.



LIMITS OF  
PROPOSED  
DREDGE PROJECT  
(BY OTHERS)

LAKE RUDEE  
CANAL



ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

PLAN  
EXISTING CONDITIONS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 5 OF 23

8-1-21 REV.



1. JOSEPH JOHN LAMONTAGNE
2. CITY OF VIRGINIA BEACH
3. PERCY LEE JONES, JR.
4. UNKNOWN OWNERSHIP
5. KENNETH LINDSEY
6. RICHARD L. NEATHERLY
7. RICHARD L. NEATHERLY
8. UNKNOWN OWNERSHIP

▼ DENOTES SALT BUSH  
(BACCHARIS HALIMIFOLIA)

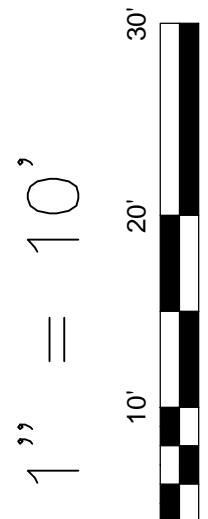
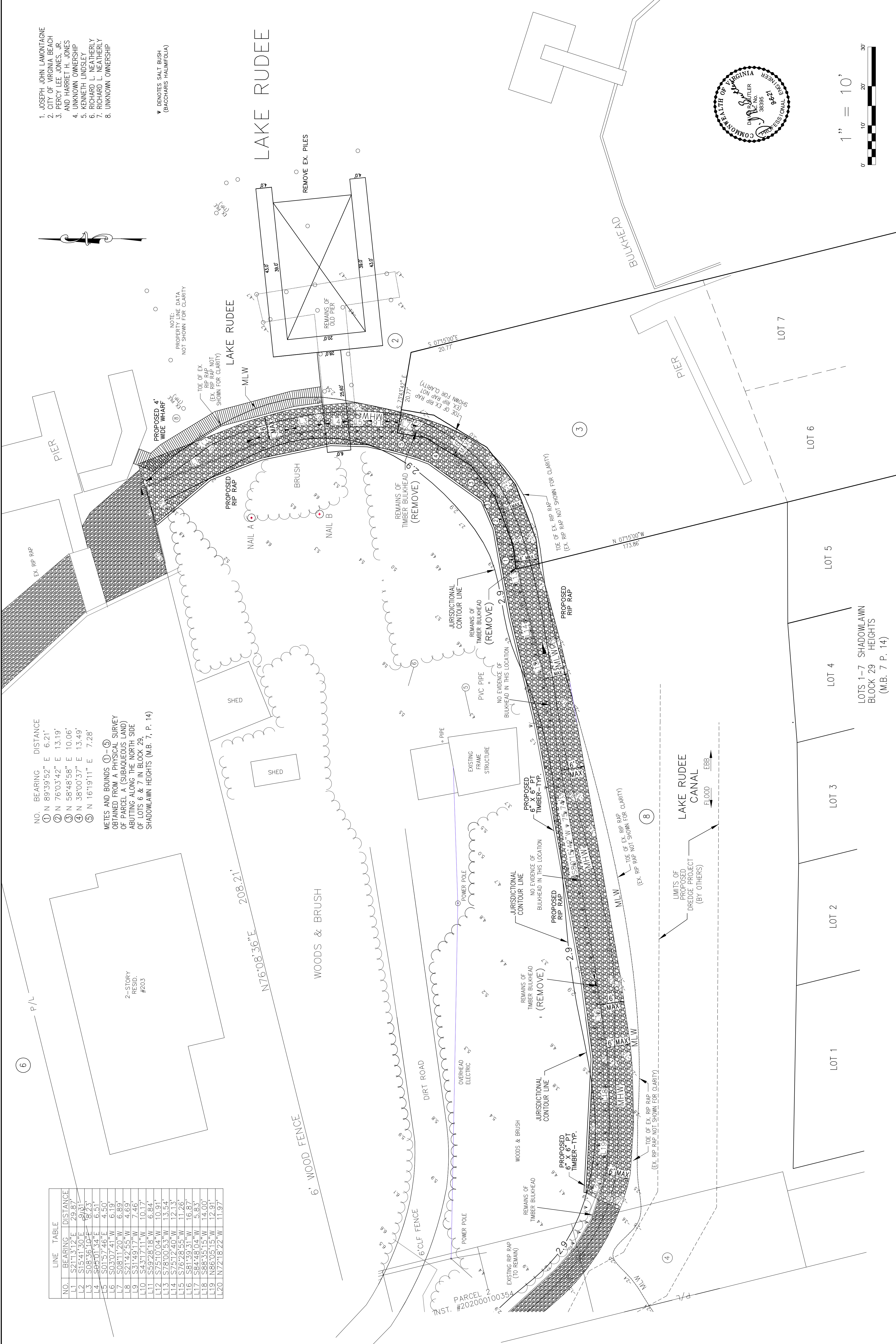
NOTE:  
PROPERTY LINE DATA  
NOT SHOWN FOR CLARITY

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- ① N 89°39'52" E 6.21'
  - ② N 76°03'42" E 13.19'
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OBTAINED FROM A PHYSICAL SURVEY  
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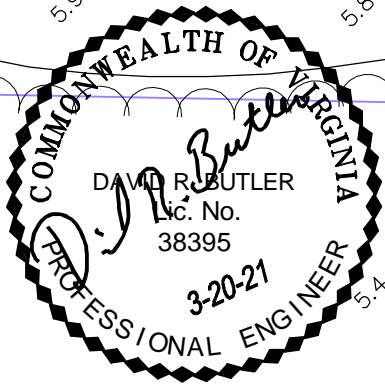
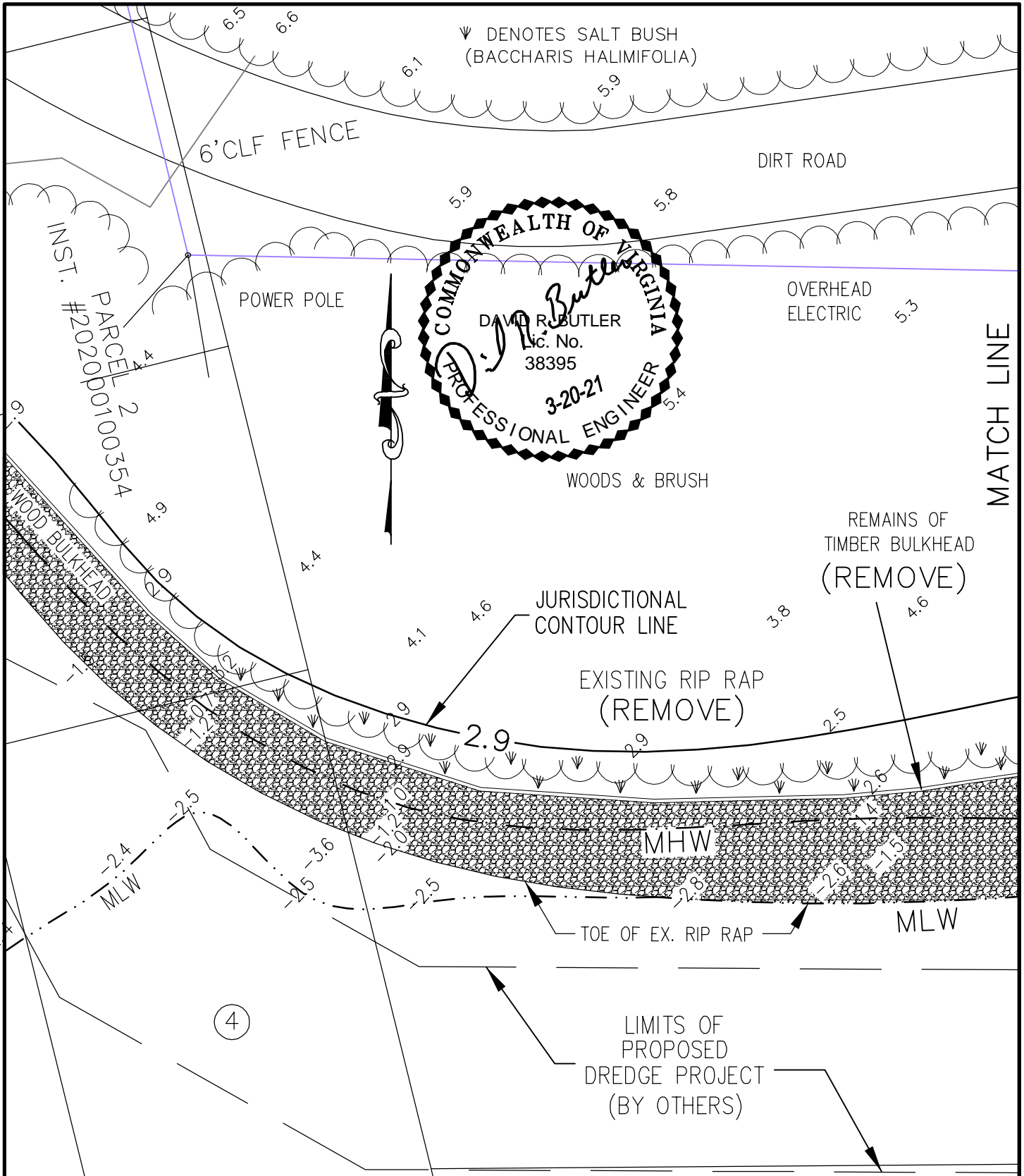
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L17	S84°48'04"W	5.83'
L18	S88°35'15"W	14.00'
L19	N86°05'15"W	12.91'
L20	N72°18'22"W	11.97'

# LAKE RUDEE



LOTS 1-7 SHADOWLAWN  
BLOCK 29 HEIGHTS  
(M.B. 7 P. 14)





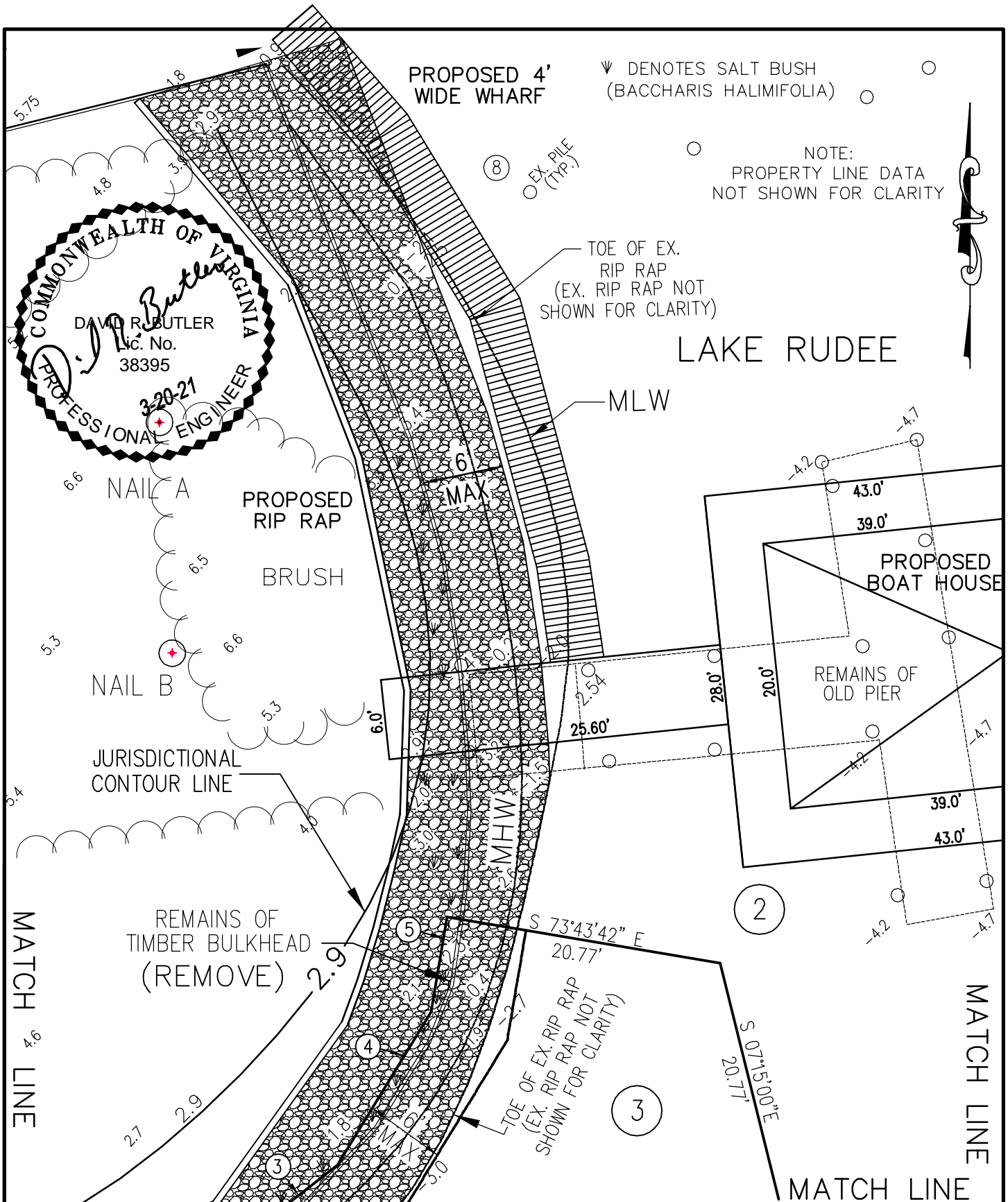
ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**PLAN**  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 6 OF 23

8-1-21 REV.





ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**PLAN**  
PROPOSED IMPROVEMENTS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 7 OF 23

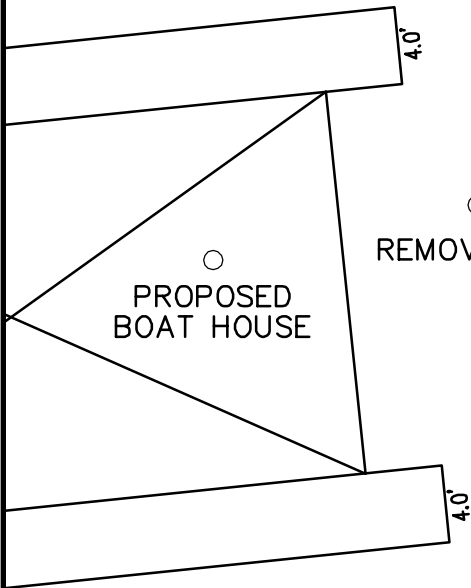
8-1-21 REV.



EX. PILE  
(TYP.)



# LAKE RUDEE



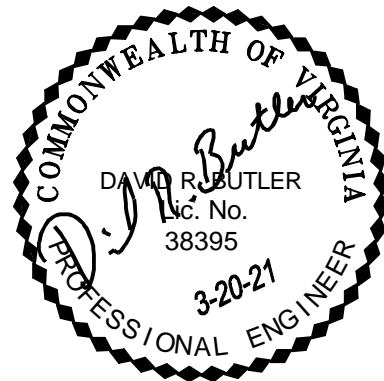
REMOVE EX. PILES

PROPOSED  
BOAT HOUSE

4.0'

MATCH LINE

2

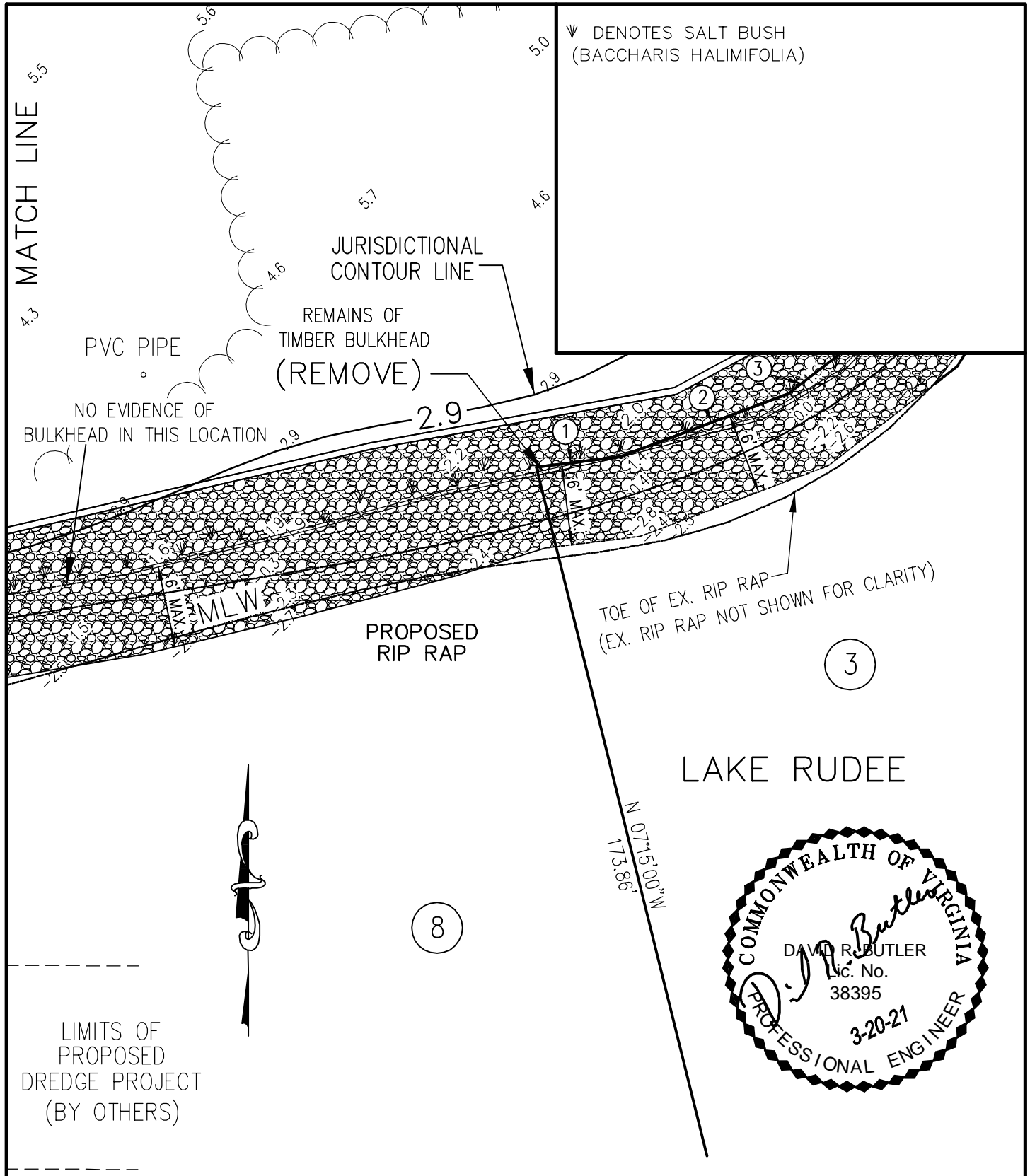


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

PLAN  
PROPOSED IMPROVEMENTS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 8 OF 23

8-1-21 REV.

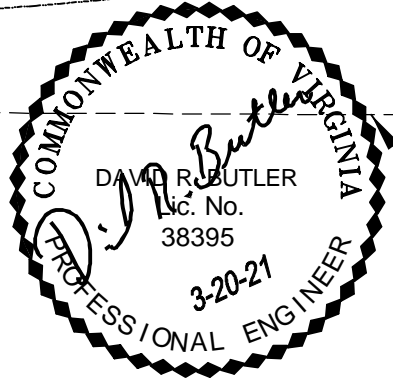
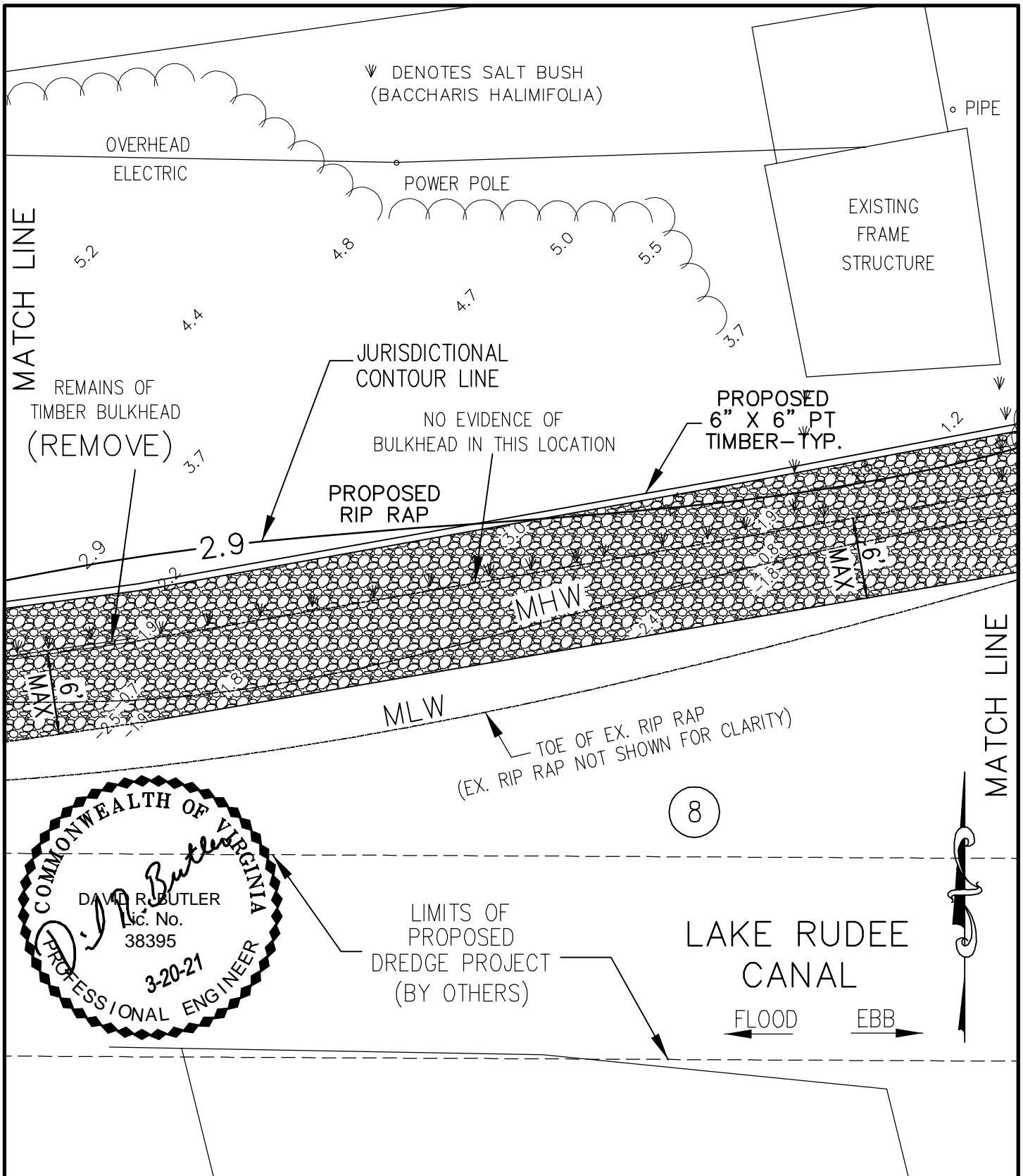


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

PLAN  
PROPOSED IMPROVEMENTS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 9 OF 23

8-1-21 REV.



LIMITS OF PROPOSED DREDGE PROJECT (BY OTHERS)

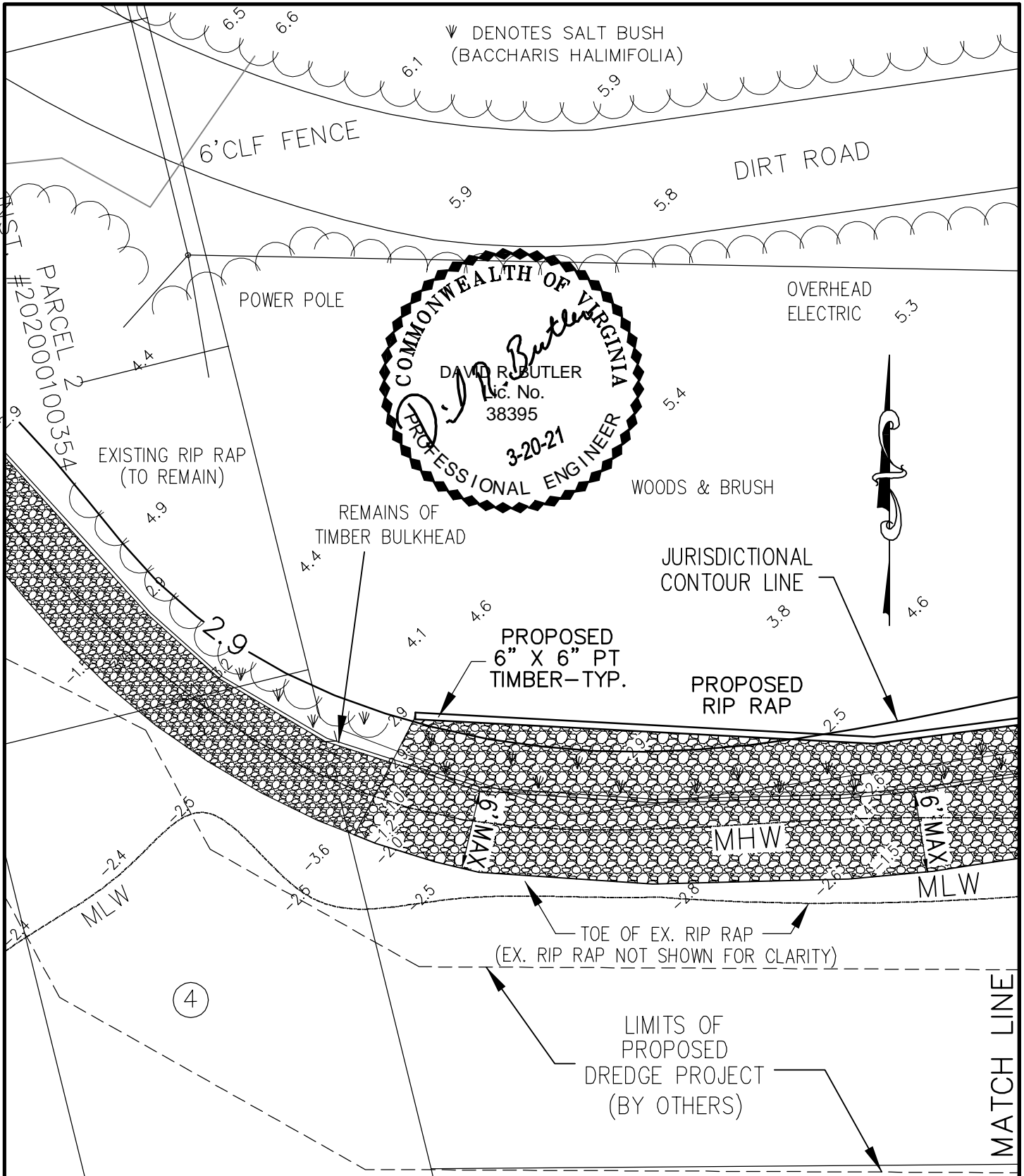
8

LAKE RUDEE CANAL

FLOOD      EBB

ADJACENT PROPERTY OWNERS: SEE SHEET 2	<b>PLAN</b> PROPOSED IMPROVEMENTS SCALE: 1" = 10'	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 10 OF 23
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8-1-21 REV.



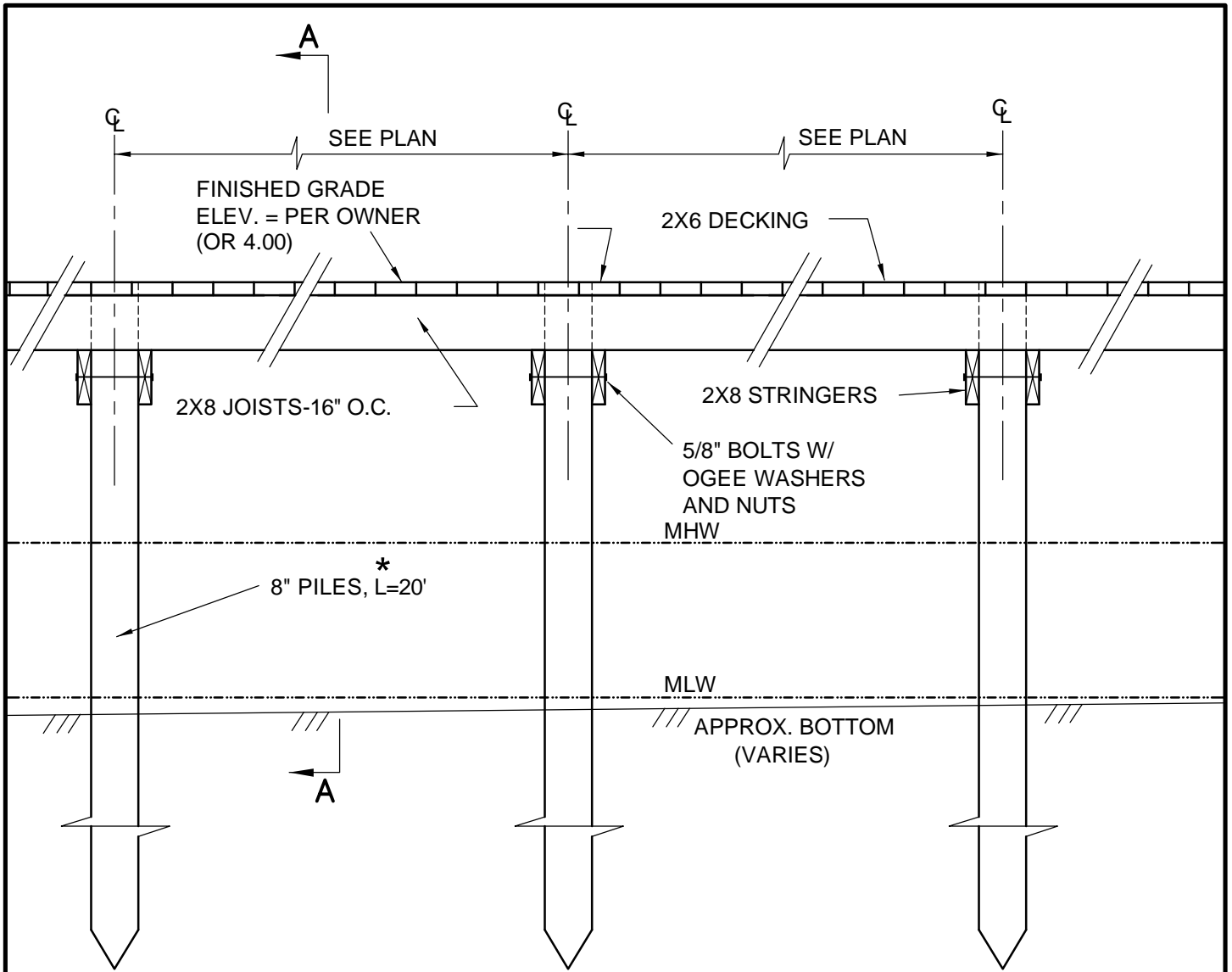
ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**PLAN**  
PROPOSED IMPROVEMENTS  
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 11 OF 23

8-1-21 REV.

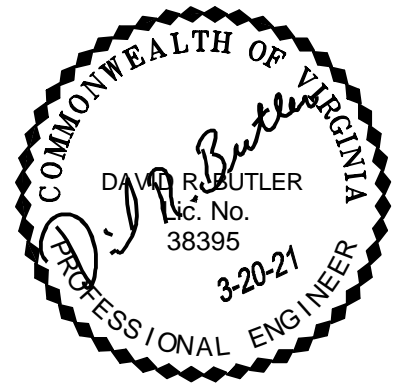




**NOTES**

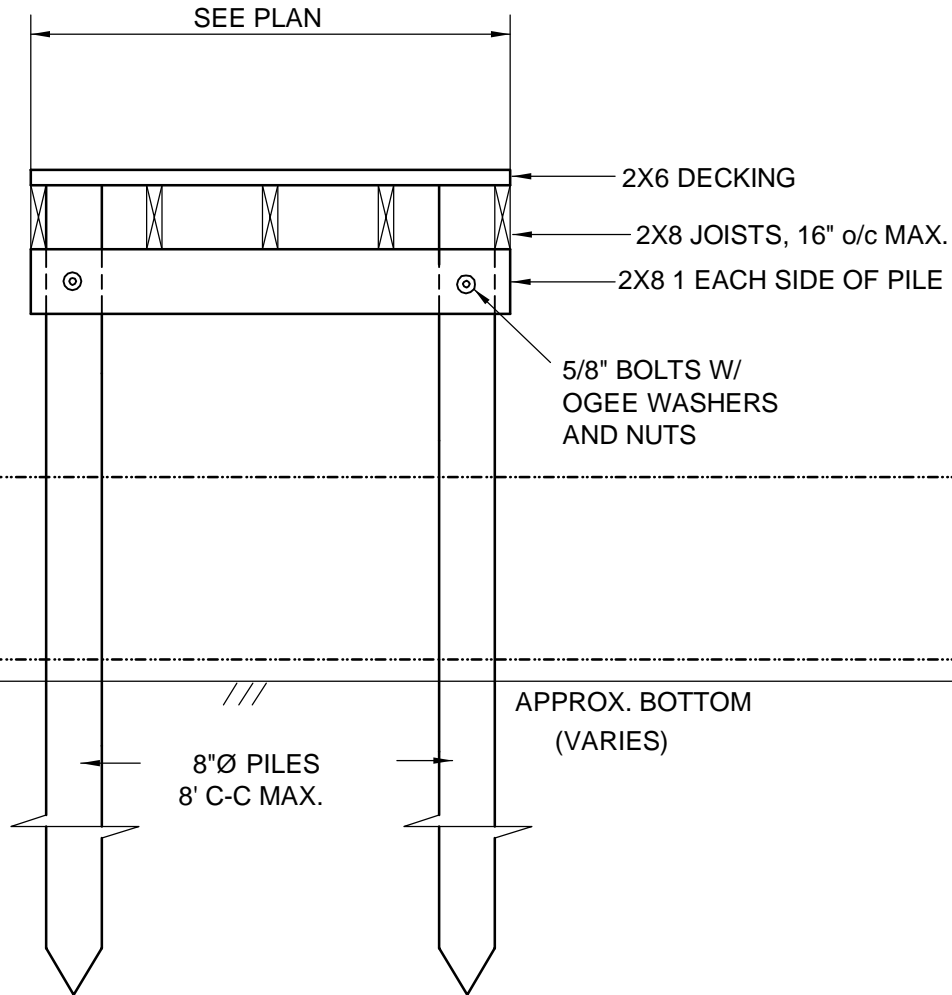
1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE (NO SOIL BORINGS WERE PROVIDED)

**PROP. PIER  
TYPICAL SECTION**



ADJACENT PROPERTY OWNERS: SEE SHEET 2	<b>PIER DETAIL</b> $1/2" = 1'$	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 12 OF 23
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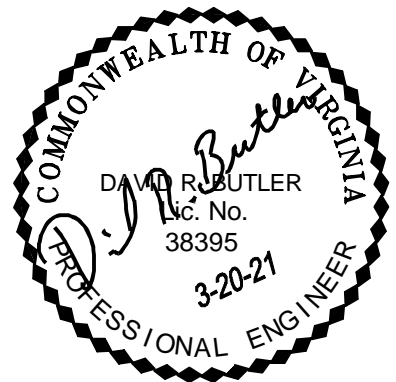
8-1-21 REV.



**NOTES**

1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
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- \* FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE (NO SOIL BORINGS WERE PROVIDED)

**PROP. PIER  
SECTION A-A AND WHARF**



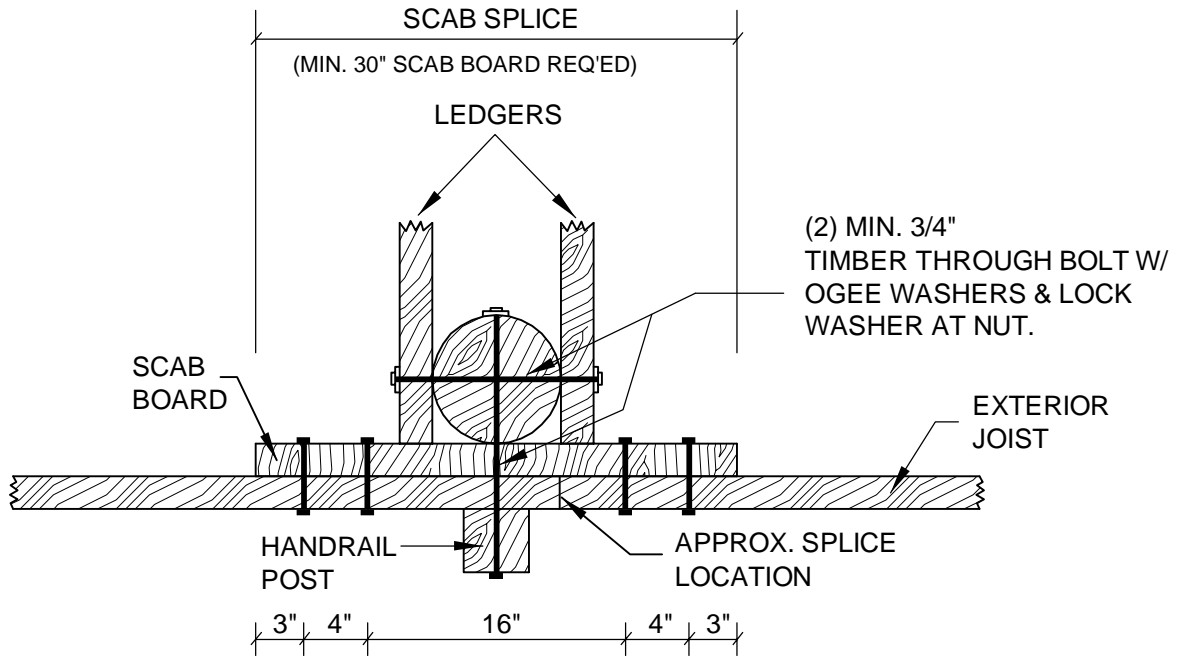
ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**PIER DETAIL**

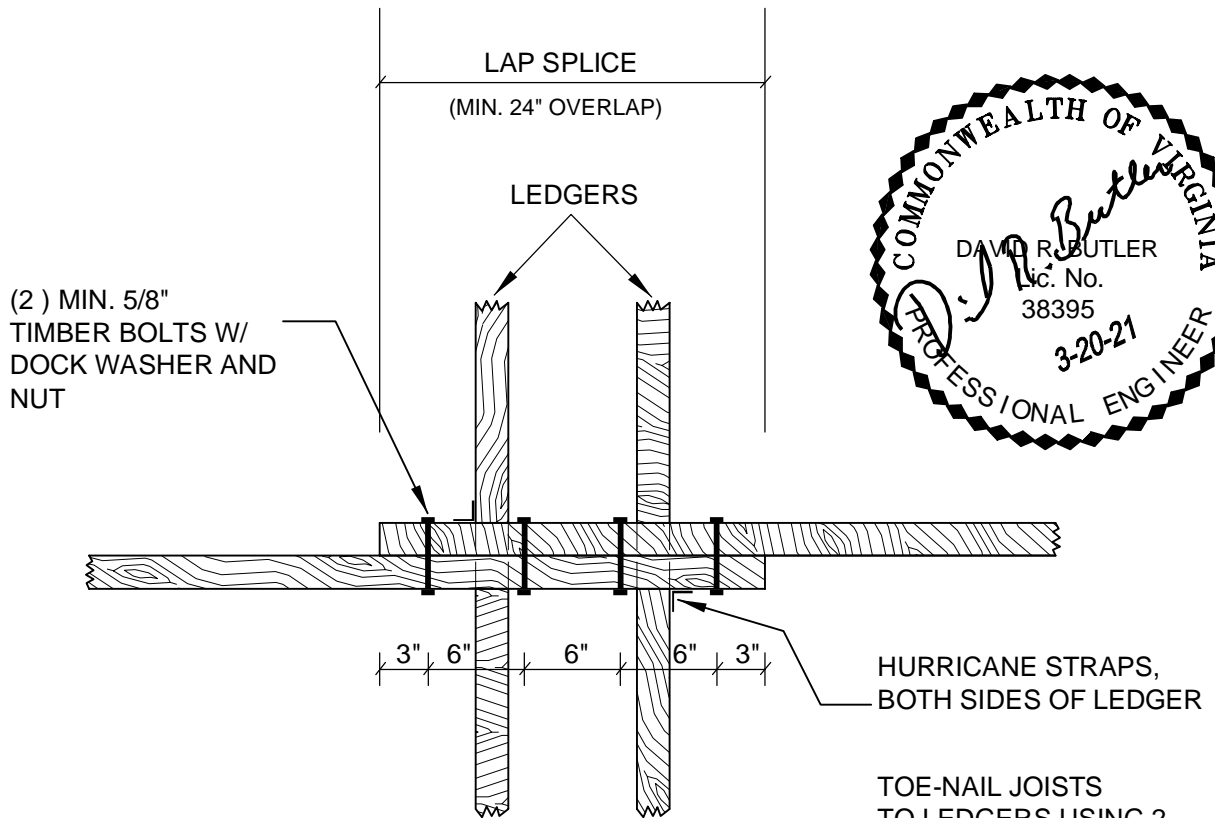
1/2" = 1'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 13 OF 23

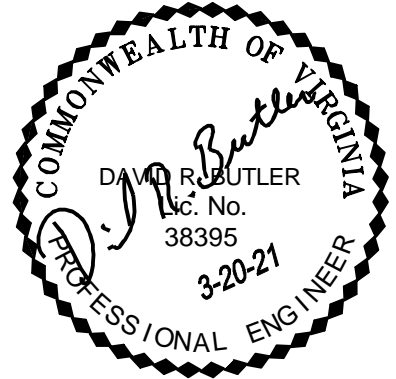
8-1-21 REV.



SCAB SPLICE DETAIL



LAP SPLICE DETAIL



HURRICANE STRAPS,  
BOTH SIDES OF LEDGER

TOE-NAIL JOISTS  
TO LEDGERS USING 2  
NAILS IN EA. STRINGER

ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

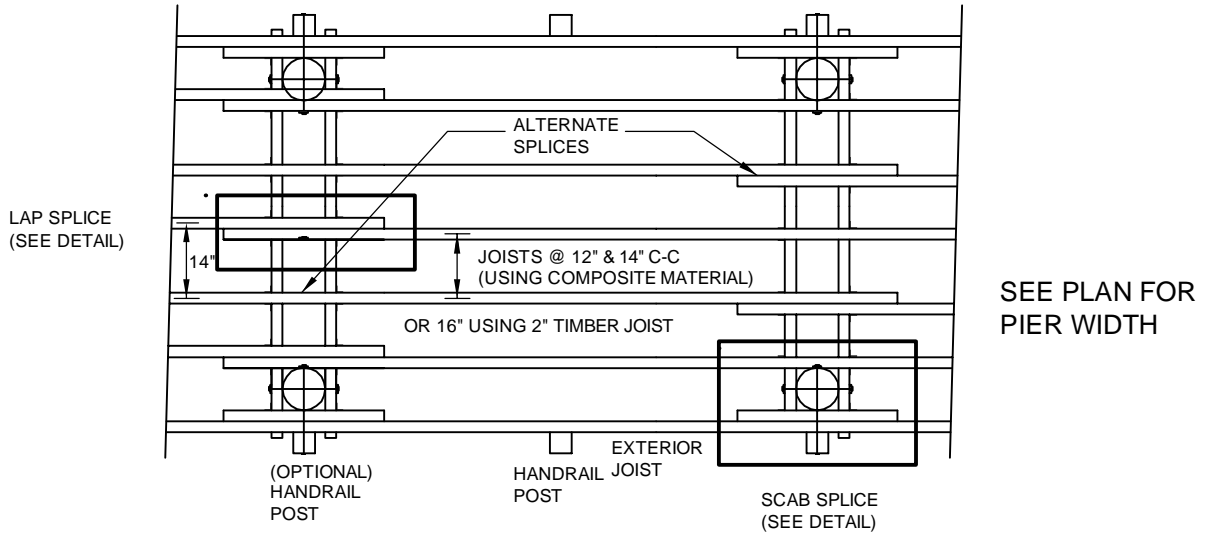
**PIER DETAILS**  
(NO SCALE)

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE

BY: JOSEPH J. LAMONTAGNE

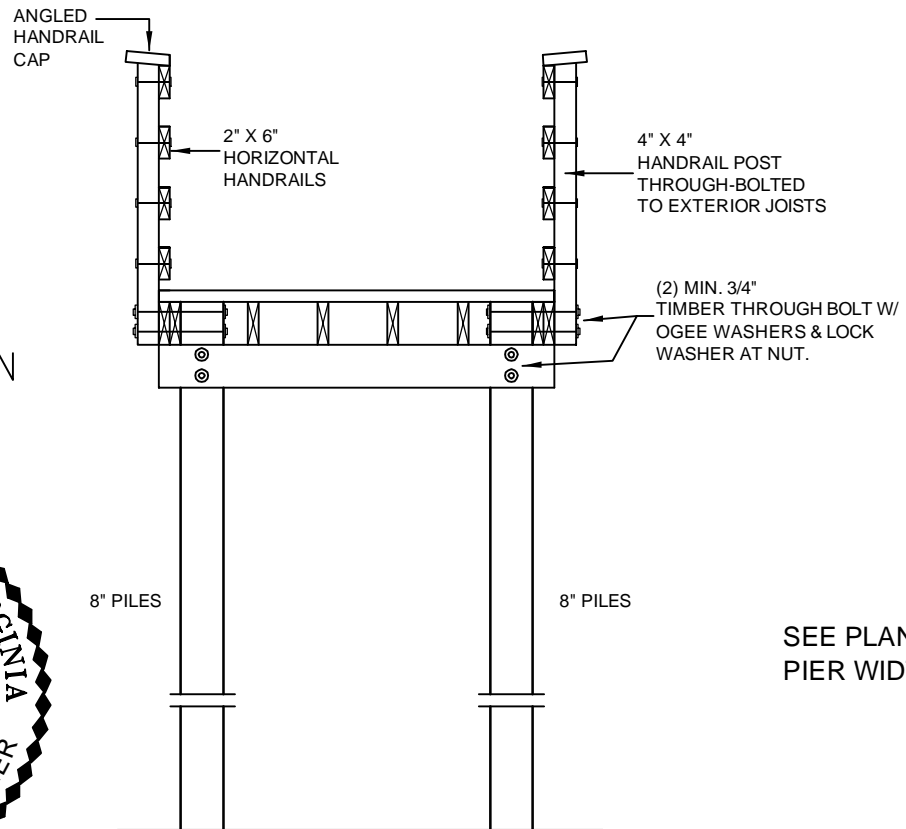
DATE: MARCH 21, 2021 SHEET 14 OF 23

8-1-21 REV.



SEE PLAN FOR PIER WIDTH

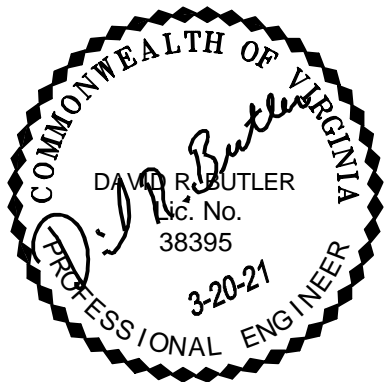
## PLAN



HANDRAILS SHOWN ARE OPTIONAL

SEE PLAN FOR PIER WIDTH

## SECTION

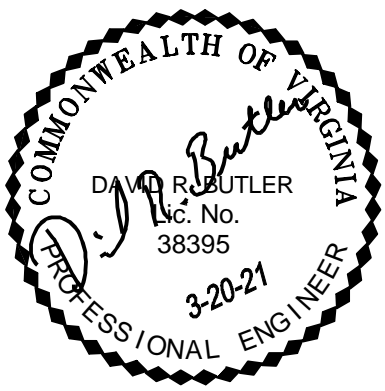
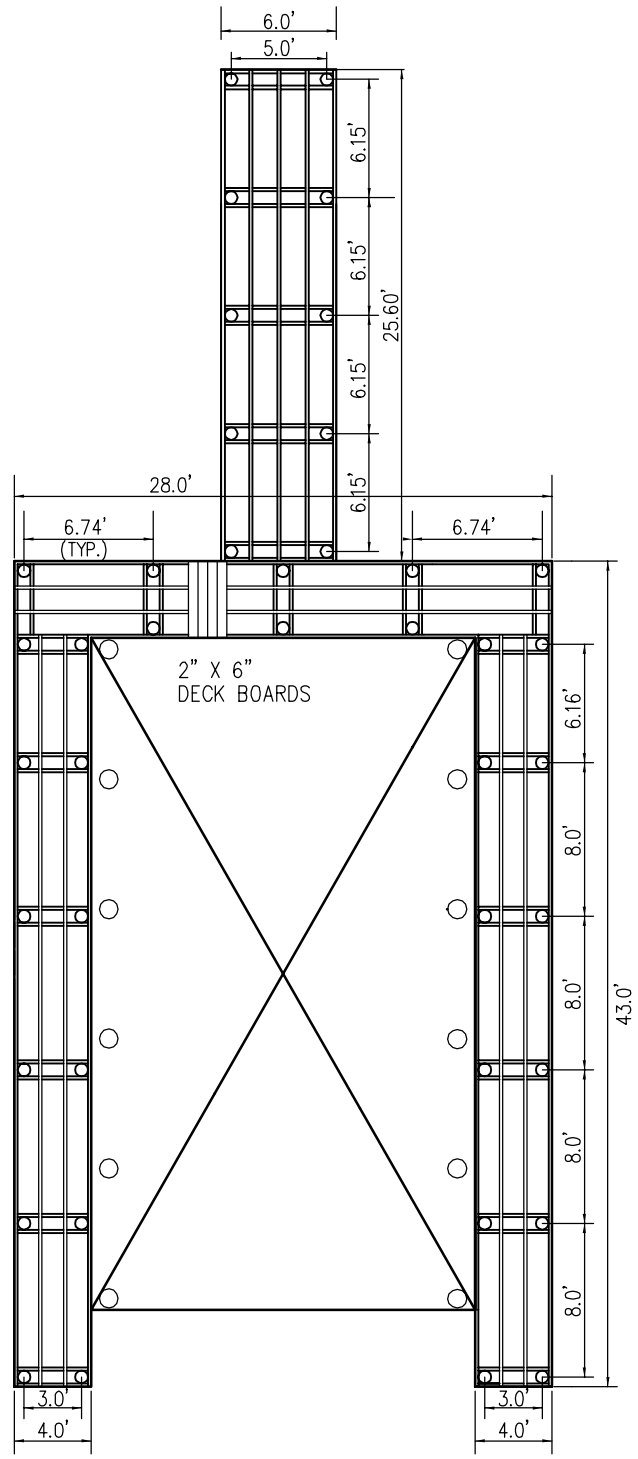


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**PIER DETAILS**  
(NO SCALE)

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 15 OF 23

8-1-21 REV.

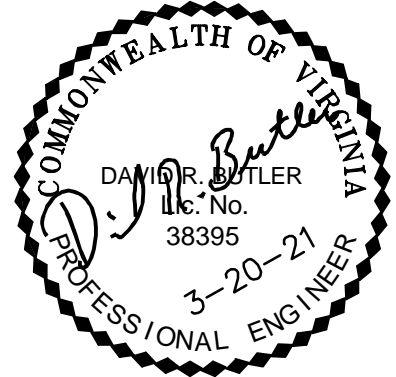


<p>ADJACENT PROPERTY OWNERS: SEE SHEET 2</p>	<p>PIER FRAMING PLAN SCALE: 1" = 10'</p>	<p>PROJECT: RIP RAP, BOAT HOUSE, PIER, LIFT, BOAT RAMP IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 16 OF 23</p>
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**MATERIAL NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKING ALL UNDERGROUND UTILITIES.
2. TEST PILES SHALL BE INSTALLED IN THE COMPANY OF THE ENGINEER OF RECORD.
3. ALL MANUFACTURED STRUCTURES, COMPONENTS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
4. ALL STRUCTURES NOT SHOWN OR SPECIFIED TO BE REMOVED SHALL REMAIN.
5. ALL TIMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #1 GRADE OR BETTER, S4S.
6. PRESERVATIVE TREATMENT: ALL TIMBER PILES, WALES, PILE CAPS (AS DEFINED OR SHOWN AS SUCH ON THE DRAWINGS) AND ALL OTHER PERMANENT TIMBER ITEMS INCORPORATED INTO THE STRUCTURE SHALL RECEIVE CHROMATED COPPER ARSENATE (CCA) TREATMENT AT A RATE OF 2.5 PCF IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION AWPA STANDARD UI-12, USE CATEGORY UC5B.
7. ALL BOAT HOUSE PILES SHALL BE ASTM D25, CLASS B, MINIMUM DIAMETER 12" AT 3" FROM BUTT AND MINIMUM 8" DIAMETER AT TIP. WOOD PILE DELIVERY TICKETS SHALL BE ON SITE AND AVAILABLE TO A DESIGNATED REPRESENTATIVE DURING INSTALLATION. (FIXED PIER PILES SHALL BE 8" DIAM)
8. ALL FIELD CUTS, BEVELS, NOTCHES, RESURFACING, AND ABRASIONS SHALL BE PRESERVATIVE TREATED WITH COPPER NAPHTHENATE HAVING A MINIMUM OF 2 % METALLIC SOLUTION IN ACCORDANCE WITH AWPA M4.
9. ALL PILES SHALL BE DRIVEN BY DROP HAMMER OR VIBRATORY HAMMER TO THE REQUIRED EMBEDMENT DETPH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUIPMENT LARGE ENOUGH TO REACH THE REQUIRED EMBEDMENT. JETTING AND/OR PRE-DRILLING SHALL NOT BE PERFORMED WITHOUT PRIOR AUTHORIZATION FROM THE DESIGN ENGINEER. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR DRIVE TEST PILES PRIOR TO FULL MOBILIZATIONS AND DRIVING OF PRODUCTION PILES.
10. ALL PILES DAMAGED DURING DRIVING SHALL BE EXTRACTED.
11. PILES SHALL BE MAINTAINED PLUMB DURING DRIVING. PILES SHALL NOT BE MORE THAN 2-1/2 INCHES OUT-OF-PLUMB PER 10 FEET OF PILE LENGTH, AND/OR NO MORE THAN 6 INCHES OVERALL PER PILE.
12. PILE INSTALLATION SHALL BE INSPECTED PER THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
13. FASTENERS:  
ALL FASTENERS SHALL BE PROVIDED WITH A HOT DIPPED GALVANIZED COATING IN ACCORDANCE WITH ASTM A153 AND/OR F2329 (AS APPLICABLE) WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT2 (OUNCES PER SQUARE FOOT OF SURFACE AREA).
14. BOLTS - ALL BOLTS SHALL CONFORM WITH ASTM A307 AND/OR F2329 (AS APPLICABLE) AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A153 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT2 (OUNCES PER



ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

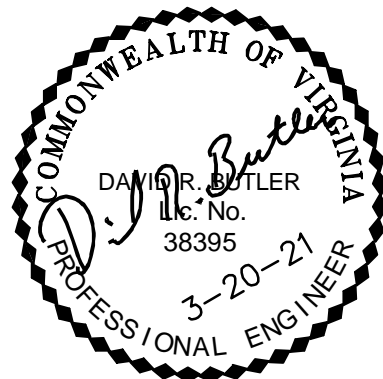
**MATERIAL NOTES**

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 17 OF 23

8-1-21 REV.

SQUARE FOOT OF SURFACE AREA). WASHERS SHALL BE PROVIDED BENEATH ALL NUTS AND BOLT HEADS.

15. NUTS - ALL NUTS SHALL MEET THE REQUIREMENTS OF ASTM A563 AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A123 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT<sup>2</sup> (OUNCES PER SQUARE FOOT OF SURFACE AREA).
16. OGEE WASHERS - ALL OGEE WASHERS SHALL MEET THE REQUIREMENTS OF ASTM A47 AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A123 A MINIMUM ZINC COATING OF 0.90 OZ/FT<sup>2</sup> (OUNCES PER SQUARE FOOT OF SURFACE AREA).
17. NAILS - ALL NAILS SHALL BE MINIMUM 16D COMMON (UNLESS NOTED OTHERWISE), SPIRAL SHANK, HOT DIPPED GALVANIZED OR ELECTROGALVANIZED WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT<sup>2</sup> (OUNCES PER SQUARE FOOT OF SURFACE AREA).
18. MISCELLANEOUS STEEL COMPONENTS - ALL MISCELLANEOUS STRUCTURAL STEEL COMPONENTS, INCLUDING CONNECTORS, BRACKETS AND MISCELLANEOUS PARTS SHALL BE FABRICATED FROM ASTM A36 STEEL. ALL STRUCTURAL STEEL SHALL BE HOT DIPPED IN ACCORDANCE WITH ASTM A123 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT<sup>2</sup> (OUNCES PER SQUARE FOOT OF SURFACE AREA).
19. DRILL ALL HOLES WITH A BIT 1/16" LARGER THAN THE REQUIRED BOLT DIAMETER.
20. ALL BOLT ENDS SHALL BE CUT OFF SUCH THAT A MAXIMUM OF 1" OF BOLT PROTRUDES BEYOND THE NUT.
21. EROSION REPAIR AREAS SHALL BE BACKFILLED WITH ONSITE AND/OR OFFSITE SOILS CLASSIFIED AS SM-SC WITH A PLASTICITY INDEX BETWEEN 10 AND 18. ALL SOILS SHALL BE PLACED IN MAXIMUM 8 INCH LIFTS AND COMPACTED TO 95 PERCENT OF THE SOILS MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698. REPAIRED SLOPE FACE SHALL BE SEEDED WITH VEGETATION APPROVED BY THE OWNER.

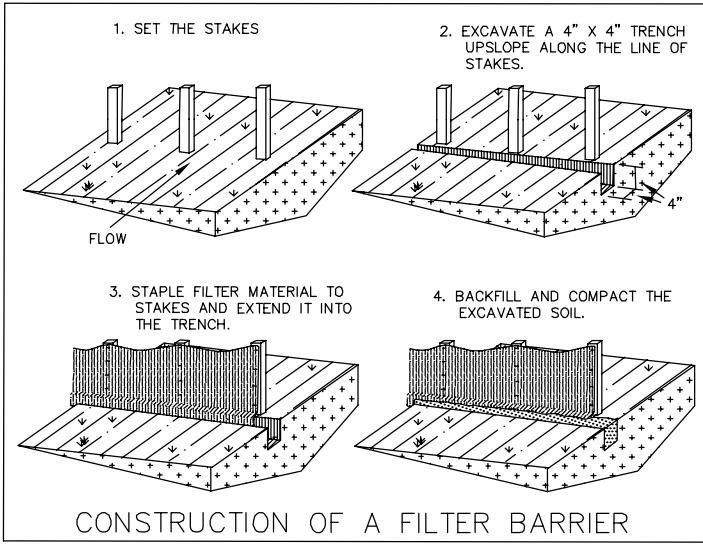


ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

### MATERIAL NOTES

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 18 OF 23

8-1-21 REV.



CONSTRUCTION OF A FILTER BARRIER

DETAIL - SILT FENCE (SF)

### CONSTRUCTION SEQUENCE

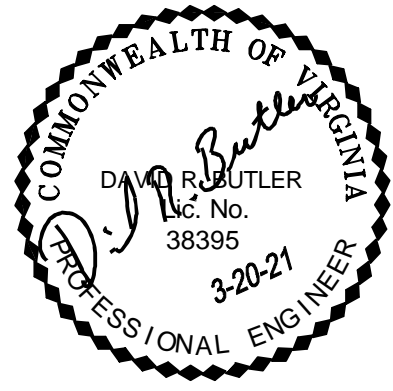
1. OBTAIN ALL REQUIRED PERMITS
2. INSTALL PLASTIC SAFETY FENCE
3. CLEAR BANK
4. SET PILES
5. INSTALL FILTER FABRIC AND RIP RAP
6. CONSTRUCT BOAT HOUSE, LIFT
7. BUILD PIER AND WHARF
8. SEED & MULCH DISTURBED AREAS

#### IMPACT SUMMARY:

1. VEGETATED WETLANDS LOST: 265 SQ. FT.
2. VEGETATED WETLANDS CREATED FROM UPLANDS: 0 SQ. FT.
3. VEGETATED WETLANDS CONVERTED TO NON VEGETATED ROCK HABITAT: 265 SQ. FT.
4. NON-VEGETATED WETLANDS LOST: 823 SQ. FT. (SAME AS #5 BELOW)
5. NON-VEGETATED WETLANDS/ROCK CONVERTED TO NON-VEGETATED WETLANDS/ROCK: 823 SQ. FT.
6. NON-VEGETATED WETLANDS/ROCK CONVERTED TO VEGETATED WETLANDS: 0 SQ. FT.

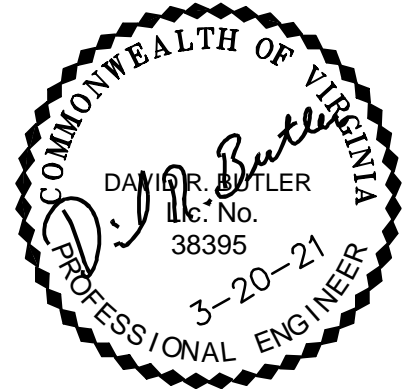
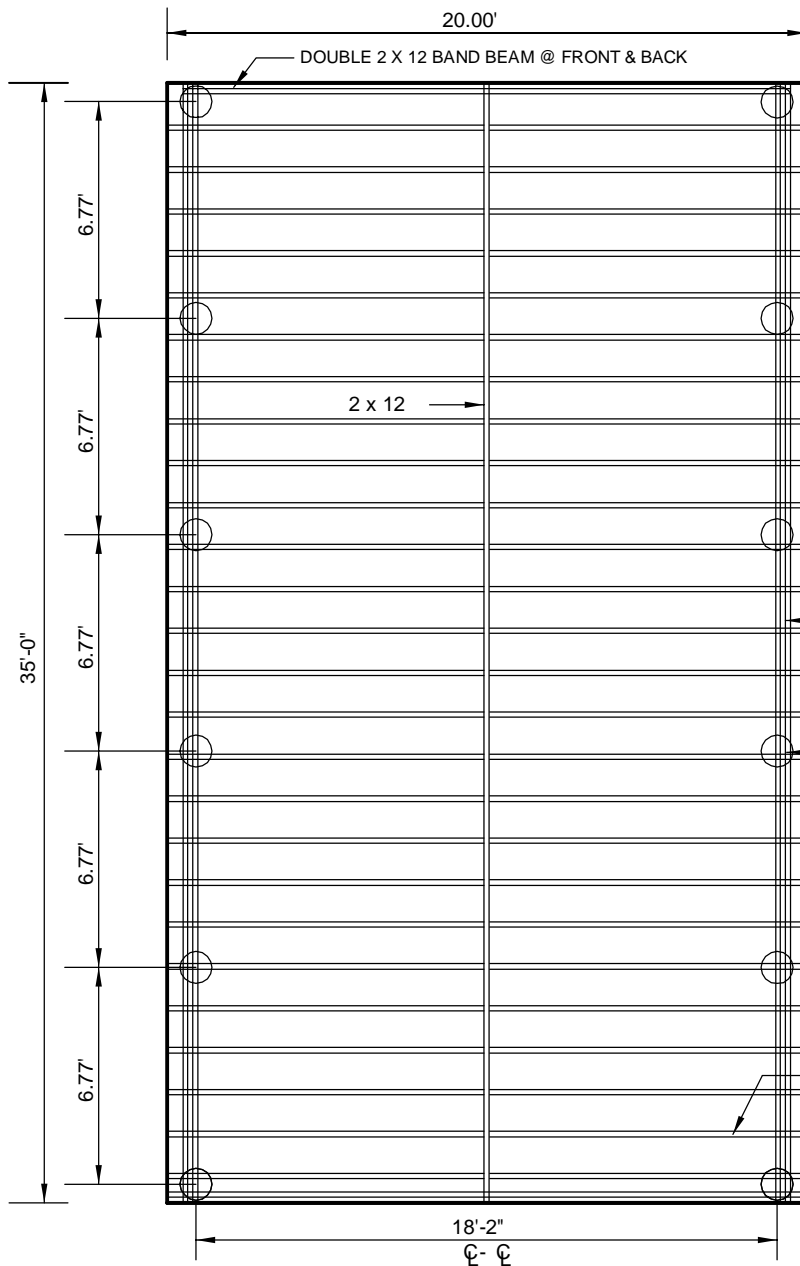
### TURFGRASS PLANTING SPECIFICATIONS

TURF TYPE	TIME OF YEAR TO SEED	SEEDING RATE	COMMENTS
KENTUCKY 31 FESCUE	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	8 LB. PER 1000 SQ. FT.	MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
NARROW LEAFED FESCUES	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	6 LB. PER 1000 SQ. FT.	IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
BERMUDA (HULLED)	5-1 - 9-15 (OR SOD DURING THIS SAME TIME PERIOD)	2 LB. PER 1000 SQ. FT.	



ADJACENT PROPERTY OWNERS: SEE SHEET 2	<b>NOTES</b>	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 19 OF 23
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8-1-21 REV.



NOTE:  
CONTRACTOR SHALL COORDINATE  
LOCATION OF BOAT LIFT WITH OWNER  
AND/OR BOAT MANUFACTURER.

ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**BOAT HOUSE PLAN**

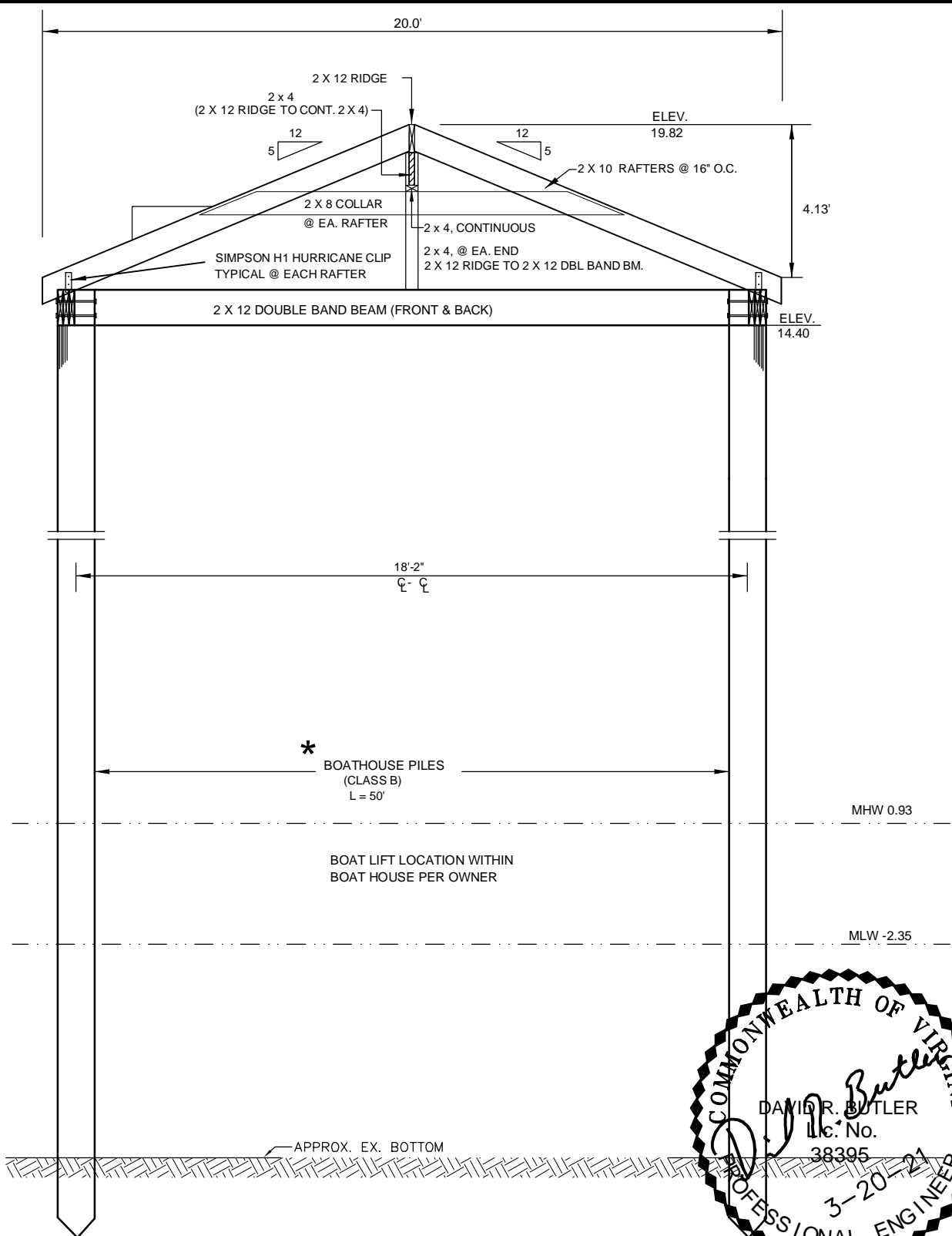
1" = 6'

PROJECT: RIP RAP, BOAT HOUSE,  
PIER, LIFT, BOAT RAMP

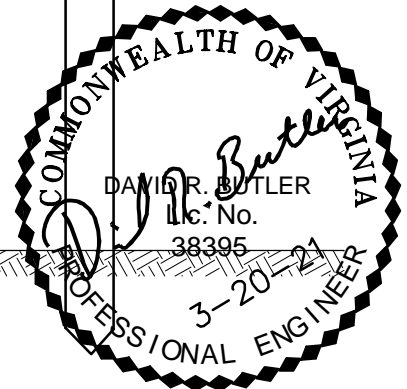
IN: LAKE RUDEE

BY: JOSEPH J. LAMONTAGNE

DATE: MARCH 21, 2021 SHEET 20 OF 26



\* LIFT AND BOAT HOUSE PILE LENGTHS MAY BE REQUIRED TO BE LONGER BASED ON BOTTOM CONDITIONS. CONTACT ENGINEER OF RECORD IN THE EVENT THE PILES DO NOT MAKE ADEQUATE CONTACT AND DEPTH INTO FIRM MATERIAL.



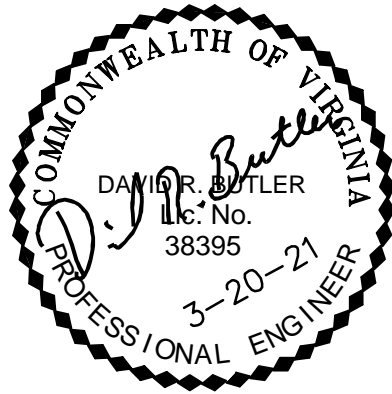
ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**BOAT HOUSE SECTION**  
1" = 4'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 21 OF 23

8-1-21 REV.





FIBERGLASS BACKED ASPHALT SHINGLES OVER 15# FELT

5/8" EXT. GRADE PLYWOOD ON 2 X 10 TREATED RAFTERS @ 16" o/c

DRIP EDGE

SIMPSON H1 HURRICANE CLIP TYPICAL @ EACH RAFTER

2-3/4" GALV. BOLTS AND WASHERS

(3) 2 X 12's TREATED BEAM

NOTCH PILE TO ACCEPT BEAM

CLASS B BOATHOUSE SUPPORT PILE

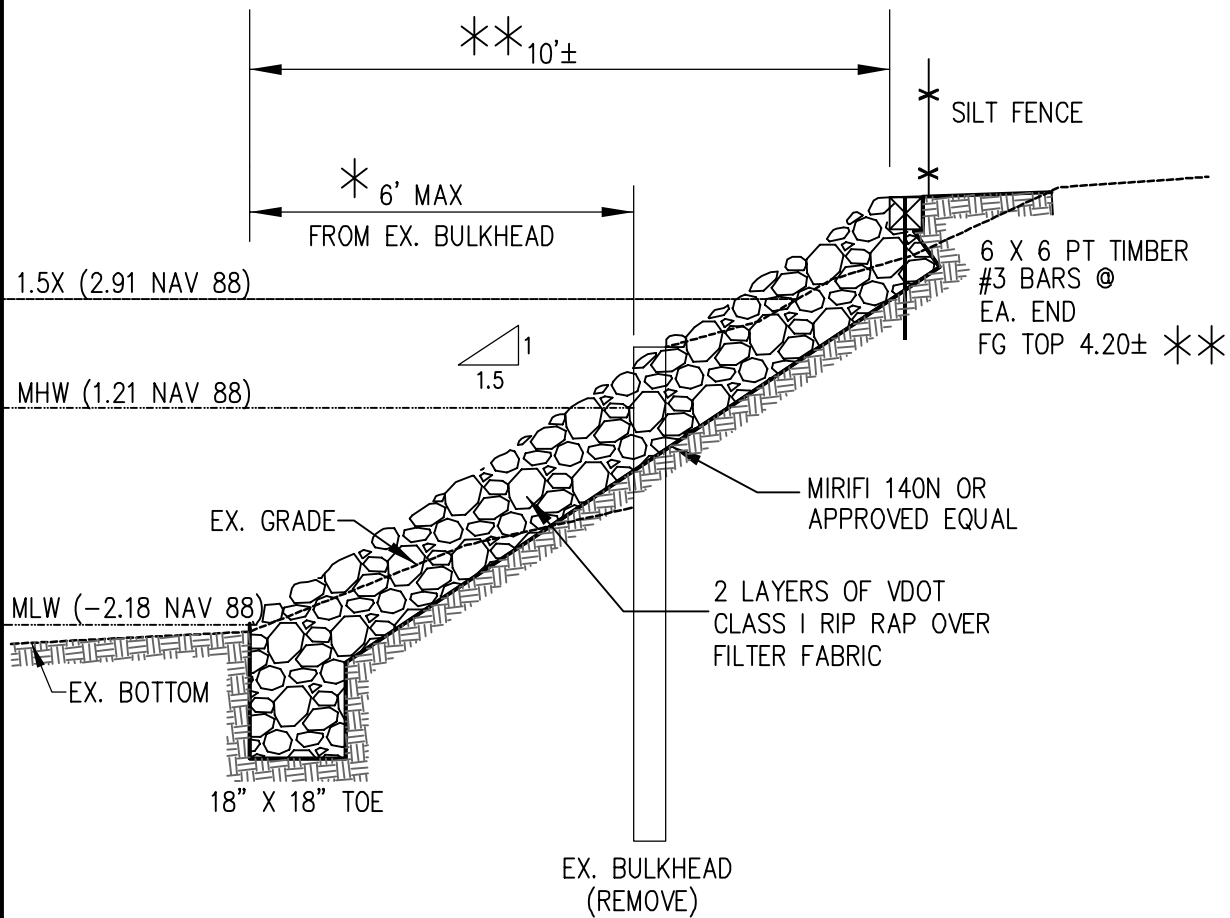
ROOF CONNECTION DETAIL

ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

**BOAT HOUSE DETAILS**  
NO SCALE

PROJECT: RIP RAP, BOAT HOUSE, PIER  
 IN: LAKE RUDEE  
 BY: JOSEPH J. LAMONTAGNE  
 DATE: MARCH 21, 2021 SHEET 22 OF 23

8-1-21 REV.



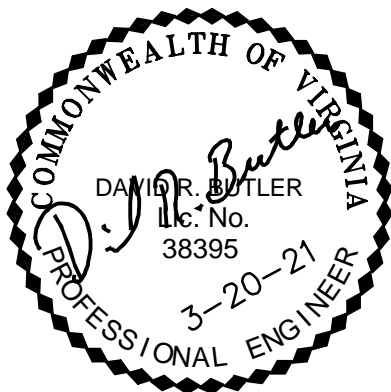
\* THE TOE OF THE NEW RIP RAP SHALL NOT EXCEED 6' FROM PROPERTY LINES ①-⑤ SEE PLAN SHEETS 7 AND 9

\*\* TOP OF RIP RAP BANK MAY EXTEND BEYOND 10' (LANDWARD) IN THE EVENT THE LOT IS FILLED HIGHER THAN FIN. GRADE 4.2

NOTES:

RIP RAP SHOWN NOT DRAWN TO SCALE

EX. CONCRETE RUBBLE NOT SHOWN FOR CLARITY



ADJACENT PROPERTY OWNERS:  
SEE SHEET 2

TYPICAL SECTION  
RIP RAP  
SCALE: 1" = 3'

PROJECT: RIP RAP, BOAT HOUSE, PIER  
IN: LAKE RUDEE  
BY: JOSEPH J. LAMONTAGNE  
DATE: MARCH 21, 2021 SHEET 23 OF 23

8-1-21 REV.

GALLUP  
SURVEYORS & ENGINEERS

April 5, 2021

Percy Lee  
Harriet H. Jones  
609 Goldsboro Avenue  
Virginia Beach, VA 23451

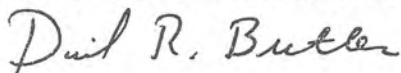
Re: Waterfront Construction Adjacent To Your Property

We have been retained by your neighbor, Joseph Lamontagne, to prepare plans for rip rap, pier, boat house, boat lift and boat ramp to serve his property on Caspian Avenue. The City of Virginia Beach Waterfront Operations Department requires consulting engineers for waterfront construction projects to notify all of the property owners that are adjacent to a proposed waterfront project that construction is proposed for that particular property. I have included a preliminary copy of the waterfront plans with this letter for you to review. In addition to notifying the immediate neighbors, VMRC requires the immediate neighbors to review, check, and sign the enclosed form. I have provided a stamped envelope for your use in returning the form to us.

Please feel free to call me if you have any questions or comments so that I may relay them to my client.

Sincerely,

GALLUP SURVEYORS & ENGINEERS



David R. Butler, P.E.

DRB/ilc



323 First Colonial Road • Virginia Beach, Virginia 23454-4605  
Phone (757)428-8132 • Fax (757)425-2390

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), PERCY LEE & HARRIET H. JONES, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated MARCH 21, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

GALLUP  
SURVEYORS & ENGINEERS

April 5, 2021

Kenneth Lindsley  
317 First Colonial Road  
Suite C  
Virginia Beach, VA 23454

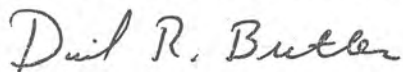
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Phone (757)428-8132 • Fax (757)425-2390



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), KENNETH LINDSLEY, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated MARCH 21, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

GALLUP  
SURVEYORS & ENGINEERS

April 5, 2021

Richard L. Neatherly  
305 Caspian Avenue  
Virginia Beach, VA 23451

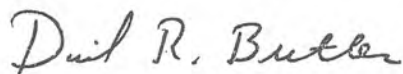
Re: Waterfront Construction Adjacent To Your Property

We have been retained by your neighbor, Joseph Lamontagne, to prepare plans for rip rap, pier, boat house, boat lift and boat ramp to serve his property on Caspian Avenue. The City of Virginia Beach Waterfront Operations Department requires consulting engineers for waterfront construction projects to notify all of the property owners that are adjacent to a proposed waterfront project that construction is proposed for that particular property. I have included a preliminary copy of the waterfront plans with this letter for you to review. In addition to notifying the immediate neighbors, VMRC requires the immediate neighbors to review, check, and sign the enclosed form. I have provided a stamped envelope for your use in returning the form to us.

Please feel free to call me if you have any questions or comments so that I may relay them to my client.


Sincerely,

GALLUP SURVEYORS & ENGINEERS



David R. Butler, P.E.

DRB/ilc



323 First Colonial Road • Virginia Beach, Virginia 23454-4605  
Phone (757)428-8132 • Fax (757)425-2390

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), RICHARD L. NEATHERLY, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated MARCH 21, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

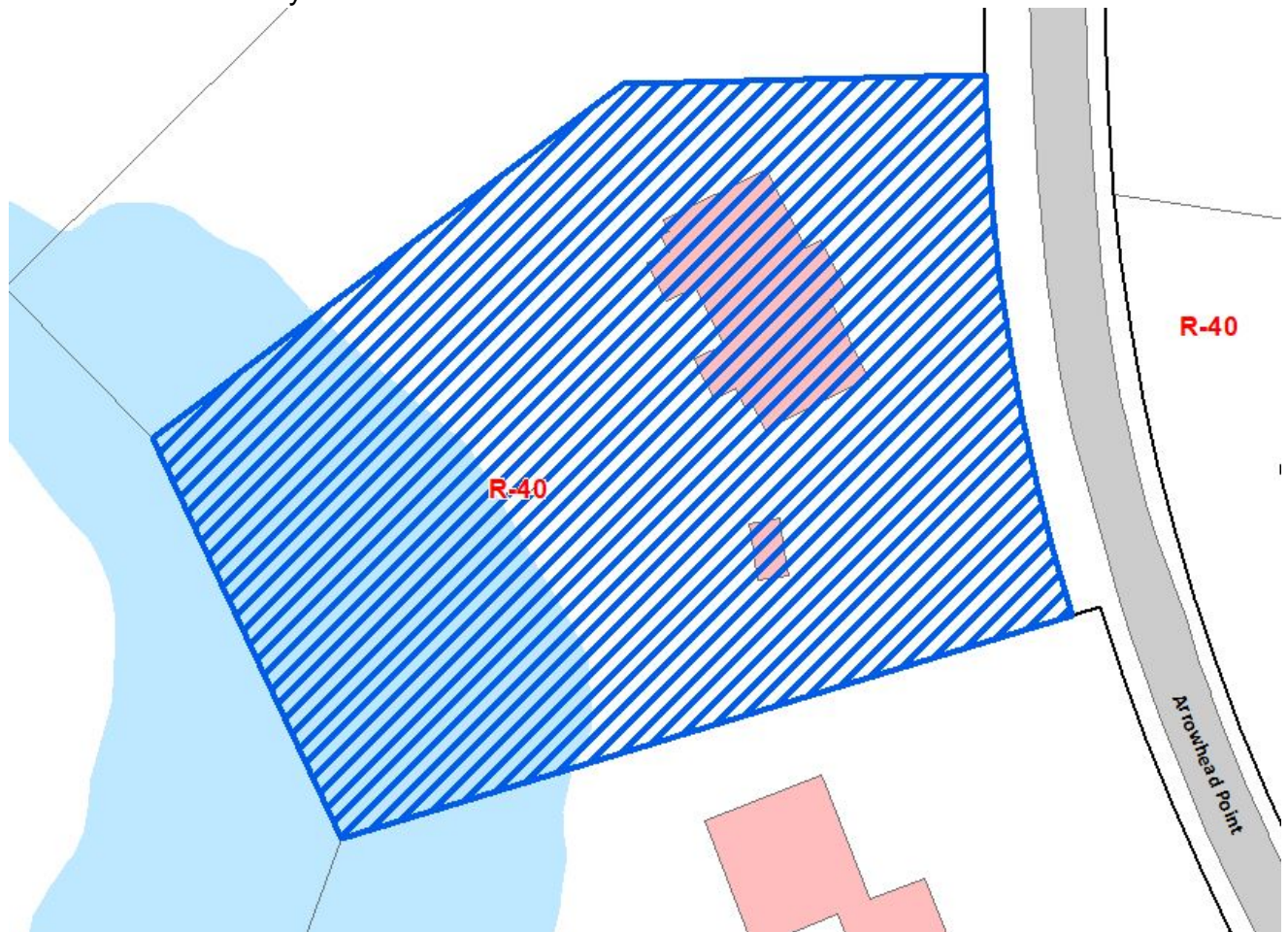
3. 2021-WTRA-00270

Bertrand Ross & Susanne Hughes [Applicant & Owner]

**To install rip rap with living shoreline involving wetlands**

1630 Arrowhead Pt  
(GPIN 1489-02-8555)

Waterway – Western Branch of Lynnhaven River  
Subdivision – Thoroughgood  
Council District – Bayside



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** Bertrand A. Ross & Susanne Hughes

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

Robert E Simon, Waterfront Consulting, Inc.

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.

QRL Financial Services

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

John Watson, Siska Arund

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5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-





6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.

Robert E Simon, Waterfront Consulting, Inc., Gregory O. Milstead, P.E. Chesapeake Bay Site Solutions

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

**Applicant Signature**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

**Applicant Signature**

Bertrand A. Ross & Susanne Hughes

**Print Name and Title**

Bertrand A. Ross

**Date** 8/29/21

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Thoroughgood Cove</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

Bertrand A. Ross & Susanne Hughes  
1630 Arrowhead Point  
Virginia Beach, VA 23455

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( 757 ) 404-4711  
e-mail rossba0551@gmail.com

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable):

Waterfront Consulting, Inc.  
2589 Quality Court, Ste. 323  
Virginia Beach, VA 23454

Contact Information:  
Home ( ) \_\_\_\_\_  
Work ( 757 ) 425-8244  
Fax ( 757 ) 425-8244  
Cell ( 757 ) 619-7302  
e-mail bob@waterfrontconsulting.net

State Corporation Commission Name and ID Number (if applicable) 047-4381-1

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove the existing wharf, mooring piles, bulkhead, and boat ramp, construct approximately 211 LF of riprap revetment, construct a private open pile pier with a four pile boat lift, install 66 LF of coir log, and grade approximately 1,080 SF down for sprigging.

The pier will use (21) 8" timber piles and the boat lift will use (4) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on a barge and land.

### Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? \_\_\_ Yes\* \_\_\_ No. \*If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot  
150 W. Brambleton Avenue  
Norfolk, VA 23510

( 757 ) 622-1455 \_\_\_\_\_

- 7. Give the following project location information:

Street Address (911 address if available) 1630 Arrowhead Point

Lot/Block/Parcel# Lot 1, Subdivision of Parcel B, Section 1, Thoroughgood

Subdivision Thoroughgood

City / County Virginia Beach ZIP Code 23455

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.89072 / -76.11307 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of the project is shoreline stabilization and water enhancement.

The secondary purpose of the project is recreational boating access.

## Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The proposed bulkhead is to be replaced with a riprap revetment. The riprap revetment is proposed to be halfway landward and halfway channelward of the existing bulkhead. Therefore, there will be 650 SF of NVW rock on rock impacts from the footprint of the proposed riprap. A marsh bench is proposed as on site compensation for the 58 SF of NVW impacts. Approximately 1,080 SF of grading and sprigging is proposed. Of that, 58 SF is NVW and 1,022 SF is upland being converted down to *Spartina alterniflora* and patens. Therefore, this project is mitigated for on site.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 125,000.00  
 Approximate cost of that portion of the project that is channelward of mean low water:  
 \$ 50,000.00

13. Completion date of the proposed work: Approximately 1 year from permit date - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Raman Unnikrishnan	1624 Arrowhead Point	Virginia Beach, VA 23455
McGlemre P. Peters	1608 Keelings Landing Road	Virginia Beach, VA 23455
Michael J. Metheny	1636 Arrowhead Point	Virginia Beach, VA 23455

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**


**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Bertrand A. Ross & Susanne Hughes

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

  
Applicant's Signature

(Use if more than one applicant)

9/29/21  
Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date



## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Bertrand A. Ross & Susanne Hughes, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

**Robert E. Simon, V.P. R.E.S.**

\_\_\_\_\_  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

8/31/2021

\_\_\_\_\_  
(Date)



\_\_\_\_\_  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

8/29/21

\_\_\_\_\_  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Bertrand A. Ross & Susanne Hughes, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

### 1. Briefly describe your proposed project.

The project is to remove the existing wharf and mooring piles and construct a private open pile pier with a four pile boat lift as shown in the permit drawings.

### 2. For private, noncommercial piers:

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 30 feet.

Channelward of Mean High Water? 30 feet.

Channelward of Mean Low Water? 23 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 40 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 518 square feet.

What is the total size of any and all L- or T-head platforms? 359 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to remove the existing bulkhead and boat ramp, construct 211 LF of riprap revetment and install 66 LF of coir log with 1,080 SF of grading and sprigging. There will be no aquatic impact and approximately 10 CYs of material and 16 CYs of riprap will be placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 15 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 708 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?      Yes      No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?      Yes      No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1630 Arrowhead Point

APPLICANT'S NAME: Bertrand A. Ross & Susanne Hughes

APPLICANT'S ADDRESS: 1630 Arrowhead Point

Virginia Beach, VA 23455

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION:

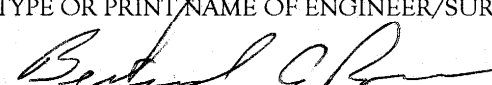
Riprap, Pier, Boat Lift, Coir Log, Grading, & Sprigging

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION DATE

Gregory O. Milstead, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
\_\_\_\_\_  
SIGNATURE OF APPLICANT 8/29/21  
DATE

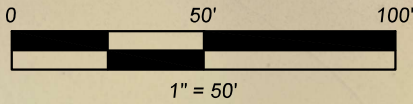
\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

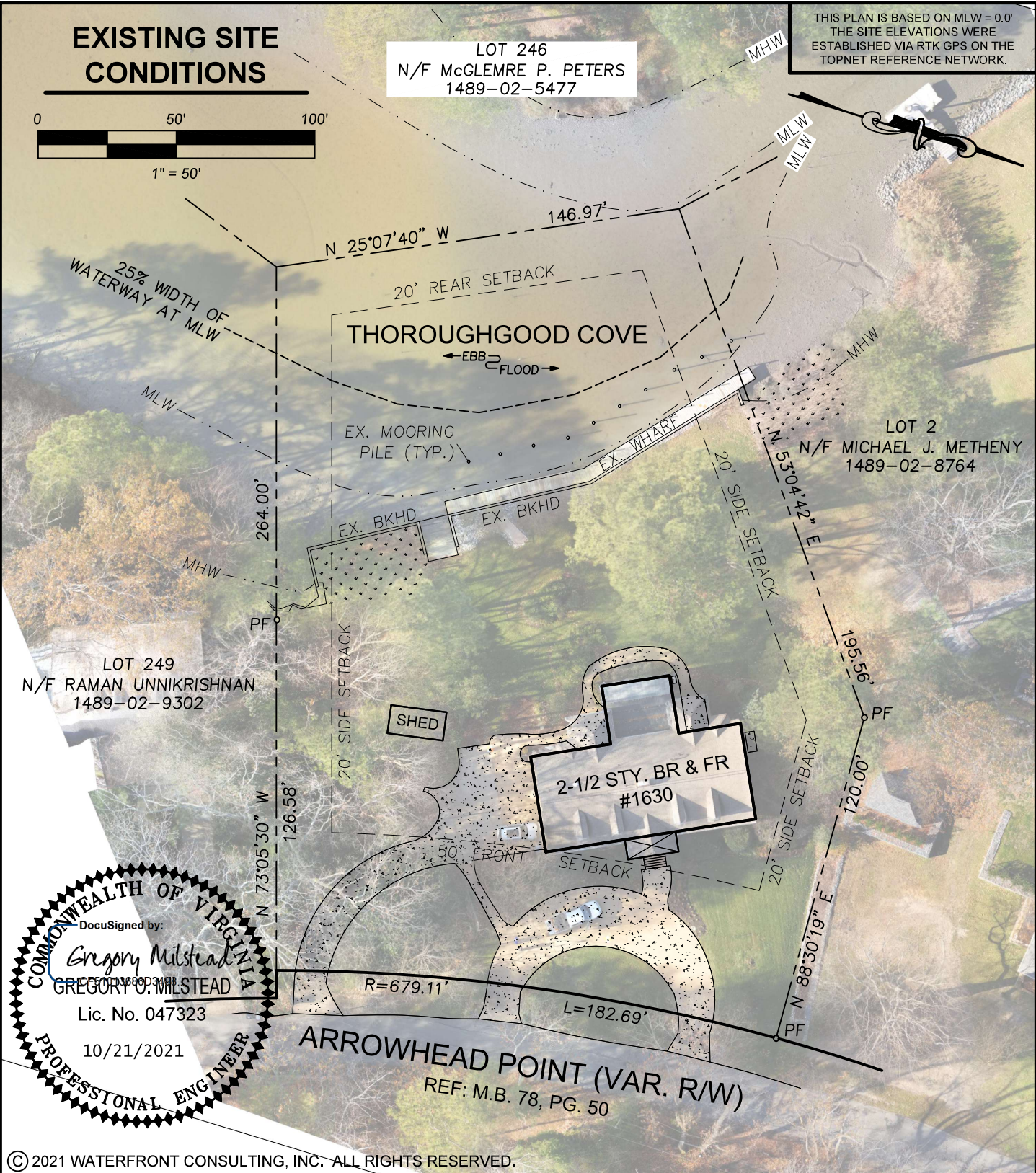


# EXISTING SITE CONDITIONS



LOT 246  
N/F MCGLEMPRE P. PETERS  
1489-02-5477

THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.



LOT 249  
N/F RAMAN UNNIKRISHNAN  
1489-02-9302

LOT 2  
N/F MICHAEL J. METHENY  
1489-02-8764

DocuSigned by:  
*Gregory Milstead*  
GREGORY O. MILSTEAD  
Lic. No. 047323  
10/21/2021  
COMMONWEALTH OF VIRGINIA  
PROFESSIONAL ENGINEER

ARROWHEAD POINT (VAR. R/W)  
REF: M.B. 78, PG. 50

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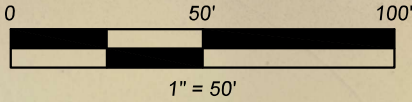
**PURPOSE:**  
DATUM: MLW 0.0  
A.P.O.  
1. RAMAN UNNIKRISHNAN  
2. MCGLEMPRE P. PETERS  
3. MICHAEL J. METHENY  
  
REV: 10/20/2021

**WCI** WATERFRONT CONSULTING, INC.  
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302  
  
ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

**PROPOSED:** RIPRAP, PIER, LIFT, COIR LOG, AND PLANTINGS  
**IN:** W.B. OF LYNNHAVEN RIVER  
**AT:** 1630 ARROWHEAD POINT VIRGINIA BEACH, VA 23455  
**APPLICATION BY:**  
BERT ROSS & SUSANNE HUGHES  
SHEET 1 OF 11  
DATE: AUGUST 3, 2021



# SITE ACCESS & DEMOLITION



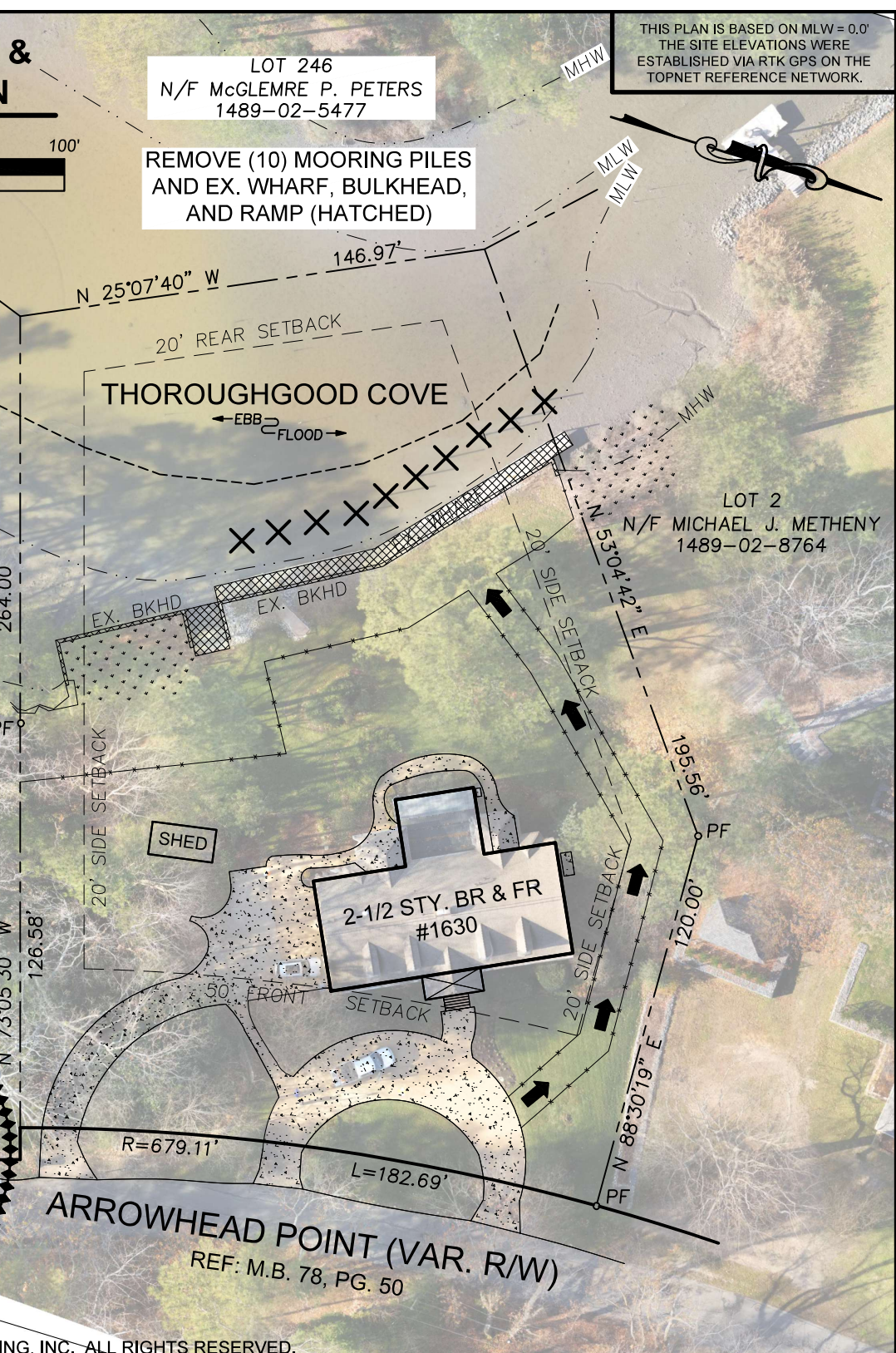
LOT 246  
N/F MCGLEMRE P. PETERS  
1489-02-5477

REMOVE (10) MOORING PILES  
AND EX. WHARF, BULKHEAD,  
AND RAMP (HATCHED)

THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.

- SITE ACCESS NOTES**
1. SITE ACCESS CURRENTLY DEVOTED TO TURF GRASS AND SHALL BE RESTORED TO SAME UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
  2. AREA OF TEMPORARY IMPACTS: 6,172 SF
  3. AN AGREEMENT IN-LIEU OF A STORMWATER MANAGEMENT PLAN SHALL BE EXECUTED FOR THE PROJECT.

DocuSigned by:  
*Gregory Milstead*  
GREGORY O. MILSTEAD  
Lic. No. 047323  
10/21/2021  
COMMONWEALTH OF VIRGINIA  
PROFESSIONAL ENGINEER



ARROWHEAD POINT (VAR. R/W)  
REF: M.B. 78, PG. 50

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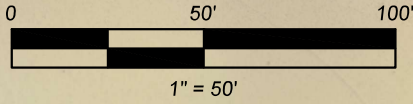
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**APPLICATION BY:**  
BERT ROSS & SUSANNE HUGHES  
SHEET 2 OF 11  
DATE: AUGUST 3, 2021

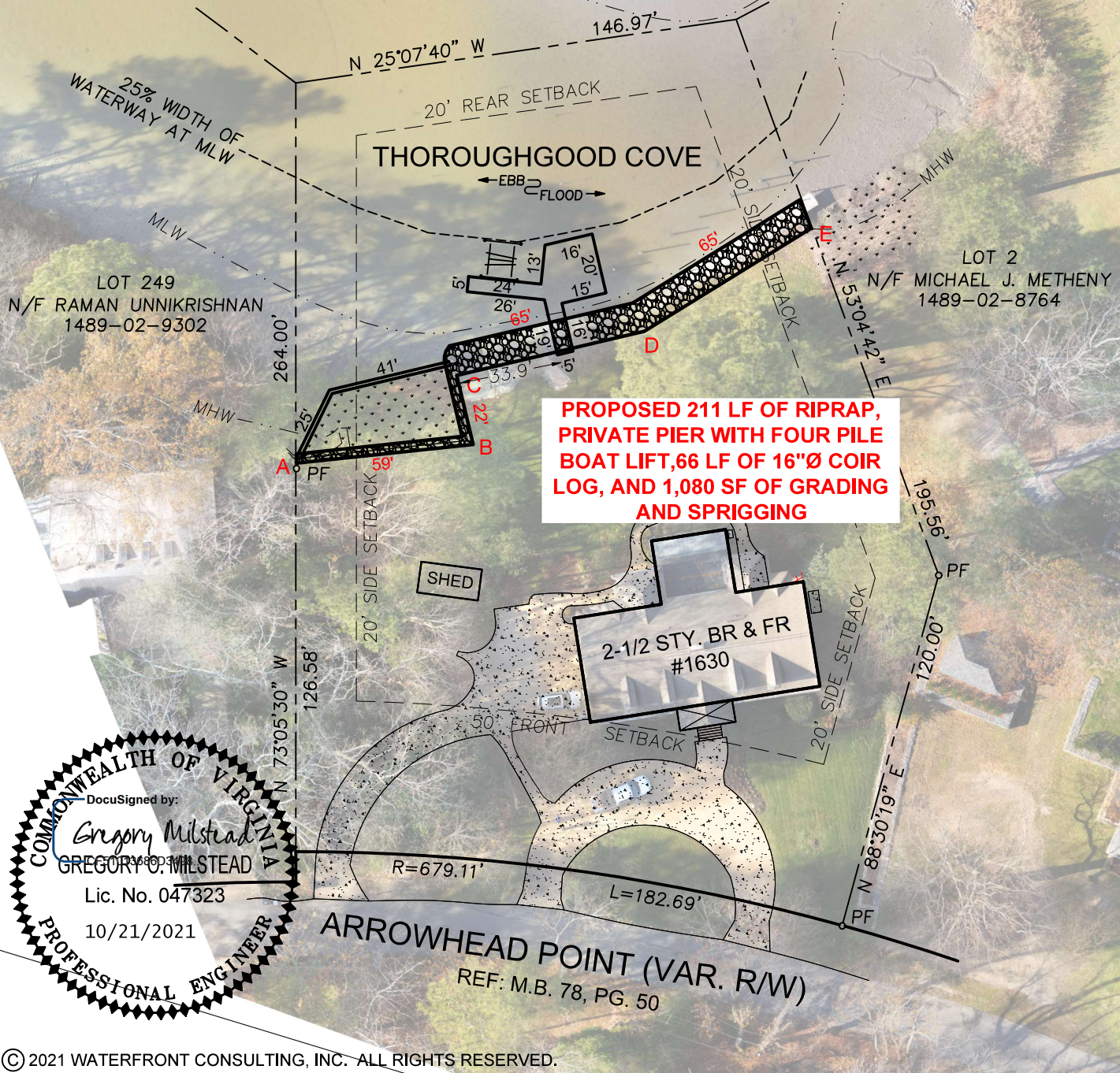


# PROPOSED SITE IMPROVEMENTS



LOT 246  
N/F MCGLEMPRE P. PETERS  
1489-02-5477

THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.



**PROPOSED 211 LF OF RIPRAP,  
PRIVATE PIER WITH FOUR PILE  
BOAT LIFT, 66 LF OF 16"Ø COIR  
LOG, AND 1,080 SF OF GRADING  
AND SPRIGGING**

DocuSigned by:  
*Gregory Milstead*  
GREGORY C. MILSTEAD  
Lic. No. 047323  
10/21/2021  
COMMONWEALTH OF VIRGINIA  
PROFESSIONAL ENGINEER

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DATUM: MLW 0.0  
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LOG, AND PLANTINGS  
IN: W.B. OF LYNNHAVEN RIVER  
AT: 1630 ARROWHEAD POINT  
VIRGINIA BEACH, VA 23455  
APPLICATION BY:  
BERT ROSS & SUSANNE HUGHES  
SHEET 3 OF 11  
DATE: AUGUST 3, 2021**

**SITE DATA**

LEGAL DESCRIPTION: LOT 1, SUBDIVISION OF PARCEL B, SECTION 1, THOROUGHGOOD  
 REF: MAP BOOK 78, PAGE 50, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 1489-02-8555  
 ZONING: R-40 RESIDENTIAL

**SEQUENCE OF CONSTRUCTION**

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

**CONSTRUCTION NOTES**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

**RE-VEGETATION / SEEDING SCHEDULE**


TABLE 3.32-E (REVISE JUNE 2003)  
PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre

<p><b>NOTICE</b></p> <hr/> <p>BEFORE YOU DIG, CALL MISS UTILITY 1-800-552-7001 or 811 FOR LOCATIONS OF EXISTING UTILITIES.</p>	<p>WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.</p> <div style="text-align: center;">  </div>
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**3. MICHAEL J. METHENY**

REV: 10/20/2021

	<p><b>WATERFRONT CONSULTING, INC.</b></p> <p>2589 QUALITY COURT, STE. 323              VIRGINIA BEACH, VA 23454              PH/FAX: (757) 425-8244, CELL: (757) 619-7302</p>
<p>ENGINEERING SERVICES PROVIDED BY:  <b>CHESAPEAKE BAY SITE SOLUTIONS, INC.</b>              P.O. BOX 6663 VIRGINIA BEACH, VA 23456              PHONE: (757) 575-3715</p>	

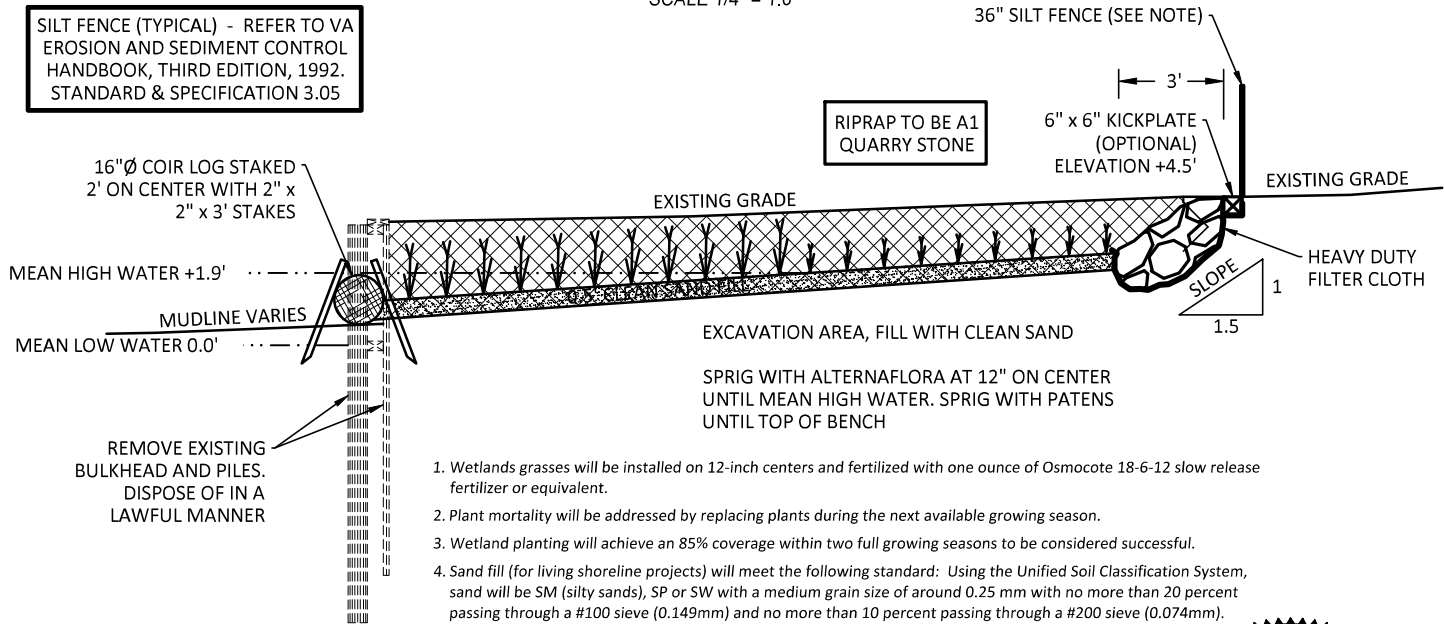
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**IN:** W.B. OF LYNNHAVEN RIVER  
**AT:** 1630 ARROWHEAD POINT  
**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
**BERT ROSS & SUSANNE HUGHES**  
**SHEET 4 OF 11**  
**DATE:** AUGUST 3, 2021



## CROSS SECTION PROPOSED BULKHEAD AND MARSH BENCH SECTION A-C

SCALE 1/4" = 1.0'

SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05



EXCAVATION AREA, FILL WITH CLEAN SAND  
SPRIG WITH ALTERNAFLORA AT 12" ON CENTER  
UNTIL MEAN HIGH WATER. SPRIG WITH PATENS  
UNTIL TOP OF BENCH

1. Wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote 18-6-12 slow release fertilizer or equivalent.
2. Plant mortality will be addressed by replacing plants during the next available growing season.
3. Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.
4. Sand fill (for living shoreline projects) will meet the following standard: Using the Unified Soil Classification System, sand will be SM (silty sands), SP or SW with a medium grain size of around 0.25 mm with no more than 20 percent passing through a #100 sieve (0.149mm) and no more than 10 percent passing through a #200 sieve (0.074mm).

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 VIRGINIA BEACH, VA 23455  
**APPLICATION BY:**  
 BERT ROSS & SUSANNE HUGHES  
 SHEET 5 OF 11  
 DATE: AUGUST 3, 2021

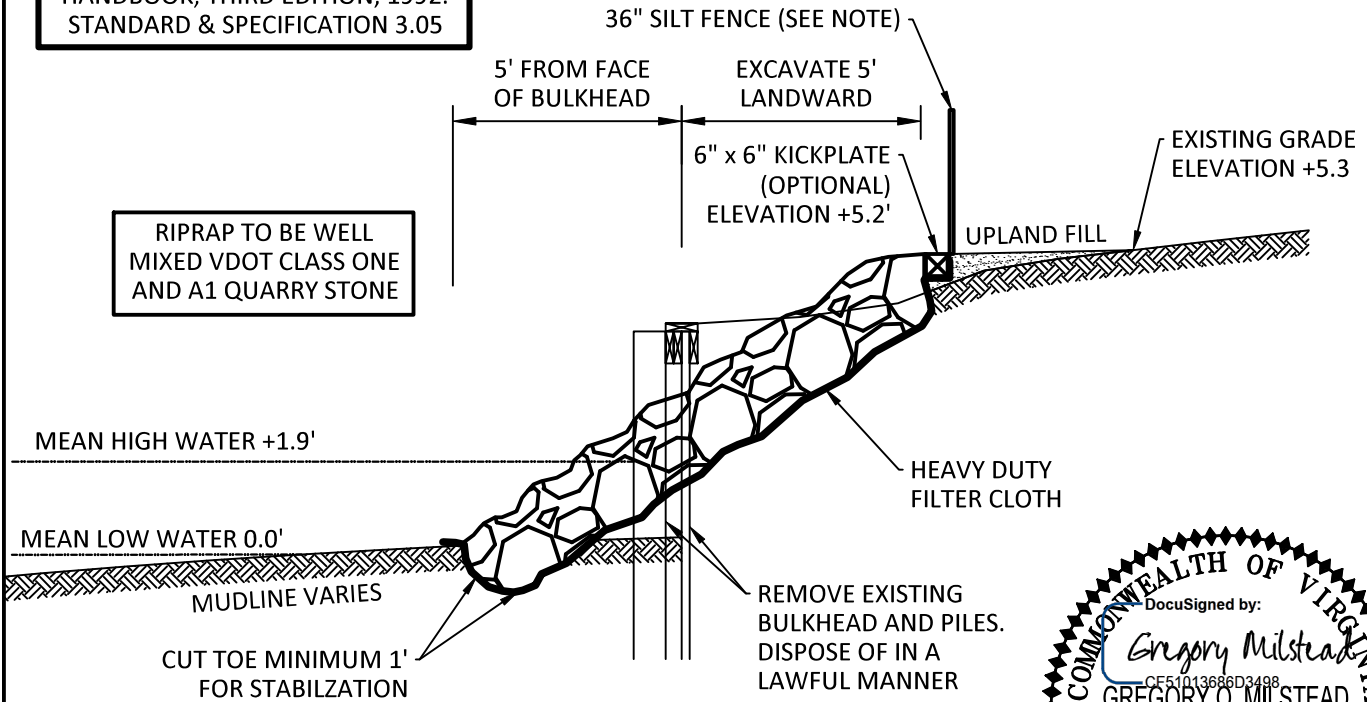


# CROSS SECTION PROPOSED RIPRAP

SCALE 1/4" = 1.0'

SILT FENCE (TYPICAL) - REFER TO VA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992. STANDARD & SPECIFICATION 3.05

RIPRAP TO BE WELL MIXED VDOT CLASS ONE AND A1 QUARRY STONE



**NOTES:**

1. ALL TIMBER MATERIAL FOR USE IN A MARINE ENVIRONMENT.
2. RIPRAP LAYOUT IS BASED ON VISUAL ON SITE INSPECTION.
3. UPLAND FILL, AS SHOWN ABOVE, WILL BE USED TO PROVIDE A GRADE TRANSITION FROM ELEVATION AT TOP OF NEW RIPRAP TO EXISTING LANDWARD ELEVATION.

DRAWINGS ARE FOR PERMIT PURPOSES ONLY, AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT, AND MAY REQUIRE MODIFICATIONS TO THE DESIGN. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS.

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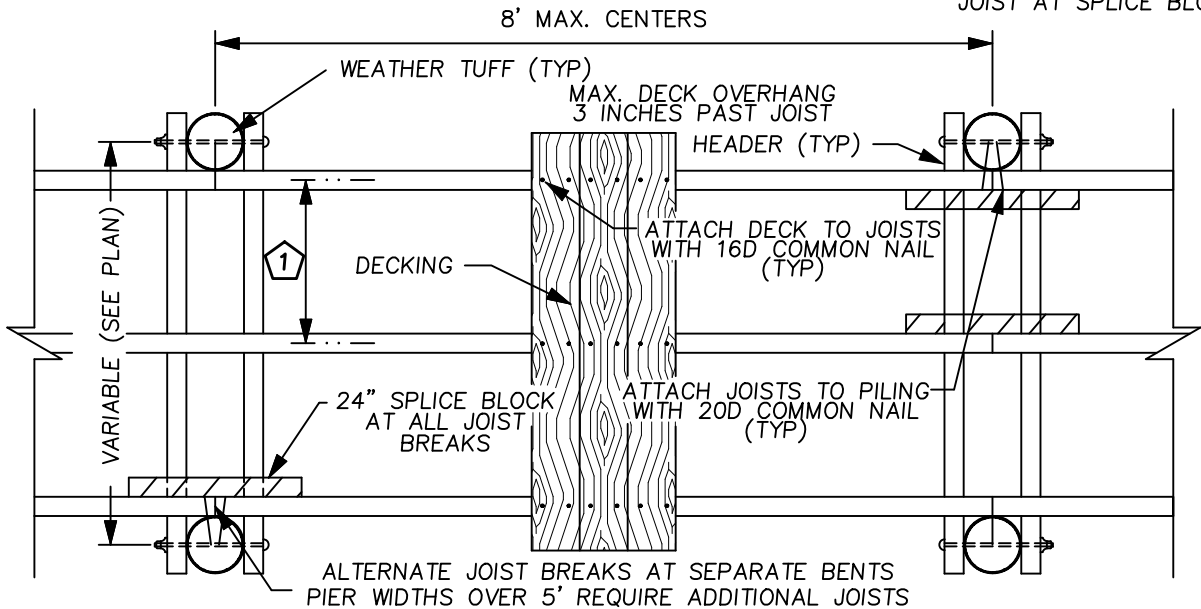
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**APPLICATION BY:**  
**BERT ROSS & SUSANNE HUGHES**  
**SHEET 6 OF 11**  
**DATE: AUGUST 3, 2021**

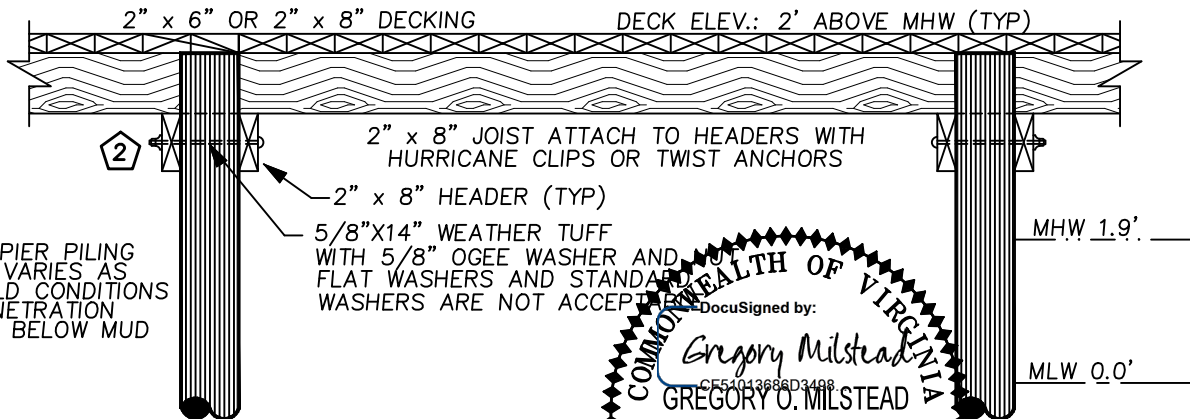
# PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'

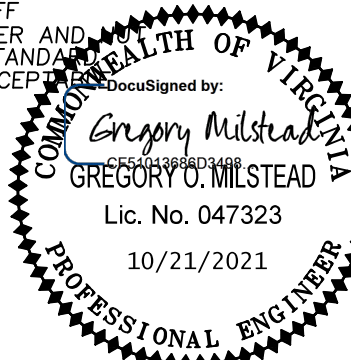
USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



8" DIA. PIER PILING  
LENGTH VARIES AS  
PER FIELD CONDITIONS  
50% PENETRATION  
MINIMUM BELOW MUD



**MATERIALS SPECIFICATIONS:**

PILING: C.C.A. 2.5 PCF  
 HEADERS AND JOISTS: C.C.A. 0.6 PCF  
 DECKING: CCA 0.4 PCF  
 ALL WOOD TO BE GRADE 2 OR BETTER.  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.

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 SHEET 7 OF 11  
 DATE: AUGUST 3, 2021



NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
PIER	21					
BOAT LIFT		4				

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.  
 BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.



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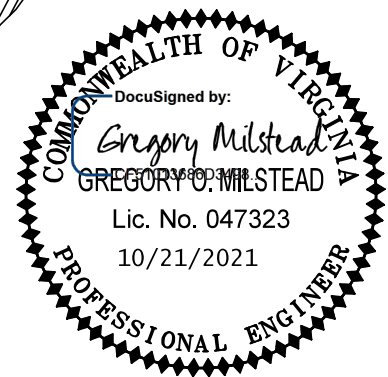
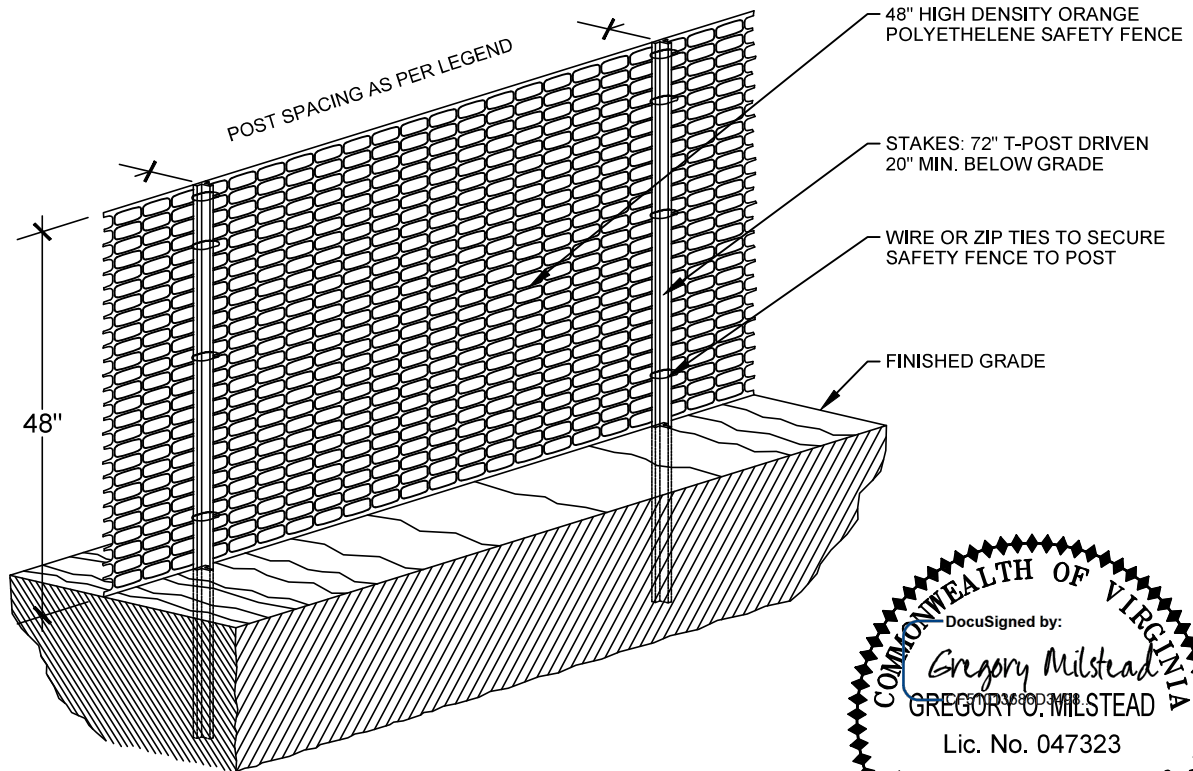
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**APPLICATION BY:**  
**BERT ROSS & SUSANNE HUGHES**  
**SHEET 8 OF 11**  
**DATE: AUGUST 3, 2021**

## 48" Orange Safety Fence, 72" T-Posts Sensitive Area/Tree Protection

### LEGEND

SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C..
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C..
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



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CONSULTING, INC.**

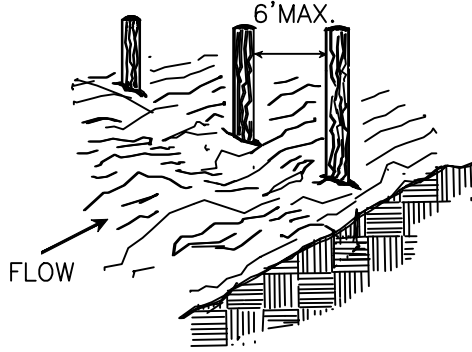
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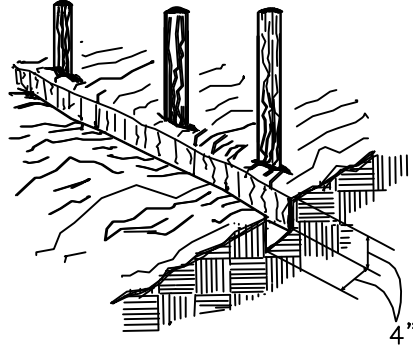
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**IN:** W.B. OF LYNNHAVEN RIVER  
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**APPLICATION BY:**  
**BERT ROSS & SUSANNE HUGHES**  
**SHEET 9 OF 11**  
**DATE:** AUGUST 3, 2021

## CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

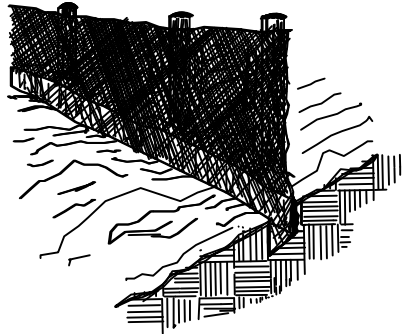
1. SET THE STAKES.



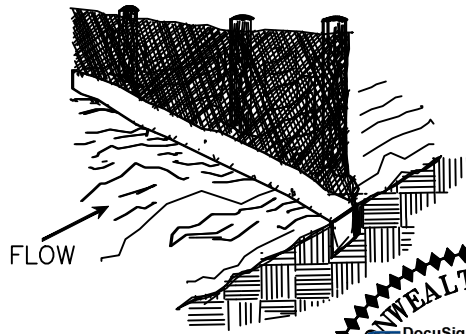
2. EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



### SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE. 3.05-2

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

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**PROPOSED: RIPRAP, PIER, LIFT, COIR  
LOG, AND PLANTINGS**

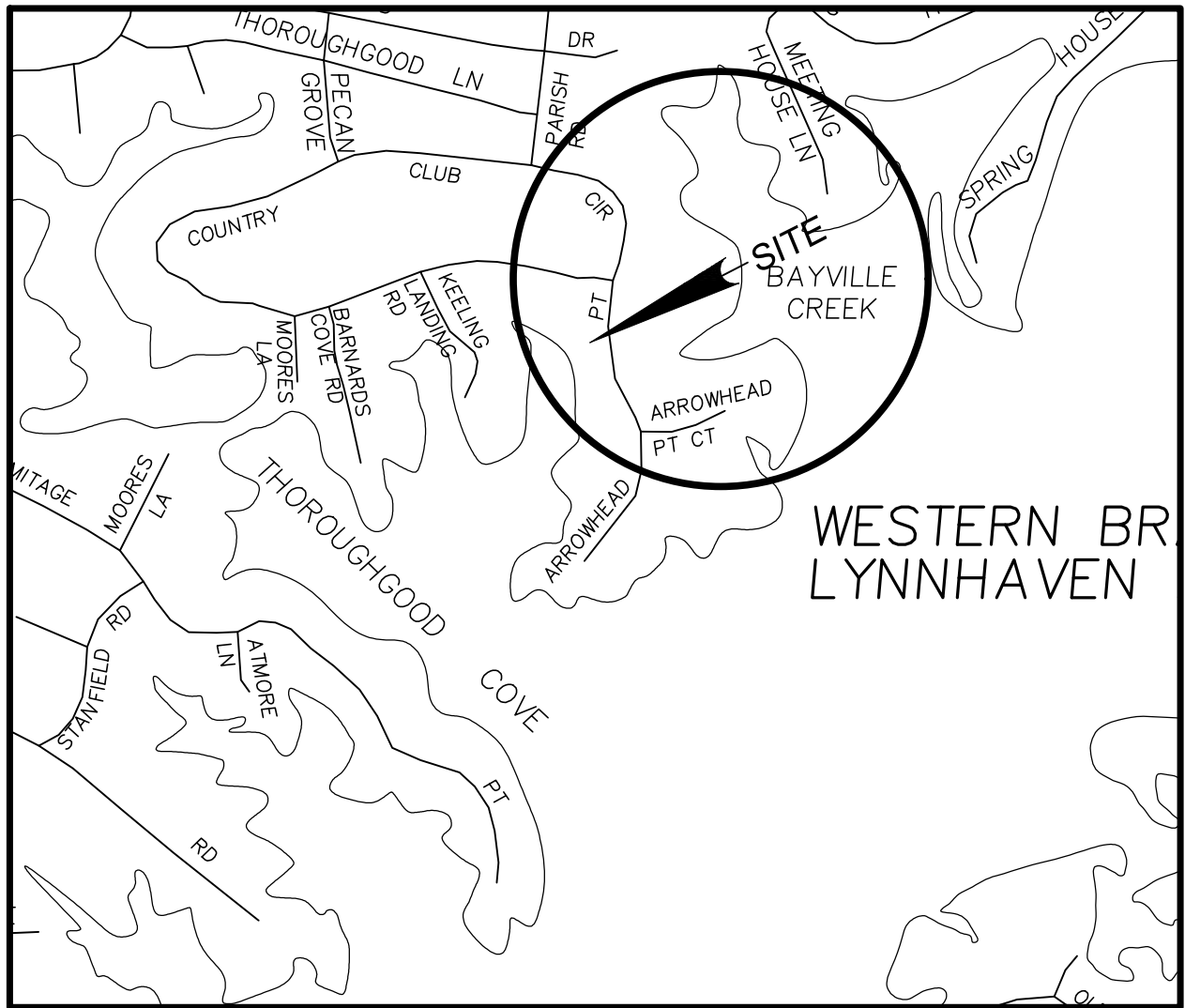
**IN: W.B. OF LYNNHAVEN RIVER  
AT: 1630 ARROWHEAD POINT  
VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

**BERT ROSS & SUSANNE HUGHES**

**SHEET 10 OF 11**

**DATE: AUGUST 3, 2021**



WESTERN BR  
LYNNHAVEN



## LOCATION MAP

© 2021 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED.

**PURPOSE:**  
**DATUM:** MLW 0.0  
**A.P.O.**  
 1. RAMAN UNNIKRISHNAN  
 2. McGLEMRE P. PETERS  
 3. MICHAEL J. METHENY

REV: 10/20/2021



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED:** RIPRAP, PIER, LIFT, COIR  
**LOG, AND PLANTINGS**  
**IN:** W.B. OF LYNNHAVEN RIVER  
**AT:** 1630 ARROWHEAD POINT  
**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
**BERT ROSS & SUSANNE HUGHES**  
**SHEET 11 OF 11**  
**DATE:** AUGUST 3, 2021

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan #: \_\_\_\_\_

Location: 1630 Arrowhead Point GPIN: 1489-02-8555

Watershed: Lynnhaven-Poquoson HUC: 02080108

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator




Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) <b>Restore impacted buffer to preconstruction condition or enhance per plan.</b>		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: Bertrand A. Ross & Susanne Hughes

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

October 22, 2021

Raman Unnikrishnan  
1624 Arrowhead Point  
Virginia Beach, VA 23455

**RE: Proposed Riprap, Pier, Boat Lift, Coir Log, Grading, Sprigging  
Located at 1630 Arrowhead Point, Virginia Beach, VA 23455**

Dear Raman Unnikrishnan

This letter is to notify you that your neighbor(s), Bertrand A. Ross & Susanne Hughes have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Bertrand A. Ross & Susanne Hughes , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Raman Unnikrishnan, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Bertrand A. Ross & Susanne Hughes.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated August 4, 2021, rev: October 20, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

October 22, 2021

McGlemre P. Peters  
1608 Keelings Landing Road  
Virginia Beach, VA 23455

**RE: Proposed Riprap, Pier, Boat Lift, Coir Log, Grading, Sprigging  
Located at 1630 Arrowhead Point, Virginia Beach, VA 23455**

Dear McGlemre P. Peters

This letter is to notify you that your neighbor(s), Bertrand A. Ross & Susanne Hughes have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Bertrand A. Ross & Susanne Hughes , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), McGlemre P. Peters, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Bertrand A. Ross & Susanne Hughes.  
(Print applicant's name(s))

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(Date)

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**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**





**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

October 22, 2021

Michael J. Metheny  
1636 Arrowhead Point  
Virginia Beach, VA 23455

**RE: Proposed Riprap, Pier, Boat Lift, Coir Log, Grading, Sprigging  
Located at 1630 Arrowhead Point, Virginia Beach, VA 23455**

Dear Michael J. Metheny

This letter is to notify you that your neighbor(s), Bertrand A. Ross & Susanne Hughes have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

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Virginia Marine Resources Commission  
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380 Fenwick Road, Bldg. 96  
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We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Bertrand A. Ross & Susanne Hughes , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Michael J. Metheny, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Bertrand A. Ross & Susanne Hughes.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated August 4, 2021, rev: October 20, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

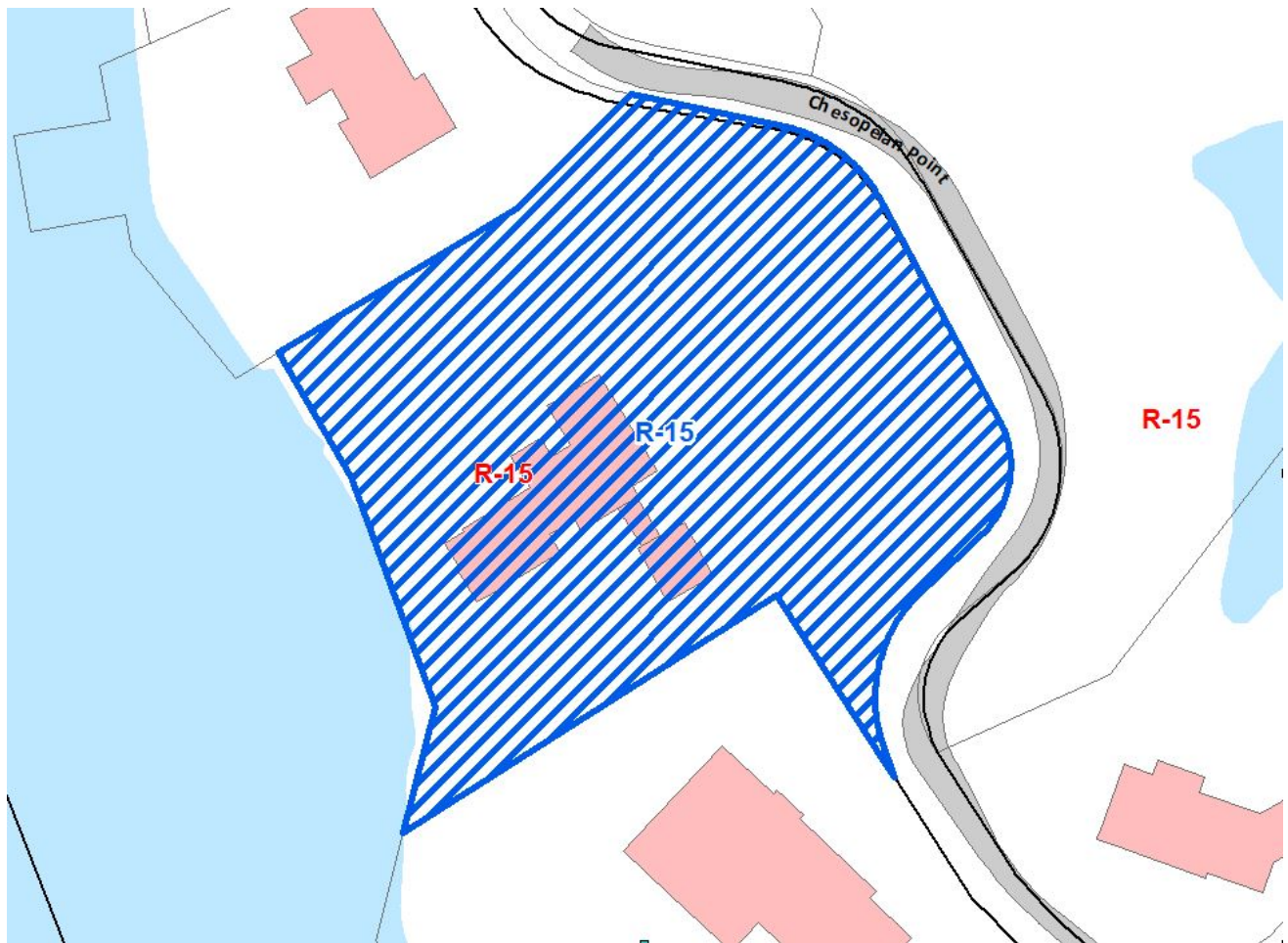
4. 2021-WTRA-00299

Lauren Graham [Applicant & Owner]

**To construct rip rap revetment and plant vegetation involving wetlands**

665 Chesopean Pt  
(GPIN 1497-59-3425)

Waterway – Eastern Branch Lynnhaven River  
Subdivision – Chesopean Colony  
Council District – Beach



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Lauren Graham

Does the applicant have a representative?  Yes  No

- If yes, list the name of the representative.

Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If yes, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If yes, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If yes, identify the financial institutions.
- 

2. Does the applicant have a real estate broker/agent/realtor for current and anticipated future sales of the subject property?

Yes  No

- If yes, identify the real estate broker/realtor.
- 

3. Does the applicant have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the firm or individual providing the service.
- UPL
- 

5. Is there any other pending or proposed purchaser of the subject property?  Yes  No

- If yes, identify the purchaser and purchaser's service providers.
-



# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine, Agent

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Lauren Graham

Print Name and Title

9/26/21

Date

- Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications				
<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

**Lauren Graham  
665 Chesapeake Point  
Virginia Beach, VA 23452**

## PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing timber bulkhead 4.0' to 6.0' tall. The Property is on the Lynnhaven River with a 3 mi. fetch from two directions. There is a new dredged channel **58 FT** from the existing shoreline that was completed a few years ago as part of the city dredge program. This has opened up boating traffic and shoreline erosion since that time. The existing bulkhead is 4.5 to 5.5' tall and conditions are harsh during storm events with approximately 3.0' of water at high tide.

After review of the property a new replacement bulkhead was found to be unsuitable for the wetlands loss and current conditions. A Living Shoreline would be difficult to survive for the reasons listed below. A Rip Rap Revetment offers the stability and conditions for success based on the site-specific conditions. Listed below are the reasons that this method was implemented:

1. The removal of the entire bulkhead would be required greatly impacting the property and the canal.
2. The water is 3.0 feet deep at high tide. This depth of water can be very rough during storm events.
3. A living shoreline would be difficult to transition to the adjacent properties. Return walls would be required at the northern property line. The adjacent property at 639 obtained a permit in 2019 but did not complete any of the work. The proposed work in this Application is a similar design.
4. Planting would be subject to heavy boat traffic which has been shown to heavily impact Living Shorelines and the aforementioned fetch would be even worse during storm events.
5. The rear porch connected to the residence is only **28 feet** from the existing failed bulkhead. A Living Shoreline would require most of that area for grading and would separate each side of the property if implemented. The property is very wide but shallow.

## Part 1 – General Information

**PLEASE PRINT OR TYPE ALL RESPONSES:** If a question does not apply to your project, please print N/A (not applicable) in the block or space provided. If additional space is needed, attach 8-1/2” x 11” sheets of paper.

**County or City in which the project is located:** VIRGINIA BEACH  
**Waterway at project site:** LYNNHAVEN RIVER

<p>1. Applicant’s name* and complete mailing address:                  Lauren Graham                  665 Chesopeian Pt                  Virginia Beach, VA 23452</p>	<p>Contact Information:                  Home (____)_____                  Work (____)_____                  Fax (____)_____                  Cell/ Pager ( <u>757</u> ) <u>472-6783</u>                  e-mail <u>lauren.graham24@hotmail.com</u></p>
State Corporation Commission ID Number (if applicable)_____	

<p>2. Property owner(s) name* and complete address, if different from applicant</p>	<p>Contact Information:                  Home (____)_____                  Work (____)_____                  Fax (____)_____                  Cell/ Pager (____)_____                  e-mail _____</p>
State Corporation Commission ID Number (if applicable)_____	

<p>3. Authorized agent name* and complete mailing address (if applicable):                  CALVERT MARINE                  3132 Riveredge Drive                  Portsmouth, VA 23703-4308</p>	<p>Contact Information:                  Home (____)_____                  Work ( <u>757</u> ) <u>777-6960</u>                  Fax (____)_____                  Cell/ Pager (____)_____                  e-mail <u>Rich@CalvertMarine.net</u></p>
State Corporation Commission ID Number (if applicable)_____ <u>S7252713</u>	

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

4. Provide a detailed description of the project in the space below. If additional space is needed, provide a separate sheet of paper with the project description. Be sure to include how the construction site will be accessed, especially if clearing and/or grading will be required.

The existing bulkhead has failed in most areas and is loosing soil. There are vegetated and non-vegetated wetlands behind the existing bulkhead. The existing bulkhead will be removed as required to install a new rip rap revetment in front of the bulkhead extending into the yard to natch the existing grade. There is a 30 ft. area at the southern property line where a pocket of wetland grass is present. This area shall be enhanced and expanded with new wetland plantings, (90 SF) to compensare for the wetlands covered by the new granite (22 SF). There will be no loss of any wetlands as a result of the on-site mitigation. A new Pier with Boat Lift, Floating Dock and 168 SF Roof Structure shall be included in this project. No tree removal. Grading is required. The work shall be accessed by land and by barge.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home (\_\_\_\_)\_\_\_\_\_

Work (\_\_\_\_)\_\_\_\_\_

Fax (\_\_\_\_)\_\_\_\_\_

Cell / Pager (\_\_\_\_)\_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission ID Number (if applicable)\_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

( 757 ) \_\_\_\_\_ 622-1455 \_\_\_\_\_

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

7. Give the following project location information:

Street Address (911 address if available) 665 Chesapeake Pt, Virginia Beach, VA 23452

Lot/Block/Parcel# CHESOPEIAN COLONY SEC 2 LOT 78

Subdivision CHESOPEIAN COLONY

City / County Virginia Beach Zipcode 23452

Latitude and Longitude at Center of Project Site (Decimal Degrees):

If the project is located in a rural area, please provide driving directions.

**Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.**

## Part 1 - General Information (continued)

8. What is the primary and secondary purpose of the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary purpose is to stabilize the existing shoreline from further loss of land.

Secondary purpose is for safe private recreational boating

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction.

**Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.**

The Owner's bulkhead needs to be replaced due to deterioration and age. They have chosen to replace the existing bulkhead with rip rap. The new rip rap will impact some non contiguous scattered vegetated wetlands behind the existing bulkhead while letting the majority remain (27 SF) and enhance the area where the wetlands are growing. Most of the rip rap is subaqueous or placed on non-vegetated wetlands. See the Alternative Shoreline Narrative included with this Application

11. Have you previously had a site visit, applied to, or obtained a permit from any agency (Federal, State, or Local) for any portion of the project described in this application or any other project at the site?

Yes\*  No \* If you answered “Yes”, provide the following information:

Agency / Representative    Activity    Permit/Project No.    Action\*\* & Date

(\*\*Issued, Denied, Withdrawn, or Site Visit)



## Part 1 - General Information (continued)

12. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? \_\_\_ Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
13. Approximate cost of the entire project (materials, labor, etc.): \$ 71K  
Approximate cost of that portion of the project which is below mean low water: \$ 400
14. Completion date of the proposed work: APR - 2022
15. Adjacent Property Owner Information: List the name and complete mailing address, including zip code, of each adjacent property owner to the project. (NOTE: a property owner/applicant cannot be their own adjacent property owner. You must give the next owner down the river, creek, etc).

James Conrad  
639 Chesopeian PT  
Virginia Beach, VA 23452

Brian / Mary McCarthy  
669 Chesopeian PT  
Virginia Beach, VA 23452

APO's sent out on 10/2/2021 via USPS

## Part 2 - Signatures

### I. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS


**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Lauren Graham

Applicant's Legal Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

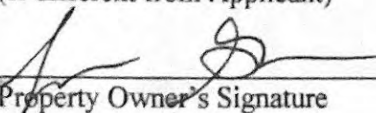
  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

9/26/21  
Date

LAUREN GRAHAM  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

9/26/21  
Date

## Part 2 – Signatures (continued)


### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Lauren Graham, hereby certify that I (we) have authorized Calvert Marine  
(Applicant's legal name(s)) (Agent's name(s))

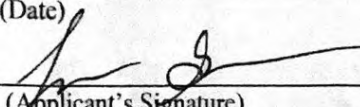
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

19 SEPT 21  
(Date)

  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

26 SEPT 21  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), James Conrad 639 Chesapeake Pt VB 23452, own land next to (across  
(Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of Lauren Graham 665 Chesapeake Pt 23452.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 08 AUG 2021  
(Date)

to be submitted for all necessary Federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

---

Adjacent/nearby property owner's signature(s)

\_\_\_\_\_

Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

Brian / Mary McCarthy 669 Chesapeake Pt 23452

I (we), \_\_\_\_\_, own land next to (across  
(Print adjacent/nearby property owner's name)

Lauren Graham 665 Chesapeake Pt 23452

the water from/on the same cove as) the land of \_\_\_\_\_.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 08 AUG 2021  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

---

Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

---

**Appendix A: Projects for Access** to the water (private and community piers, boathouses, marinas, moorings, boat ramps, aquaculture facilities, etc). Answer all questions that apply.

1. **Briefly describe your proposed project.**

Construct a new 6' X 64' Pier with an 11' x 16' TEE. The pier shall include a new Boat Lift, Floating Dock (8.0' X 16.0') and Roof Structure 12' x 14'. The Floating Dock shall be accessed with a Ramp.

2. **For private, noncommercial piers:**

What is the overall length of the structure? 64 feet.

channelward of Mean High Water? 54 feet.

channelward of Mean Low Water? 54 feet

What is the total size of any and all L- or T-head platforms? 304 sq. ft.

For boathouses, what is the overall size of the roof structure? 168 sq. ft.

Will your boathouse have sides? Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by VMRC, however, pursuant to § 28.2-1203(5) of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers, (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

3. **For Corps permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information should be included:

- a. Written justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands
- b. Written justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
- c. Depth soundings across the waterway at increments designated by the Corps project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).  
Inclusion of depth sounding data is recommended in order to expedite permit evaluation.

### Part 3 – Appendices (continued)

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration

5. For **Marinas, Commercial Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
- C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
- D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
- E) What is the area of the piers and platforms that will be constructed over
  - Tidal wetlands \_\_\_\_\_ square feet
  - Submerged lands \_\_\_\_\_ square feet

6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.  
     from Mean High Water? \_\_\_\_\_ feet.  
     from Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

7. For **aquaculture-related structures**:

Will the activity be commercial? \_\_\_\_\_ Yes \_\_\_\_\_ No

Will the proposed structures be attached to an existing pier or other structure? \_\_\_\_\_ Yes \_\_\_\_\_ No

What is the maximum area (square feet) of submerged land that will be occupied by the proposed structures? \_\_\_\_\_ square feet.

Describe the activity from time of acquisition of seed or other source material to the time of harvest, the source of the animals/plants, and clearly show distance to all proposed and existing structures and shellfish lease boundaries (if applicable) in your drawings. Include bathymetry (depths), relative to mean low water in your plan view drawing and show the location of any Submerged Aquatic Vegetation (SAV) in the project vicinity. **(NOTE: the presence or absence of SAV will be field verified during the project review).**

### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches (including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, etc). Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service.

**NOTE: Information on non-structural, vegetative alternatives (i.e. Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html) .**

1. For **riprap, bulkheads, marsh toe, breakwaters, groins, jetties**: What is the overall length of the structure(s)? 205.8 linear feet. If applicable, what is the volume of the associated backfill? 0 cubic yards.
2. What is the maximum encroachment channelward of mean high water? 7.5 feet.  
channelward of mean low water? 5 feet.  
channelward of the back edge of the dune or beach?      feet.
3. Please calculate the square footage of encroachment over:  

• Vegetated wetlands	<u>33</u> square feet	<i>Exist VEG - 22 sf</i>
• Nonvegetated wetlands	<u>478</u> square feet	<i>VEG to VEG - 11 SF</i>
• Subaqueous bottom	<u>418</u> square feet	<i>VEG to remain - 27 SF</i>
• Dune and/or beach	<u>0</u> square feet	<i>New VEG - 90 SF</i>
		<i>New NON-VEG - 64 SF</i>
		<i>NON- VEG Conv to VEG - 51 SF</i>
		<i>NON-VEG Conv to NON-VEG - 427 SF</i>
		<i>SUB - 418</i>
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?      Yes      No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?      Yes      No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g. vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).  
**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

New Class 1 and A1 granite rip rap revetment atop new filter cloth. The new revetment shall be installed below the mudline as shown and noted. A timber curb shall be installed atop the new revetment. The new planting area shall have coarse washed sand for new plantings. See sheet 4 of 10.

6. If using stone, broken concrete, etc., for your structure(s), what is the average weight of the:  
Core (inner layer) material 50 to 150 pounds per stone    Class size 1  
Armor (outer layer) material 25 to 75 pounds per stone    Class size A1

### Part 3 – Appendices (continued)

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water
- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc.:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 665 Chesopeian Trail

APPLICANT'S NAME: Lauren Graham

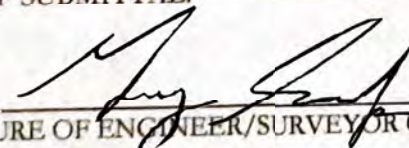
APPLICANT'S ADDRESS: 665 Chesopeian Trail

Virginia Beach, VA 23452

ENGINEER OF RECORD: Gary Franks Jr. P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

  
\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION      09/28/2021  
DATE  
Gary Franks Jr. P.E.

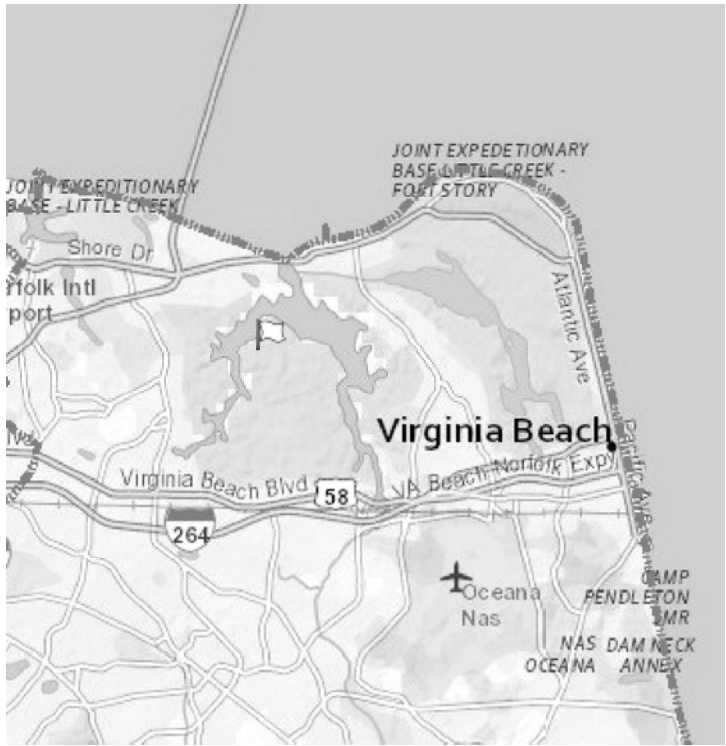
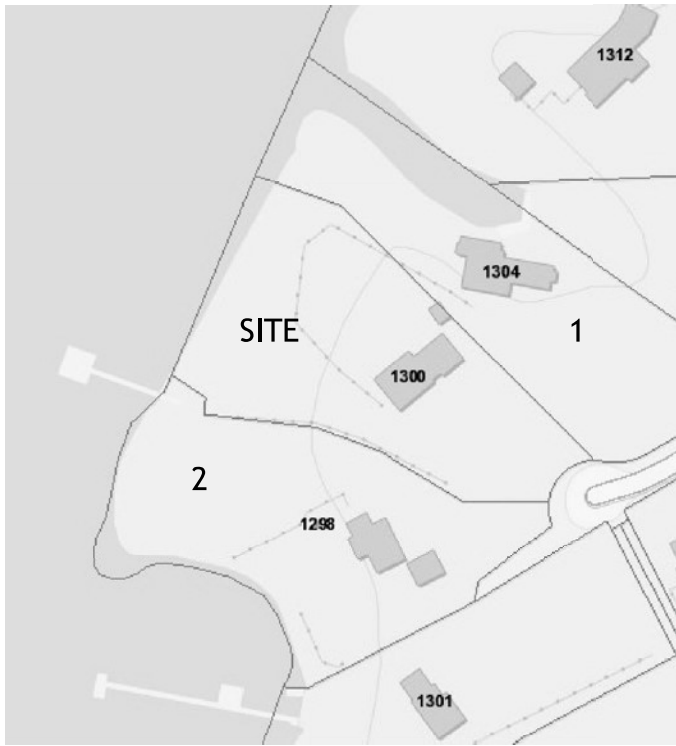
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
\_\_\_\_\_  
SIGNATURE OF APPLICANTS      9/21/21  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR      DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)



PROPERTY MAP

STREET MAP

# NEW RIP RAP REVETMENT, PLANTING, TIMBER PIER, LIFT AND FLOATING DOCK

665 CHESOPEIAN PT  
 VIRGINIA BEACH, VA 23452

LEGAL: CHESOPEIAN COLONY SEC 2 LOT 78

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.



NO SCALE ⚙ DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21

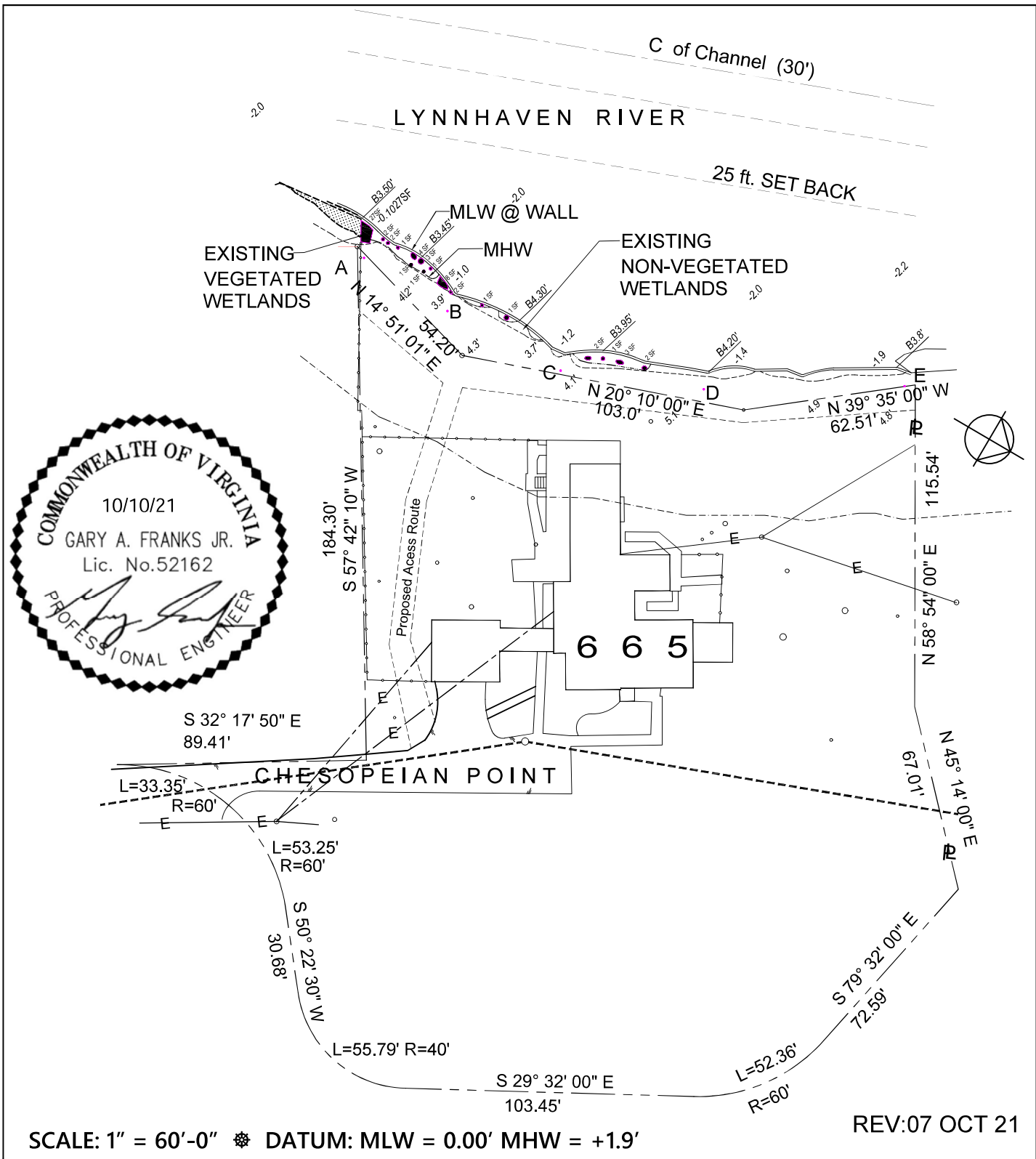


**VICINITY MAP**

Adjacent Property Owners:  
 1. James Conrad  
 2. Bryan McCarthy



Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
 in: **LYNNHAVEN RIVER**  
 at: **665 CHESOPEIAN PT**  
 County of: **VIRGINIA BEACH**  
 Applicant: **LAUREN GRAHAM**  
 Sheet: **1** of **10** Date: **08 AUG 21**





SCALE: 1" = 60'-0" \* DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21

 <b>BLAKEWAY</b> <small>770 INDEPENDENCE CIR          VA BEACH, VIRGINIA 23455          P757.226.0081 F757.226.8765          www.blakewaycorp.com</small>	 <b>CALVERT MARINE</b> <b>757-777-6960</b>	<b>EXISTING PLAN</b>	Proposed: <b>PIER, LIFT, RIP RAP &amp; PLANTING</b> in: <b>LYNNHAVEN RIVER</b> at: <b>665 CHESAPEAKE PT</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>LAUREN GRAHAM</b>
		Adjacent Property Owners: 1. James Conrad 2. Bryan McCarthy	Sheet: <b>2</b> of <b>10</b> Date: <b>08 AUG 21</b>

VEGETATED WETLANDS

Converted to VEGETATED WETLANDS  
11 SF

EXISTING VEGETATED WETLANDS TO REMAIN  
27 SF

NEW VEGETATED WETLANDS  
90 SF

EXISTING NON-VEGETATED WETLANDS Converted to VEGETATED WETLANDS  
51 SF

EXISTING NON-VEGETATED WETLANDS Converted to NON-VEGETATED WETLANDS  
427 SF

S 32° 17' 50" E  
89.41'

184.30'  
S 57° 42' 10" W

L=33.35'  
R=60'

CHESOPEIAN POINT

A-F = 93.0' F-P = 59.3'  
B-F = 58.5' G-D = 35.0'  
F-C = 26.1' G-E = 102.2'

SCALE: 1" = 40'-0" DATUM: MLW = 0.00' MHW = +1.9'

Q of Channel (30')

NEW SUB. RIP RAP  
418 SF

NEW BOAT LIFT  
NEW ROOF STRUCTURE  
12' X 14'  
NEW FLOATING DOCK

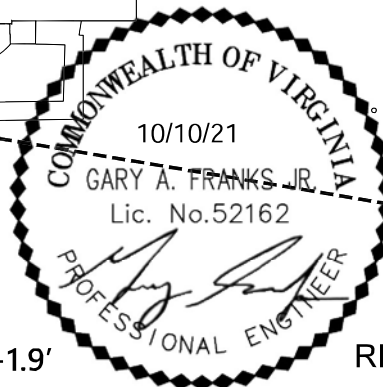
EXISTING VEGETATED WETLANDS  
22 SF

NEW TIMBER PIER  
NEW NON-VEG. WETLANDS  
64 SF

MHW

Limits of Fill  
NEW RIP RAP REVETMENT 205.8'

6 6 5



REV:07 OCT 21



NEW PLAN

Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

Proposed: PIER, LIFT, RIP RAP & PLANTING  
in: LYNNHAVEN RIVER

at: 665 CHESOPEIAN PT

County of: VIRGINIA BEACH

Applicant: LAUREN GRAHAM

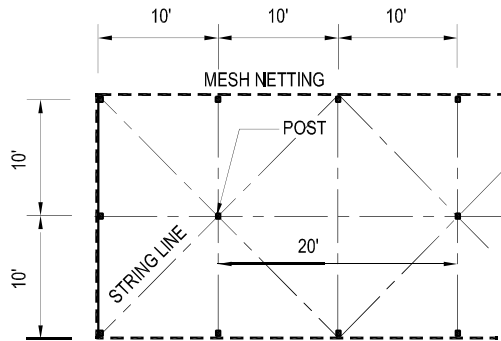
Sheet: 3 of 10

Date: 08 AUG 21

1. Predator fencing will be installed as shown and maintained for two growing seasons unless approved to be removed by Wetlands Board staff.
2. Relocated or new wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote12 slow release fertilizer or equivalent as per manufacturer's recommendations.
3. "Following installation of the wetlands vegetation, an annual vegetation monitoring report shall be submitted in mid-August for three years following approval. The annual report shall include photographs and a re-vegetation plan for any areas of where the vegetation has failed to establish."
4. Sand fill (for Wetlands Planting) shall be washed coarse concrete sand.

PREDATOR FENCING SHALL CONSIST OF A PERIMETER FENCE OF PLASTIC MESH NETTING WITH AN INTERIOR NETWORK OF STRING LINES ATOP THE POST.

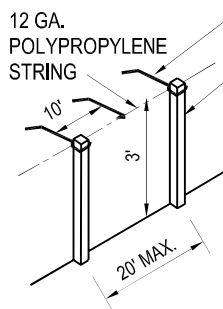
PLANT MORTALITY WILL BE ADDRESSED BY REPLACING PLANTS DURING THE NEXT GROWING SEASON.



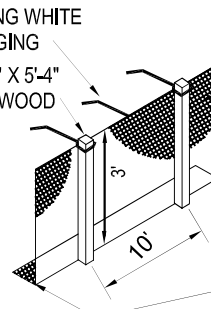
STRING TO BE TIED AND KNOTTED WITH ENOUGH TENSION TO MAKE THE STRING TAUGHT BETWEEN STAKE WITH MINIMAL SAG. STRING SHALL BE TIED TO EACH POST

VINYL FLAGGING TO BE TIED TO EACH STAKE & AT MID POINT OF EACH MESH FENCE SEGMENT

PLAN



LINE DETAIL



NETTING/MESH DETAIL

BLACK POLYPROPYLENE MESH FENCE MAX. 1" OPNG.

NETTING IS TO BE SECURED TO PERIMETER POST WITH 3 TIES PER POST MESH TO HAVE 2" TO 3" OF OVERLAP AT THE BOTTOM



NO SCALE: 1" = 20'-0" \* DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21



**WETLAND DETAILS**

Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
in: **LYNNHAVEN RIVER**

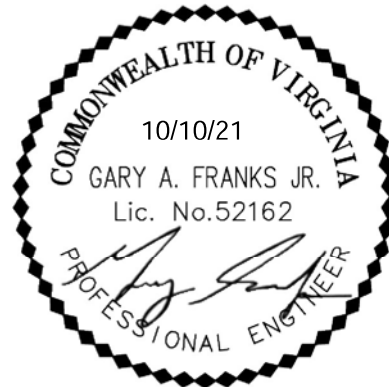
at: **665 CHESOPEIAN PT**

County of: **VIRGINIA BEACH**

Applicant: **LAUREN GRAHAM**

Sheet: **4** of **10**

Date: **08 AUG 21**

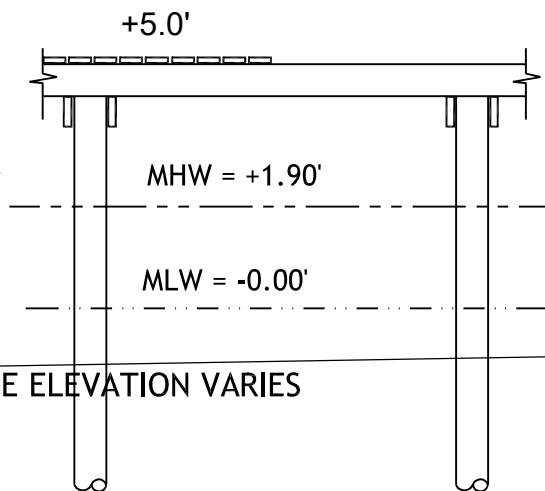


DECKING SHALL BE 2" X 6" TREATED TIMBER DECKING AND SHALL BE ATTACHED WITH S.S. SCREWS

PILES SHALL BE 8" BUTT - AND SHALL BE EMBEDDED 60% OF THEIR LENGTH BELOW THE MUDLINE

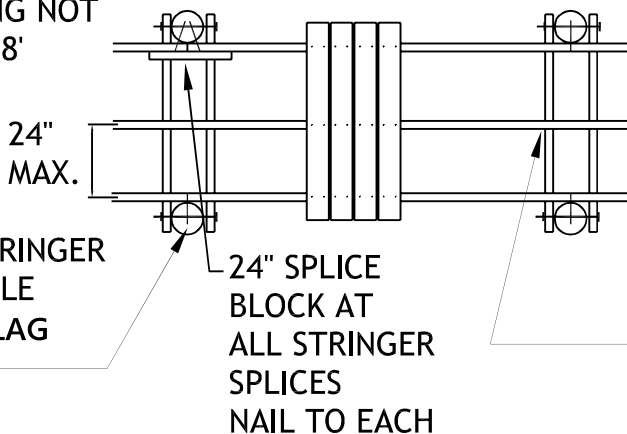
HEADERS SHALL BE 2" x 8" 2.5# CCA TREATED TIMBERS

STRINGERS SHALL BE 2" x 8" 1.0# CCA



MAINTAIN VERTICAL CLEARANCE ABOVE ALL WETLANDS EQUAL TO THE PIER WIDTH (4' WIDE = 4' VERT. CLEARANCE 5' WIDE = 5' VERT. CLEARANCE)

PILE SPACING NOT TO EXCEED 8'



5/8" GALV. OEGEE WASHERS & GALV. TIMBER BOLTS SHALL BE PROVIDED AT ALL PILE TO HEADER CONNECTIONS

TOE NAIL INTERIOR STRINGERS TO EACH HEADER

SCALE: 1/4" = 1'-0" ⚙ DATUM: MLW = 0.00' MHW = +1.9'

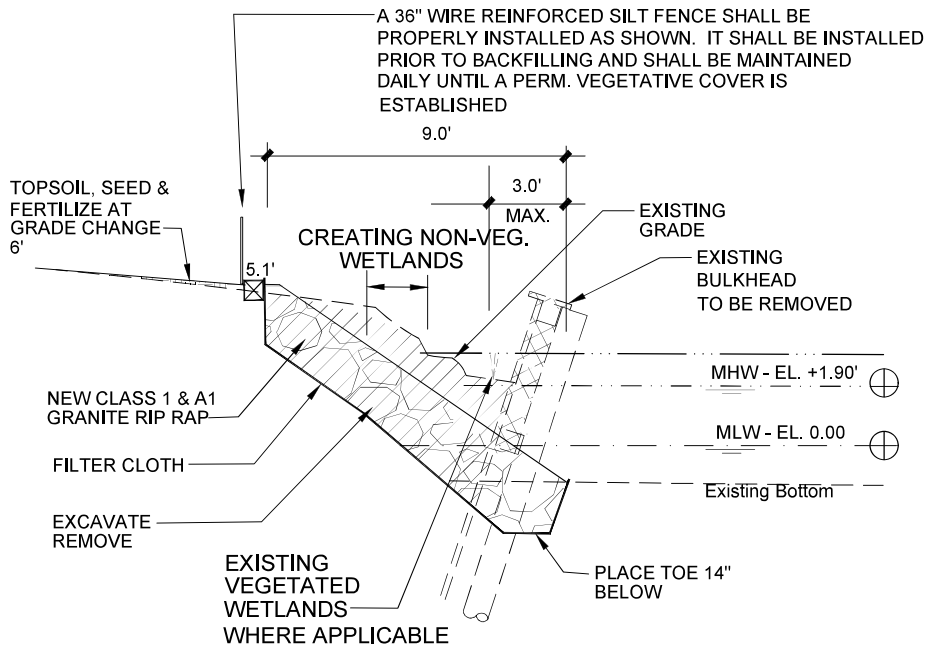
REV:07 OCT 21



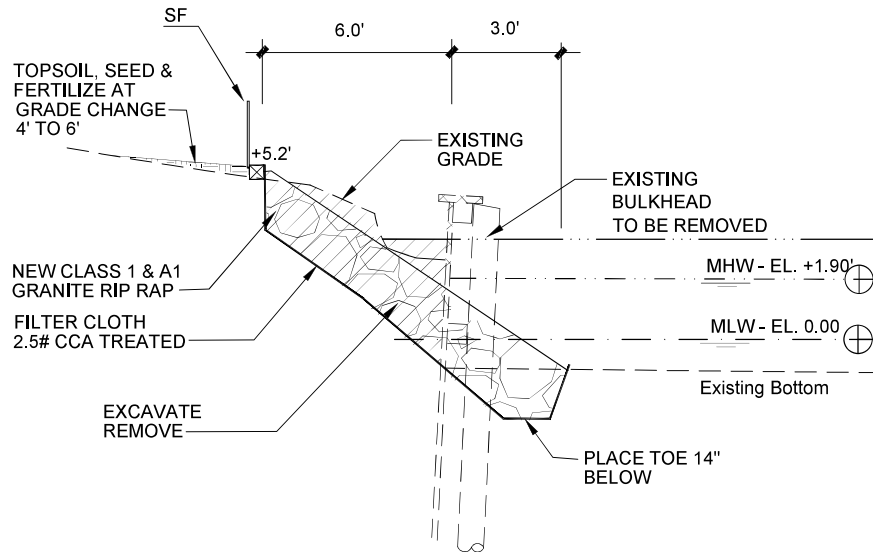
**PIER DETAILS**

Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

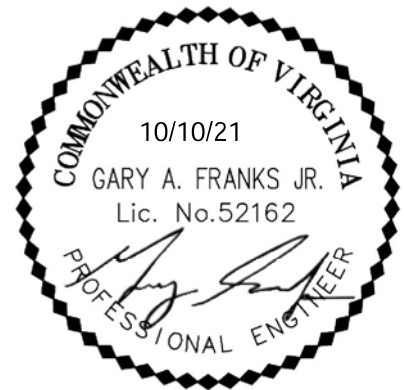
Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
in: **LYNNHAVEN RIVER**  
at: **665 CHESOPEIAN PT**  
County of: **VIRGINIA BEACH**  
Applicant: **LAUREN GRAHAM**  
Sheet: **5** of **10** Date: **08 AUG 21**



**SECTION 1**



**SECTION 2**



SCALE: 1/4" = 1'-0" ⚙ DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21

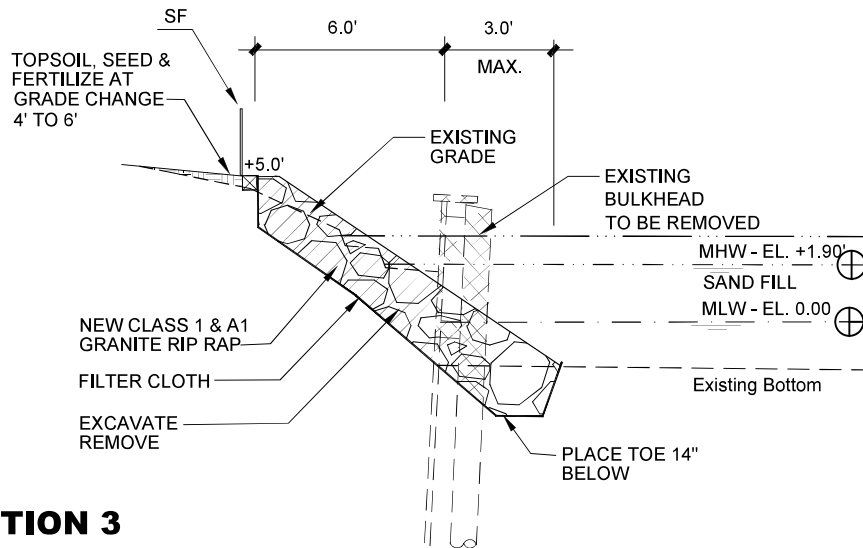


**SECTIONS**

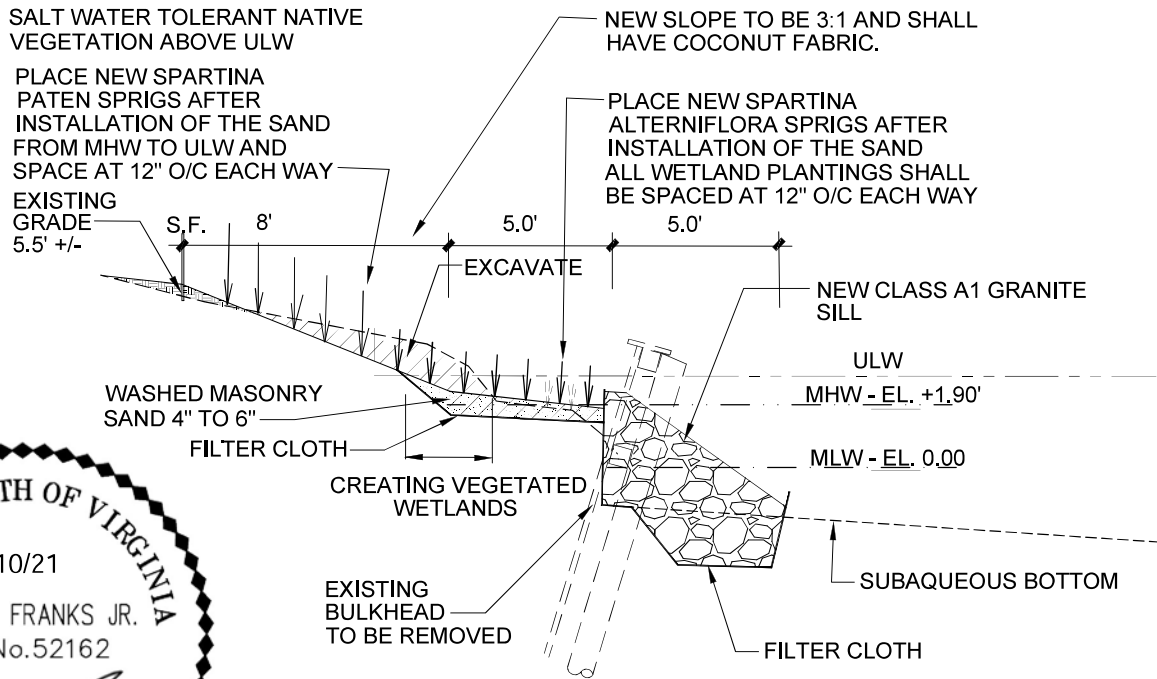
Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
in: **LYNNHAVEN RIVER**  
at: **665 CHESOPEIAN PT**  
County of: **VIRGINIA BEACH**  
Applicant: **LAUREN GRAHAM**  
Sheet: **6** of **10** Date: **08 AUG 21**

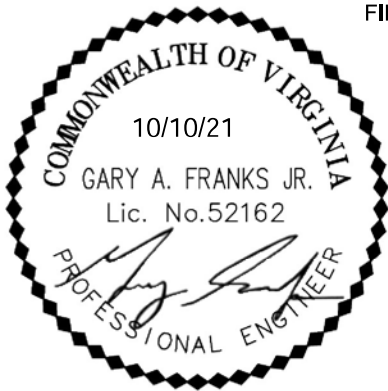




**SECTION 3**





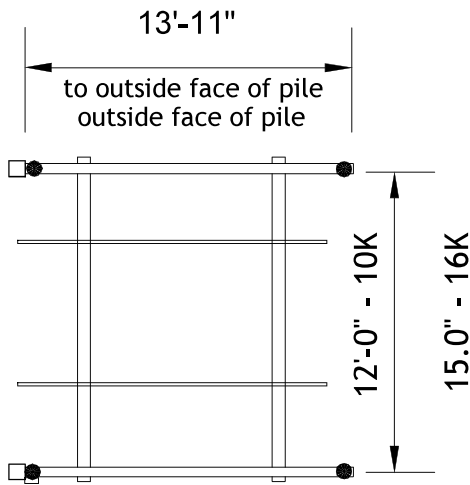
**SECTION 4**



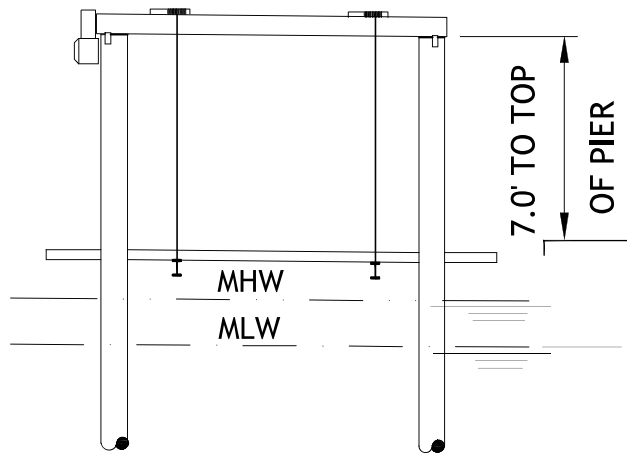
SCALE: 1/4" = 1'-0" \* DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21

 <b>BLAKEWAY</b> <small>770 INDEPENDENCE CIR          VA BEACH, VIRGINIA 23455          P757.226.0081 F757.226.8765          www.blakewaycorp.com</small>	 <b>CALVERT          MARINE</b> <b>757-777-6960</b>	<p><b>SECTIONS</b></p>	<p>Proposed: <b>PIER, LIFT, RIP RAP &amp; PLANTING</b>          in: <b>LYNNHAVEN RIVER</b>          at: <b>665 CHESOPEIAN PT</b>          County of: <b>VIRGINIA BEACH</b>          Applicant: <b>LAUREN GRAHAM</b>          Sheet: <b>7</b> of <b>10</b>      Date: <b>08 AUG 21</b></p>
		<p>Adjacent Property Owners:          1. James Conrad          2. Bryan McCarthy</p>	



**PLAN**



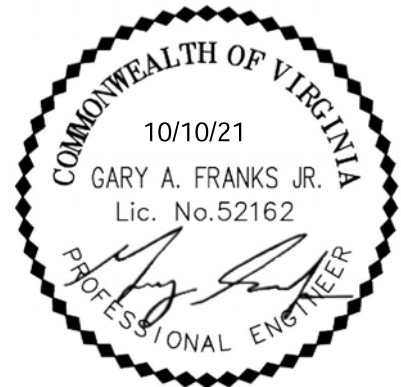
**ELEVATION**

Boat lift shall be installed as per the Manufacturer's recommendations. The final connection for power shall be performed by a Licensed Electrician.

The Boat lift pilings shall be 10" Butt and shall be embedded 50% of their length below the mudline.

The pile spacing and lift location shall be coordinated with the Manufacturer of the boat and the boat lift.

The Capacity shall be capable of supporting the Boat Lift safely as per the Manufacturer's recommendations.



SCALE: 1/4" = 1'-0" ✪ DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21



**LIFT DETAILS**

Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
in: **LYNNHAVEN RIVER**

at: **665 CHESOPEIAN PT**

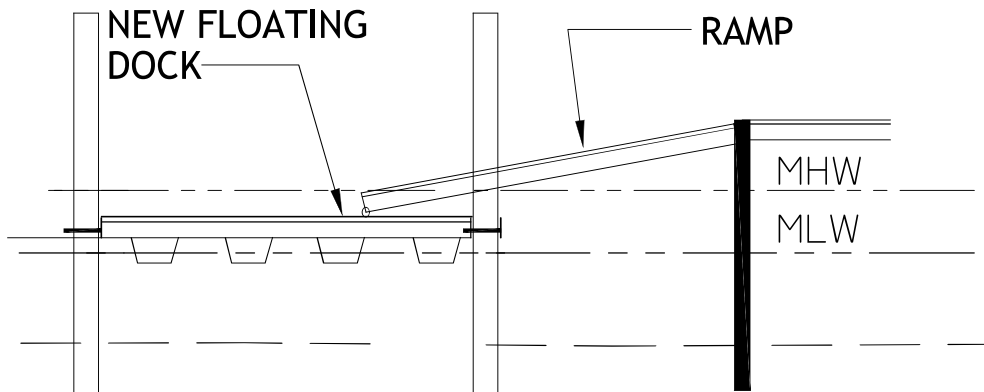
County of: **VIRGINIA BEACH**

Applicant: **LAUREN GRAHAM**

Sheet: **8** of **10**

Date: **08 AUG 21**

- FLOATING DOCK SHALL BE SUPPORTED BY BLACK EXPANDED POLYSTYRENE FOAM FILLED FLOATS. EACH FLOAT SHALL BE ATTACHED TO THE FRAMING AS PER THE MAUNFACTURER'S RECOMMENDATIONS.
- ALL PILE GUIDES SHALL BE THE ROLLER & GALVANIZED HOOP TYPE. PROVIDE VINYL DOCK FENDER AT ALL EXPOSED EDGES OF THE FLOATING DOCK SUBJECT TO VESSELS. USE 10" TIMBER PILES.
- ALL BOLTS SHALL BE HDG, 3/4" DIAMETER GALVANIZED BOLT (ASTM A307)U.O.N.
- DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
- ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153. USE OGEE WASHERS WHERE POSSIBLE.
- ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
- ALL TIMBER STRINGERS BANDS AND BLOCKING SHALL BE 2.5# CCA TREATED.
- ALL DECKING SHALL BE 2" x 6", TREATED.
- PROVIDE METAL CORNER BRACKETS (INSIDE AND OUTSIDE) WITH BOLTED CONNECTIONS.
- ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.



SCALE: 1/4" = 1'-0" ✪ DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21



### FLOATING DOCK

Adjacent Property Owners:  
1. James Conrad  
2. Bryan McCarthy

Proposed: **PIER, LIFT, RIP RAP & PLANTING**  
in: **LYNNHAVEN RIVER**

at: **665 CHESOPEIAN PT**

County of: **VIRGINIA BEACH**

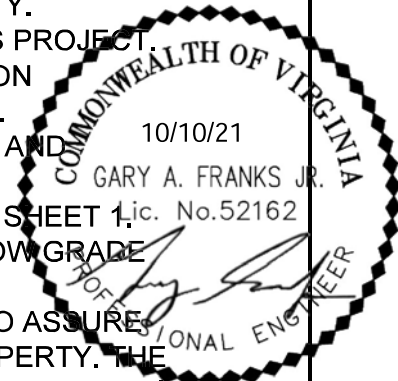
Applicant: **LAUREN GRAHAM**

Sheet: **9** of **10**

Date: **08 AUG 21**

**NOTES**

1. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
2. CONTRACTOR SHALL VERIFY THE PROPERTY LINES IN THE FIELD TO ASSURE THAT THE IMPROVEMENTS SHOWN ARE WITHIN THE OWNER'S PROPERTY.
3. NO LAND CLEARING OR REMOVAL OF TREES ARE INCLUDED IN THIS PROJECT.
4. THE CONSTRUCTION ACCESS ROUTE USED FOR THE CONSTRUCTION TRAFFIC & MATERIALS SHALL BE DELINEATED WITH SAFETY FENCE.
5. ALL EROSION AND SEDIMENT CONTROLS SHALL BE CONSTRUCTED AND MAINTAINED AS REQUIRED BY THE CITY OF VIRGINIA BEACH.
6. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
7. ALL SILT FENCES SHALL BE WIRE REINFORCED, EMBEDDED 4" BELOW GRADE & SHALL BE 36" TALL.
8. CONTRACTOR SHALL VERIFY THE PROPERTY LINES IN THE FIELD TO ASSURE THAT THE IMPROVEMENTS SHOWN ARE WITHIN THE OWNER'S PROPERTY. THE CONTRACTOR SHALL ALSO VERIFY THE LAYOUT, ALIGNMENT AND GRADES PRIOR TO THE START OF WORK.
9. GRANITE SHALL BE CLASS 1 GRANITE MIXED WITH CLASS A1 AND SHALL BE PLACED ON FILTER CLOTH.
10. SEE WETLANDS DETAILS FOR ADDITIONAL NOTES.



**LUMBER SPECIFICATIONS / NOTES:**

1. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE. No. 2 GRADE. DECKING SHALL BE No. 1 GRADE.
2. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 8" UNLESS OTHERWISE NOTED. CLASS B TIMBER PILINGS SHALL BE USED FOR THE BOAT LIFT. 10" BUTT PILES SHALL BE USED FOR THE ROOF STRUCTURE.
3. PROVIDE S.S. HURRICANE CLIPS AT EACH RAFTER TO EACH BEAM.
4. HEADERS SHALL BE 2.5# CCA TREATED, ROUGH CUT. STRINGERS SHALL BE 1.0# CCA TREATED.
5. ALL OTHER TREATMENT SHALL COMPLY WITH THE A.W.P.A.'s RECOMMENDATIONS.

**FASTENER SCHEDULE:**



1. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.
2. PROVIDE WASHERS AT ALL LAG BOLTS.

**GENERAL CONSTRUCTION NOTES:**

1. ALL PILINGS SHALL BE EMBEDDED **50%** OF THE LENGTH BELOW GRADE OR THE MUD LINE.
2. THE PILES SHALL BE INSTALLED WITH A VIBRATORY HAMMER OR DROP HAMMER OF SUITABLE SIZE AND CAPACITY TO INSTALL THE PILINGS WITHOUT JETTING.
3. NO CHANGES CAN BE MADE TO THE DRAWINGS / PROJECT WITHOUT APPROVAL FROM VMRC.

SCALE: 1/4" = 1'-0" ✪ DATUM: MLW = 0.00' MHW = +1.9'

REV:07 OCT 21

 <p><b>BLAKEWAY</b> 770 INDEPENDENCE CIR VA BEACH, VIRGINIA 23455 P757.226.0081 F757.226.8785 www.blakewaycorp.com</p>	 <p><b>CALVERT MARINE</b> 757-777-6960</p>	<p align="center"><b>NOTES</b></p> <hr/> <p>Adjacent Property Owners: 1. James Conrad 2. Bryan McCarthy</p>	<p>Proposed: <b>PIER, LIFT, RIP RAP &amp; PLANTING</b> in: <b>LYNNHAVEN RIVER</b> at: <b>665 CHESOPEIAN PT</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>LAUREN GRAHAM</b> Sheet: <b>10</b> of <b>10</b>      Date: <b>08 AUG 21</b></p>
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5. 2021-WTRA-00300

Brian & Mary Geary

[Applicant & Owner]

**To construct rip rap revetment and sill and plant vegetation involving wetlands**

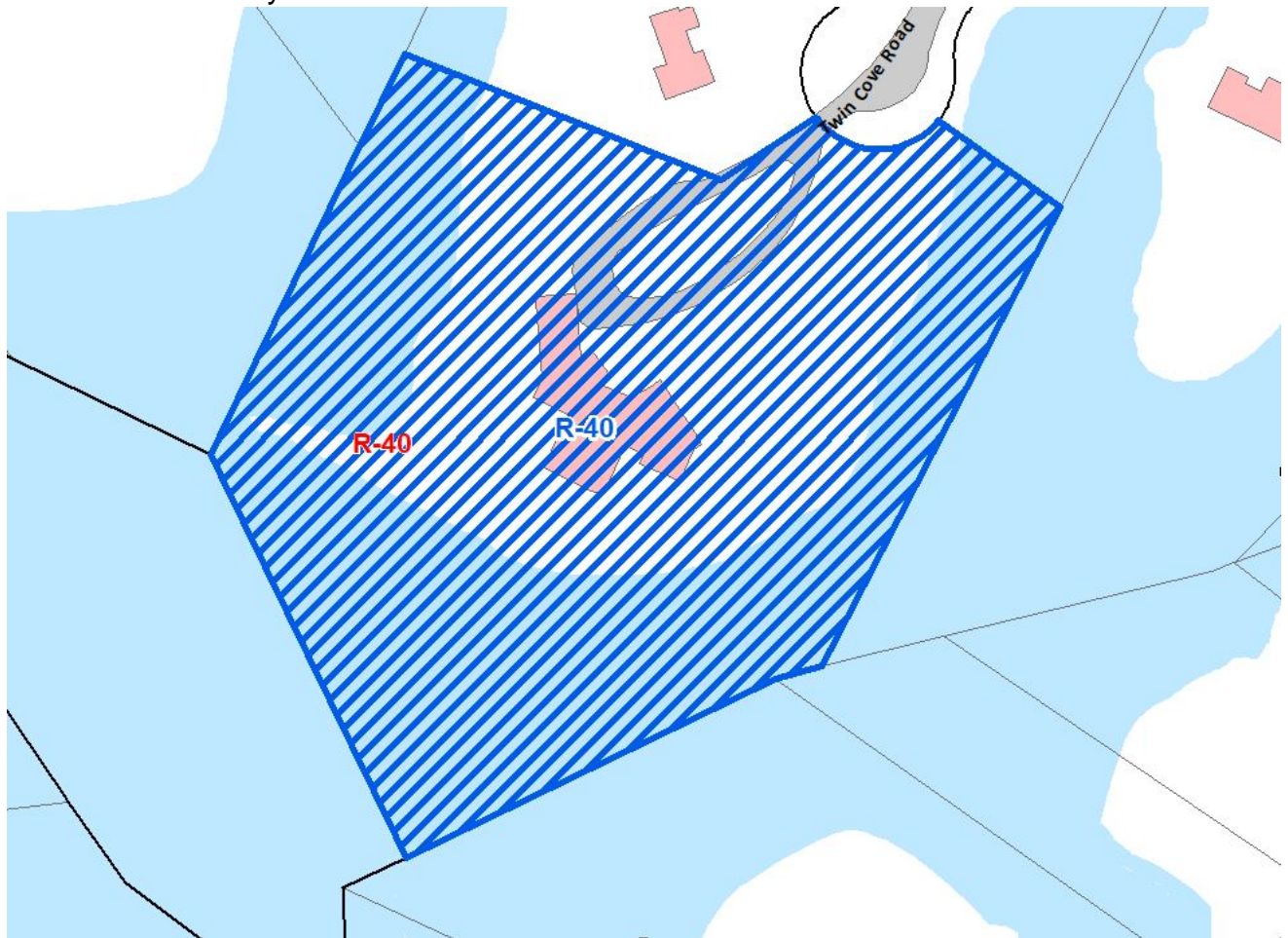
1900 W Twin Cove Rd

(GPIN 1499-15-0874)

Waterway – Lynnhaven River

Subdivision – Great Neck Point

Council District – Lynnhaven





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Mary Geary

Does the applicant have a representative?  Yes  No

- If yes, list the name of the representative.

Rich Calvert, Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If yes, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have any **existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering any **financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes  No

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-



# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If yes, identify the construction contractor.

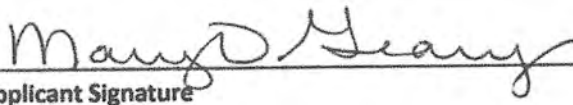
7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If yes, identify the engineer/surveyor/agent.

Rich Calvert, Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If yes, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.



Applicant Signature

Mary Geary

Print Name and Title

MARY D. GEARY

Date

- Is the applicant also the owner of the subject property?  Yes  No

- If yes, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

<b>FOR AGENCY USE ONLY</b>	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> VIRGINIA BEACH				
<b>Waterway at project site:</b> LYNNHAVEN RIVER				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

MARY GEARY  
1900 W Twin Cove Road  
Virginia Beach, VA 23451

Home (\_\_\_\_) \_\_\_\_\_  
Work (\_\_\_\_) \_\_\_\_\_  
Fax (\_\_\_\_) \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail mmdgeary@gmail.com

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home (\_\_\_\_) \_\_\_\_\_  
Work (\_\_\_\_) \_\_\_\_\_  
Fax (\_\_\_\_) \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable):



Calvert Marine  
3132 Riveredge Drive  
Portsmouth, VA 23703

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_  
Work (757) 777-6960  
Fax (\_\_\_\_) \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail Rich@CalvertMarine.net

State Corporation Commission Name and ID Number (if applicable) S7252713

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The property is experiencing active erosion along the existing shoreline. Most of the shoreline is unprotected except for one area with a failing revetment. This area is where most of the work is to be completed, is subject to fetch, storm events and wind impacting the existing bank. There are existing vegetated wetlands everywhere so just about any stabilization will have an impact on this vegetation. The Application is for the repair and enhancement of the existing rip rap revetment facing the Lynnhaven River with a new granite sill flanking each side. There is also an area (western side) with a new sill and non-vegetated wetlands to be converted to vegetated wetlands. The eastern side of the property will have coir logs placed to help slow the erosion will collecting and silt from the adjacent banks. This area should eventually have new wetlands once the elevation is a bit higher. The new revetment impacts vegetated wetlands in an effort to save an existing live oak tree. There are five existing trees that also need to be removed in order to properly install the new revetment. These trees shall be compensated by the planting of new trees at a 2:1 ratio. The work shall be accessed by land and some rip rap may require a barge for placement.



## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_

Work (\_\_\_\_) \_\_\_\_\_

Fax (\_\_\_\_) \_\_\_\_\_

Cell (\_\_\_\_) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

(757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 1900 W Twin Cove Road

Lot/Block/Parcel# LYNN RIVER MANSFIELD TRACT LOT A

Subdivision TWIN COVE

City / County Virginia Beach ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

\_\_\_\_\_ / - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose to stop the active erosion at the exposed area and stabilize. Secondary purpose is to enhance the existing shoreline with new plantings for future protection.

## Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

There are existing vegetated wetlands everywhere so just about any stabilization will have an impact on this vegetation. There is no area where planting would be created and not converted from non-vegetated wetlands to vegetated wetlands. If required, a in-lieu contribution to a fund for the creation of tidal vegetated wetlands will be made to compensate for any loss.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$41K

Approximate cost of that portion of the project that is channelward of mean low water:  
\$250

13. Completion date of the proposed work: MAR - 2022

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Atchison Family Living Trust  
3155 Adam Keeling Road  
Virginia Beach, VA 23451

Thomas Whitworth III  
1908 W Twin Cove Rd  
Virginia Beach, VA 23451

Dean Berrett  
1925 W Twin Cove Rd  
Virginia Beach, VA 23451

Peter Bosma  
1952 Twin Cove Rd  
Virginia Beach, VA 23451

APO's sent out on 10/2/2021 via USPS

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**Mary Geary**

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

  
Applicant's Signature

(Use if more than one applicant)

8/26/2021  
Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Mary Geary, hereby certify that I (we) have authorized Calvert Marine  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Filmmahant

(Agent's Signature)

(Use if more than one agent)

25 AUG 21

(Date)

Mary D Geary

(Applicant's Signature)

(Use if more than one applicant)

8/26/2021

(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The Application is for the repair and enhancement of the existing rip rap revetment facing the Lynnhaven River with a new granite sill flanking each side. There is also an area (western side) with a new sill and non-vegetated wetlands to be converted to vegetated wetlands. The eastern side of the property will have coir logs placed to help slow the erosion will collecting and silt from the adjacent banks. This area should eventually have new wetlands once the elevation is a bit higher. The new revetment impacts vegetated wetlands in an effort to save an existing live oak tree. There are five existing trees that also need to be removed in order to properly install the new revetment. These trees shall be compensated by the planting of new trees at a 2:1 ratio. The work shall be accessed by land and some rip rap may require a barge for placement.

2. What is the maximum encroachment channelward of mean high water? 37 feet.  
Channelward of mean low water? 5 feet.  
Channelward of the back edge of the dune or beach?        feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 382 square feet
  - Non-vegetated wetlands 1635 square feet 415 SF NON CONV TO NON / 1,220 SF NON CONV TO VEG
  - Subaqueous bottom 2047 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?        Yes        No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?        Yes        No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



**Part 3 – Appendices (continued)**

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The new rip rap revetment shall be Class A1 stone atop new filter cloth. The new granite sill shall be Class A1 stone atop new filter cloth. The planting sand shall be coarse sand as specified. The backfill for the new revetment at the tree (section 6) shall be 3" stone (14 CY). All other backfill will be excavated material or top soil.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:  
Core (inner layer) material 25 to 75 pounds per stone      Class size A1  
Armor (outer layer) material 25 to 75 pounds per stone      Class size A1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                    \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
- Area to be covered                    \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement:

\_\_\_\_\_ Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1900 W Twin Cove Rd

APPLICANT'S NAME: Mary Geary

APPLICANT'S ADDRESS: 1900 W Twin Cove Rd

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gary Franks Jr. P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



09/28/2021

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Gary Franks Jr. P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANTS

8/26/2021  
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)



PROPERTY MAP



STREET MAP

**LIVING SHORELINE WITH GRANITE SILL**

**1900 West Twin Cove Road  
Virginia Beach, VA 23451**

LEGAL:  
LYNN RIVER MANSFIELD TRACT LOT A  
THERE ARE IMPACTS TO VEGETATED AND NON-VEGETATED WETLANDS FOR THIS PROJECT. SEE THE WETLANDS PLAN SHEET 3 OF 8

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.



NO SCALE ■ DATUM: MLW = 0.00' MHW = +1.90'

**VICINITY MAP**



**CALVERT  
MARINE**

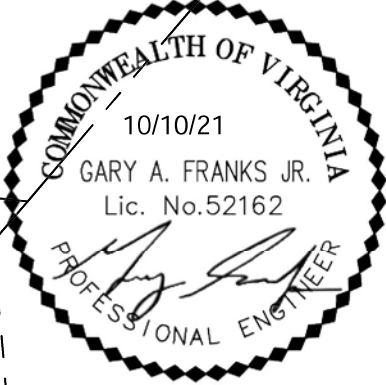
Adjacent Property Owners:  
1. Atchison Family Living Trust  
2. Thomas Whitworth III  
3. Dean Berrett  
4. Twin Cove LLC

Proposed: **NEW LIVING SHORELINE AND RIP RAP REVETMENT**  
in: **LYNNHAVEN RIVER**  
at: **1900 W TWIN COVE**  
County of: **VIRGINIA BEACH**  
Applicant: **MARY GEARY**  
Sheet: **1** of **8** Date: **09/01/2021**

SCALE: 1" = 80'-0" ■ DATUM: MLW = 0.00' MHW = +1.90'

S 75°58'55" W 350.0'

N 12°15'40" W 426.62'



10/10/21  
GARY A. FRANKS JR.  
Lic. No. 52162

PROFESSIONAL ENGINEER

S 30°40'55" W 372.09'

NEW COIR LOGS  
2 - 5' WIDE BREAKS  
PLACE OYSTER  
SHELLS TO PREVENT  
SCOUR

EXIST. TOE  
OF SLOPE

75'  
24" Pine  
30" Cypress  
Stump  
18" Pine  
9" Holly  
Stump

TOP OF BANK  
Limits of  
Construction

Shed

R=50'  
L=96.06'

S 39°36'38" E 154.16'

EXIST. PIER

NEW GRANITE SILL

EXISTING  
ROOF

EXISTING  
VEGETATED  
WETLANDS

NEW GRANITE REVETMENT

NEW GRANITE SILL

EXISTING  
VEGETATED  
WETLANDS

MLW 36.5'  
40.0' K  
38.0'

54.5' J  
21' G  
100.0' F

83' H  
28' I

MLW

112.4' MHW

21.0' N  
8' 45' P

75' Q

MLW

U  
T  
1900

V  
W

X

Y

Z

NEW COIR LOG 49'  
110 LF

NEW GRANITE SILL

EXISTING  
VEGETATED  
WETLANDS

EXISTING  
VEGETATED  
WETLANDS

NEW SAND FILL &  
PLANTINGS

EXISTING  
NON-VEGETATED  
WETLANDS

NEW COIR LOG 27 LF

Pin Z

S 54°37'33" E 222.25'

Pins found on Line @  
111.5' & 147.6'

N 70°28'07" E 79.06'

W. TWIN COVE

50' D C

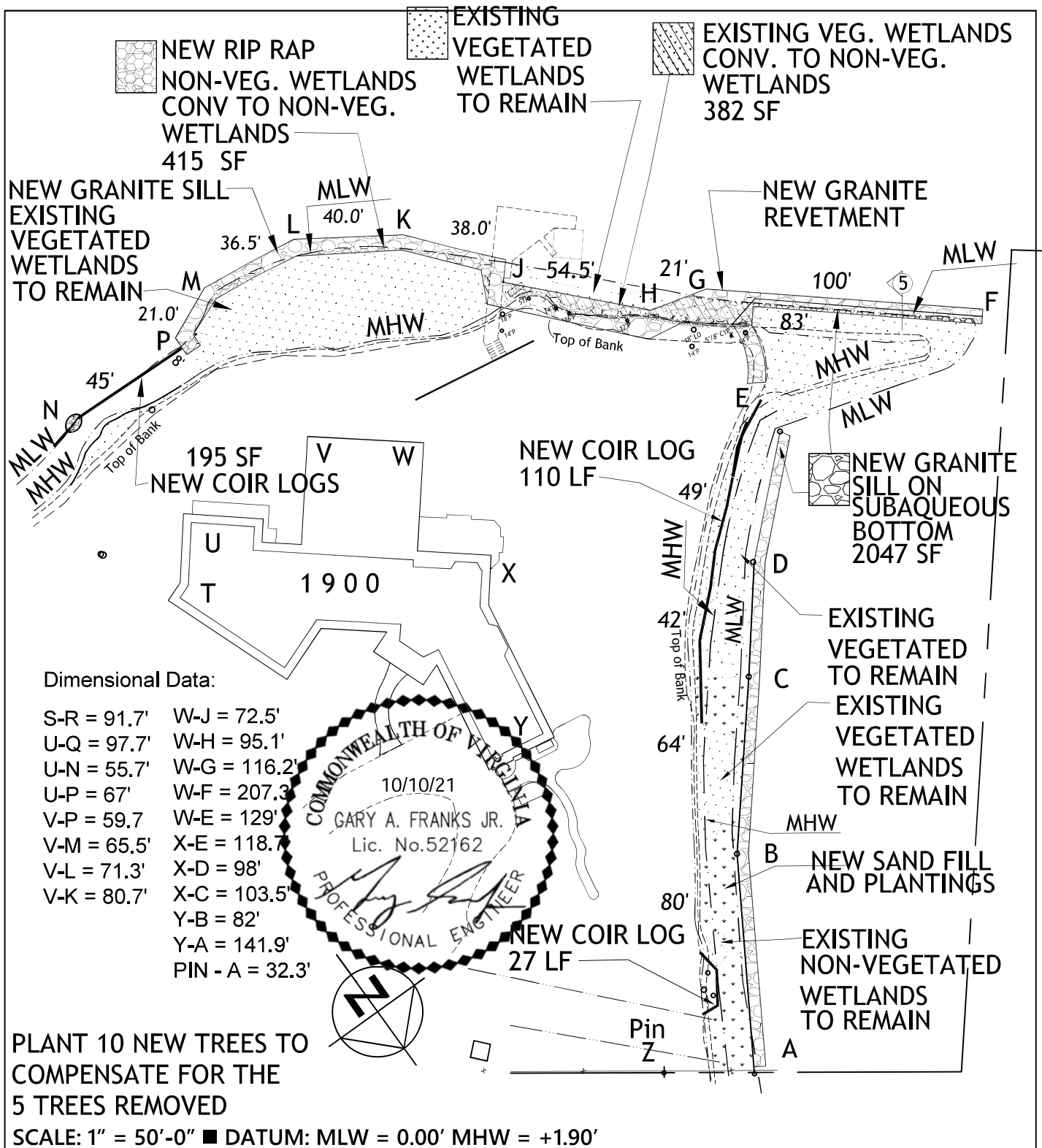
**PLAN**

Proposed: **NEW LIVING SHORELINE AND  
RIP RAP REVETMENT**  
in: **LYNNHAVEN RIVER**  
at: **1900 W TWIN COVE**  
County of: **VIRGINIA BEACH**  
Applicant: **MARY GEARY**  
Sheet: **2** of **8** Date: **09/01/2021**



**CALVERT  
MARINE**

Adjacent Property  
Owners:  
1. Atchison Family Living Trust  
2. Thomas Whitworth III  
3. Dean Berrett  
4. Twin Cove LLC



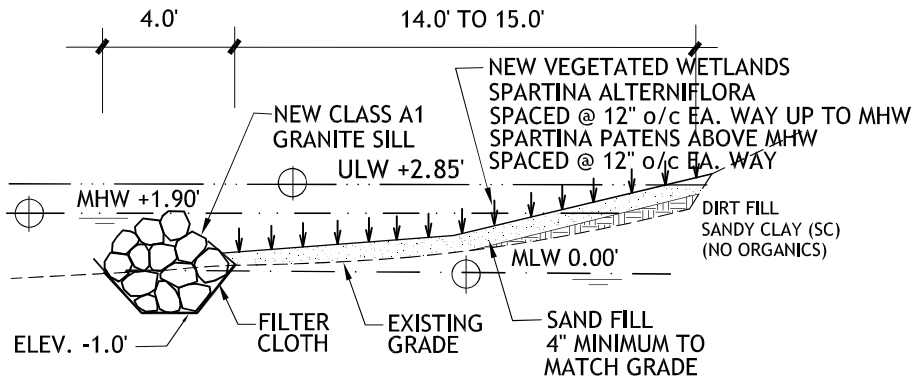
**PART ENLARGED PLAN**



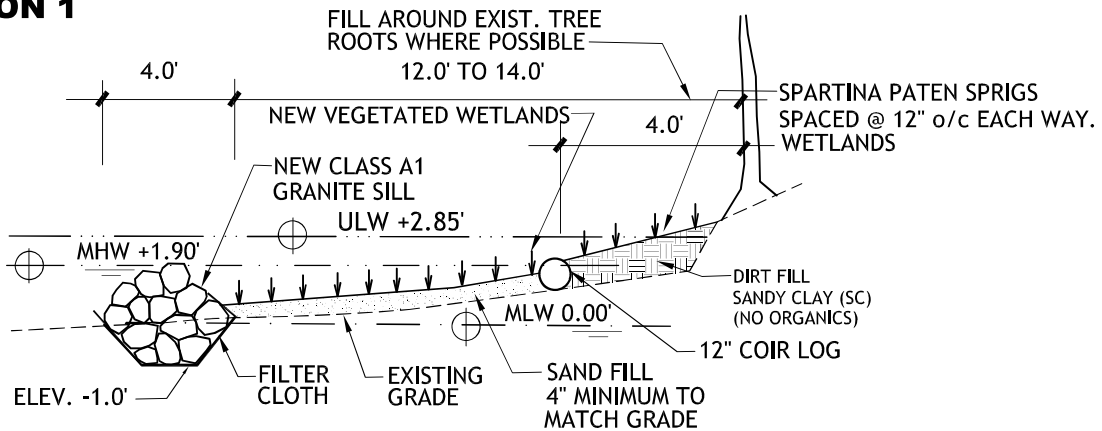
Adjacent Property Owners:  
 1. Atchison Family Living Trust  
 2. Thomas Whitworth III  
 3. Dean Berrett  
 4. Twin Cove LLC

Proposed: **NEW LIVING SHORELINE AND RIP RAP REVETMENT**  
 in: **LYNNHAVEN RIVER**  
 at: **1900 W TWIN COVE**  
 County of: **VIRGINIA BEACH**  
 Applicant: **MARY GEARY**  
 Sheet: **3** of **8** Date: **09/01/2021**

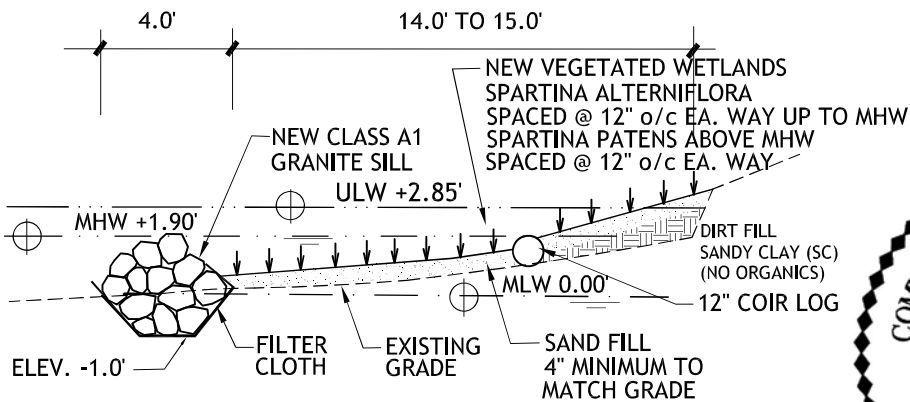




**SECTION 1**



**SECTION 2**



**SECTION 3**



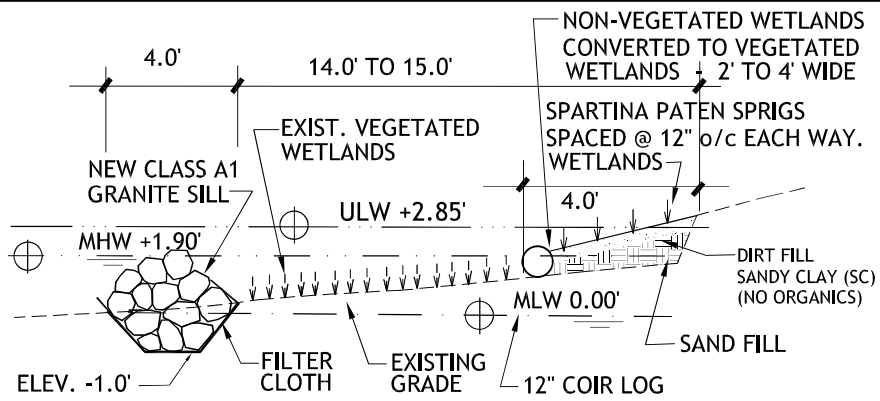
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**SECTIONS**

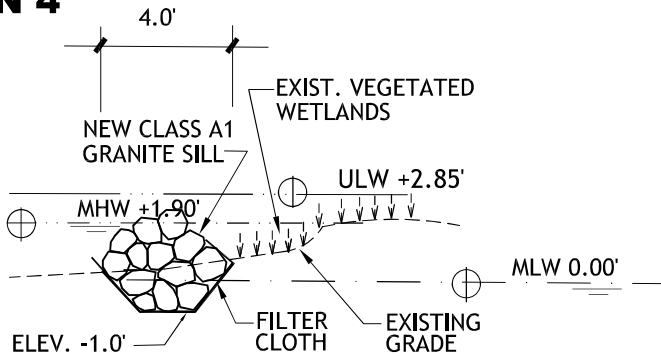


Adjacent Property Owners:  
1. Atchison Family Living Trust  
2. Thomas Whitworth III  
3. Dean Berrett  
4. Twin Cove LLC

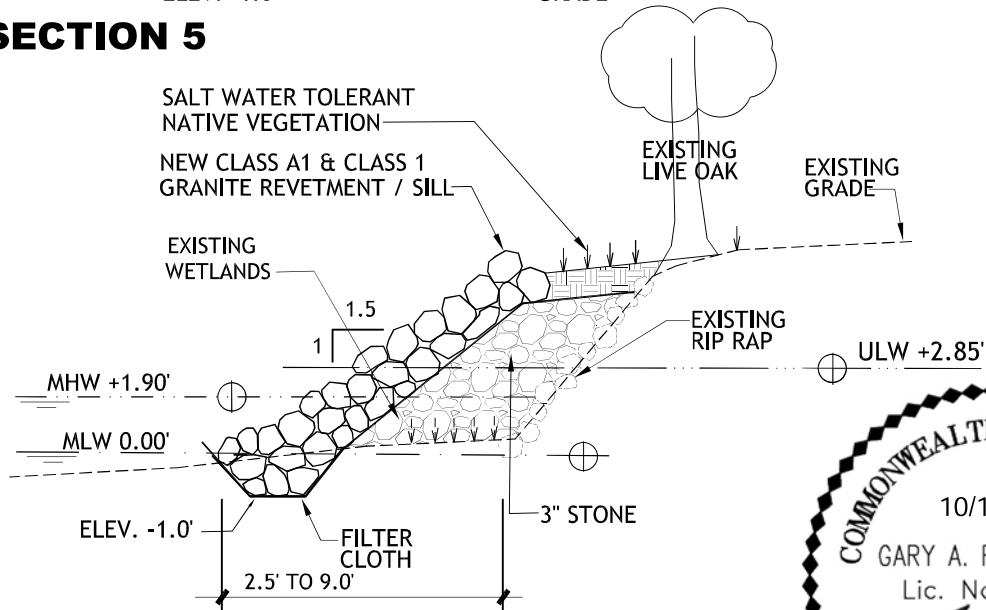
Proposed: **NEW LIVING SHORELINE AND  
RIP RAP REVETMENT**  
in: **LYNNHAVEN RIVER**  
at: **1900 W TWIN COVE**  
County of: **VIRGINIA BEACH**  
Applicant: **MARY GEARY**  
Sheet: **4** of **8** Date: **09/01/2021**



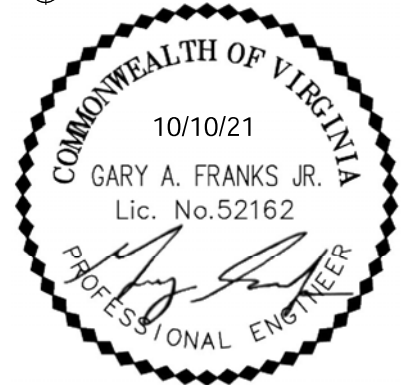
**SECTION 4**



**SECTION 5**



**SECTION 6**



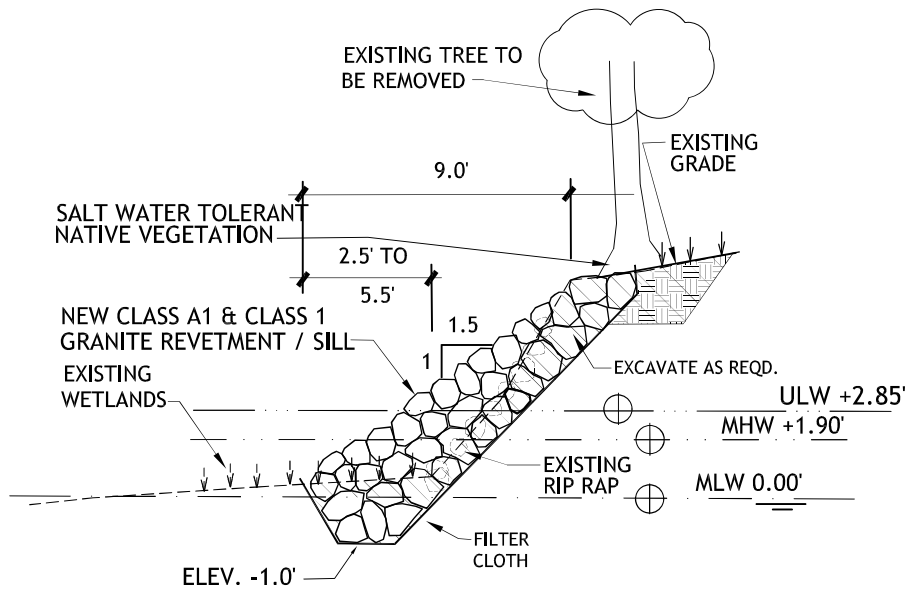
SCALE: 3/16" = 1'-0" ■ DATUM: MLW = 0.00' MHW = +1.90'

**SECTIONS**

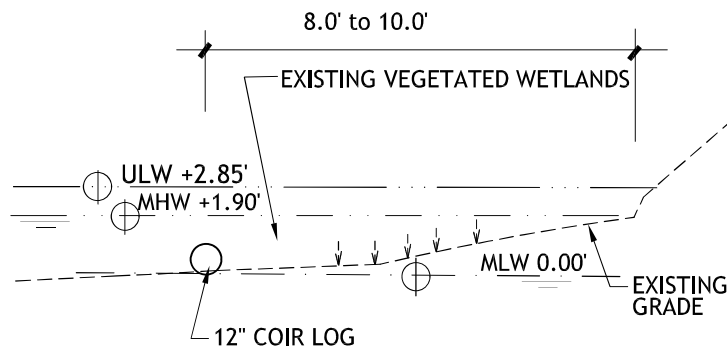


Adjacent Property Owners:  
 1. Atchison Family Living Trust  
 2. Thomas Whitworth III  
 3. Dean Berrett  
 4. Twin Cove LLC

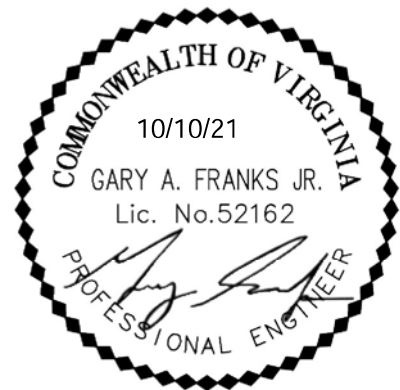
Proposed: **NEW LIVING SHORELINE AND RIP RAP REVETMENT**  
 in: **LYNNHAVEN RIVER**  
 at: **1900 W TWIN COVE**  
 County of: **VIRGINIA BEACH**  
 Applicant: **MARY GEARY**  
 Sheet: **6** of 8 Date: **09/01/2021**




**SECTION 7**



**SECTION 8**

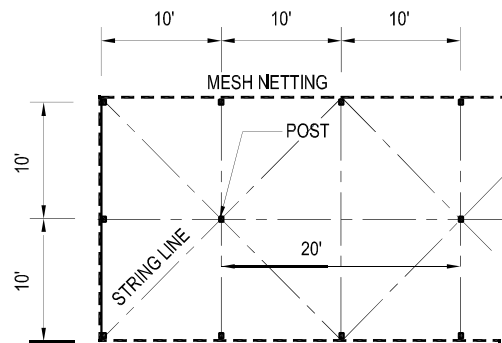


SCALE: 3/16" = 1'-0" ■ DATUM: MLW = 0.00' MHW = +1.90'

<b>SECTIONS</b>		Proposed: <b>NEW LIVING SHORELINE AND RIP RAP REVETMENT</b>
 <b>CALVERT MARINE</b>	Adjacent Property Owners: 1. Atchison Family Living Trust 2. Thomas Whitworth III 3. Dean Berrett 4. Twin Cove LLC	in: <b>LYNNHAVEN RIVER</b> at: <b>1900 W TWIN COVE</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>BRIAN GEARY</b> Sheet: <b>7</b> of <b>10</b> Date: <b>05 JAN 2020</b>

- o Goose fencing will be installed as shown and maintained for two growing seasons unless approved to be removed by Wetlands Board staff.
- o Wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote 12 slow release fertilizer or equivalent.
- o Plant mortality will be addressed by replacing plants during the next available growing season. Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.
- o Sand fill (for living shoreline projects) at the planting area shall be "VULCAN WHITE SAND #31152" OR EQUAL.

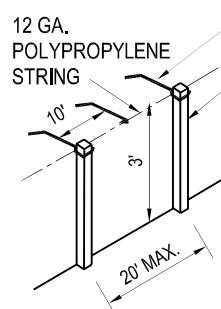
1. PREDATOR FENCING SHALL CONSIST OF A PERIMETER FENCE OF PLASTIC MESH NETTING WITH AN INTERIOR NETWORK OF STRING LINES ATOP THE POST.
2. PREDATOR FENCING SHALL BE INSTALLED AS NOTED BELOW AND MAINTAINED FOR TWO GROWING SEASONS UNLESS APPROVED TO BE REMOVED BY STAFF.
3. WETLAND GRASSES SHALL BE INSTALLED AT 12" o/c AND FERTILIZED WITH OSMOCOTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. PLANT MORTALITY WILL BE ADDRESSED BY REPLACING PLANTS DURING THE NEXT GROWING SEASON.
5. WETLAND PLANTING WILL ACHIEVE AN 85% COVERAGE WITHIN TWO FULL GROWING SEASONS TO BE CONSIDERED SUCCESSFUL.



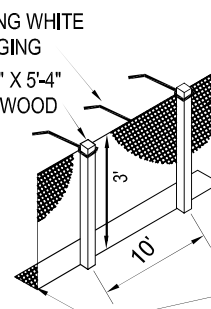
STRING TO BE TIED AND KNOTTED WITH ENOUGH TENSION TO MAKE THE STRING TAUGHT BETWEEN STAKE WITH MINIMAL SAG. STRING SHALL BE TIED TO EACH POST

VINYL FLAGGING TO BE TIED TO EACH STAKE & AT MID POINT OF EACH MESH FENCE SEGMENT

PLAN



LINE DETAIL



NETTING / MESH DETAIL

BLACK POLYPROPYLENE MESH FENCE MAX. 1" OPNG.

NETTING IS TO BE SECURED TO PERIMETER POST WITH 3 TIES PER POST MESH TO HAVE 2" TO 3" OF OVERLAP AT THE BOTTOM

SCALE: 1/4" = 1'-0" ■ DATUM: MLW = 0.00' MHW = +1.90'

**WETLAND DETAILS**



Adjacent Property Owners:  
 1. Atchison Family Living Trust  
 2. Thomas Whitworth III  
 3. Dean Berrett  
 4. Twin Cove LLC


Proposed: **NEW LIVING SHORELINE AND RIP RAP REVETMENT**  
 in: **LYNNHAVEN RIVER**  
 at: **1900 W TWIN COVE**  
 County of: **VIRGINIA BEACH**  
 Applicant: **MARY GEARY**  
 Sheet: **9** of **10** Date: **05 JAN 2020**

**NOTES**

1. CONTRACTOR SHALL LOCATE ALL PROPERTY LINES PRIOR TO THE START OF CONSTRUCTION. SEE SHEET 3 OF 6. NO WORK SHOWN ON THIS PERMIT SHALL ENCROACH UPON ANY OTHER PROPERTY OWNERS.
2. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
3. ORANGE SAFETY FENCE SHALL LINE THE LIMITS OF CONSTRUCTION AND PROTECT TREES FROM DAMAGE DURING CONSTRUCTION. MATS AND OR SAND SHALL BE USED TO PROTECT THE EXISTING TREE ROOTS.
5. ALL EROSION AND SEDIMENT CONTROLS SHALL BE CONSTRUCTED AND MAINTAINED AS REQUIRED BY THE CITY OF VIRGINIA BEACH.
6. ALL SILT FENCES SHALL BE WIRE REINFORCED, EMBEDDED 4" BELOW GRADE & SHALL BE 36" TALL.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
8. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY ALL SOIL & BOTTOM CONDITIONS.
9. ALL RIP RAP SHALL BE NEW QUARRY STONE, CLASS A1. PROVIDE FILTER CLOTH UNDER THE GRANITE AS SHOWN.
10. ALL DEBRIS GENERATED FROM THE DEMOLITION PROCESS SHALL BE HAULED OFF SITE AND LEGALLY DISPOSED.
11. LIVE OYSTERS / SHELLFISH LAYING WITHIN AREA IMPACTED BY CONSTRUCTION ACTIVITIES ARE TO BE CAREFULLY REMOVED AND TEMPORARILY SUBAQUEOUSLY STORED. REPLACE AT SAME ELEVATION OR LOWER IN WATER COLUMN AFTER THE WORK HAS BEEN COMPLETED.
12. ALL DENUDED AND OR DAMAGED VEGETATION SHALL BE REPLACED IN KIND.



NO SCALE ■ DATUM: MLW = 0.00' MHW = +1.90'

<b>NOTES</b>	
 <b>CALVERT MARINE</b>	Adjacent Property Owners: 1. Atchison Family Living Trust 2. Thomas Whitworth III 3. Dean Berrett 4. Twin Cove LLC
Proposed: <b>NEW LIVING SHORELINE AND RIP RAP REVETMENT</b> in: <b>LYNNHAVEN RIVER</b> at: <b>1900 W TWIN COVE</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>MARY GEARY</b> Sheet: <b>10</b> of <b>10</b> Date: <b>05 JAN 2020</b>	



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Thomas Whitworth III 1908 W Twin Cove Rd 23451, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Mary Geary 1900 W Twin Cove Rd 23451.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9/1/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Dean Berrett 1925 W Twin Cove Rd 23451, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Mary Geary 1900 W Twin Cove Rd 23451.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9/1/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

Atchison Family Living Trust

I (we), 3155 Adam Keeling Road Virginia Beach, VA, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Mary Geary 1900 W Twin Cove Rd 23451.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 9/1/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

Atchison Family Living T

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

Peter Bosma

I (we), 1952 Twin Cove Rd Virginia Beach, VA 23451, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Mary Geary 1900 W Twin Cove Rd 23451.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 9/1/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan #: \_\_\_\_\_  
 Location:       Mary Geary       GPIN:       14991508740000        
      Chesapeake Bay             02080108        
 Watershed: \_\_\_\_\_ HUC: \_\_\_\_\_

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator



Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore disturbed/denuded area to previous condition		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Mary Geary

Signature of Owner: Mary D. Geary Print Name: \_\_\_\_\_

Mary Geary

Signature of Permittee: Mary D. Geary Print Name: \_\_\_\_\_

Date: 8/26/2021

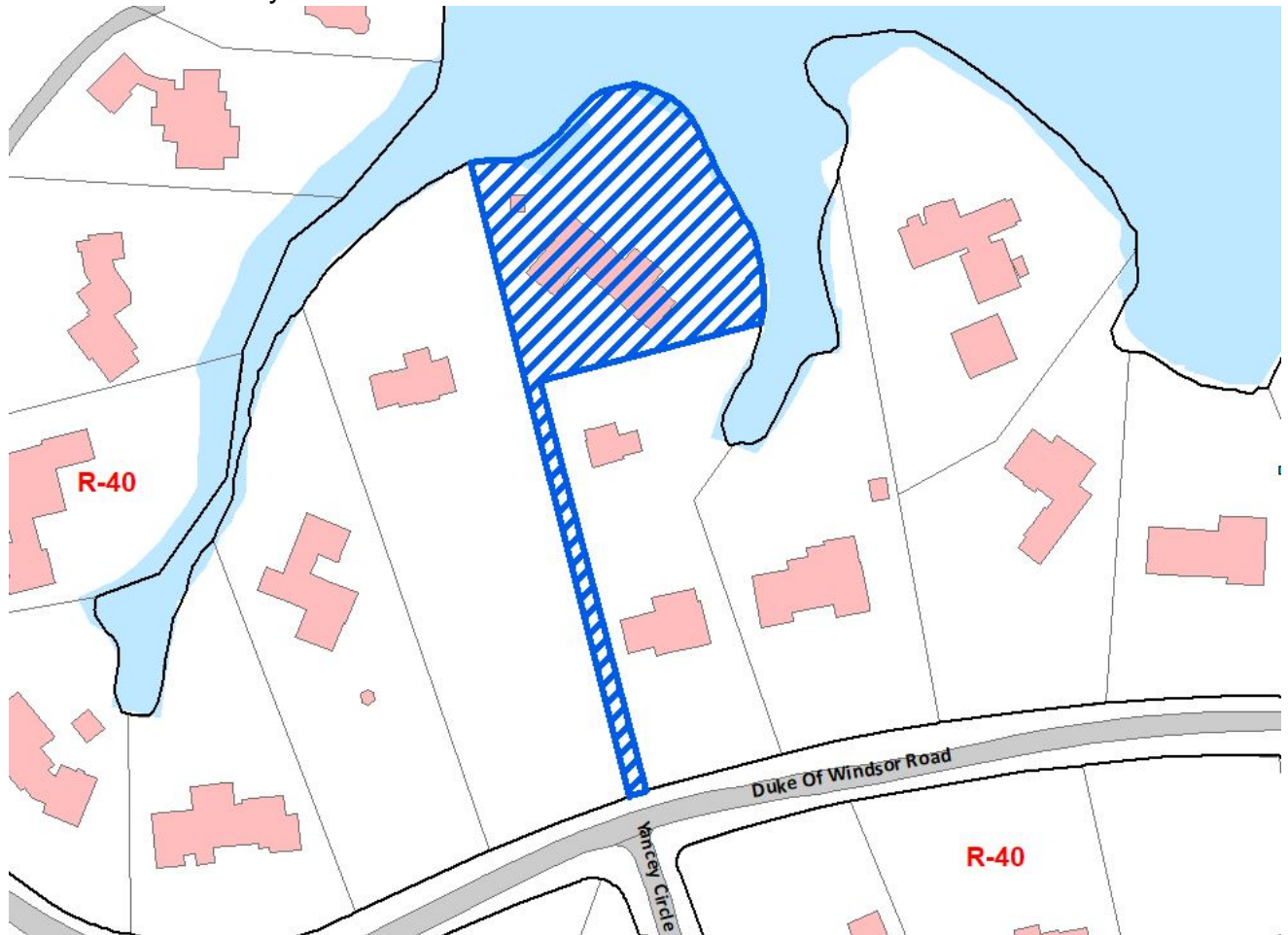
6. 2021-WTRA-00301

James Bennett and Mary Mantey [Applicant & Owner]

**To construct rip rap and oyster castles and plant vegetation involving wetlands**

1618 Duke of Windsor Rd  
(GPIN 2408-88-5861)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Shores  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name James Bennett / Mary Mantey

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.

Calvert Marine

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Oca Landscape Design LLC

Mary Mantey

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



# Disclosure Statement

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If **yes**, identify the financial institutions.

*Atlantic Bay Mortgage Group / Chase Bank*

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes  No

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



City of Virginia Beach

Planning & Community  
Development

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

James Bennett / Mary Mantey

Print Name and Title

9/21/21

Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	



- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

<b>FOR AGENCY USE ONLY</b>	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> VIRGINIA BEACH				
<b>Waterway at project site:</b> LINKHORN BAY				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

JAMES BENNETT / MARY MANTEY  
1618 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454

Home (\_\_\_\_) \_\_\_\_\_  
Work (610) 739-5441 \_\_\_\_\_  
Fax (\_\_\_\_) \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail mary.mantey@gmail.com \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home (\_\_\_\_) \_\_\_\_\_  
Work (\_\_\_\_) \_\_\_\_\_  
Fax (\_\_\_\_) \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable):



Calvert Marine  
3132 Riveredge Drive  
Portsmouth, VA 23703

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_  
Work (757) \_\_\_\_\_  
Fax (\_\_\_\_) 777-6960 \_\_\_\_\_  
Cell (\_\_\_\_) \_\_\_\_\_  
e-mail Rich@CalvertMarine.net \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The existing property is experiencing erosion and bulkhead / retaining wall failure along the existing shoreline. There are existing vegetated and non-vegetated wetlands with scarped banks in the tidal zone. The stabilization / corrective work to include new granite sill / rip rap revetment with oyster castles and new coarse sand with wetland plantings to create a hybrid living shoreline. The work shall be completed by land using a single route with timber mats where required for equipment. Five existing trees shall be removed that are in the tidal zone, exposed or on a scarped bank. These trees shall be compensated by planting 10 new trees. An existing retaining wall has partially failed. The new granite shall be placed in front of the existing concrete sill / retaining walls where possible. The scarped banks shall be backfilled as shown. The existing timber piling at the existing bulkhead will be removed as well. All debris from the demolition process shall be legally disposed. A new open pile timber pier shall be constructed with a 248 SF Tee (6'x32' & 8'x7') and 8' x 16' Floating Dock with Ramp. The new Boat Lift shall have an 19' x 31' Roof Structure. 85 SF of vegetated wetlands will be covered by the new revetment in one area that is structurally necessary for support of the existing structure. Since most of the shoreline is inter-tidal, there is no room for the creation of new vegetated wetlands, only conversion.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_

Work (\_\_\_\_) \_\_\_\_\_

Fax (\_\_\_\_) \_\_\_\_\_

Cell (\_\_\_\_) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

(757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 1618 Duke of Windsor Road

Lot/Block/Parcel# LINKHORN SHORES PARCEL B SUBD OF SITE 5

Subdivision LINKHORN SHORES

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

\_\_\_\_\_ / - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to stabilize the existing shoreline to prevent further loss of the property by planting and revetments where required. Secondary purpose is for a safe recreational boating area for private use

## Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

As noted in Item 4, the shoreline is low and inter-tidal leaving no room for the creation of new vegetated wetlands. The Owner will convert 1900 SF of non-vegetated wetlands to vegetated wetlands by installing new sills and sand as required to successfully plant new *Spartina Alterniflora* and *Patens*. The trees that are to be removed will help provide additional sunlight into the planting area as well.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$79K

Approximate cost of that portion of the project that is channelward of mean low water:  
\$500

13. Completion date of the proposed work: MAR - 2022

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

David Goode  
1612 Duke of Windsor Road  
Virginia Beach, VA 23454

Antoinette A Hawa RLT  
1616 Duke of Windsor Road  
Virginia Beach, VA 23454

Chris Sanders  
1620 Duke of Windsor Road  
Virginia Beach, VA 23454

APOs sent out on 10/1/2021 via USPS

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

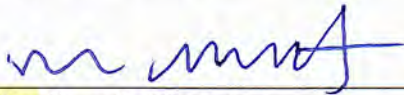
**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**James Bennett**

Applicant's Legal Name (printed/typed)



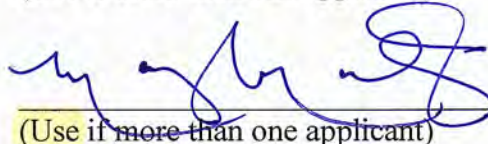
Applicant's Signature

9/21/21

Date

**Mary Mantey**

(Use if more than one applicant)



(Use if more than one applicant)

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date



## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), James Bennett / Mary Mantey, hereby certify that I (we) have authorized Calvert Marine  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.



\_\_\_\_\_  
(Agent's Signature)

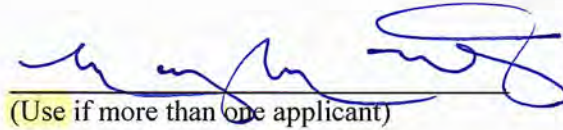
\_\_\_\_\_  
(Use if more than one agent)

19 SEPT 21

\_\_\_\_\_  
(Date)



\_\_\_\_\_  
(Applicant's Signature)



\_\_\_\_\_  
(Use if more than one applicant)

9/21/21

\_\_\_\_\_  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

-----  
**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

A new open pile timber pier shall be constructed with a 248 SF Tee (6'x'32' & 8'x7') and 8' x 16' Floating Dock with Ramp. The access for the pier shall be new timber stairs attached to the existing deck. The new Boat Lift shall be covered with a 19' x 31' Roof Structure. All of the pier work shall be completed by barge.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 64 feet.

Channelward of Mean High Water? 69 feet.

Channelward of Mean Low Water? 63 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 1968 square feet.

Tidal vegetated wetlands 85 square feet.

Submerged lands 1117 square feet.

What is the total size of any and all L- or T-head platforms? 376 sq. ft.

For boathouses, what is the overall size of the roof structure? 589 sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

**Part 3 – Appendices (continued)**

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:

- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
- b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
- c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
- C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
- D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
- E) What is the area of the piers and platforms that will be constructed over
  - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
  - Tidal vegetated wetlands \_\_\_\_\_ square feet
  - Submerged lands \_\_\_\_\_ square feet

6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.  
 From Mean High Water? \_\_\_\_\_ feet.  
 From Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The existing property is experiencing erosion and bulkhead / retaining wall failure along the existing shoreline. There are existing vegetated and non-vegetated wetlands with scarped banks in the tidal zone. The stabilization / corrective work to include new granite sill / rip rap revetment with oyster castles and new coarse sand with wetland plantings to create a hybrid living shoreline. The work shall be completed by land using a single route with timber mats where required for equipment. Five existing trees shall be removed that are in the tidal zone, exposed or on a scarped bank. These trees shall be compensated by planting 10 new trees. An existing retaining wall has partially failed. The new granite shall be placed in front of the existing concrete sill / retaining walls where possible. The scarped banks shall be backfilled as shown. The existing timber piling at the existing bulkhead will be removed as well. All debris from the demolition process shall be legally disposed.

2. What is the maximum encroachment channelward of mean high water? 33 feet.  
Channelward of mean low water? 5.5 feet.  
Channelward of the back edge of the dune or beach? 0 feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 85 square feet
  - Non-vegetated wetlands 3630 square feet
  - Subaqueous bottom 1117 square feet
  - Dune and/or beach 0 square feet1,710 SF NON to NON 1,920 Sf NON conv to VEG
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

New granite sills and revetments shall be Class 1 and A1 as per VDOT standards. All stone shall be installed atop new filter cloth as shown. The new revetments shall be 1.5:1. The backfill shall be excavated material. If additional material is required use dirt fill with no organics. The planting sand shall be coarse sand as specified from an upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 25 to 75 pounds per stone      Class size A1  
Armor (outer layer) material 50 to 75 pounds per stone      Class size 1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material  
\_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
  
- Area to be covered  
\_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
  
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_
  
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at  
[http://www.vims.edu/about/search/index.php?q=planting+guidelines:](http://www.vims.edu/about/search/index.php?q=planting+guidelines)



**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1618 Duke of Windsor Road

APPLICANT'S NAME: James Bennett / Mary Mantey

APPLICANT'S ADDRESS: 1618 Duke of Windsor Road

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gary Franks Jr. P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

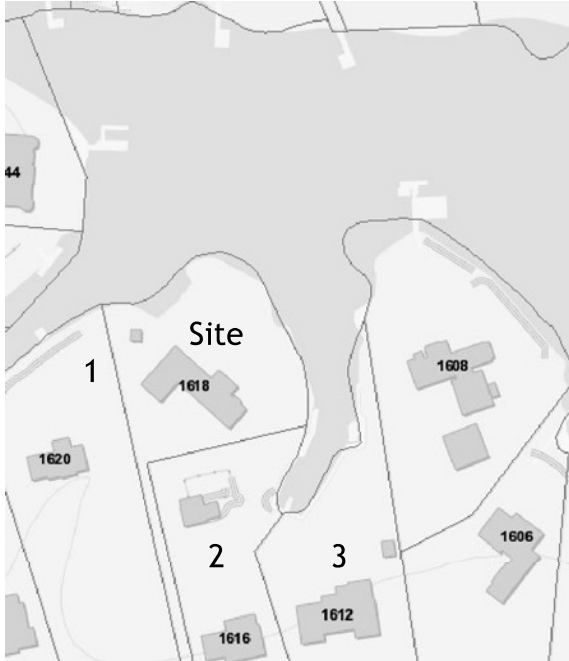
  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION \_\_\_\_\_ DATE 09/28/2021  
Gary Franks Jr. P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION \_\_\_\_\_  
   
SIGNATURE OF APPLICANTS \_\_\_\_\_ DATE 9/21/21

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)



PROPERTY MAP



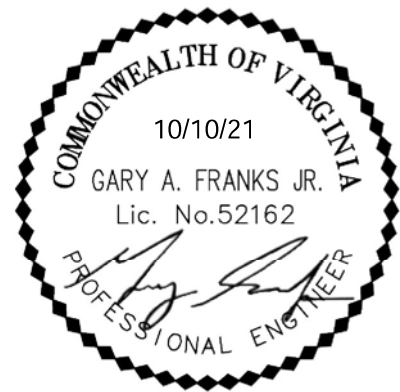
STREET MAP

## LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK

1618 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454

LEGAL: LINKHORN SHORES PARCEL B SUBD OF SITE 5

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.



NO SCALE ⚙ DATUM: MLW = 0.00' MHW = +1.70'

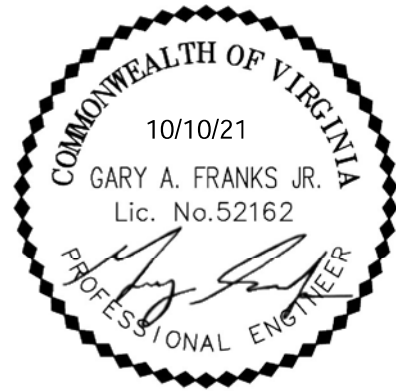
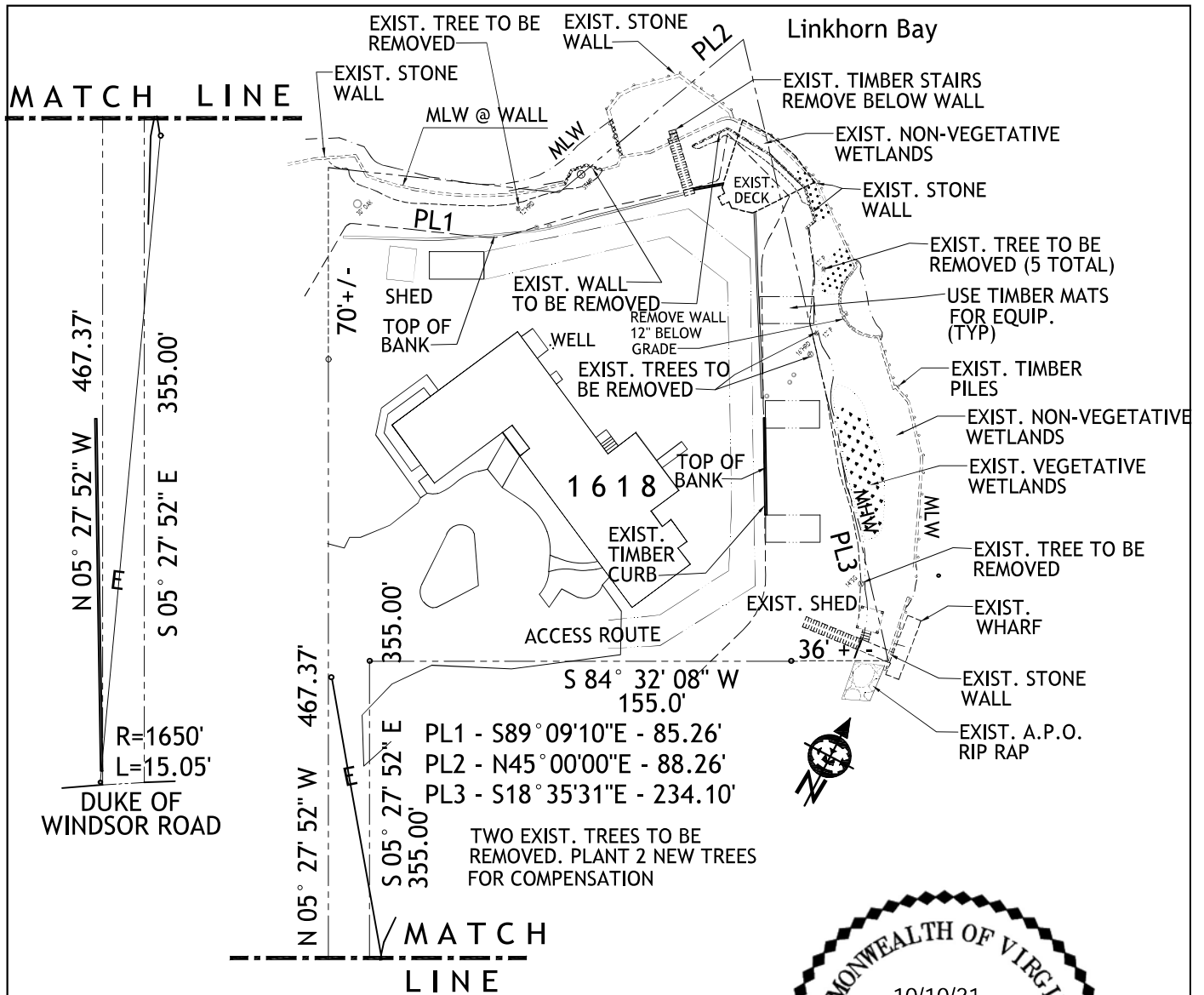
REV: 07 OCT 21





### VICINITY MAP

Adjacent Property Owners:  
 1. David Goode  
 2. Antoinette A Hawa RL  
 3. Chris Sanders

Proposed: **LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK**  
 in: **LINKHORN BAY**  
 at: **1618 DUKE OF WINDSOR RD**  
 County of: **VIRGINIA BEACH**  
 Applicant: **JAMES BENNETT / MARY MANTEY**  
 Sheet: **1** of **12** Date: **20 AUG 21**

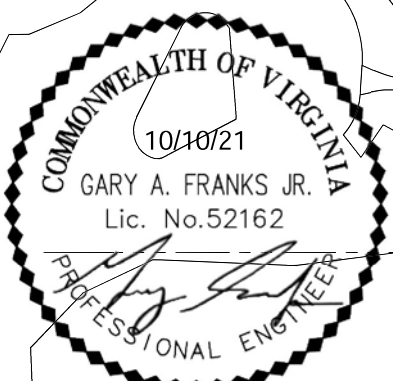
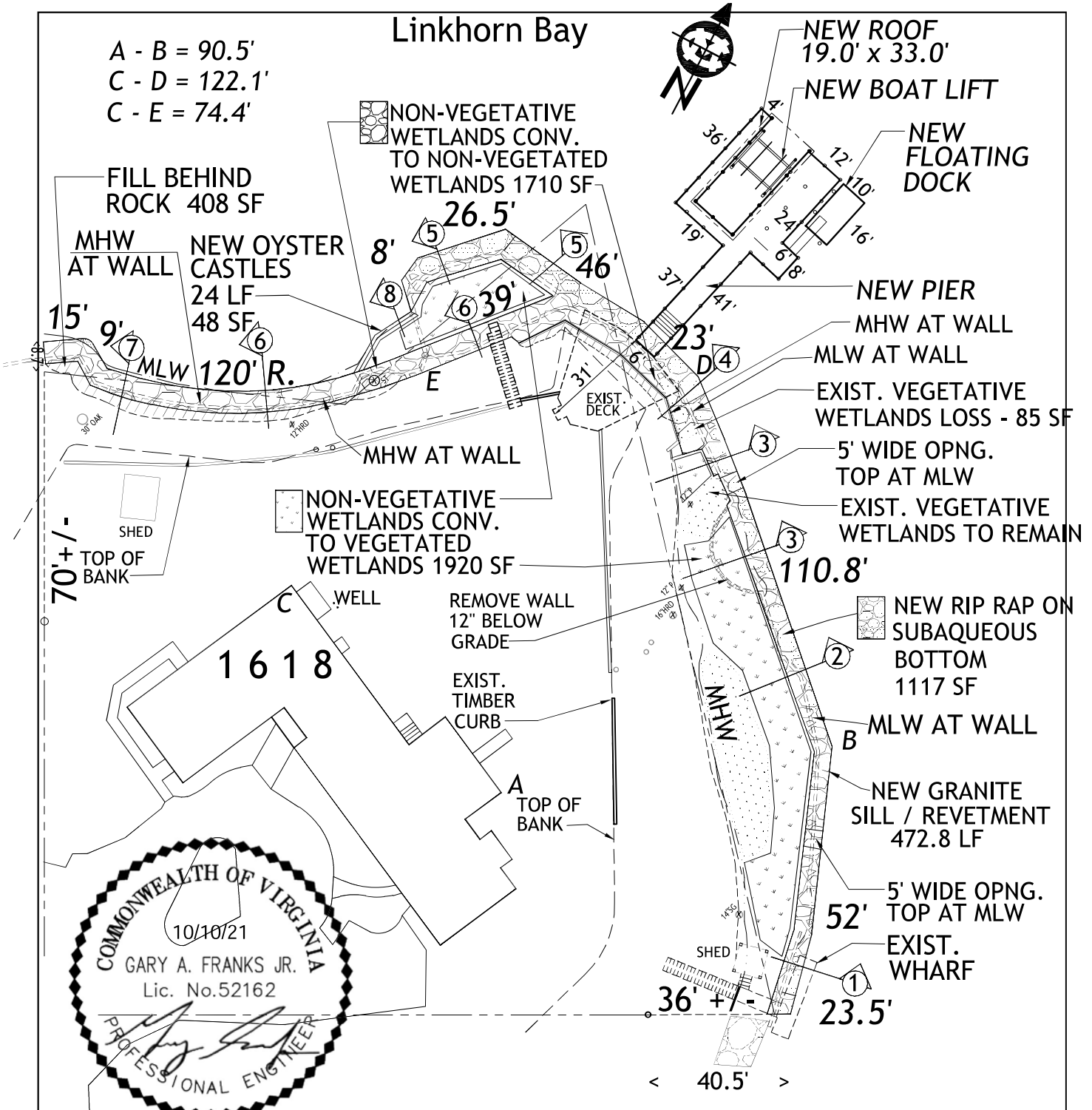


SCALE: 1"=60'-0" ⚙️ DATUM: MLW = 0.00' MHW = +1.70' REV: 07 OCT 21



 <b>BLAKEWAY</b> <small>530 N. Witchduck Road        VA BEACH, VIRGINIA 23455        P757.226.0081 F757.226.8765        www.blakewaycorp.com</small>	 <b>CALVERT MARINE</b> <b>757-777-6960</b>	<b>EXISTING PLAN</b>	Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>2</b> of <b>12</b> <span style="float: right;">Date: <b>20 AUG 21</b></span>
		Adjacent Property Owners: 1. David Goode 2. Antoinette A Hawa RL 3. Chris Sanders	

# Linkhorn Bay

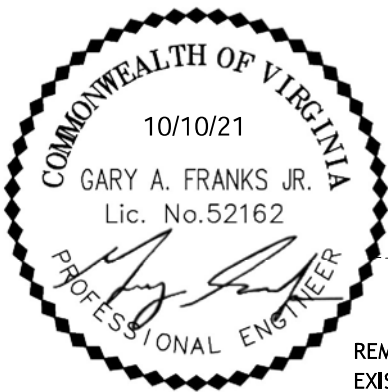
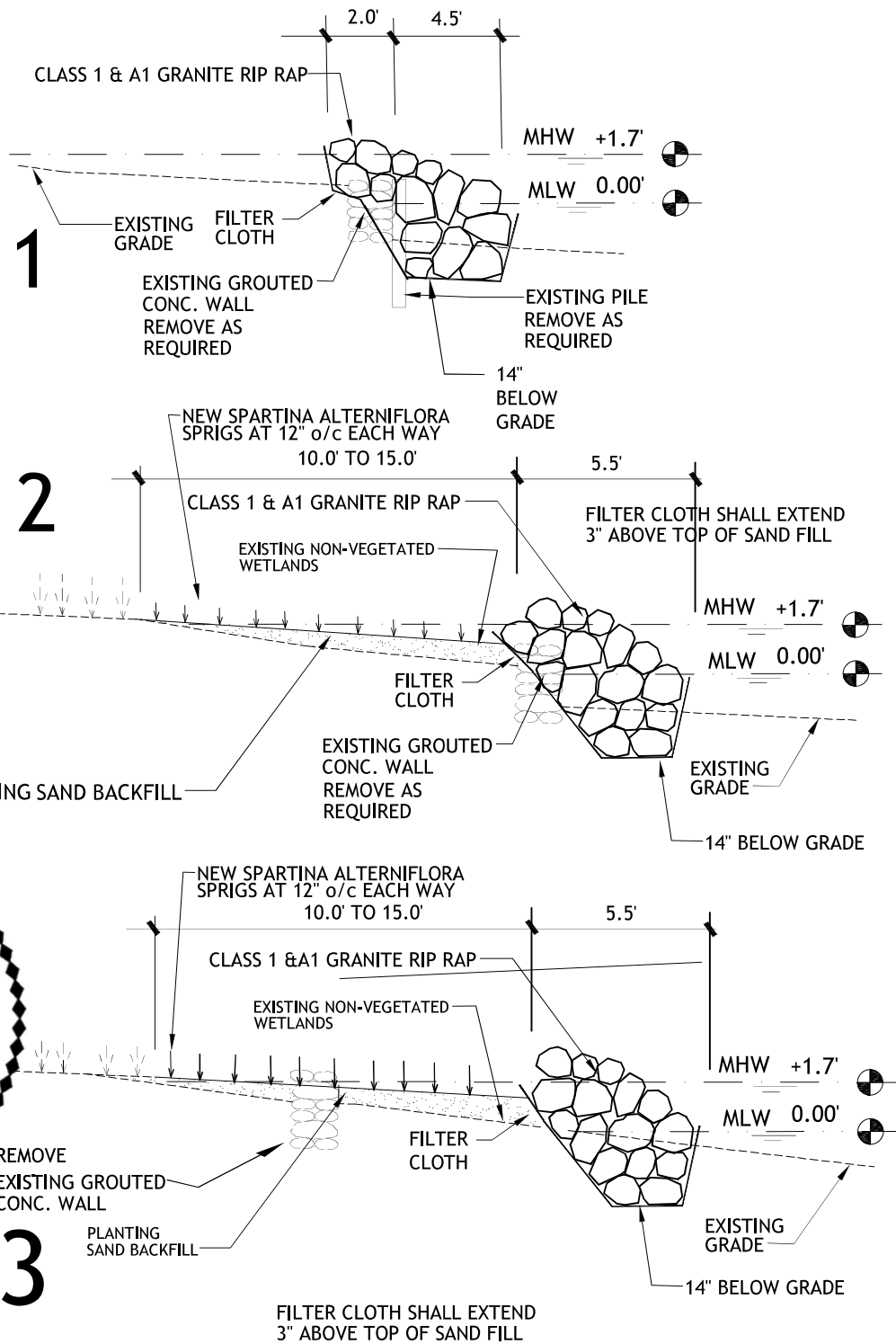
A - B = 90.5'  
 C - D = 122.1'  
 C - E = 74.4'





SCALE: 1"=40'-0"    DATUM: MLW = 0.00' MHW = +1.70'    REV: 07 OCT 21

 <p><b>BLAKEWAY</b>          530 N. Witchduck Road          VA BEACH, VIRGINIA 23455          P757.226.0081 F757.226.8765          www.blakewaycorp.com</p>	 <p><b>CALVERT MARINE</b>          757-777-6960</p>	<p><b>NEW WORK PLAN</b></p> <p>Adjacent Property Owners:</p> <ol style="list-style-type: none"> <li>1. David Goode</li> <li>2. Antoinette A Hawa RLT</li> <li>3. Chris Sanders</li> </ol>	<p><b>Proposed: LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b>          in: <b>LINKHORN BAY</b>          at: <b>1618 DUKE OF WINDSOR RD</b>          County of: <b>VIRGINIA BEACH</b>          Applicant: <b>JAMES BENNETT / MARY MANTEY</b>          Sheet: <b>3 of 12</b>      Date: <b>20 AUG 21</b></p>
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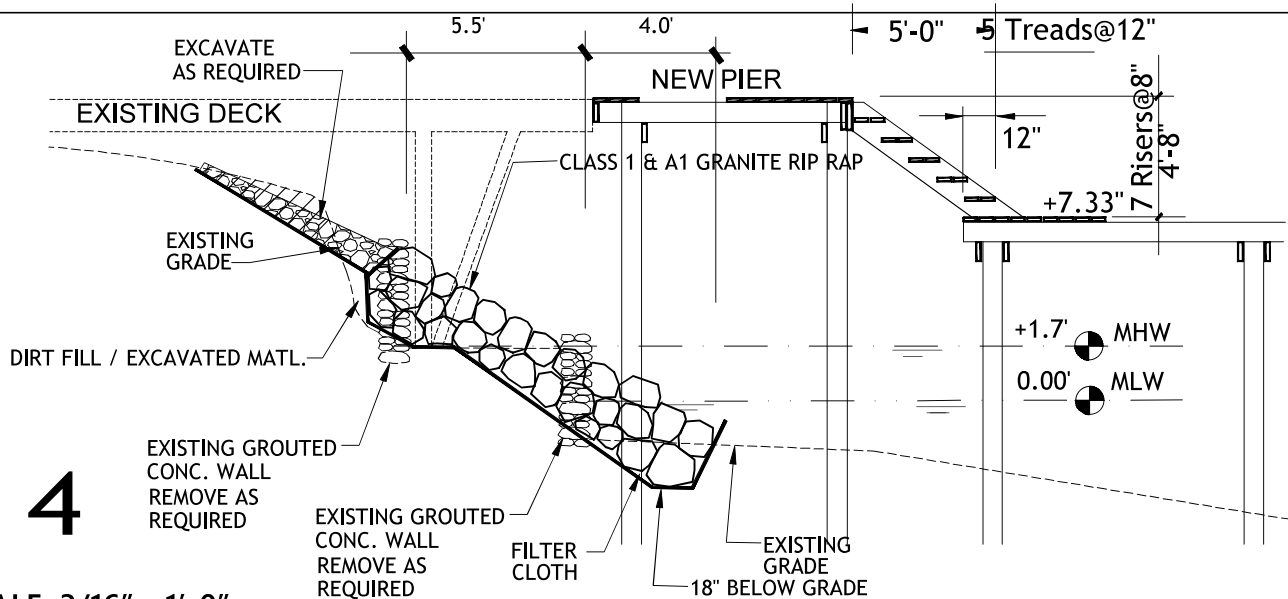




SCALE: 3/16" = 1'-0"    DATUM: MLW = 0.00' MHW = +1.70'    REV: 07 OCT 21

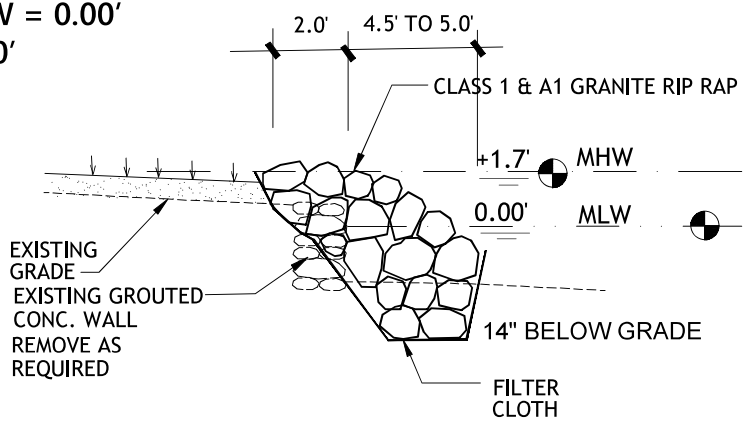
 <b>BLAKEWAY</b> <small>530 N. Witchduck Road          VA BEACH, VIRGINIA 23455          P757.226.0081 F757.226.8765          www.blakewaycorp.com</small>	 <b>CALVERT MARINE</b> <b>757-777-6960</b>	<b>SECTIONS</b>	Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>4</b> of <b>12</b> Date: <b>20 AUG 21</b>
		Adjacent Property Owners: 1. David Goode 2. Antoinette A Hawa RLT 3. Chris Sanders	



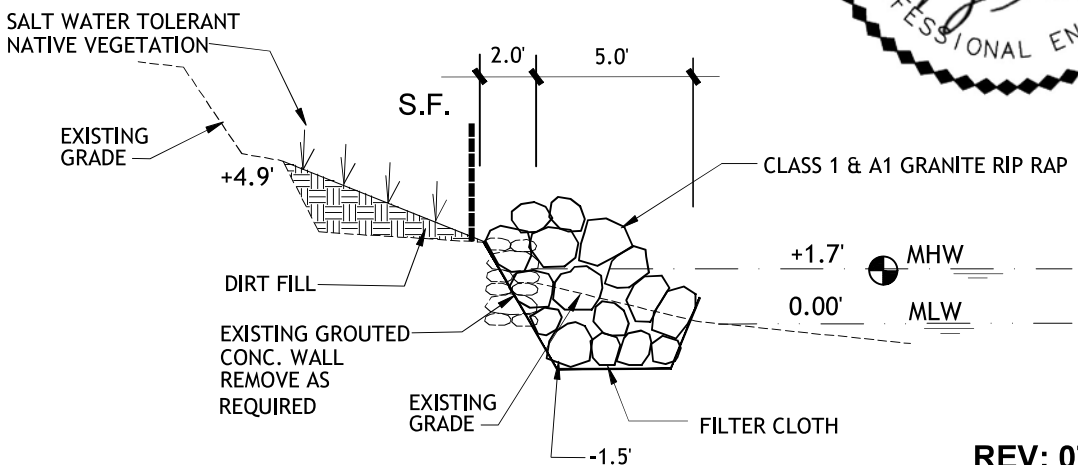


4

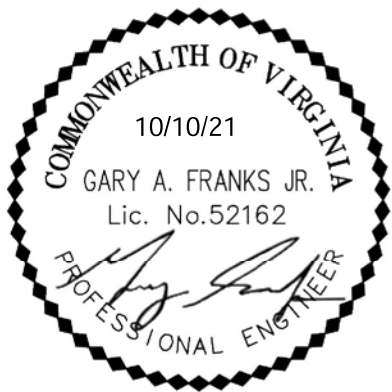
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 DATUM: MLW = 0.00'  
 MHW = +1.70'





5



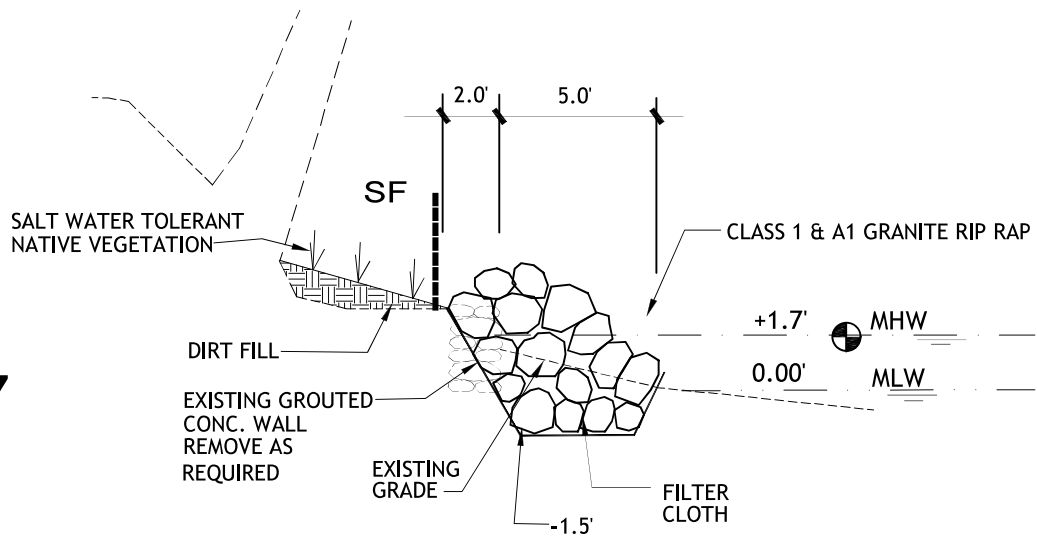
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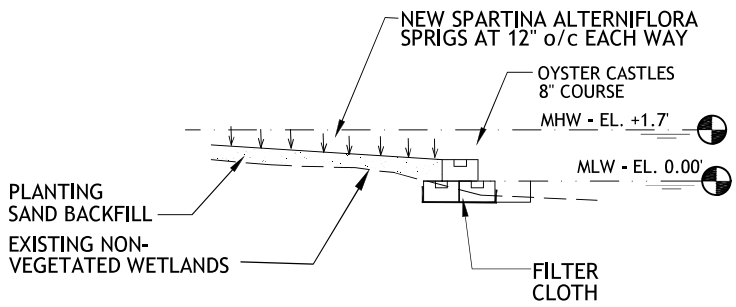
REV: 07 OCT 21

 <b>BLAKEWAY</b> <small>530 N. Witchduck Road        VA BEACH, VIRGINIA 23455        P757.226.0081 F757.226.8765        www.blakewaycorp.com</small>	 <b>CALVERT MARINE</b> <b>757-777-6960</b>	<p align="center"><b>SECTIONS</b></p> <p>Adjacent Property Owners:</p> <ol style="list-style-type: none"> <li>David Goode</li> <li>Antoinette A Hawa RLT</li> <li>Chris Sanders</li> </ol>	<p>Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b>        in: <b>LINKHORN BAY</b>        at: <b>1618 DUKE OF WINDSOR RD</b>        County of: <b>VIRGINIA BEACH</b>        Applicant: <b>JAMES BENNETT / MARY MANTEY</b>        Sheet: <b>5</b> of <b>12</b>      Date: <b>20 AUG 21</b></p>
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7





8

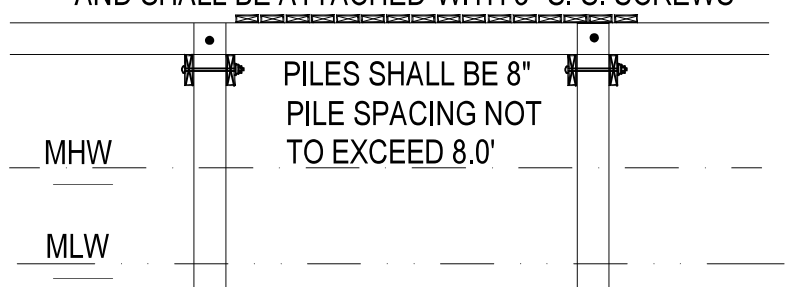


SCALE: 3/16" = 1'-0" ⚙ DATUM: MLW = 0.00' MHW = +1.70'

REV: 07 OCT 21

 <p><b>BLAKEWAY</b> 530 N. Witchduck Road VA BEACH, VIRGINIA 23455 P757.226.0081 F757.226.8765 www.blakewaycorp.com</p>	 <p><b>CALVERT MARINE</b> 757-777-6960</p>	<p><b>SECTIONS</b></p>	<p>Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>6</b> of <b>12</b>      Date: <b>20 AUG 21</b></p>
		<p>Adjacent Property Owners:</p> <ol style="list-style-type: none"> <li>1. David Goode</li> <li>2. Antoinette A Hawa RLT</li> <li>3. Chris Sanders</li> </ol>	

DECKING SHALL BE 2" X 6" TREATED TIMBER DECKING AND SHALL BE ATTACHED WITH 3" S. S. SCREWS



MAINTAIN VERTICAL CLEARANCE ABOVE ALL WETLANDS EQUAL TO THE PIER WIDTH 5' WIDE = 5' VERT. CLEARANCE

24" SPLICE BLOCK AT ALL STRINGER SPLICES NAIL TO EACH 24" o/c MAX.

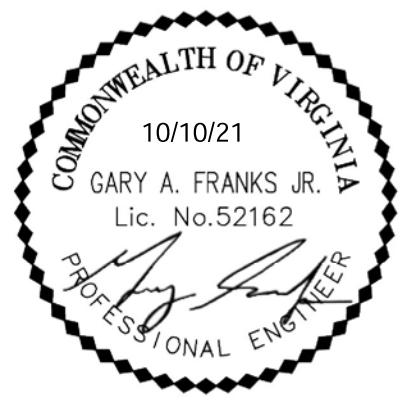
MUDLINE / GRADE ELEVATION VARIES

5/8" GALV. OGEE WASHERS & GALV. TIMBER BOLTS SHALL BE PROVIDED AT ALL PILE TO HEADER CONNECTIONS HEADERS SHALL BE 2" x 8" - 2.5# CCA TREATED TIMBERS ROUGH CUT

1/2" GALV. OGEE WASHERS & GALV. TIMBER BOLTS SHALL BE PROVIDED AT ALL PILE TO OUTSIDE STRINGERS



STRINGERS SHALL BE 2" x 8" 1.0# CCA ATTACH STRINGER TO EACH PILE WITH 20D GALV. NAILS

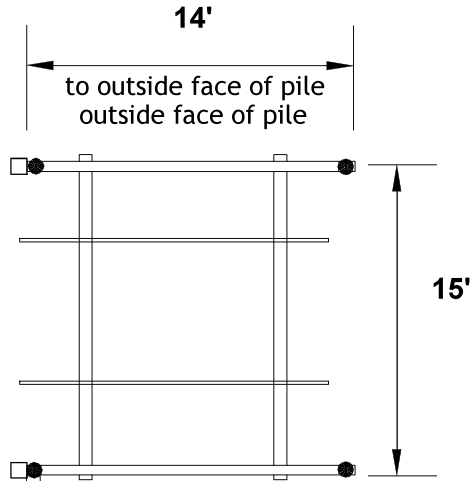
ALL PILES SHALL BE EMBEDDED 50% OF THEIR LENGTH BELOW GRADE.  
ALL TREATMENT SHALL COMPLY WITH THE A.W.P.A.



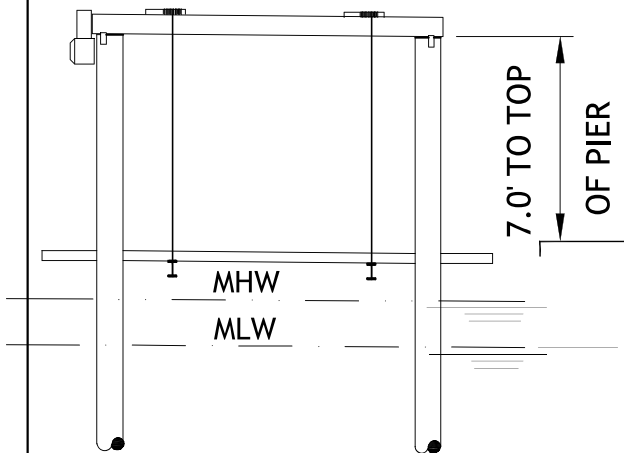
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REV: 07 OCT 21

 <p><b>BLAKEWAY</b> 530 N. Witchduck Road VA BEACH, VIRGINIA 23455 P757.226.0081 F757.226.8765 www.blakewaycorp.com</p>	 <p><b>CALVERT MARINE</b> 757-777-6960</p>	<p><b>PIER DETAILS</b></p>	<p>Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>7</b> of <b>12</b>      Date: <b>20 AUG 21</b></p>
		<p>Adjacent Property Owners:</p> <ol style="list-style-type: none"> <li>1. David Goode</li> <li>2. Antoinette A Hawa RLT</li> <li>3. Chris Sanders</li> </ol>	



**PLAN**

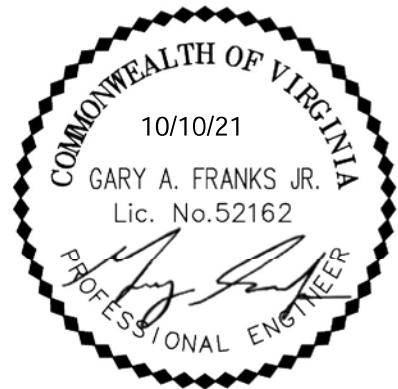


**ELEVATION**

**BOAT LIFT NOTES:**



Take care to clear shafts, thru-hull fittings, chines, etc. Keel of vessel must not rest on lifter beam and should clear beam by at least one inch. The Boat Lift shall have special bunks designed for the hull of the Owner's vessel. The Contractor shall coordinate the bunks with the vessel manufacturer and the Boat Lift manufacturer. Center of gravity of vessel must be in center of lift (bow to stern) as required to evenly distribute the load over the two lifter beams. Contractor to verify:

- 1) The Installation is completed according to the manufacturer's recommendations.
- 2) The ultimate user understands how to operate in a safe manner.
- 3) The ultimate user acknowledges the need for regular service and maintenance of the lifting equipment.
- 4) The Customer is informed and understands all safety and warning labels affixed to the equipment.
- 5) The center of gravity of vessel is located by equal deflection of lifter beam.
- 6) Any Lift is of suitable capacity to safely lift the Owner's vessel and the bunks are installed at the Vessel Manufacturer's spacing.



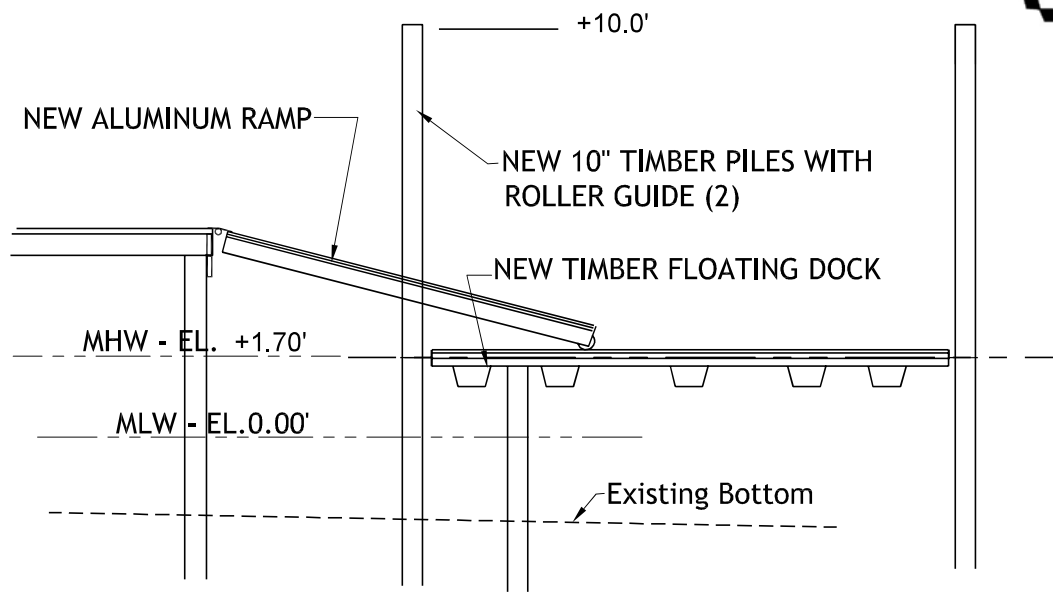
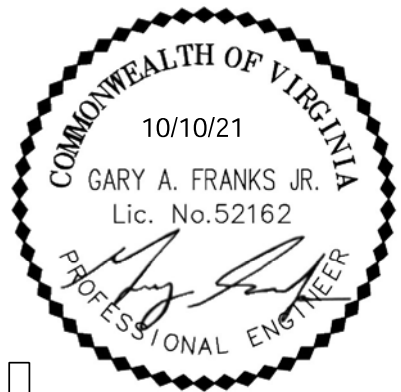
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REV: 07 OCT 21



 <b>BLAKEWAY</b> <small>530 N. Witchduck Road          VA BEACH, VIRGINIA 23455          P757.226.0081 F757.226.8765          www.blakewaycorp.com</small>	 <b>CALVERT MARINE</b> <b>757-777-6960</b>	<b>LIFT DETAILS</b>	Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>8</b> of <b>12</b> Date: <b>20 AUG 21</b>
		Adjacent Property Owners: 1. David Goode 2. Antoinette A Hawa RLT 3. Chris Sanders	

1. FLOATING DOCK SHALL BE SUPPORTED BY BLACK EXPANDED POLYSTYRENE FOAM FILLED FLOATS. EACH FLOAT SHALL BE ATTACHED TO THE FRAMING AS PER THE MAUNFACTURER'S RECOMMENDATIONS. ALL PILE GUIDES SHALL BE THE ROLLER & GALVANIZED HOOP TYPE. PROVIDE VINYL DOCK FENDER AT ALL EXPOSED EDGES OF THE FLOATING DOCK SUBJECT TO VESSELS.
2. BOLTS SHALL BE HDG, 3/4" DIAMETER GALVANIZED BOLT (ASTM A307)U.O.N.
3. DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
4. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153. USE OGEE WASHERS WHERE POSSIBLE.
5. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
6. ALL TIMBER STRINGERS BANDS AND BLOCKING SHALL BE 2.5# CCA TREATED.
7. ALL DECKING SHALL BE 2" x 6", TREATED.
8. PROVIDE METAL CORNER BRACKETS (INSIDE AND OUTSIDE) WITH BOLTED CONNECTIONS.
9. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.

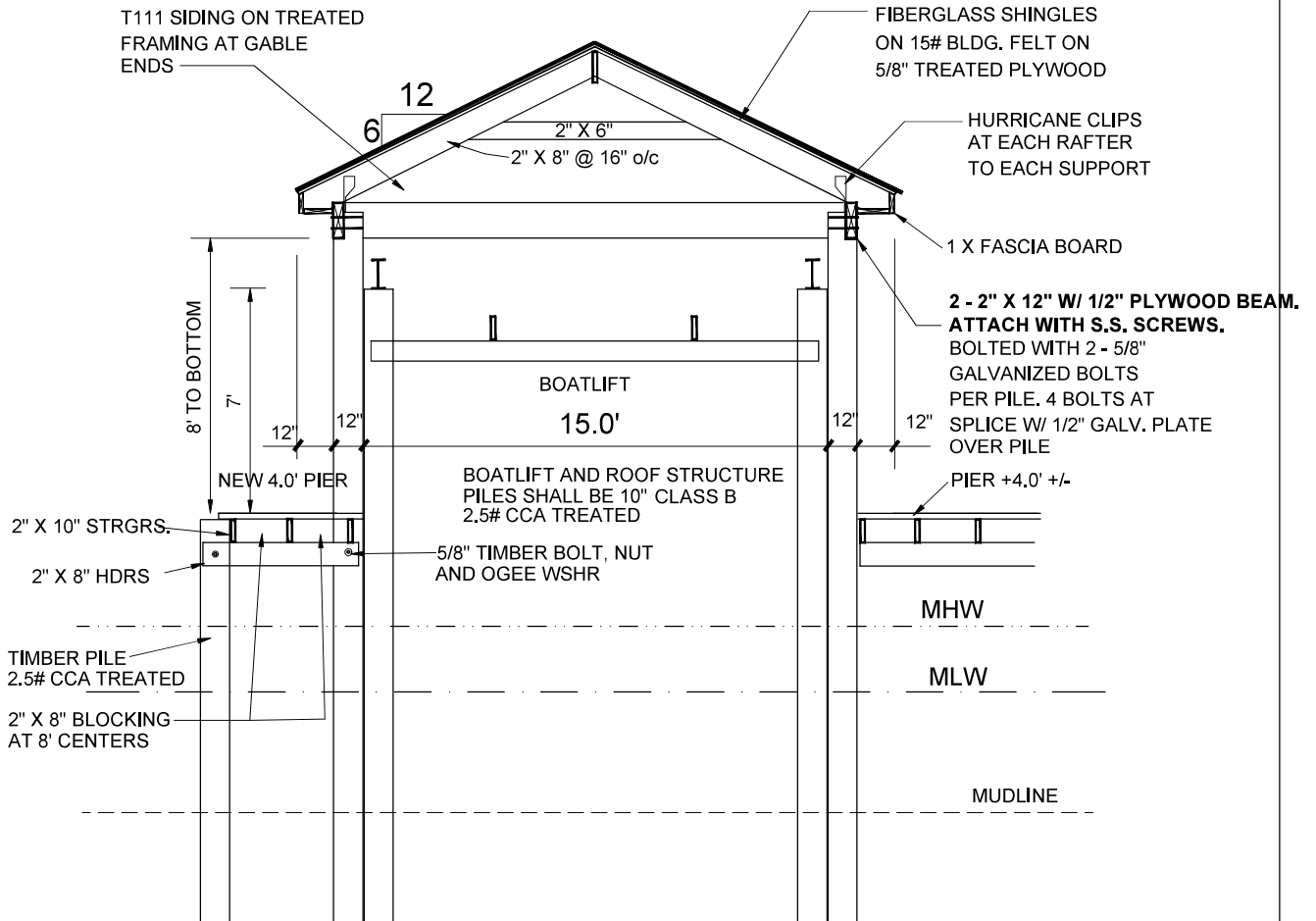
NO SCALE  
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 MHW = +1.70'



REV: 07 OCT 21

 <b>BLAKEWAY</b> <small>530 N. Witchduck Road        VA BEACH, VIRGINIA 23465        P757.226.0081 F757.226.8765        www.blakewaycorp.com</small>	 <b>CALVERT        MARINE</b> <b>757-777-6960</b>	<b>FLOATING DOCK</b> Adjacent Property Owners: 1. David Goode 2. Antoinette A Hawa RLT 3. Chris Sanders	Proposed <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>9 of 12</b> Date: <b>20 AUG 21</b>
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BOATLIFT SHALL BE REINSTALLED ATOP THE NEW PILINGS THE PILE SPACING SHALL BE AS PER THE EXISTING BOATLIFT CONTRACTOR TO COORDINATE THE LOCATION TO ASSURE BOAT IS UNDER THE ROOF STRUCTURE. PILE SPACING TO BE COORDINATED WITH THE BOAT MFG.

SCALE: 1/4" = 1'-0" ⚙ DATUM: MLW = 0.00' MHW = +1.70'

REV: 07 OCT 21



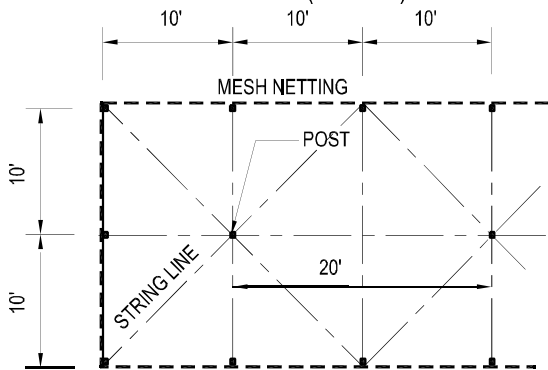
### FLOATING DOCK

Adjacent Property Owners:  
 1. David Goode  
 2. Antoinette A Hawa RLT  
 3. Chris Sanders

Proposed: **LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK**  
 in: **LINKHORN BAY**  
 at: **1618 DUKE OF WINDSOR RD**  
 County of: **VIRGINIA BEACH**  
 Applicant: **JAMES BENNETT / MARY MANTEY**  
 Sheet: **10** of **12** Date: **20 AUG 21**

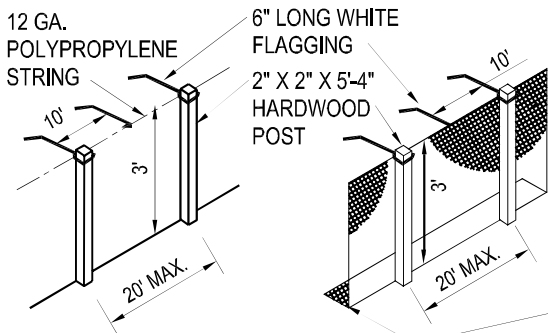
**WETLAND NOTES:**

1. PREDATOR FENCING SHALL CONSIST OF A PERIMETER FENCE OF PLASTIC MESH NETTING WITH AN INTERIOR NETWORK OF STRING LINES ATOP THE POST.
2. PREDATOR FENCING SHALL BE INSTALLED AS NOTED BELOW AND MAINTAINED FOR TWO GROWING SEASONS UNLESS APPROVED TO BE REMOVED BY STAFF.
3. WETLAND GRASSES SHALL BE INSTALLED AT 12" o/c AND FERTILIZED WITH OSMOCOTE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
4. PLANT MORTALITY WILL BE ADDRESSED BY REPLACING PLANTS DURING THE NEXT GROWING SEASON.
5. WETLAND PLANTING WILL ACHIEVE AN 85% COVERAGE WITHIN TWO FULL GROWING SEASONS TO BE CONSIDERED SUCCESSFUL.
6. SAND FILL FOR WETLAND PLANTING SHALL MEET THE FOLLOWING CRITERIA:  
SOIL CLASSIFICATION SHALL BE SM, SP OR SE CLASSIFICATION IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. MEDIUM GRAIN SIZE OF AROUND 0.25 mm WITH NO MORE THAN 20% PASSING THROUGH A #100 SIEVE (0.149 mm) AND NO MORE THAN 10% PASSING THROUGH A #200 SIEVE (0.74 mm)



**PLAN**

FOLLOWING INSTALLATION OF THE WETLANDS VEGETATION, AN ANNUAL VEGETATION MONITORING REPORT SHALL BE SUBMITTED IN MID-AUGUST FOR THREE YEARS FOLLOWING APPROVAL. THE ANNUAL REPORT SHALL INCLUDE PHOTOGRAPHS AND A REVEGETATION PLAN FOR ANY AREAS OF WHERE THE VEGETATION HAS FAILED TO ESTABLISH. THE NEW WETLANDS PLANTING SHALL BE SPARTINA ALTERNIFLORA SPRIGS SPACED AT 12" o/c EACH WAY. SEE NOTE 3.

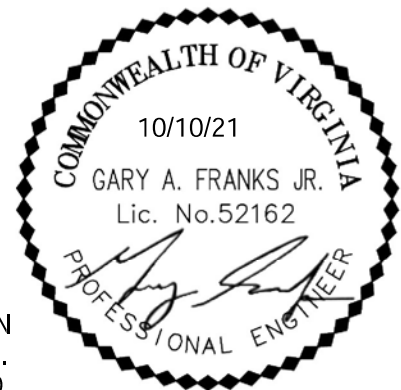


**LINE DETAIL**

**NETTING / MESH DETAIL**

BLACK POLYPROPYLENE MESH FENCE MAX. 1" OPNG. NETTING IS TO BE SECURED TO PERIMETER POST WITH 3 TIES PER POST MESH TO HAVE 2" TO 3" OF OVERLAP AT THE BOTTOM STRING TO BE TIED AND KNOTTED WITH ENOUGH TENSION TO MAKE THE STRING TAUGHT BETWEEN STAKE WITH MINIMAL SAG. STRING SHALL BE TIED TO EACH POST

VINYL FLAGGING TO BE TIED TO EACH STAKE & AT MID POINT OF EACH MESH FENCE SEGMENT



**NO SCALE: DATUM: MLW = 0.00' MHW = +1.70'**

**REV: 07 OCT 21**



**WETLAND DETAILS**

- Adjacent Property Owners:
1. David Goode
  2. Antoinette A Hawa RLT
  3. Chris Sanders

Proposed: **LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK**  
in: **LINKHORN BAY**  
at: **1618 DUKE OF WINDSOR RD**  
County of: **VIRGINIA BEACH**  
Applicant: **JAMES BENNETT / MARY MANTEY**  
Sheet: **11 of 11** Date: **20 AUG 21**

**NOTES:**



1. THE CONSTRUCTION ACCESS ROUTE USED FOR THE CONSTRUCTION TRAFFIC & MATERIALS SHALL BE DELINEATED WITH SAFETY FENCE.
2. ALL EROSION AND SEDIMENT CONTROLS SHALL BE CONSTRUCTED AND MAINTAINED AS REQUIRED BY THE CITY OF VIRGINIA BEACH.
3. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
4. ALL SILT FENCES SHALL BE WIRE REINFORCED, EMBEDDED 4" BELOW GRADE & SHALL BE 36" TALL.
5. CONTRACTOR SHALL VERIFY THE PROPERTY LINES IN THE FIELD TO ASSURE THAT THE IMPROVEMENTS SHOWN ARE WITHIN THE OWNER'S PROPERTY. THE CONTRACTOR SHALL ALSO VERIFY THE LAYOUT, ALIGNMENT AND GRADES PRIOR TO THE START OF WORK.
6. GRANITE SHALL BE CLASS 1 GRANITE MIXED WITH CLASS A1. THE CONTRACTOR CAN USE RECYCLED CONCRETE OR THE EXISTING RIP RAP FOR THE BASE COURSE OF THE NEW REVETEMENT BUT THIS MATERIAL SHALL NOT BE EXPOSED. THE RECYCLED CONCRETE SHALL BE OF THE SAME SIZE AND WEIGHT AS THE GRANITE SPECIED.
7. FILTER CLOTH SHALL BE PLACED UNDER GRANITE AS SHOWN.
8. ANY EXCESS CONCRETE RIP RAP AND OR DEBRIS SHALL BE LEGALLY DISPOSED OFF SITE.
9. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR SHALL VERIFY THE SOIL CONDITIONS TO BE SUITABLE.
10. IF UNSUITABLE SOILS ARE ENCOUNTERED CONTRACTOR SHALL CONTACT THE OWNER AND CALVERT MARINE.

**CONSTRUCTION SEQUENCE:**

1. LAYOUT THE PROJECT TO VERIFY GRADES AND DIMENSIONS. MEET WITH CITY INSPECTOR AND REVIEW PROJECT 2D
2. REMOVE EXISTING TREES 1D
3. REMOVE EXISTING PILES AND CONCRETE WALLS AS REQUIRED IN 50 / 75 FT. SECTIONS. HAULL EXCESS MATERIAL / DEBRIS AWAY. INSTALL NEW FILTER CLOTH AND STONE. 2D
4. PLACE NEW SAND FILL AS REQUIRED FOR PLANTING IN AREA WITH NEW STONE. VERIFY GRADE AND INSTALL NEW PLANTING. 1D
5. CONTINUE WITH REMOVAL OF THE WALL, PLACING NEW STONE, SAND AND PLANTING FOR 50 - 75 FT. SECTIONS AS NOTED ABOVE. 10D
6. INSTALL NEW DIRT FILL AND FILTER CLOTH WHER APPLICABLE 1D
7. INSTALL NEW PIER PILINGS AND FRAMING. 4D
8. INSTALL NEW DECKING 4D
9. INSTALL NEW BOAT LIFT 1D
10. INSTALL NEW FLOATING DOCK AND RAMP 1D
11. DEMOBILIZE, SECURE SILT FENCES AND PLANT NEW SALT WATER TOLERANT NATIVE PLANTING 2D



**NO SCALE** \* **DATUM: MLW = 0.00' MHW = +1.70'**

 <p><b>BLAKEWAY</b> 530 N. Witcluck Road VA BEACH, VIRGINIA 23455 P757.226.0081 F757.226.8765 www.blakewaycorp.com</p>	 <p><b>CALVERT MARINE</b> 757•777•6960</p>	<p style="text-align: center;"><b>NOTES</b></p> <hr/> <p>Adjacent Property Owners: 1. David Goode 2. Antoinette A Hawa RLT 3. Chris Sanders</p>	<p>Proposed: <b>LIVING SHORELINE, PIER, BOAT LIFT AND FLOATING DOCK</b> in: <b>LINKHORN BAY</b> at: <b>1618 DUKE OF WINDSOR RD</b> County of: <b>VIRGINIA BEACH</b> Applicant: <b>JAMES BENNETT / MARY MANTEY</b> Sheet: <b>12 of 12</b>      Date: <b>20 AUG 21</b></p>
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## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), David Goode 1612 Duke of Windsor Rd 23454, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of James Bennett/Mary Mantey 1618 Duke of Windsor Road VB 23454.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 20 AUG 21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Chris Sanders 1620 Duke of Windsor Rd 23454, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of James Bennett/Mary Mantey 1618 Duke of Windsor Road VB 23454.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 20 AUG 21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**Part 2 - Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

Antoinette A Hawa RLT  
1616 Duke of Windsor Road  
Virginia Beach, VA 23454

I, \_\_\_\_\_, own land next to (across (Print adjacent/nearby property owner's name)

James Bennett / Mary Mantey  
1618 Duke of Windsor Road 23454

the water from/on the same cove as) the land of \_\_\_\_\_  
(Print applicant's name)

I have reviewed the applicant's project drawings dated 20 AUG 21  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.  
VMRC•2400 Washington Avenue•3<sup>rd</sup> Floor•Newport News, VA 23607**

Richard Calvert, Agent  
CALVERT MARINE  
3132 Riveredge Drive ♦ Portsmouth, VA 23703  
[Rich@CalvertMarine.net](mailto:Rich@CalvertMarine.net)  
VMRC – 757-247-2200

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_  
 Location: 1618 Duke of Windsor Road GPIN: 24088858610000  
Chesapeake Bay 02080108  
 Watershed: \_\_\_\_\_ HUC: \_\_\_\_\_

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

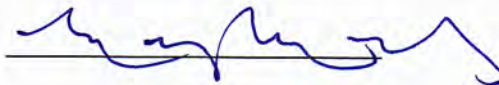
Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore disturbed/denuded area to previous condition		Construction Activity Operator

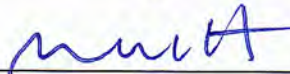
The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: James Bennett / Mary Mantey



Signature of Permittee:  Print Name: James Bennett / Mary Mantey

\_\_\_\_\_

Date: 9/21/21



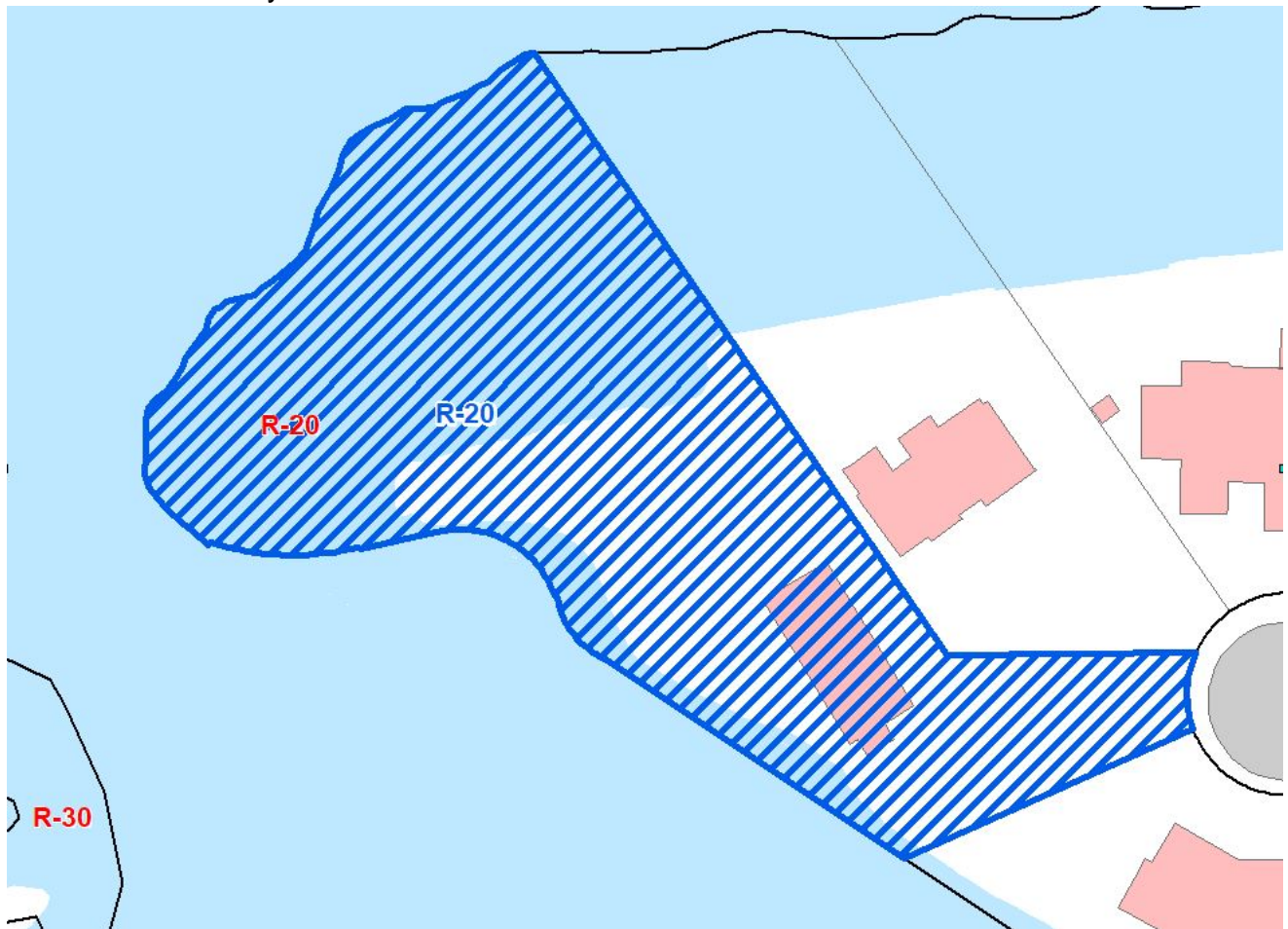
7. 2021-WTRA-00280

John S. Alspaugh Living Trust & Patricia H. Alspaugh Living Trust [Applicant & Owner]

**To construct rip rap revetment involving wetlands**

1661 Bay Point  
(GPIN 2409-24-4243)

Waterway – Broad Bay  
Subdivision – Baycliff  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name **John S. and Patricia H. Alspaugh IT**

---

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.

**Robert E Simon, Waterfront Consulting, Inc.**

---

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)
- 
- 
- 

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)
- 
- 

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

**BDO**

---

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**
- If **yes**, identify the construction contractor.

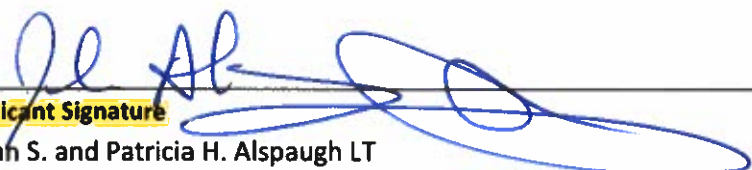
7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**
- If **yes**, identify the engineer/surveyor/agent.

Robert E Simon, Waterfront Consulting, Inc., Gregory O. Milstead, P.E. Chesapeake Bay Site Solutions

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**
- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

  
**Applicant Signature**  
John S. and Patricia H. Alspaugh LT

**Print Name and Title**

**Date**  
9/2/2021

- Is the applicant also the owner of the subject property?  **Yes**  **No**
- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

<b>FOR AGENCY USE ONLY</b>	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> VIRGINIA BEACH				
<b>Waterway at project site:</b> LYNNHAVEN RIVER				
<b><i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i></b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
John S. and Patricia H. Alspaugh LT Home (\_\_\_\_)\_\_\_\_\_  
1661 Bay Point Drive Work (\_\_\_\_)\_\_\_\_\_  
Virginia Beach, VA 23454 Fax (\_\_\_\_)\_\_\_\_\_  
Cell (\_\_\_\_)\_\_\_\_\_  
e-mail mmdgeary@gmail.com  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home (\_\_\_\_)\_\_\_\_\_  
Work (\_\_\_\_)\_\_\_\_\_  
Fax (\_\_\_\_)\_\_\_\_\_  
Cell (\_\_\_\_)\_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Waterfront Consulting, Inc. Home (\_\_\_\_)\_\_\_\_\_  
2589 Quality Court, Ste. 323 Work ( 757 ) 777-6960  
Virginia Beach, VA 23454 Fax (\_\_\_\_)\_\_\_\_\_  
Cell (\_\_\_\_)\_\_\_\_\_  
e-mail Rich@CalvertMarine.net  
State Corporation Commission Name and ID Number (if applicable) S7252713

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The property is experiencing active erosion along the existing shoreline. Most of the shoreline is unprotected except for one area with a failing revetment. This area is where most of the work is to be completed, is subject to fetch, storm events and wind impacting the existing bank. There are existing vegetated wetlands everywhere so just about any stabilization will have an impact on this vegetation. The Application is for the repair and enhancement of the existing rip rap revetment facing the Lynnhaven River with a new granite sill flanking each side. There is also an area (western side) with a new sill and non-vegetated wetlands to be converted to vegetated wetlands. The eastern side of the property will have coir logs placed to help slow the erosion will collecting and silt from the adjacent banks. This area should eventually have new wetlands once the elevation is a bit higher. The new revetment impacts vegetated wetlands in an effort to save an existing live oak tree. There are five existing trees that also need to be removed in order to properly install the new revetment. These trees shall be compensated by the planting of new trees at a 2:1 ratio. The work shall be accessed by land and some rip rap may require a barge for placement.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home (\_\_\_\_) \_\_\_\_\_

Work (\_\_\_\_) \_\_\_\_\_

Fax (\_\_\_\_) \_\_\_\_\_

Cell (\_\_\_\_) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

( 757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 1661 Bay Point Drive \_\_\_\_\_

Lot/Block/Parcel# LYNN RIVER MANSFIELD TRACT LOT A \_\_\_\_\_

Subdivision TWIN COVE \_\_\_\_\_

City / County Virginia Beach \_\_\_\_\_ ZIP Code 23451 \_\_\_\_\_

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

\_\_\_\_\_ / - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose to stop the active erosion at the exposed area and stabilize. Secondary purpose is to enhance the existing shoreline with new plantings for future protection.



## Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

There are existing vegetated wetlands everywhere so just about any stabilization will have an impact on this vegetation. There is no area where planting would be created and not converted from non-vegetated wetlands to vegetated wetlands. If required, a in-lieu contribution to a fund for the creation of tidal vegetated wetlands will be made to compensate for any loss.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$41K \_\_\_\_\_  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 250 \_\_\_\_\_

13. Completion date of the proposed work: MAR \_\_\_\_\_ - 2022 \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Andrew Kopassis

1660 Bay Point Drive

Virginia Beach, VA 23454

Waller L. Taylor, Jr.

1657 Bay Point Drive

Virginia Beach, VA 23454

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

John S. and Patricia H. Alspaugh LT

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

**John S Alspaugh**

Applicant's Signature

(Use if more than one applicant)

**9/2/2021**

Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), John S. and Patricia H. Alspaugh, L.L.C., hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

\_\_\_\_\_  
(Date)

[Handwritten Signature]  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

9/2/2021  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), John S. and Patricia H. Alspaugh, L.L.C., have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The Application is for the repair and enhancement of the existing rip rap revetment facing the Lynnhaven River with a new granite sill flanking each side. There is also an area (western side) with a new sill and non-vegetated wetlands to be converted to vegetated wetlands. The eastern side of the property will have coir logs placed to help slow the erosion will collecting and silt from the adjacent banks. This area should eventually have new wetlands once the elevation is a bit higher. The new revetment impacts vegetated wetlands in an effort to save an existing live oak tree. There are five existing trees that also need to be removed in order to properly install the new revetment. These trees shall be compensated by the planting of new trees at a 2:1 ratio. The work shall be accessed by land and some rip rap may require a barge for placement.

2. What is the maximum encroachment channelward of mean high water? 37 feet.  
Channelward of mean low water? 5 feet.  
Channelward of the back edge of the dune or beach?        feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 382 square feet
  - Non-vegetated wetlands 1635 square feet
  - Subaqueous bottom 2047 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?        Yes        No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?        Yes        No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The new rip rap revetment shall be Class A1 stone atop new filter cloth. The new granite sill shall be Class A1 stone atop new filter cloth. The planting sand shall be coarse sand as specified. The backfill for the new revetment at the tree (section 6) shall be 3" stone (14 CY). All other backfill will be excavated material or top soil.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:  
Core (inner layer) material 25 to 75 pounds per stone Class size A1  
Armor (outer layer) material 25 to 75 pounds per stone Class size A1

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1661 Bay Point Drive

APPLICANT'S NAME: John S. and Patricia H. Alspaugh LT

APPLICANT'S ADDRESS: 1661 Bay Point Drive

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

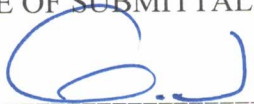
PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Riprap

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

9/9/2021

DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1661 Bay Point Drive

APPLICANT'S NAME: John S. and Patricia H. Alspaugh LT

APPLICANT'S ADDRESS: 1661 Bay Point Drive

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Riprap

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

\_\_\_\_\_  
DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

\_\_\_\_\_  
SIGNATURE OF APPLICANT

9/11/2027  
DATE

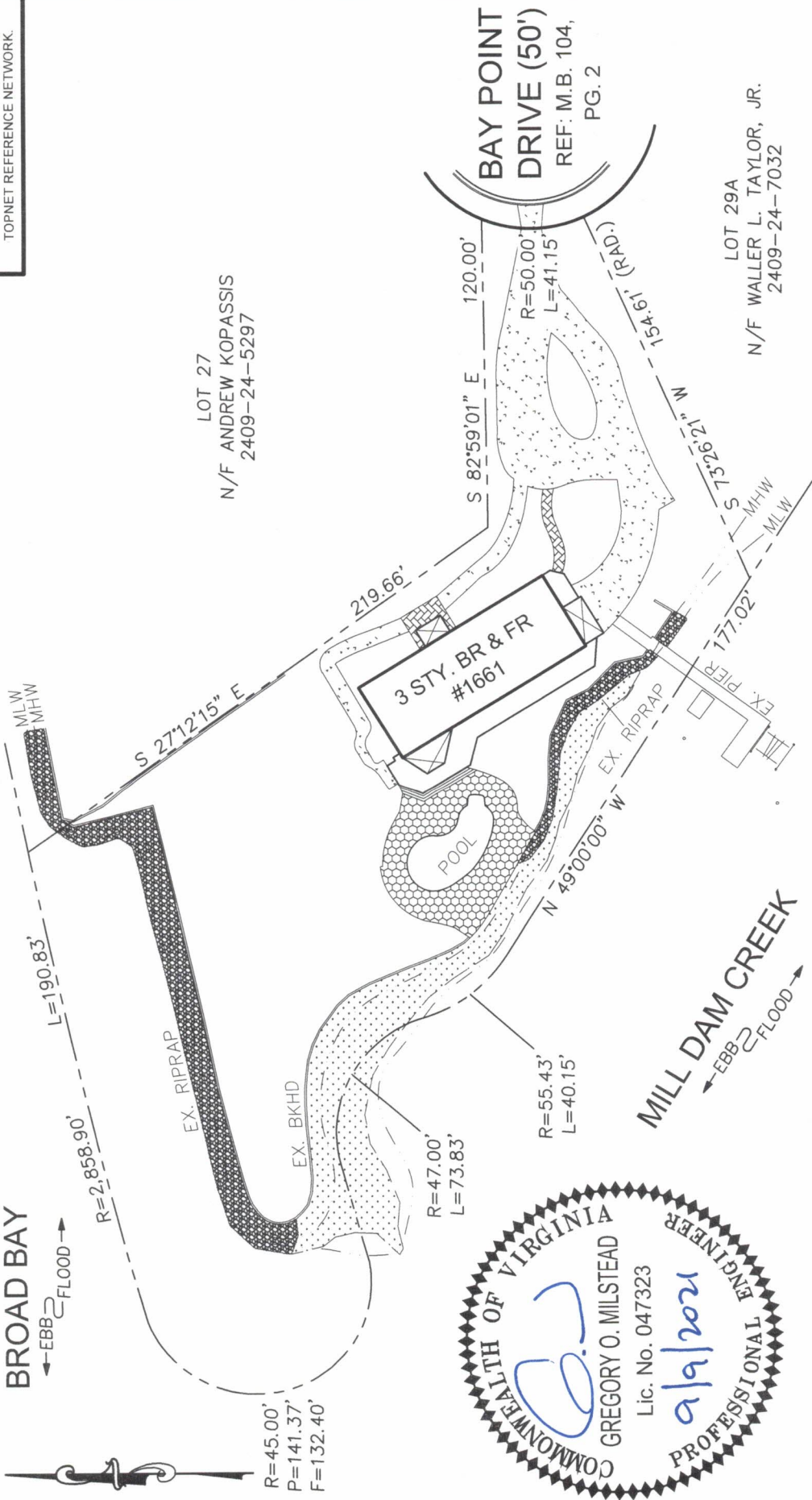
\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.



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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
1. ANDREW KOPASSIS  
2. WALLER L. TAYLOR, JR.



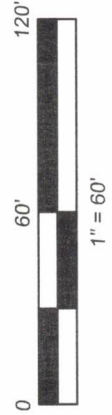
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

**PROPOSED: RIPRAP MAINTENANCE**  
**IN: BROAD BAY**  
**AT: 1661 BAY POINT DRIVE**  
**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**JOHN S. & PATRICIA H. ALSPAUGH LT**

**SHEET 1 OF 6**  
**DATE: AUGUST 31, 2021**

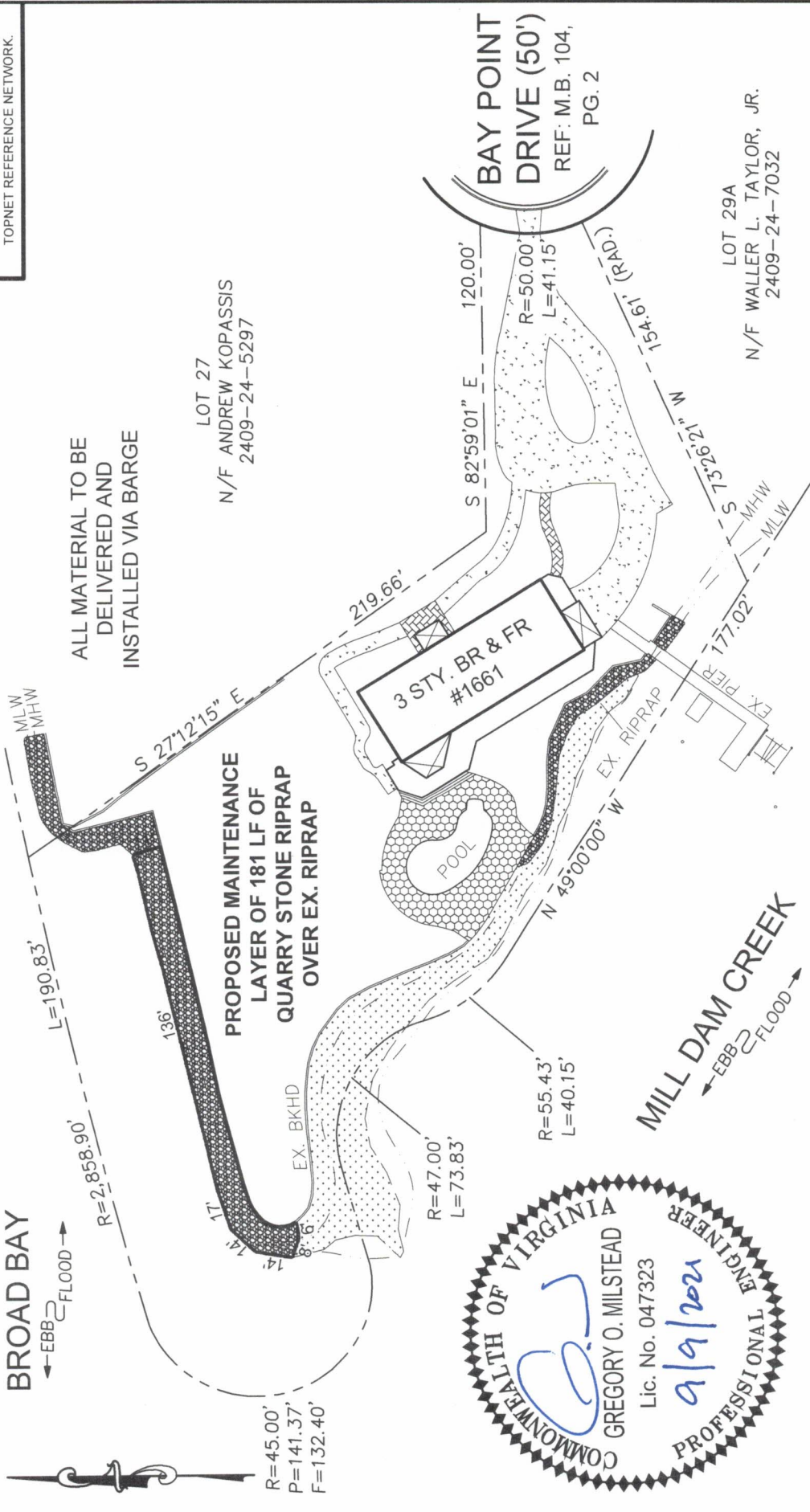
**EXISTING SITE  
CONDITIONS**



REV:



THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.



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**PURPOSE: MAINTENANCE**  
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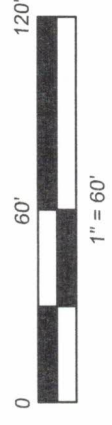
**WFCI**  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

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**PROPOSED: RIPRAP MAINTENANCE**  
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**APPLICATION BY:**  
**JOHN S. & PATRICIA H. ALSPAUGH LT**

**SHEET 2 OF 6**  
**DATE: AUGUST 31, 2021**

**PROPOSED SITE IMPROVEMENTS**



REV:

## SITE DATA

LEGAL DESCRIPTION: LOT 28-A, SECTION 4, BAYCLIFF  
 REF: MAP BOOK 124, PAGE 2, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 2409-24-4243  
 ZONING: R-20 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND SAFETY FENCE AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)  
PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

### Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

### High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre

### NOTICE

BEFORE YOU DIG,  
 CALL MISS UTILITY  
 1-800-552-7001 or 811  
 FOR LOCATIONS OF  
 EXISTING UTILITIES.



WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.



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PURPOSE: MAINTENANCE  
 DATUM: MLW 0.0  
 A.P.O.  
 1. ANDREW KOPASSIS  
 2. WALLER L. TAYLOR, JR.



WATERFRONT  
 CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

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PROPOSED: RIPRAP MAINTENANCE  
 IN: BROAD BAY  
 AT: 1661 BAY POINT DRIVE  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 JOHN S. & PATRICIA H. ALSPAUGH LT

SHEET 3 OF 6  
 DATE: AUGUST 31, 2021

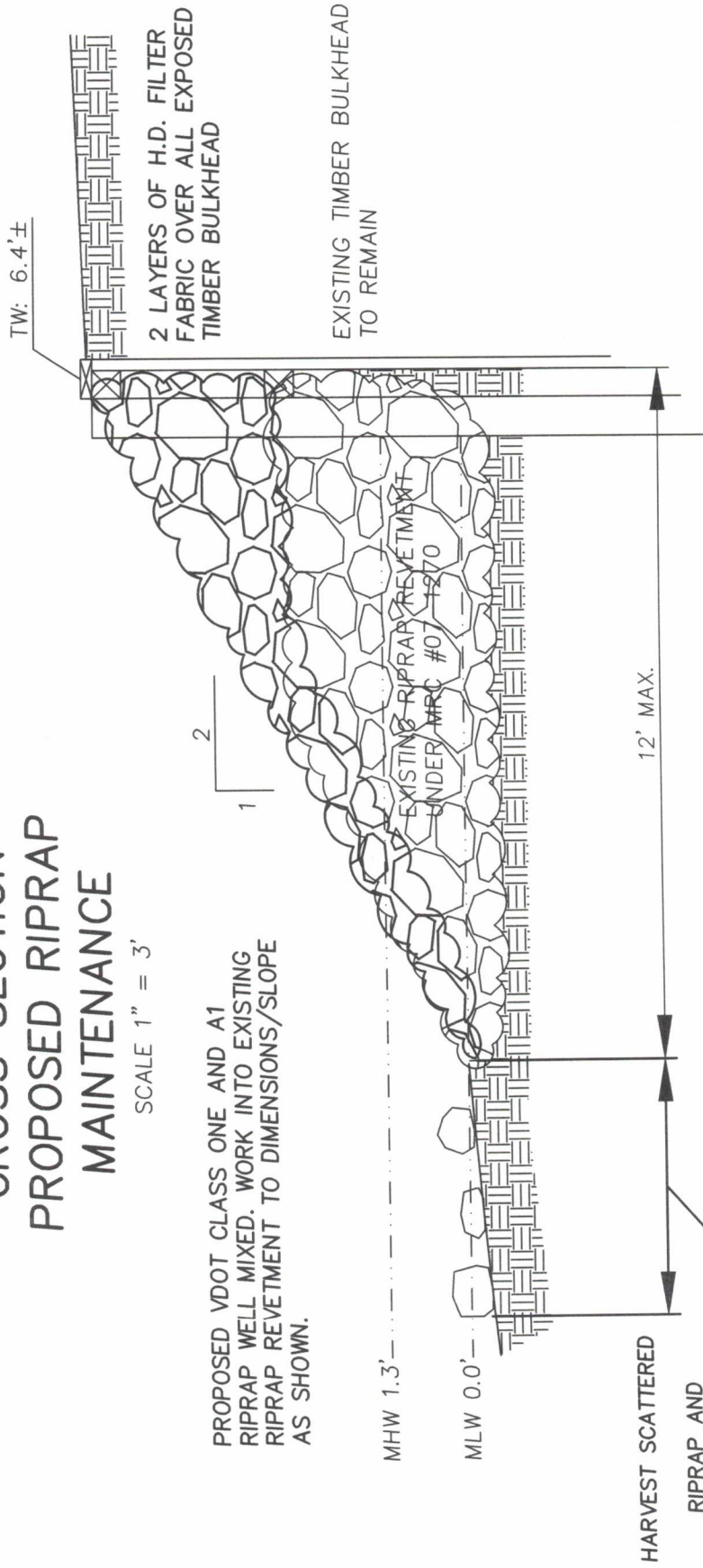
REV:



# CROSS SECTION PROPOSED RIPRAP MAINTENANCE

SCALE 1" = 3'

PROPOSED VDOT CLASS ONE AND A1  
RIPRAP WILL MIXED. WORK INTO EXISTING  
RIPRAP REVETMENT TO DIMENSIONS/SLOPE  
AS SHOWN.



MHW 1.3'

MLW 0.0'

HARVEST SCATTERED  
RIPRAP AND  
WORK BACK INTO  
REVETMENT

12' MAX.

2 LAYERS OF H.D. FILTER  
FABRIC OVER ALL EXPOSED  
TIMBER BULKHEAD

EXISTING TIMBER BULKHEAD  
TO REMAIN

EXISTING RIPRAP REVETMENT  
UNDER MRC #07-1970



RIPRAP NOTES:  
1. ADDITIONAL STONE MAY BE REQUIRED THAN SHOWN DUE TO SETTLEMENT DURING CONSTRUCTION.  
2. DIMENSIONS SHOWN ARE DIMENSIONS UPON COMPLETION OF THE PROJECT AFTER INITIAL CONSTRUCTION SETTLEMENT.

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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
**1. ANDREW KOPASSIS**  
**2. WALLER L. TAYLOR, JR.**

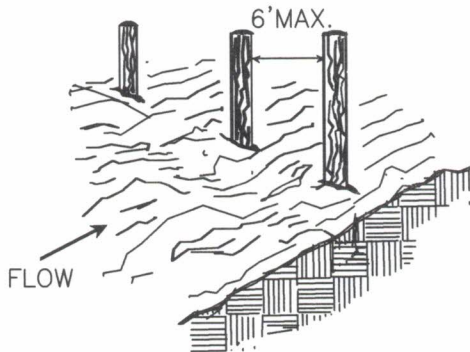
**WCI**  
**WATERFRONT CONSULTING, INC.**  
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302  
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**IN: BROAD BAY**  
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**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**JOHN S. & PATRICIA H. ALSPAUGH LT**  
**SHEET 4 OF 6**  
**DATE: AUGUST 31, 2021**

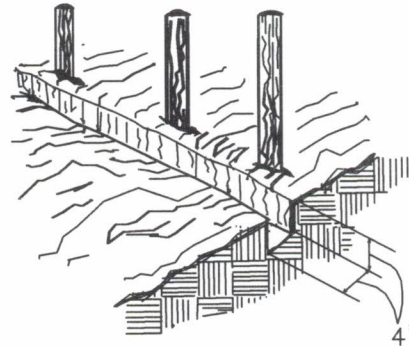
REV:

# CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

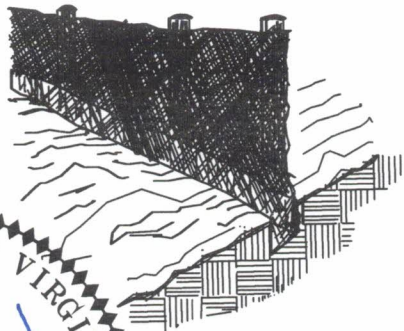
1. SET THE STAKES.



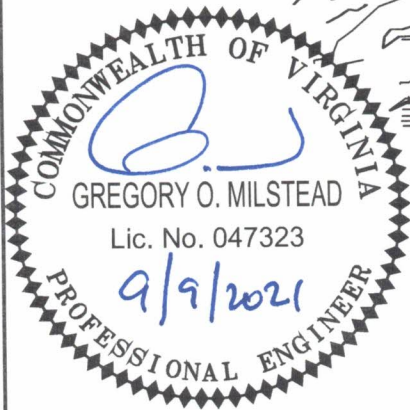
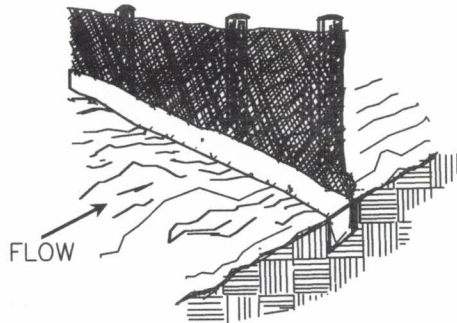
2. EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE. 3.05-2

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
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2. WALLER L. TAYLOR, JR.



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CONSULTING, INC.

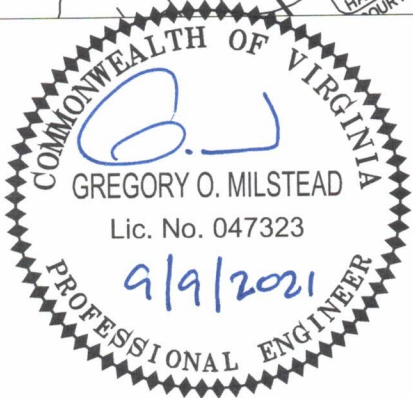
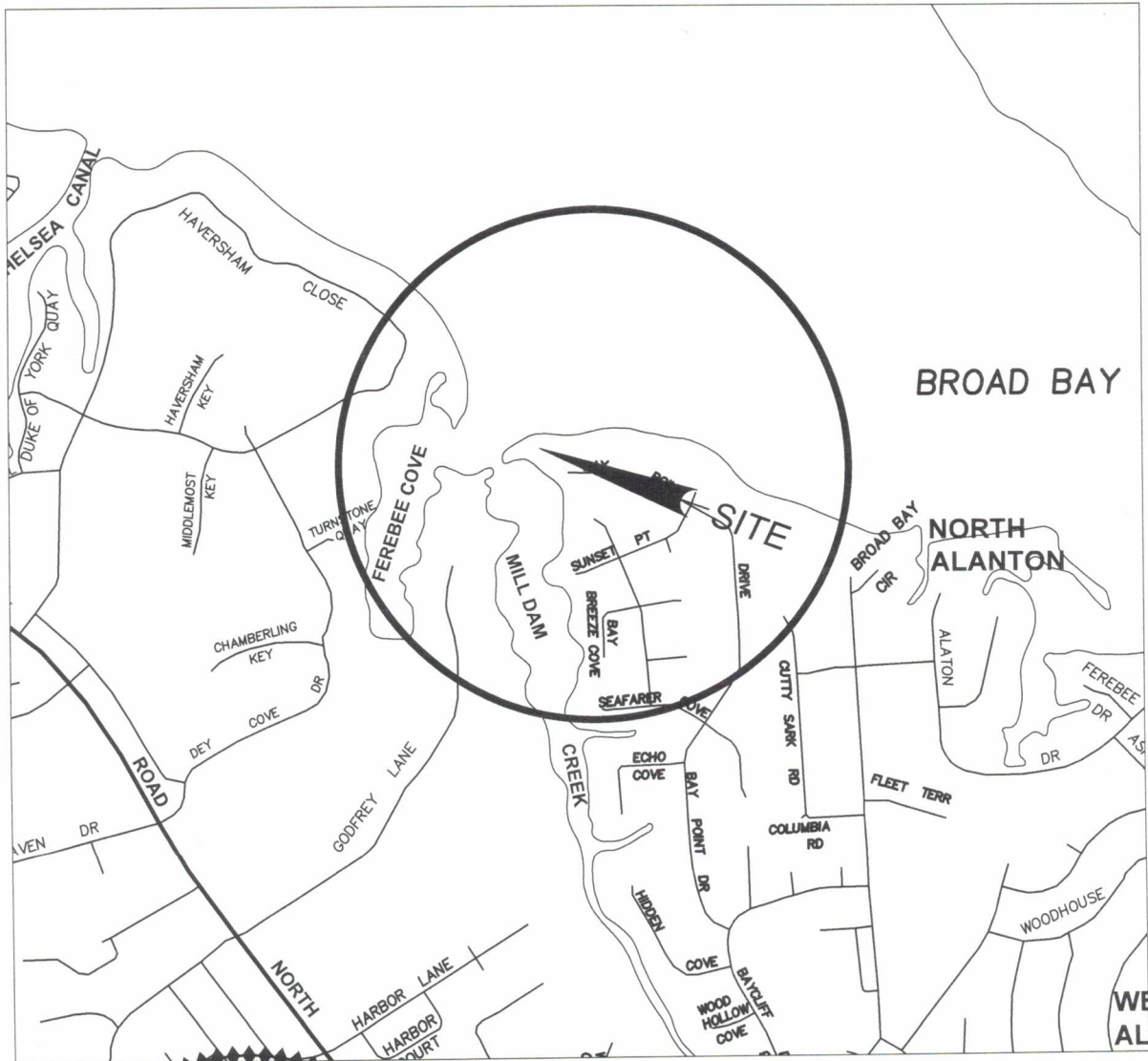
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
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PHONE: (757) 575-3715

PROPOSED: RIPRAP MAINTENANCE  
IN: BROAD BAY  
AT: 1661 BAY POINT DRIVE  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JOHN S. & PATRICIA H. ALSPAUGH LT

REV:

SHEET 5 OF 6  
DATE: AUGUST 31, 2021



# LOCATION MAP

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
A.P.O.  
1. ANDREW KOPASSIS  
2. WALLER L. TAYLOR, JR.



WATERFRONT CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

PROPOSED: RIPRAP MAINTENANCE  
IN: BROAD BAY  
AT: 1661 BAY POINT DRIVE  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JOHN S. & PATRICIA H. ALSPAUGH LT

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

SHEET 6 OF 6  
DATE: AUGUST 31, 2021

REV:





**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

September 2, 2021

Andrew Kopassis  
1660 Bay Point Drive  
Virginia Beach, VA 23454

**RE: Proposed Riprap**  
**Located at 1661 Bay Point Drive, Virginia Beach, VA 23454**

Dear Andrew Kopassis

This letter is to notify you that your neighbor(s), John S. and Patricia H. Alspaugh LT have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: John S. and Patricia H. Alspaugh LT , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Andrew Kopassis, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of John S. and Patricia H. Alspaugh LT.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated August 31, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**





**WATERFRONT CONSULTING, INC.**  
**"Specializing in Permit Processing"**

September 2, 2021

Waller L. Taylor, Jr.  
1657 Bay Point Drive  
Virginia Beach, VA 23454

**RE: Proposed Riprap**  
**Located at 1661 Bay Point Drive, Virginia Beach, VA 23454**

Dear Waller L. Taylor, Jr.

This letter is to notify you that your neighbor(s), John S. and Patricia H. Alspaugh LT have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: John S. and Patricia H. Alspaugh LT , Applicant

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Waller L. Taylor, Jr., own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of John S. and Patricia H. Alspaugh LT.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated August 31, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

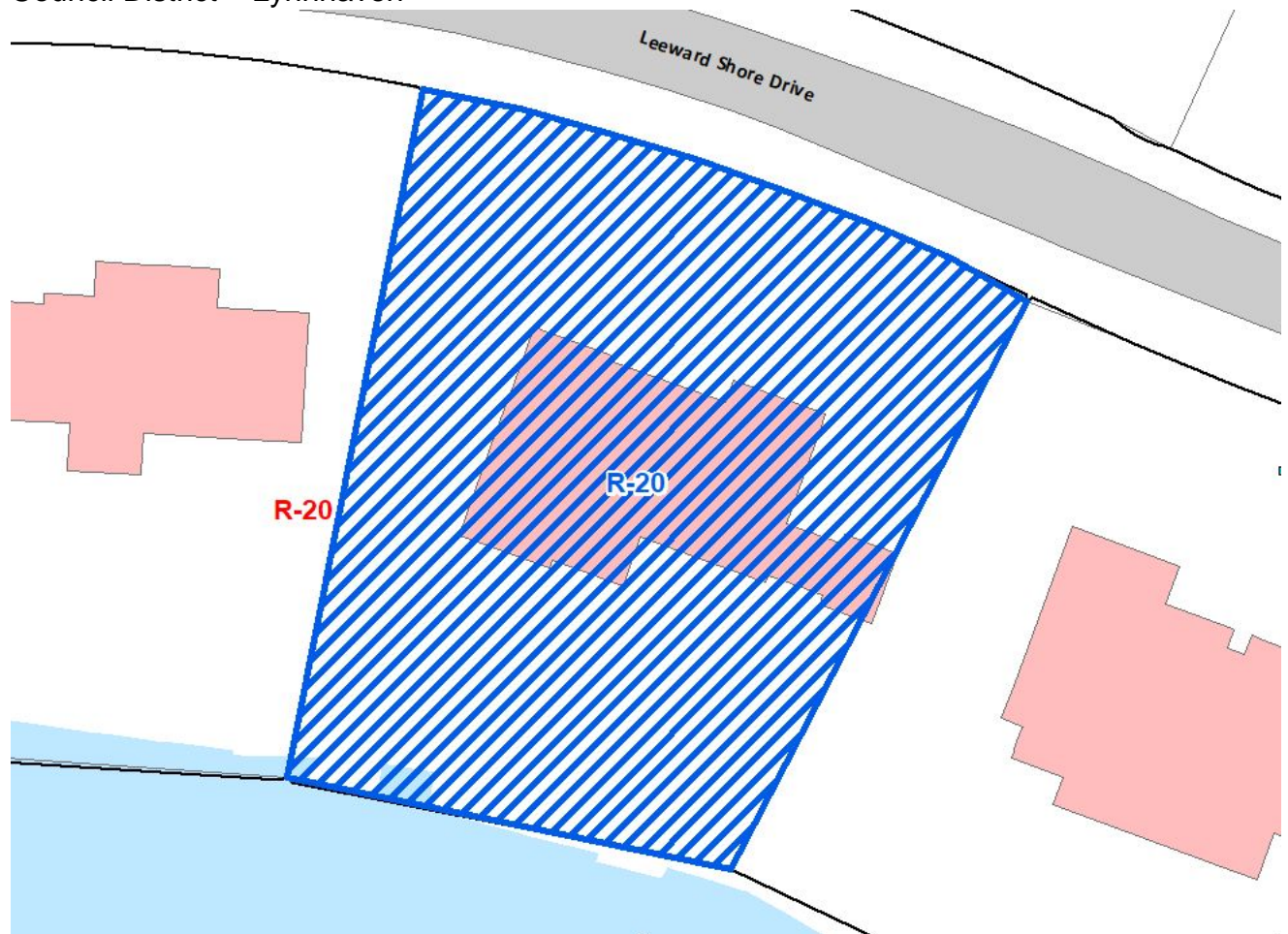
8. 2021-WTRA-00296

Christian & Jennifer Cool [Applicant & Owner]

**To install a bulkhead involving wetlands**

2317 Leeward Shore Dr  
(GPIN 2409-09-7975)

Waterway – Bay Island  
Subdivision – Bay Island  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Christian & Jennifer Cool

Does the applicant have a representative?  Yes  No

- If yes, list the name of the representative.

Billy Garrington

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If yes, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.

Suntrust Mortgage (Truist)

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-



# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

Colin Marine Construction LLC

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

Gallup Surveyors & Engineers - David Butler

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature

Christian Cool & Jennifer Cool

Print Name and Title

8/16/2021

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

**Continue to Next Page for Owner Disclosure**

# Disclosure Statement



## Owner Disclosure

Owner Name \_\_\_\_\_

Applicant Name \_\_\_\_\_

Is the Owner a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If yes, list the businesses that have a parent-sub subsidiary<sup>3</sup> or affiliated business entity<sup>4</sup> relationship with the Owner. (Attach a list if necessary)

---

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## Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If yes, what is the name of the official or employee and what is the nature of the interest?

---

<sup>3</sup> "Parent-sub subsidiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>4</sup> "Affiliated business entity relationship" means "a relationship, other than parent-sub subsidiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.



# Disclosure Statement



## Owner Services Disclosure

1. Does the Owner have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering any **financing** in connection with the subject of the application or any business operating or to be operated on the property?  
 **Yes**    **No**
  - If **yes**, identify the financial institutions.

---
2. Does the Owner have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  
 **Yes**    **No**
  - If **yes**, identify the real estate broker/realtor.

---
3. Does the Owner have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**
  - If **yes**, identify the firm or individual providing the service.

---
4. Does the Owner have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**
  - If **yes**, identify the firm or individual providing the service.

---
5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**    **No**
  - If **yes**, identify the purchaser and purchaser's service providers.

---
6. Does the Owner have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**
  - If **yes**, identify the construction contractor.

---
7. Does the Owner have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**
  - If **yes**, identify the engineer/surveyor/agent.

---

# Disclosure Statement



8. Is the Owner receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**    **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

---

## Owner Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

---

Owner Signature

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Print Name and Title

---

Date



- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-2018

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input checked="" type="checkbox"/>			
NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)				
County or City in which the project is located: Virginia Beach				
Waterway at project site: Canal from Broad Bay				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

**Part 1 - General Information (continued)**

1. Applicant's legal name\* and complete mailing address: Contact Information:  
Christian C. and Jennifer K. Cool Home (757 )285-6318  
2317 Leeward Shore Drive Work ( )  
Virginia Beach, VA 23451 Fax ( )  
Email: seaox79@yahoo.com Cell ( )  
e-mail  
State Corporation Commission Name and ID Number (if applicable)

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home ( )  
Work ( )  
Fax ( )  
Cell ( )  
e-mail  
State Corporation Commission Name and ID Number (if applicable)

3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
David R. Butler Home ( )  
323 First Colonial Road Work (757 )428-8132  
Virginia Beach, VA 23454 Fax (757 )425-2390  
Cell ( )  
e-mail dave@gallupsurveyors.c  
State Corporation Commission Name and ID Number (if applicable)

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Install new vinyl bulkhead to close off an existing boat ramp. Install fixed and floating dock and boat lift. Work performed from the seaward side via barge and from land. 4-12" piles will be used for the lift and 8- 8" will be used for the fixed pier All piles will be driven via vibratory hammer. No loss of trees or shrubs will occur.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

\* If multiple contractors, each must be listed and each must sign the applicant signature page.

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot  
 150 W. Brambleton Avenue  
 Norfolk, VA 23510

Telephone number

(757 ) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 2317 Leeward Shore Drive

Lot/Block/Parcel# Lot 218, Bay Island, Section Two

Subdivision Broad Bay Colony

City / County Virginia Beach

ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36-54-33.40

/ - 76-02-40.42

(Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to avoid erosion. Secondary purpose is to provide water access.



## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- No clearing. Minimal construction footprint defined by safety fence.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$20,250  
Approximate cost of that portion of the project that is channelward of mean low water: \$20,250
13. Completion date of the proposed work: December 30, \_\_\_\_\_ 2021
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

1. Daniel E. Williard, III and Mary Lou Williard  
2313 Leeward Shore Drive  
Virginia Beach, VA 23451
2. Charles G. Kimnach, III and Allison S. Kimnach  
2308 Spindrift Road  
Virginia Beach, VA 23451
3. Clenton W. Shanks  
2321 Leeward Shore Drive  
Virginia Beach, VA 23451

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Christian C. Cool

\_\_\_\_\_  
Applicant's Legal Name (printed/typed)

  
\_\_\_\_\_  
Applicant's Signature

8/16/2021  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

Jennifer K. Cool

\_\_\_\_\_  
(Use if more than one applicant)

  
\_\_\_\_\_  
(Use if more than one applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
(Use if more than one owner)



**Part 2 – Signatures (continued)**

*2. Applicants having agents (if applicable)*

**CERTIFICATION OF AUTHORIZATION**

I (we), Mr. and Mrs. Cool, hereby certify that I (we) have authorized David R. Butler  
(Applicant's legal name(s)) (Agent's name(s))  
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

DM Butler  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

8-3-21  
(Date)

[Signature]  
(Applicant's Signature)

[Signature]  
(Use if more than one applicant)

8/16/2021  
(Date)

*3. Applicant's having contractors (if applicable)*

**CONTRACTOR ACKNOWLEDGEMENT**

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), DANIEL E. WILLIARD, III & MARY LOU WILLIARD, own land next to (across the water) (Print adjacent/nearby property owner's name)

from/on the same cove as) the land of CHRISTIAN C. & JENNIFER K. COOL (Print applicant's name(s))

I have reviewed the applicant's project drawings dated AUGUST 2, 2021 (Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT [checked] ABOUT THE PROJECT.

I DO NOT OBJECT [checked] TO THE PROJECT.

I OBJECT [ ] TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

[Handwritten signatures of Daniel E. Williard, III and Mary Lou Williard] Adjacent/nearby property owner's signature(s)

[Handwritten date: 8-18-2021] Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), CHARLES KIMNACH & ALLISON KIMNACH, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of CHRISTIAN C. & JENNIFER K. COOL  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated AUGUST 2, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

*AK* Allison B. Kimnach  
Adjacent/nearby property owner’s signature(s)

8/25/21  
Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), CLENTON W. SHANKS (deceased) 4/17/2021, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of CHRISTIAN C. & JENNIFER K. COOL  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated AUGUST 2, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT X TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

Maryanne Shanks  
Adjacent/nearby property owner's signature(s)

8/18/2021  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

Construct 5' x 25' floating dock, 5' x 25' fixed pier and floating jet ski dock.

2. **For private, noncommercial piers:**

- Do you have an existing pier on your property?  Yes  No  
If yes, will it be removed?  Yes  No  
Is your lot platted to the mean low water shoreline?  Yes  No  
What is the overall length of the proposed structure? 50 feet.  
Channelward of Mean High Water? 12' 10" feet.  
Channelward of Mean Low Water? 12' 10" feet.  
What is the area of the piers and platforms that will be constructed over  
Tidal non-vegetated wetlands 0 square feet.  
Tidal vegetated wetlands 0 square feet.  
Submerged lands 300 square feet.  
What is the total size of any and all L- or T-head platforms? n/a sq. ft.  
For boathouses, what is the overall size of the roof structure? n/a sq. ft.  
Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.



**Part 3 – Appendices (continued)**

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Not yet purchased				

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.
- From Mean High Water? \_\_\_\_\_ feet.
- From Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Construct 13 L.F. of vinyl bulkhead to close off an existing boat ramp. 30 cubic yards of sand fill from an upland source will be used to backfill the structure. 84 sq. ft. of non vegetated wetlands will be impacted.

2. What is the maximum encroachment channelward of mean high water? 11 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach?      feet.

3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 84 square feet
  - Subaqueous bottom n/a square feet
  - Dune and/or beach n/a square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**Part 3 – Appendices (continued)**

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

Vinyl sheet pile, timber face and deadman piles, timber wales, steel support rods, timber cap, sand backfill.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water

- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:



ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT

PROJECT LOCATION: 2317 LEEWARD SHORE DRIVE

APPLICANT'S NAME: CHRISTIAN C. & JENNIFER K. COOL

APPLICANT'S ADDRESS: 2317 LEEWARD SHORE DRIVE

VIRGINIA BEACH, VA 23451

OWNER'S NAME  
(IF DIFFERENT FROM APPLICANT): \_\_\_\_\_

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

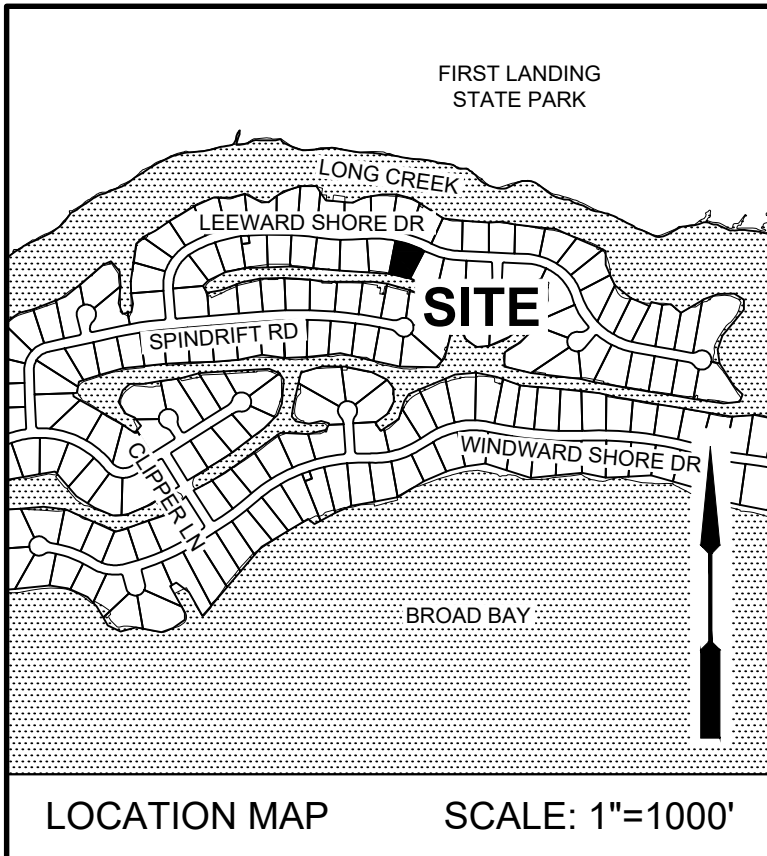
David R. Butler 10-11-21  
SIGNATURE OF ENGINEER/SURVEYOR DATE  
CERTIFYING CONSTRUCTION

DAVID R. BUTLER  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

[Signature] [Signature]  
SIGNATURE OF OWNER DATE

10/11/21

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.



**SITE DATA**

1. **SITE ADDRESS:** 2317 LEEWARD SHORE DRIVE  
VIRGINIA BEACH, VA. 23451
2. **LEGAL:** LOT 218, BAY ISLAND, SECTION TWO  
M.B. 48, PG. 15
3. **GPIN:** 2409-09-7975
4. **VERTICAL DATUM:** NAVD 88
5. **ZONED:** R20 (RESIDENTIAL LOW DENSITY)
6. **THE PHYSICAL FEATURES SHOWN WERE OBTAINED FROM A SITE PLAN PREPARED BY: WPL DATED AUGUST 9, 2011.**
7. **ELEV. OF MLW (NAVD 88):** -0.8  
**ELEV. OF MHW (NAVD 88):** 0.6
8. THIS PLAN WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ANY AND/OR ALL EASEMENTS OR RESTRICTIONS THAT MAY EFFECT SAID PROPERTY AS SHOWN.
9. ALL CONSTRUCTION TO BE PERFORMED FROM THE SEAWARD SIDE VIA BARGE AND FROM THE LANDWARD SIDE.
10. IMPACTS TO VEGETATIVE WETLANDS: NA
11. IMPACTS TO NON-VEGETATIVE WETLANDS: 84 S.F.
12. COMPENSATION COMPONENT WILL BE IN LIEU OF FEE FOR 84 S.F. OF NON VEGETATIVE WETLANDS.



**OWNER/DEVELOPER**  
 CHRISTIAN C. COOL &  
 JENNIFER K. COOL  
 2317 LEEWARD SHORE DRIVE  
 VIRGINIA BEACH, VA. 23451  
 PHONE: (757) 285-6318  
 EMAIL: seaox79@yahoo.com

**SHEET INDEX**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	ADJACENT OWNERS MAP
3	EXISTING CONDITIONS
4	ENLARGEMENT PLAN
5	FIXED DOCK PLAN
6	FLOATING DOCK
7	NOTES AND DETAILS
8	BULKHEAD SECTION

**GALLUP**  
**SURVEYORS & ENGINEERS**  
 323 FIRST COLONIAL ROAD  
 VIRGINIA BEACH, VIRGINIA 23454  
 (757)428-8132 FAX (757)425-2390

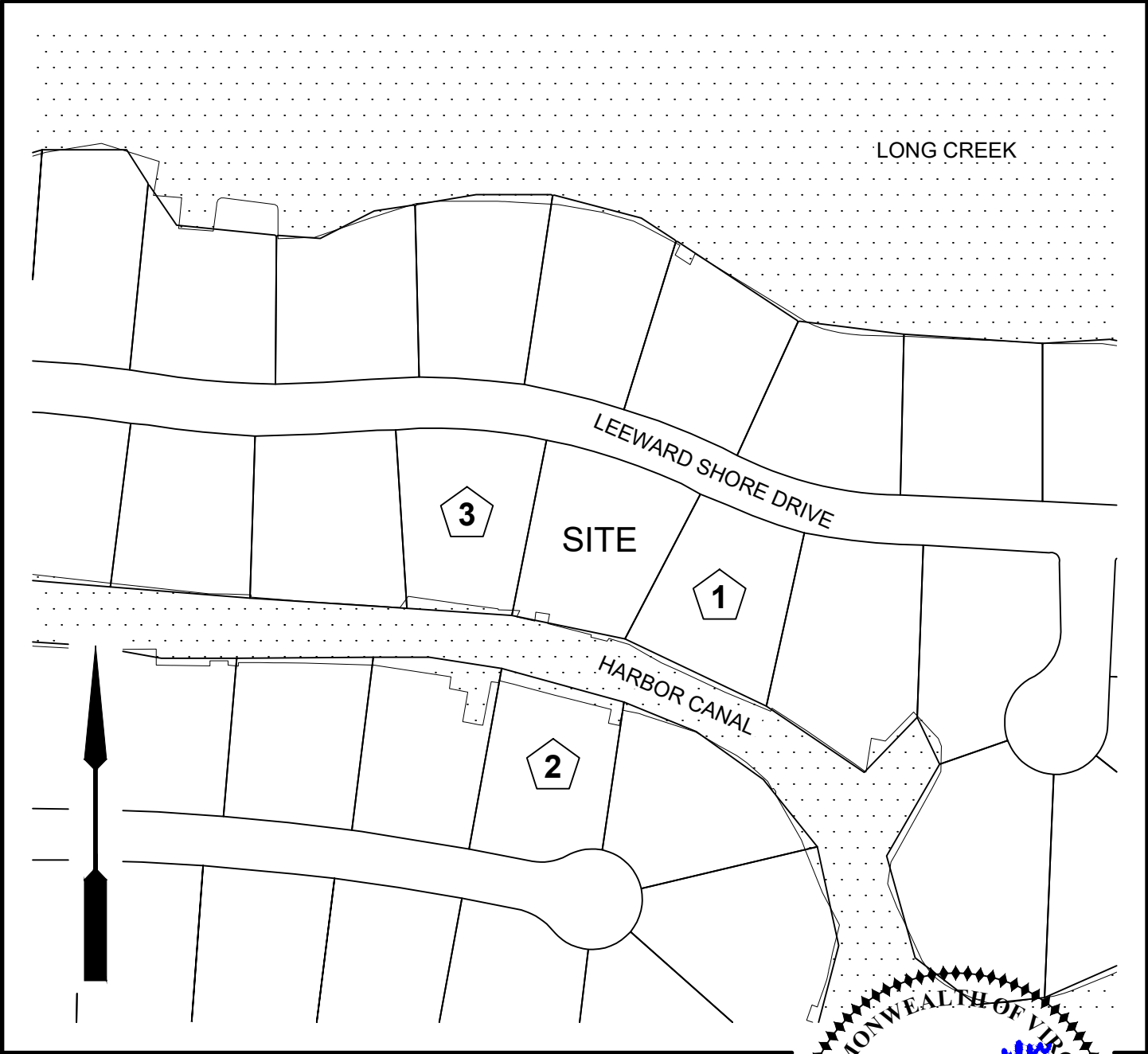
**PROJECT: INSTALL FIXED, FLOATING, AND JETSKI DOCKS, RAMP & REPAIR BULKHEAD**

REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

**COVER SHEET**

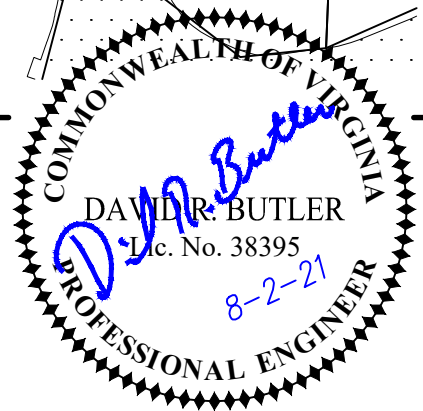
**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 1 OF 8





**ADJACENT PROPERTY OWNERS:**

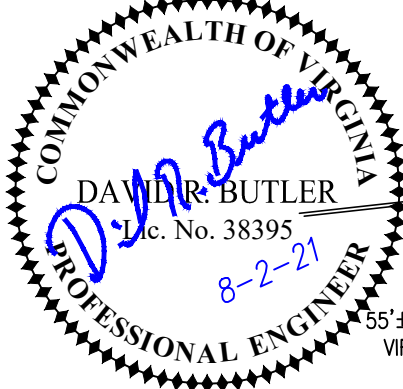
- ① DANIEL E. WILLIARD, II & MARY LOU WILLIARD
- ② CHARLES G. KIMNACH, II & ALLISON S. KIMNACH
- ③ CLENTON W. SHANKS & MARGARET C. SHANKS



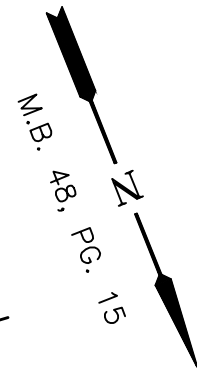
REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

**ADJACENT OWNERS**  
**MAP**  
 1" = 150'

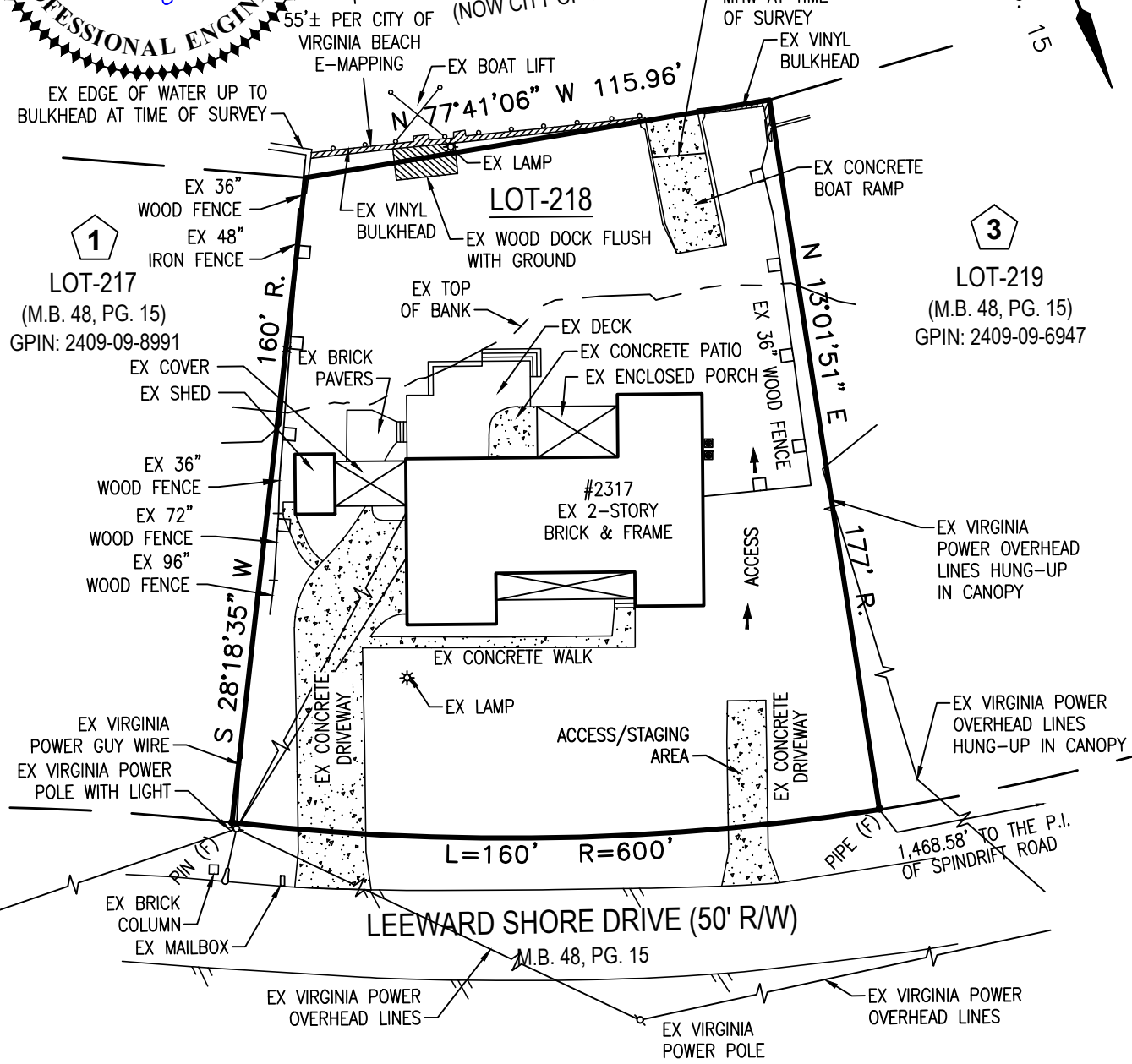
**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 2 OF 8



2  
 LOT-236  
 (M.B. 48, PG. 15)  
 GPIN: 2409-09-7722



HARBOR CANAL  
 ALL CANALS HAVE BEEN DEDICATED TO  
 PRINCESS ANNE COUNTY, VIRGINIA  
 (NOW CITY OF VIRGINIA BEACH, VIRGINIA)



REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

**OVERALL PLAN**  
 1" = 40'

**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021 **SHEET:** 3 OF 8

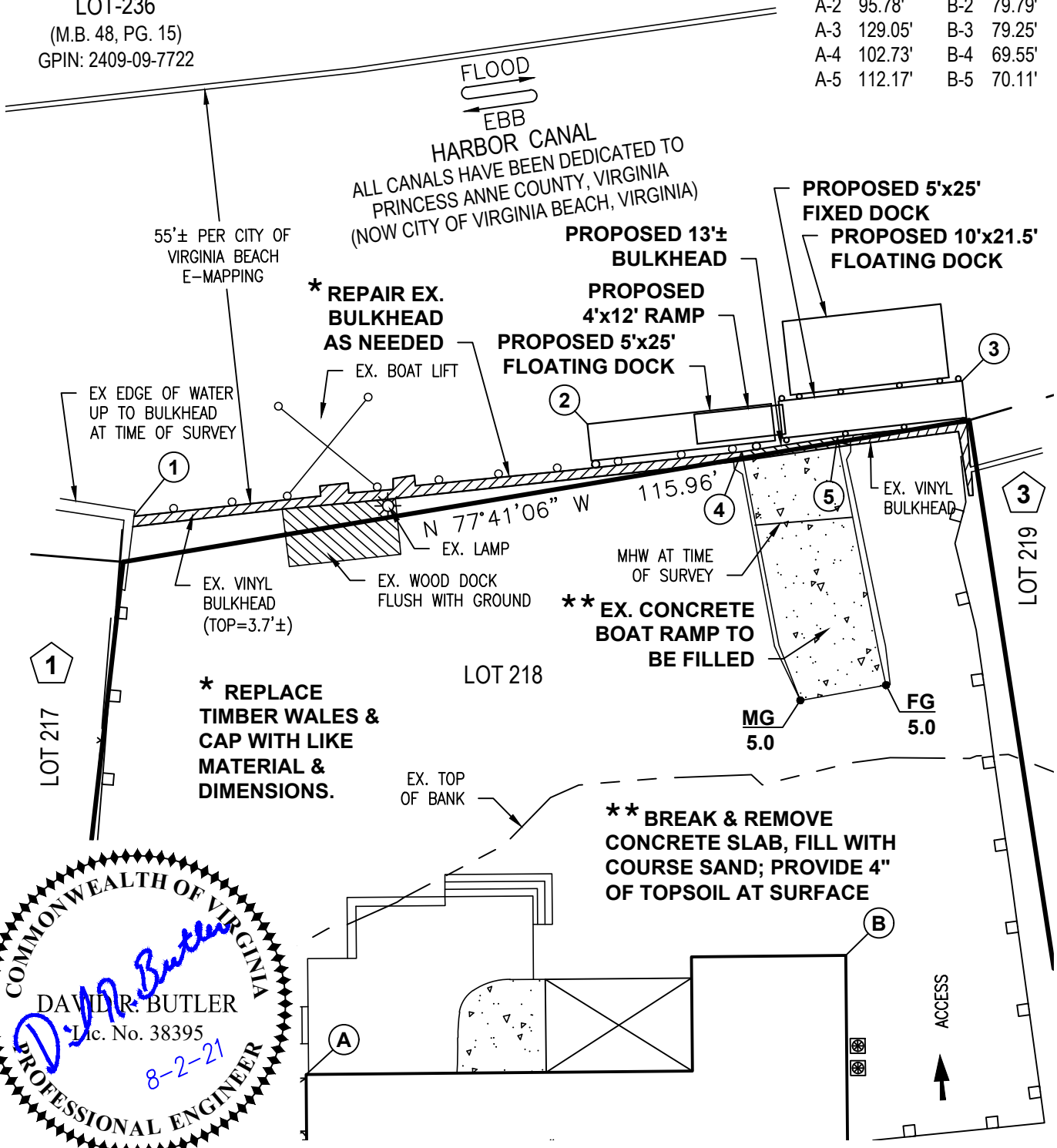
2

LOT-236  
(M.B. 48, PG. 15)  
GPIN: 2409-09-7722

MG = MATCH GRADE  
FG = FINISHED GRADE

**TIE DOWNS**

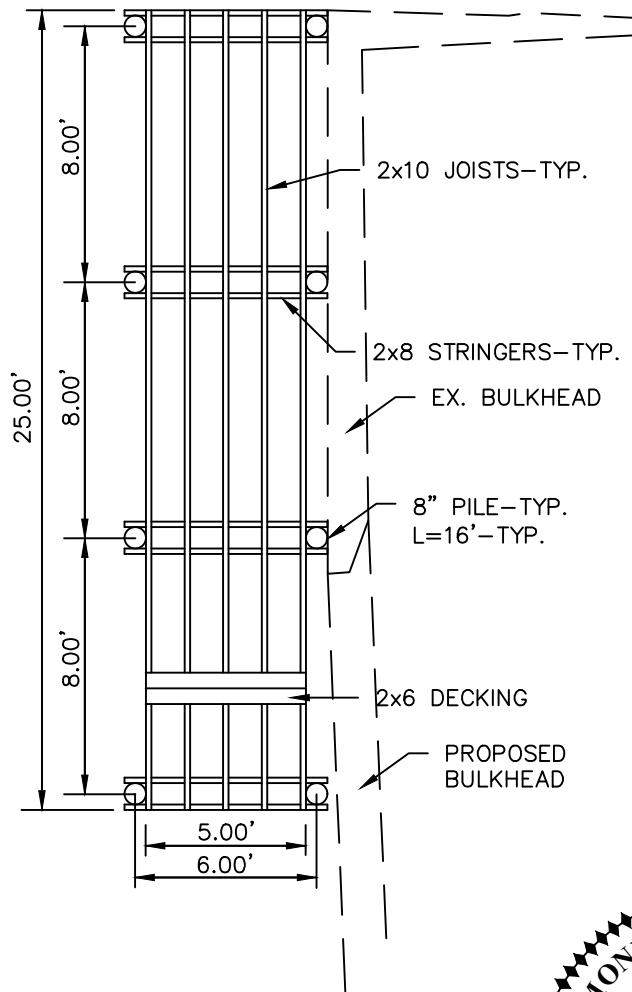
A-1	78.95'	B-1	112.88'
A-2	95.78'	B-2	79.79'
A-3	129.05'	B-3	79.25'
A-4	102.73'	B-4	69.55'
A-5	112.17'	B-5	70.11'



REVISION SCHEDULE	
DATE	COMMENT
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**ENLARGEMENT PLAN**  
1" = 20'

**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 4 OF 8



REVISION SCHEDULE

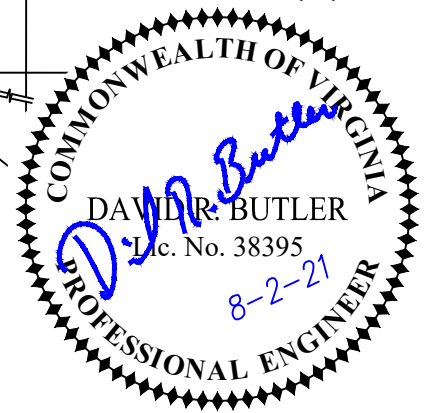
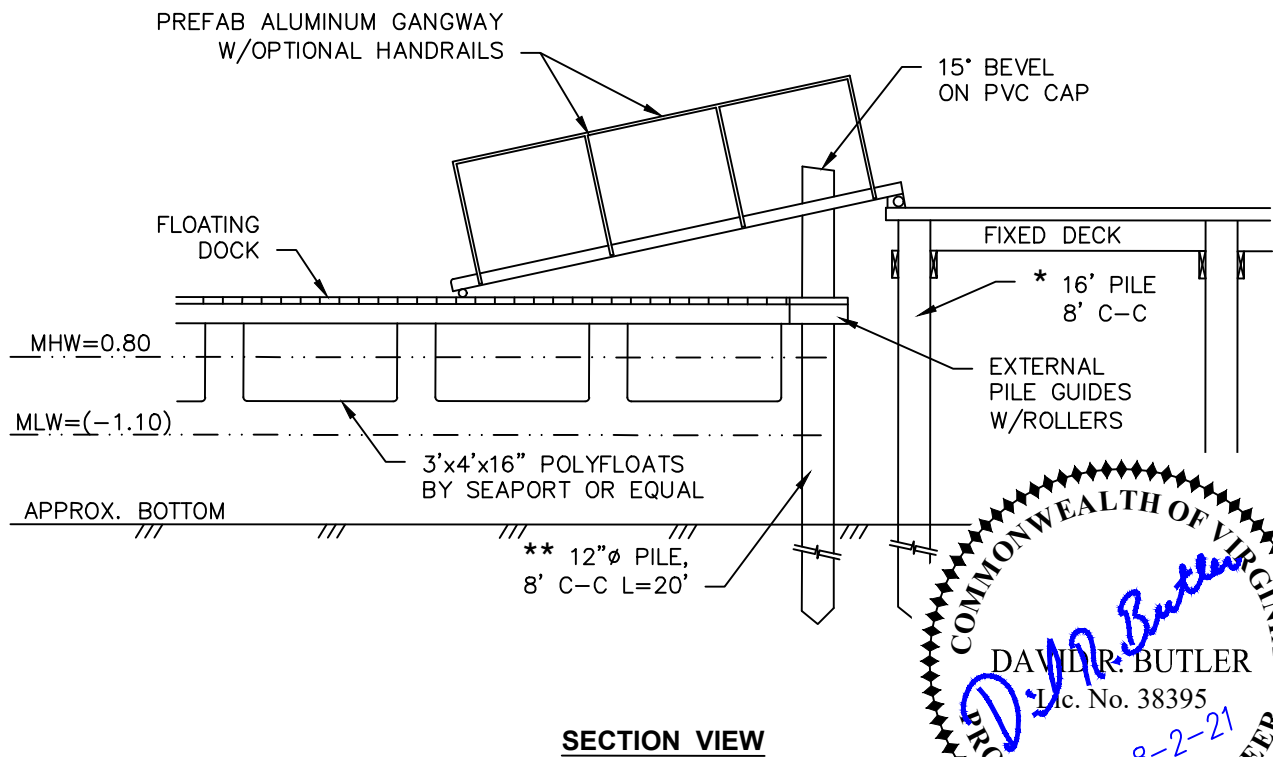
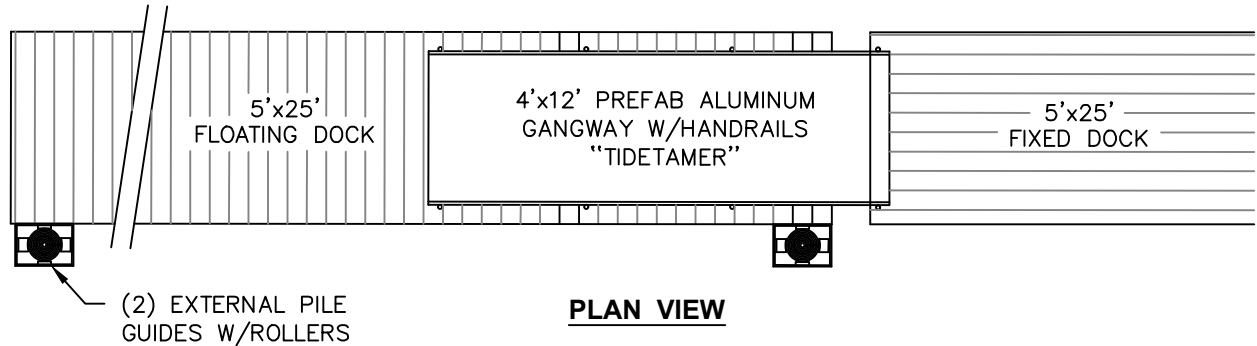
DATE	COMMENT
10-12-21	CoVB COMMENT

FIXED DOCK PLAN  
1" = 6'

**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021 **SHEET:** 5 OF 8

\* FIXED PIER PILES SHALL BE THE LENGTH SPECIFIED OR DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE OR WHICHEVER IS GREATEST.

\*\* FLOATING DOCK PILES SHALL BE 20' LONG OR DRIVEN 10' BELOW THE MUDLINE, WHICHEVER IS GREATEST. THE PILE SPACING FOR THE FLOATING DOCK SHALL BE DETERMINED BY A STRUCTURAL ENGINEER.



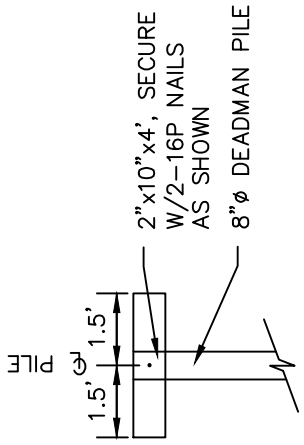
REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

**FLOATING DOCK**  
1" = 5'

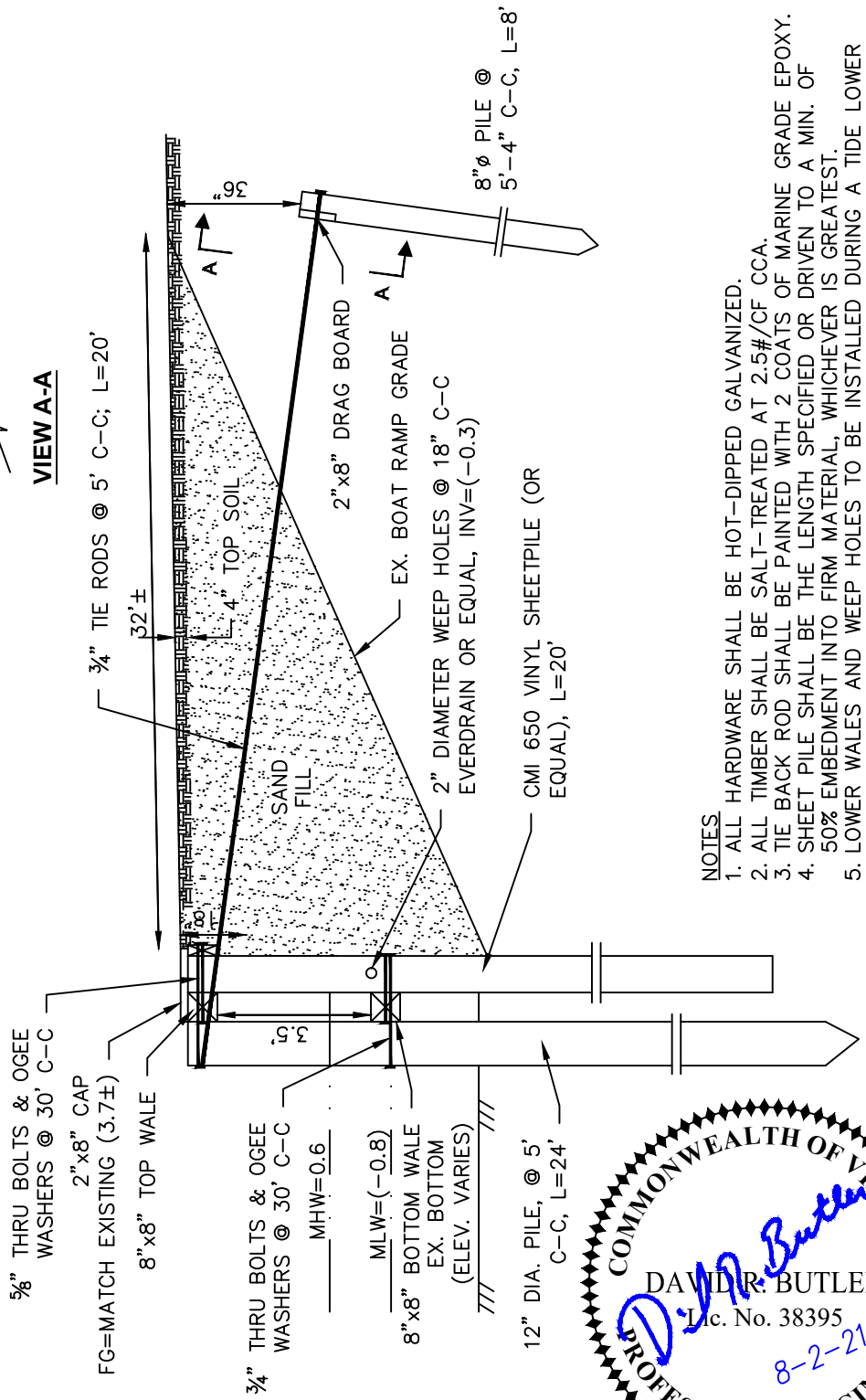
**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 6 OF 8



NOTE: DRAWINGS ARE FOR PERMIT PURPOSES ONLY AND DO NOT CONSTITUTE FULL DESIGN DRAWINGS. NO SOIL BORINGS HAVE BEEN TAKEN TO CONFIRM SUBSURFACE SOIL CONDITIONS. BULKHEAD LAYOUT IS BASED ON VISUAL ON-SITE INSPECTION. ABNORMAL SITE CONDITIONS NOT READILY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT AND MAY REQUIRE MODIFICATIONS TO THE ANCHOR SYSTEM AND SHEET PILE LENGTHS. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



**VIEW A-A**



**NOTES**

1. ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED.
2. ALL TIMBER SHALL BE SALT-TREATED AT 2.5#/CF CCA.
3. TIE BACK ROD SHALL BE PAINTED WITH 2 COATS OF MARINE GRADE EPOXY.
4. SHEET PILE SHALL BE THE LENGTH SPECIFIED OR DRIVEN TO A MIN. OF 50% EMBEDMENT INTO FIRM MATERIAL, WHICHEVER IS GREATEST.
5. LOWER WALES AND WEEP HOLES TO BE INSTALLED DURING A TIDE LOWER THAN SHOWN ON THIS SECTION.
6. PREFORMED DRAINAGE FABRIC SHALL BE TENSAR DC 1100 OR EQUIV.



REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

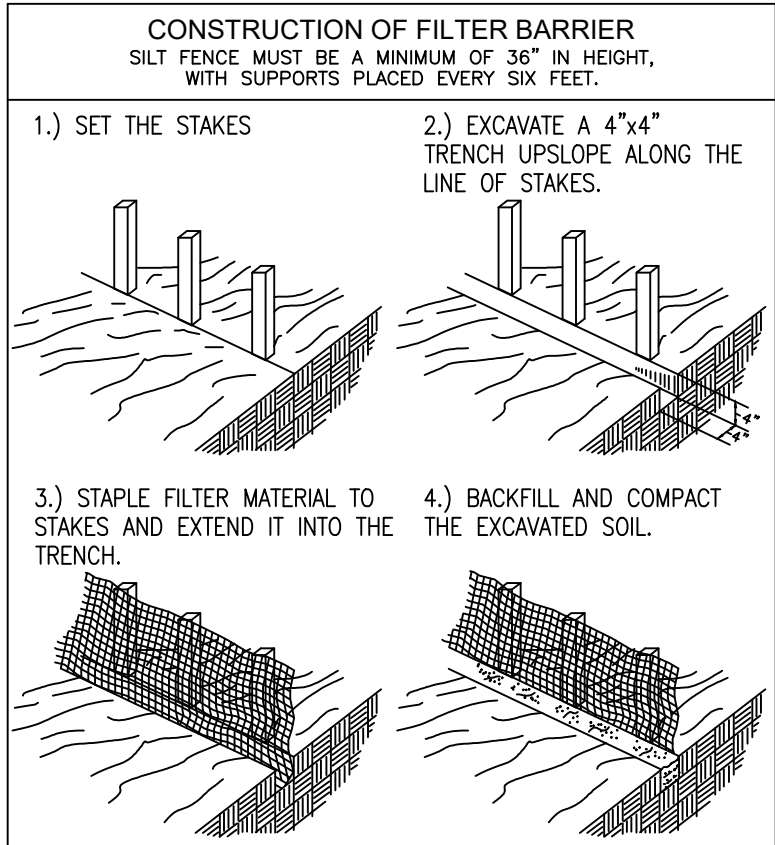
**NOTES & DETAILS**

**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 7 OF 8

### CONSTRUCTION SEQUENCE

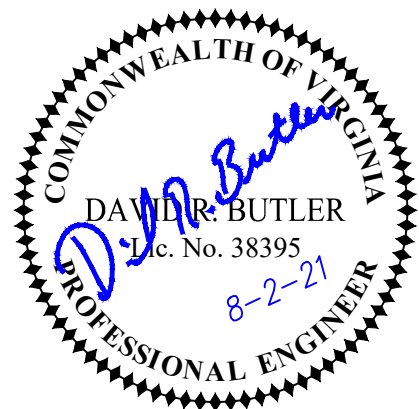
1. OBTAIN ALL REQUIRED PERMITS.
2. INSTALL SAFETY FENCE
3. REPAIR/INSTALL BULKHEAD
4. FILL EXISTING BOAT RAMP
5. CONSTRUCT DOCK
6. INSTALL SILT FENCE
7. SEED & MULCH DISTURBED AREAS

**NOTE:**  
ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER



### TURFGRASS PLANTING SPECIFICATIONS

TURF TYPE	TIME OF YEAR TO SEED	SEEDING RATE	COMMENTS
KENTUCKY 31 FESCUE	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	8 LB. PER 1000 SQ. FT.	MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
NARROW LEAFED FESCUES	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	6 LB. PER 1000 SQ. FT.	IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
BERMUDA (HULLED)	5-1 - 9-15 (OR SOD DURING THIS SAME TIME PERIOD)	2 LB. PER 1000 SQ. FT.	



REVISION SCHEDULE	
DATE	COMMENT
10-12-21	CoVB COMMENT

**NOTES & DETAILS**

**PROJECT:** INSTALL FIXED, FLOATING AND JETSKI DOCK, RAMP & REPAIR BULKHEAD  
**BY:** CHRISTIAN C. COOL & JENNIFER K. COOL  
**IN:** HARBOR CANAL  
**DATE:** AUGUST 2, 2021      **SHEET:** 8 OF 8



REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed PRIVATE USE structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES  NO  (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES  NO  (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES  NO  (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES  NO  N/A  (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES  NO  N/A  (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES  NO  N/A  (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES  NO  N/A  (7) Is the open-sided roof structure designed to shelter a boat ≤ 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier ≤ 400 square feet?
- ✓ YES  NO  N/A  (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES  NO  N/A  (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES  NO  N/A  (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES  NO  (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES  NO  (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES  NO  (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES  NO  (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?



- YES  NO  (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES  NO  (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- ✓ YES  NO  N/A  (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES  NO  N/A  (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES  NO  (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES  NO  (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES  NO  N/A  (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES  NO  N/A  (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES  NO  (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES  NO  (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

**IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.**

**IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.**

**I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.**

D.A. Buttle  
 Signature of Property Owner(s) or Agent  
 Date 8-9-21

Proposed work to be located at:  
 \_\_\_\_\_  
 2317 Leeward Shore Dr., VA. Beach, 23451

9. 2021-WTRA-00305

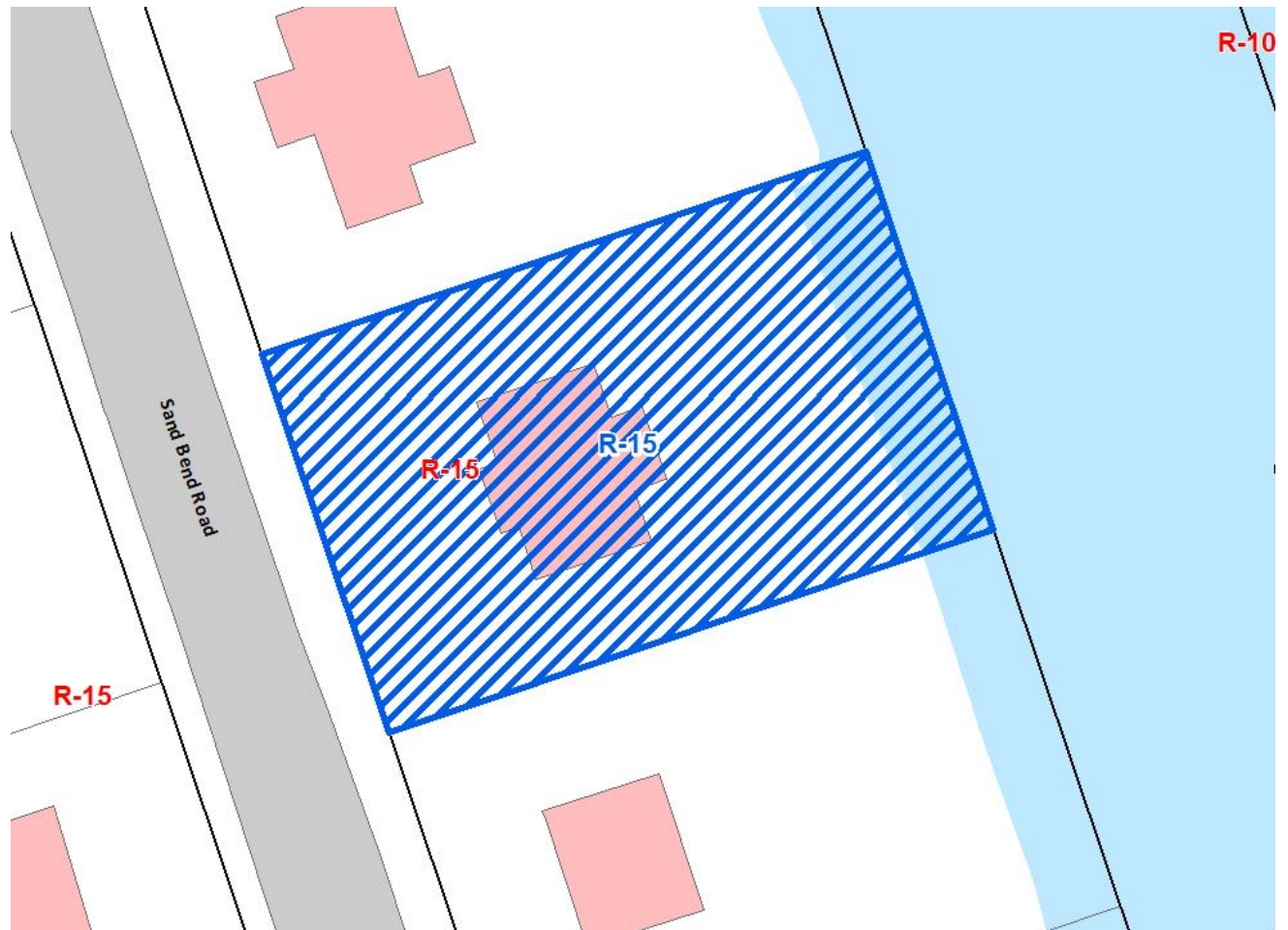
Lucy Ann Maeyer Trust

[Applicant & Owner]

**To install a bulkhead, marginal wharf and deck involving wetlands**

2964 Sand Bend Rd  
(GPIN 2433-33-5044)

Waterway – North Bay Inlet  
Subdivision – Sandbridge  
Council District – Princess Anne





# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** Lucy Ann Maeyer Trust

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.  
Sigma Environmental Services, Inc.

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If **yes**, identify the financial institutions providing the service.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes  No

- If **yes**, identify the company and individual providing the service.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.  
Sigma Environmental Services, Inc.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

*Lucy Ann Maeyer*  
 Applicant Signature

*Lucy Ann Maeyer*  
 Print Name and Title

*08/09/21*  
 Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-2076

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
<b>County or City in which the project is located:</b> <u>City of Virginia Beach</u>				
<b>Waterway at project site:</b> <u>North Bay Inlet–Man-Made Canal to North Bay</u>				
<i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial



## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
Lucy Ann Maeyer Trust  
PO Box 297  
Sperryville, VA 20152-1308  
Home ( 540 ) 987-8736  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail lamaeyer@hotmail.com  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Sigma Environmental Services, Inc.  
1513 Sandbridge Road  
Virginia Beach, VA 23456  
Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( 757 ) 615-9974  
e-mail rharoldjones@aol.com  
State Corporation Commission Name and ID Number (if applicable) 0623459-5

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Install 101 linear feet of facing bulkhead, with one 4' and one 1.5' return wall as close as possible to MHW, an 8' X 16" marginal wharf and a 28' X 14' x 29' 6" triangular deck level with the proposed bulkhead.

See Sheet 3 for measurements, material specifications and schedule.



**Lucy Ann Maeyer  
2964 Sand Bend Rd.**

**Statement indicating whether use of a living shoreline (as defined in §28.2-104.1) for a shoreline management practice is not suitable, including reasons for that determination.**

Most canal-front properties in Sandbridge were created from pre-existing wetlands that were subsequently filled with dredged materials from canal excavation. Those lots continue to be plagued with vertical and horizontal soil instability due to the existence of a highly compressible organic layer that contains the organic remnants of the pre-existing vegetated wetlands prior to filling with material excavated during canal creation. Most erosion in the canals in Sandbridge initiates at the buried organic horizon. As erosion of this horizon continues, collapse of the overburden results, creating total shoreline erosion. Re-grading the existing shoreline to a very gentle slope (e.g. 6:1) would expose the organic layer to additional erosional forces across the slope face. The organic layer would be situated entirely within the intertidal zone and subject to additional vertical and horizontal instability due to constant water level fluctuations and erosion forces along a greatly increased face. This would have a tendency to de-stabilize the sandy loam shoreline above that layer, with slow, but inevitable collapse of the materials upslope. The result would actually increase the rate of erosion at the site. The resulting condition would not be in the best interest to long-term stabilization of a created living shoreline, nor in the best interest of the homeowner.

Additionally, the northern APO's swimming pool and surrounding concrete deck are located only 10-feet from their common property line. Excavation of the applicant's back yard to create a living shoreline could potentially destabilize the structural horizontal/vertical stability to the pool its surrounding apron.

In Summary, it is Sigma's professional opinion that the site is not conducive to the short- or long-term stability of a created living shoreline, could potentially jeopardize the integrity of the neighbors pool and the cost of creating a living shoreline is not commensurate with the minimal wetlands impacts generated by the proposed construction activity.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\* X No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginia Pilot  
150 Brambleton Ave.  
Norfolk, VA 23509

(757 ) 446-2000 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 2964 Sand Bend Rd.

Lot/Block/Parcel# Lot 12, Section 3, Back Bay Meadows, MB 67 P. 45

Subdivision Sandbridge

City / County Virginia Beach

ZIP Code 23456

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.723469 / - 75.938639 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

From the Intersection of Sandbridge Road and Sandpiper Road, turn right at the signal light onto Sandpiper Rd. Travel approximately 1.5 miles, turn right onto Rock Lane. Travel one block, turn right on Little Island Rd. Travel thru a 180-degree left-curve. Little Island Rd. then becomes Sand Bend Rd. Travel approximately 0.35 miles from Rock Lane. House #2964 Sand Bend Rd. is on the left (east) side of the road.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose is to stabilize and eroding shreloreline due to undercutting. The secondary purpose is to improve the safety of the owners waterfront property and use..

## Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

On-site creation of 23 sq. ft. non-vegetated intertidal area channelward of the bulkhead will be used to compensate for the loss of 12 sq. ft. of existing non-vegetated intertidal area.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 28,000  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 0

13. Completion date of the proposed work: Winter 2021- Spring 2022 - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Kevin Heinsman, 2960 Sand Bend Rd., Virginia Beach, VA 23456

2968 Sand Bend Rd. Trust, 25260 Pleasant Valley Rd., Chantilly, VA 20152-1308

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Lucy Ann Maeyer, Trustee

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

9/8/21  
Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date



## Part 2 – Signatures (continued)

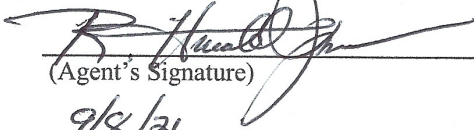
### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Lucy Ann Maeyer, hereby certify that I (we) have authorized Sigma Environmental Services, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

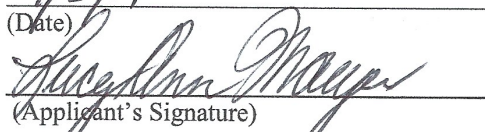
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

  
\_\_\_\_\_  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

9/8/21  
\_\_\_\_\_  
(Date)

  
\_\_\_\_\_  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

9/8/21  
\_\_\_\_\_  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date



## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

---

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

**1. Briefly describe your proposed project.**

Install an 8' X 16' dock immediately adjacent to the proposed bulkhead and a 28' X 14' X 29' 6" deck over the intertidal area.

**2. For private, noncommercial piers:**

Do you have an existing pier on your property? \_\_\_ Yes X No

If yes, will it be removed? \_\_\_ Yes \_\_\_ No

Is your lot platted to the mean low water shoreline? \_\_\_ Yes X No

What is the overall length of the proposed structure? 16 feet.

Channelward of Mean High Water? 8 feet.

Channelward of Mean Low Water? 0 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 324 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 0 square feet.

What is the total size of any and all L- or T-head platforms? NA sq. ft.

For boathouses, what is the overall size of the roof structure? NA sq. ft.

Will your boathouse have sides? \_\_\_ Yes \_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

**Part 3 – Appendices (continued)**

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
  - a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
  
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Canoe and Kayaks				

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
  - A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
  
6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.
  - From Mean High Water? \_\_\_\_\_ feet.
  - From Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install 101' of facing bulkhead, with one 4' return wall and one 1' 6" return wall.

Approximately 24 cubic yards of material will be required for backfill.

Installation of the bulkhead strikes a balanced alignment through uplands and the intertidal zone. Approximately 12 sq. ft. of non-vegetated intertidal area will be impacted and 23 sq. ft. of upland channelward of the bulkhead alignment will be excavated to non-vegetated intertidal area.

2. What is the maximum encroachment channelward of mean high water? 1.5 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? NA feet.

3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 12 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach NA square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?      Yes X No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?      Yes      No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

See Sheet 3 of 4 for material specifications and schedules.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                    \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
  
- Area to be covered                    \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
  
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_
  
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at  
<http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 2964 SAND BEND RD

APPLICANT'S NAME: LUCY ANN MAEYER TRUST

APPLICANT'S ADDRESS: PO BOX 297  
SPERRYVILLE, VA 20152

ENGINEER OF RECORD: JOHN W. BLAKE, II

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION:

JOHN W. BLAKE, II

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

9-8-21

DATE

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

SIGNATURE OF APPLICANT

08/09/21

DATE

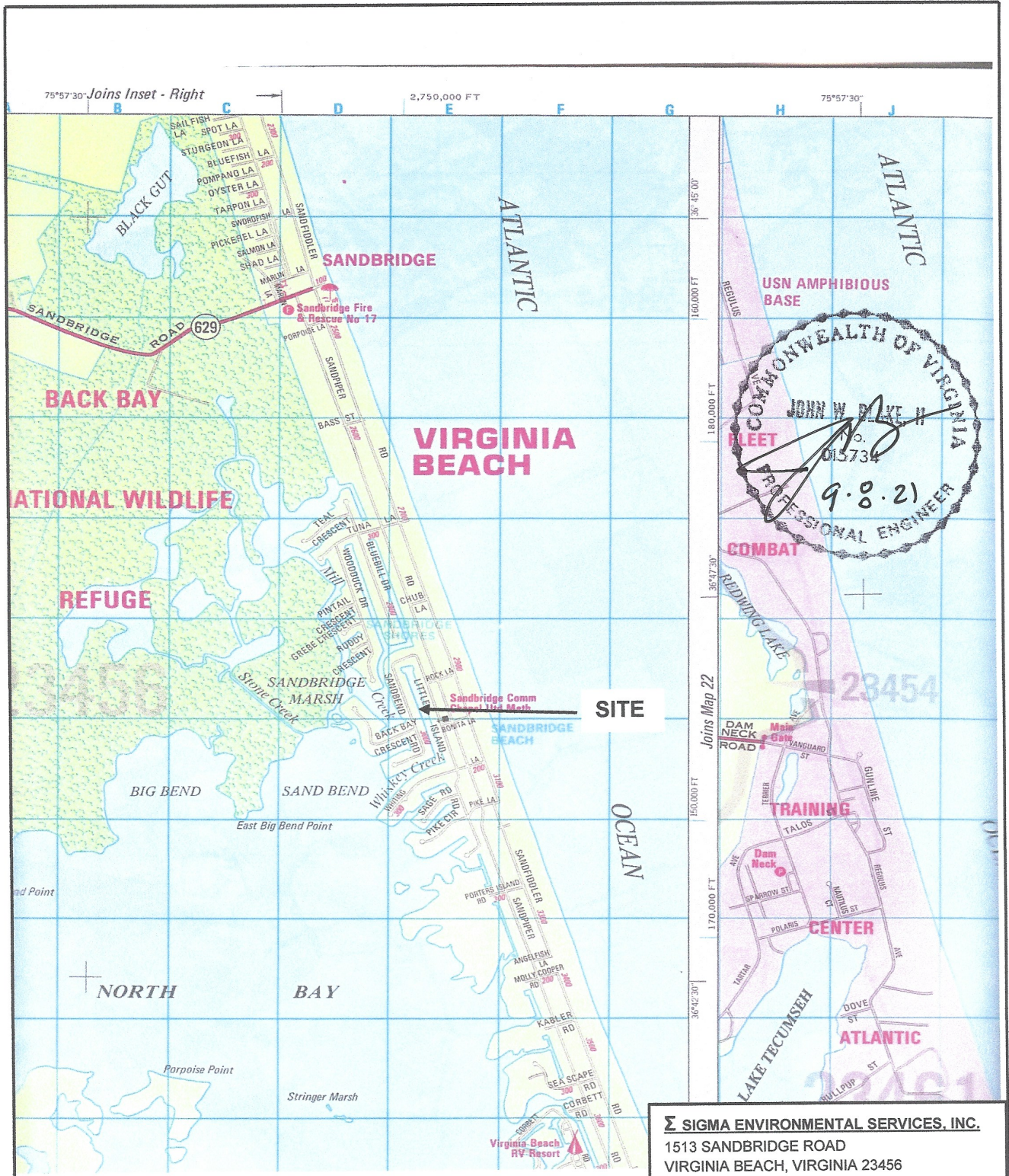
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_





**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
 1513 SANDBRIDGE ROAD  
 VIRGINIA BEACH, VIRGINIA 23456

**APOs:**  
 1. KEVIN HEINSMAN  
 2. 2968 SAND BEND RD. LLC

**WATERWAY:** NORTH BAY INLET  
**FOR:** LUCY ANN MAEYER TRUST  
**AT:** 2964 SAND BEND ROAD  
 VIRGINIA BEACH, VA 23456

**PROJECT:** BULKHEAD, DOCK, DECK  
**DATUM:** 0.00' MLW = -1.3' NAVD 1988  
**DATE:** SEPT. 8, 2021 SHEET 1 OF 4

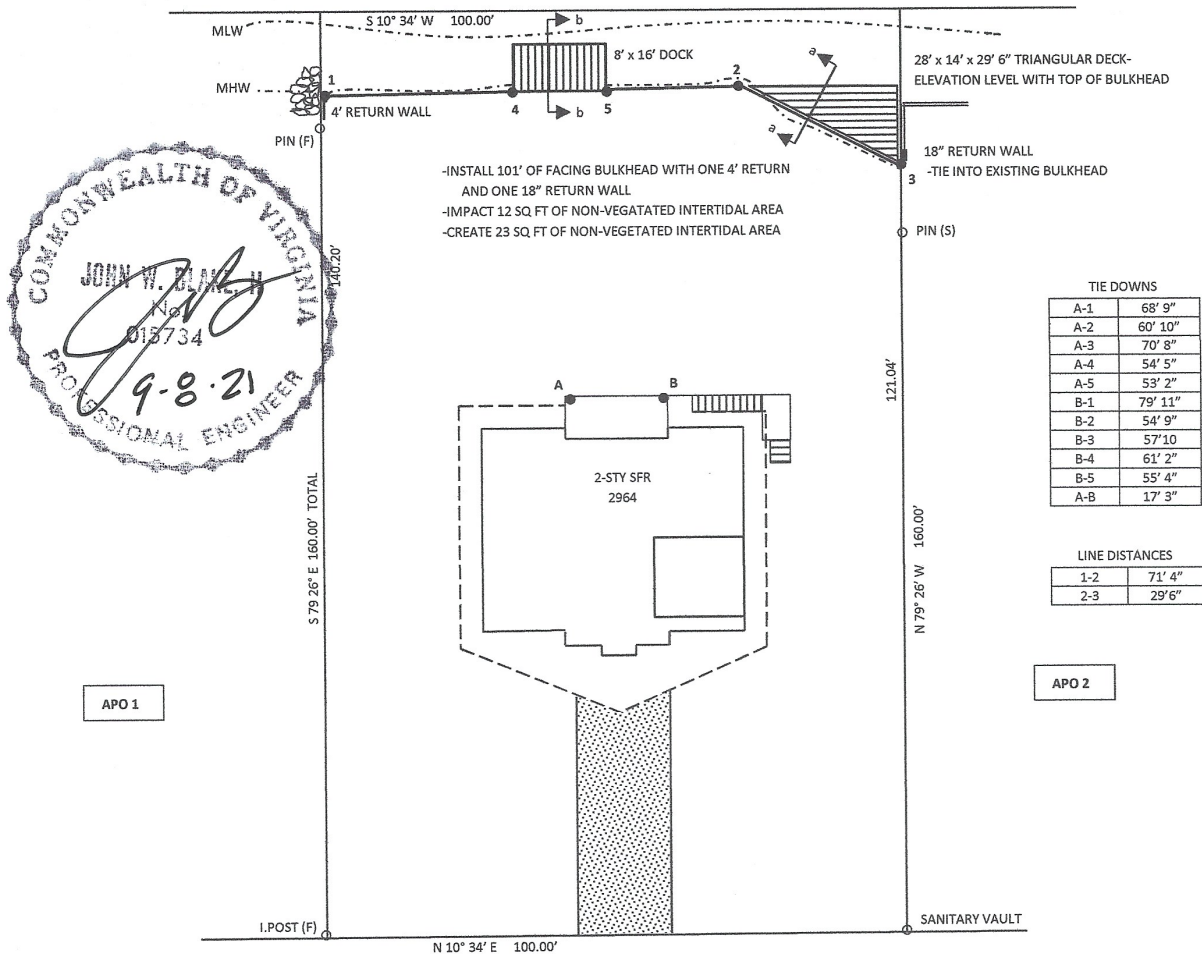
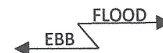


**PLAN VIEW**  
SCALE: 1" = 30'



MHW-MHW  
+/- 150'

NORTH BAY INLET



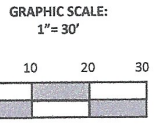
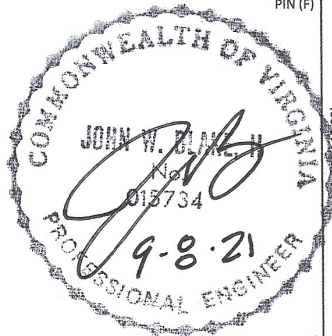
- INSTALL 101' OF FACING BULKHEAD WITH ONE 4' RETURN AND ONE 18" RETURN WALL
- IMPACT 12 SQ FT OF NON-VEGATATED INTERTIDAL AREA
- CREATE 23 SQ FT OF NON-VEGATATED INTERTIDAL AREA

TIE DOWNS

A-1	68' 9"
A-2	60' 10"
A-3	70' 8"
A-4	54' 5"
A-5	53' 2"
B-1	79' 11"
B-2	54' 9"
B-3	57' 10"
B-4	61' 2"
B-5	55' 4"
A-B	17' 3"

LINE DISTANCES

1-2	71' 4"
2-3	29' 6"



SAND BEND RD. (50' R/W)

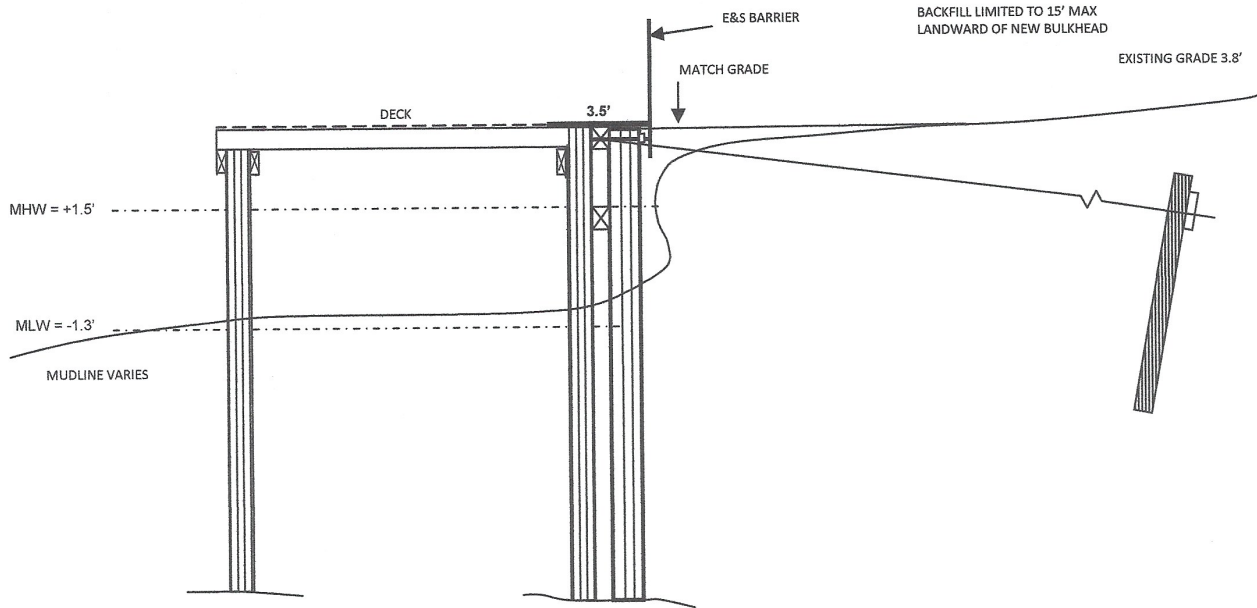
**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**APOs:**  
1. KEVIN HEINSMAN  
2. 2968 SAND BEND RD. LLC

**WATERWAY:** NORTH BAY INLET  
**FOR:** LUCY ANN MAEYER TRUST  
**AT:** 2964 SAND BEND RD.  
VIRGINIA BEACH, VA 23456

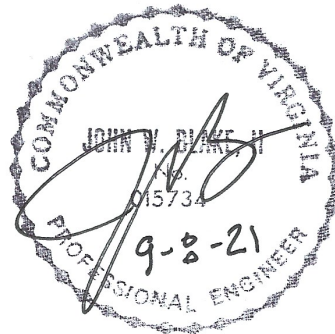
**PROJECT:** BULKHEAD, DOCK, DECK  
**DATUM:** 0.00' MLW = -1.3' NAVD 1988  
**DATE:** SEPT. 8, 2021 SHEET 2 OF 4

**CROSS SECTION a-a**  
**SCALE: 1" = 4'**



**MATERIAL SCHEDULE:**  
 TIE BACK RODS: 1/2" DIA. 12-15' LENGTH  
 DRAGBOARDS: TWO (2) 2" X 12"  
 DEADMEN PILES: 8" DIA. MINIMUM  
 SHEETING: 2' x 12" X 10'  
 ALTERNATIVE SHEETING: VINYL SCMI-SG-330, 10'  
 WALES: 4" X 6" ON EDGE - CONTINUOUS -  
 STAGGERED JOINTS - BOLTED  
 TOP CAP: TWIN 2" X 10"  
 UV PROTECTED FILTER CLOTH  
 1" WEEP HOLES 2' O/C 4" BELOW MHW

**MATERIAL SPECIFICATIONS:**  
 FRAMING: CCA 2.5# PCF (MLP-88)  
 DEADMAN: CCA 2.5# (MP-88)  
 TOP PLATE: 0.4# PCF (LP-22)  
 HARDWARE: HOT DIPPED  
 GALVANIZED (ASTM-A153)



- NOTES:**
- 1) ANY DISTURBED AREAS TO BE REGRADED AND SEED
  - 2) E&S CONTROLS WILL BE MAINTAINED UNTIL UPLAND VEGETATION IS RE-ESTABLISHED

TYPICAL SECTION ONLY

**SIGMA ENVIRONMENTAL SERVICES, INC.**  
 1513 SANDBRIDGE ROAD  
 VIRGINIA BEACH, VIRGINIA 23456

**APOs:**

1. KEVIN HEINSMAN
2. 2968 SAND BEND RD. LLC

**WATERWAY: NORTH BAY INLET**

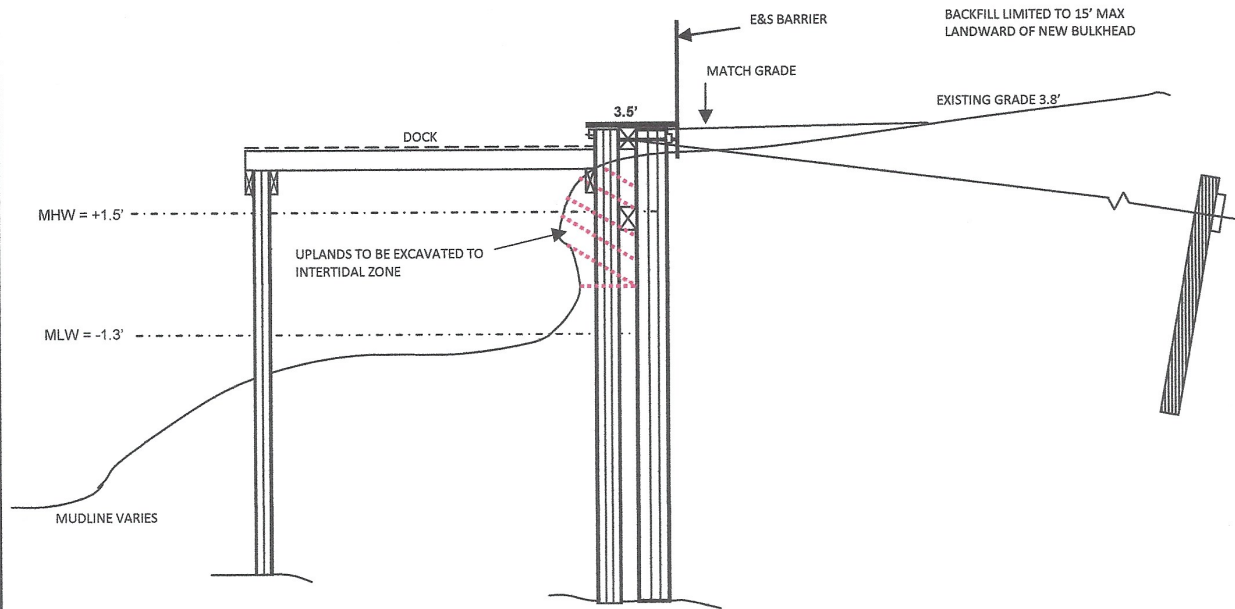
**FOR: LUCY ANN MAEYER TRUST**  
 AT: 2964 SAND BEND ROAD  
 VIRGINIA BEACH, VA 23456

**PROJECT: BULKHEAD, DOCK, DECK**

**DATUM: MLW = -1.3' NAVD 1988**

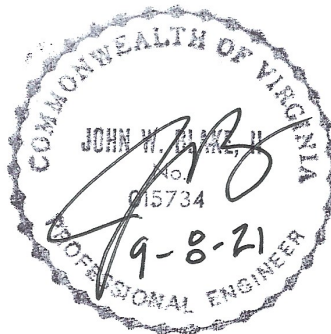
**DATE: SEPT. 8, 2021 SHEET 3 OF 4**

**CROSS SECTION b-b  
COMPENSATION ZONE  
SCALE: 1" = 4'**



**MATERIAL SCHEDULE:**  
TIE BACK RODS: 3/4" DIA. 12-15' LENGTH  
DRAGBOARDS: TWO (2) 2" X 12"  
DEADMEN PILES: 8" DIA. MINIMUM  
SHEETING: 2' x 12" X 10'  
ALTERNATIVE SHEETING: VINYL SCMI-SG-330, 10'  
WALES: 4" X 6" ON EDGE - CONTINUOUS -  
    STAGGERED JOINTS - BOLTED  
TOP CAP: TWIN 2" X 10"  
UV PROTECTED FILTER CLOTH  
1" WEEP HOLES 2' O/C 4" BELOW MHW

**MATERIAL SPECIFICATIONS:**  
FRAMING: CCA 2.5# PCF (MLP-88)  
DEADMAN: CCA 2.5# (MP-88)  
TOP PLATE: 0.4# PCF (LP-22)  
HARDWARE: HOT DIPPED  
    GALVANIZED (ASTM-A153)



- NOTES:**
- 1) ANY DISTURBED AREAS TO BE REGRADED AND SEEDED
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TYPICAL SECTION ONLY

**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**APOs:**

1. KEVIN HEINSMAN
2. 2968 SAND BEND RD. LLC

**WATERWAY: NORTH BAY INLET**

**FOR: LUCY ANN MAEYER TRUST**  
**AT: 2964 SAND BEND ROAD**  
**VIRGINIA BEACH, VA 23456**

**PROJECT: BULKHEAD, DOCK, DECK**

**DATUM: MLW = -1.3' NAVD 1988**

**DATE: SEPT 8, 2021 SHEET 4 OF 4**

September 8, 2021

Kevin Heinsman  
2960 Sand Bend Road  
Virginia Beach, VA 23456

**RE: Waterfront Improvements  
At: 2964 Sand Bend Road  
Virginia Beach, Virginia 23456**

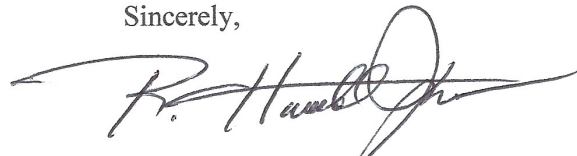
Dear Mr. Heinsman:

Sigma Environmental Services, Inc. has been retained by Ms. Lucy Ann Maeyer to obtain all necessary permits and approvals for the installation of a bulkhead, dock and deck on her property located at 2964 Sand Bend Rd., Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Ms. Maeyer and requests your input on the project.

The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

Should you have any questions regarding this project, please feel free to call me at business cell (757) 615-9974. Thank you for your assistance in this matter.

Sincerely,



R. Harold Jones, PWS, Emeritus  
President

CC: Ms. Lucy Ann Maeyer

---

1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

I (we), Kevin Heinsman, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Lucy Ann Maeyer.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated Sept. 8, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

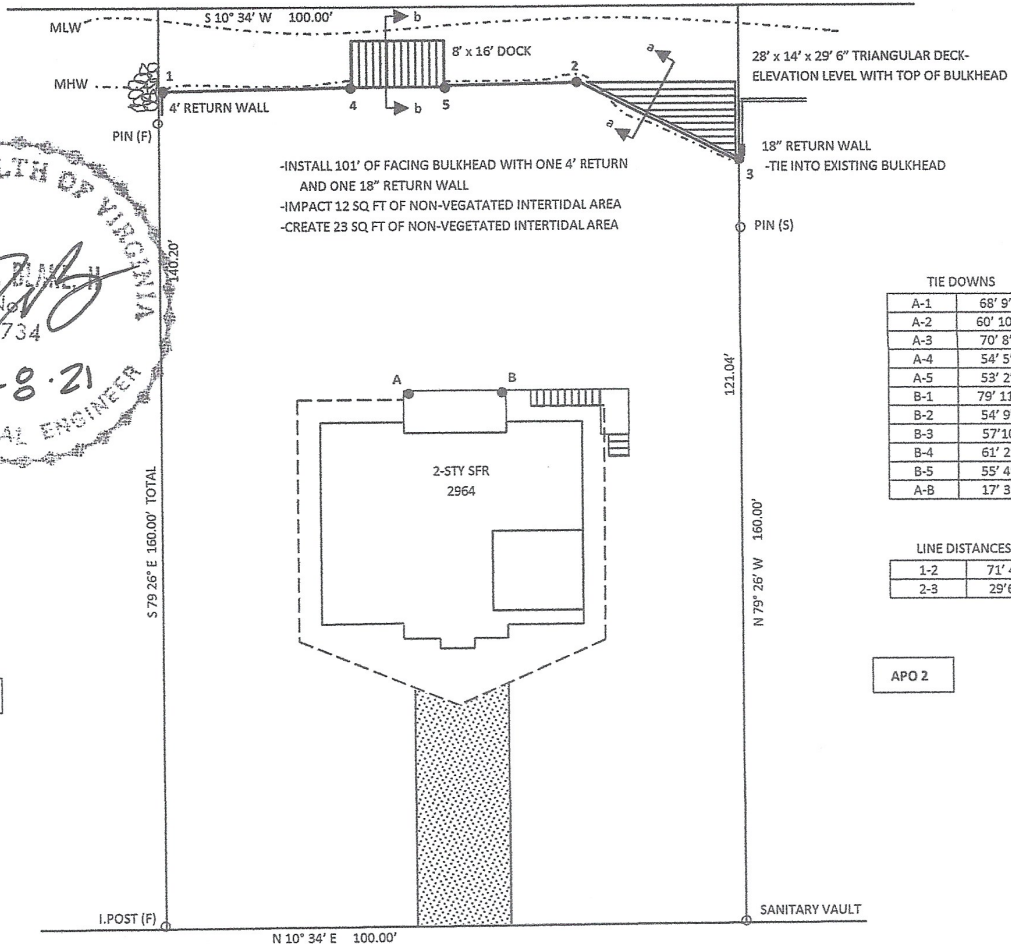
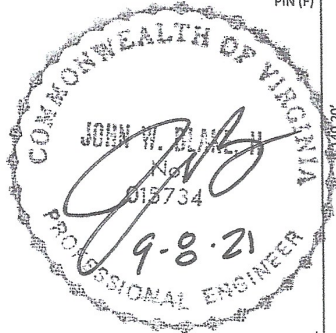
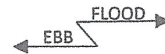
**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

**PLAN VIEW**  
SCALE: 1" = 30'

NORTH BAY INLET



MHW-MHW  
+/- 150'



TIE DOWNS

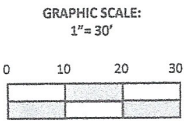
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LINE DISTANCES

1-2	71' 4"
2-3	29' 6"

APO 1

APO 2



SAND BEND RD. (50' R/W)

**SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**APOs:**  
1. KEVIN HEINSMAN  
2. 2968 SAND BEND RD. LLC

**WATERWAY:** NORTH BAY INLET  
**FOR:** LUCY ANN MAEYER TRUST  
**AT:** 2964 SAND BEND RD.  
VIRGINIA BEACH, VA 23456

**PROJECT:** BULKHEAD, DOCK, DECK  
**DATUM:** 0.00' MLW = -1.3' NAVD 1988  
**DATE:** SEPT. 8, 2021 SHEET 2 OF 4

September 8, 2021

2968 Sand Bend Rd. Trust  
25260 Pleasant Valley Road  
Chantilly, VA 20152-1308

**RE: Waterfront Improvements**  
**At: 2964 Sand Bend Road**  
**Virginia Beach, Virginia 23456**

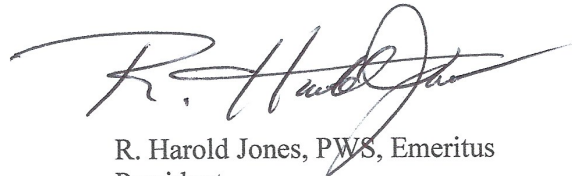
To Whom It May Concern:

Sigma Environmental Services, Inc. has been retained by Ms. Lucy Ann Maeyer to obtain all necessary permits and approvals for the installation of a bulkhead, dock and deck on her property located at 2964 Sand Bend Rd., Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Ms. Maeyer and requests your input on the project.

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Sincerely,



R. Harold Jones, PWS, Emeritus  
President

CC: Ms. Lucy Ann Maeyer

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

I (we), 2968 Sand Bend Rd., LLC, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Lucy Ann Maeyer.  
(Print applicant's name(s))

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(Date)

to be submitted for all necessary federal, state and local permits.

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I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

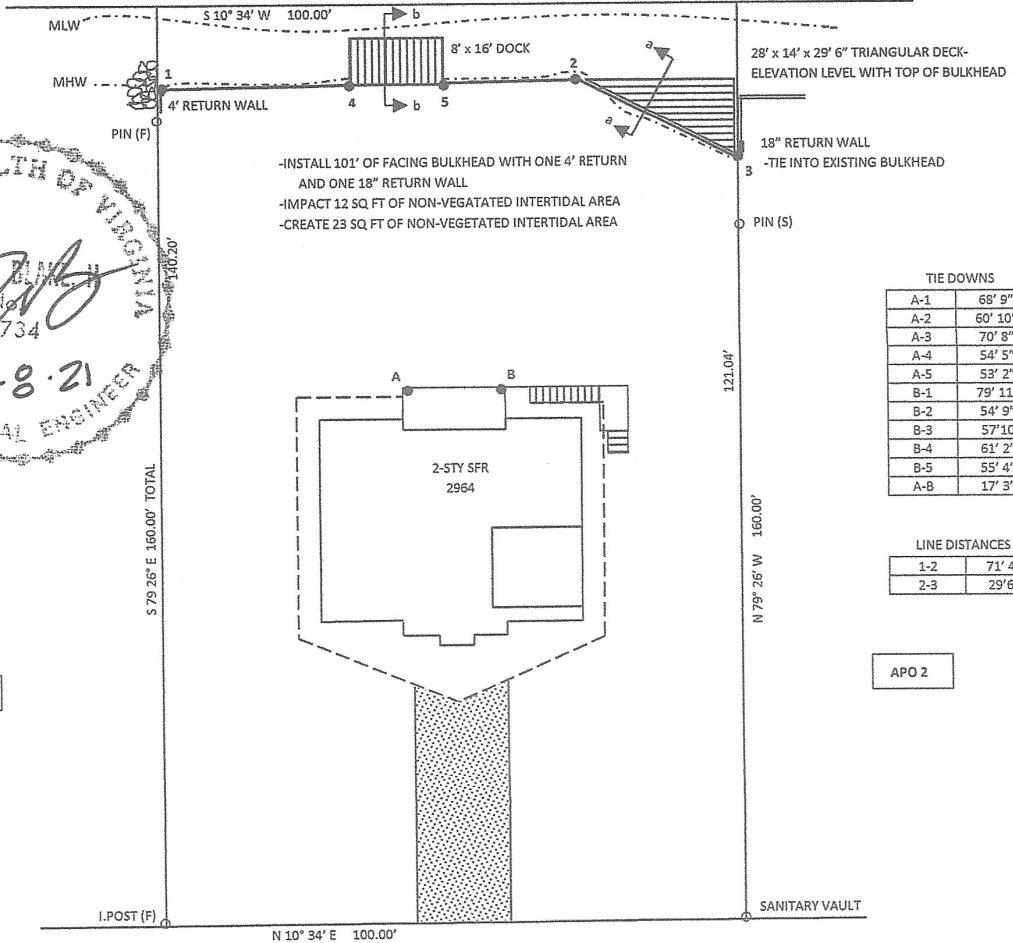
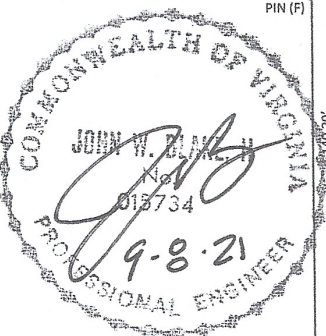
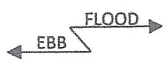


**PLAN VIEW**  
SCALE: 1" = 30'



MHW-MHW  
+/- 150'

NORTH BAY INLET

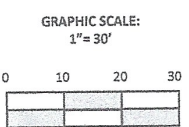


TIE DOWNS

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A-2	60' 10"
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B-4	61' 2"
B-5	55' 4"
A-B	17' 3"

LINE DISTANCES

1-2	71' 4"
2-3	29' 6"



APO 1

APO 2

SAND BEND RD. (50' R/W)

**SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**APOs:**  
1. KEVIN HEINSMAN  
2. 2968 SAND BEND RD. LLC

**WATERWAY:** NORTH BAY INLET  
**FOR:** LUCY ANN MAEYER TRUST  
**AT:** 2964 SAND BEND RD.  
VIRGINIA BEACH, VA 23456

**PROJECT:** BULKHEAD, DOCK, DECK  
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