

Wetlands Board Agenda

October 18, 2021



VB City of
Virginia Beach

Wetlands Board Hearing Procedures

A Public Hearing of the Virginia Beach Wetlands Board will be held on **Monday, October 18, 2021 at 10:00 a.m. in the Council Chamber - City Hall, Bldg. 1 Municipal Center, Virginia Beach, VA.** A Staff briefing session will be held at 9:00 a.m.. All interested parties are invited to attend.

Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to waterfront@vbgov.com or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Due to the ongoing COVID-19 pandemic, please review the Wetlands Board website at www.vbgov.com/wetlands for the most up to date information. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at www.vbgov.com/wetlands. For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE DURING THE HEARING.

THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.

THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
 - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
 - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.
2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:

* Deferral

** Withdrawal

**Wetlands Board Agenda
October 18, 2021**

- a. The applicant or applicant's representative will have 10 minutes to present the case.
- b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
- c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
- d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
- e. The applicant or applicant's representative will then have 3 minutes for rebuttal of any comments from the opposition.
- f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
- g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
- h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

* Deferral
** Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

- REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

OLD BUSINESS – WETLANDS

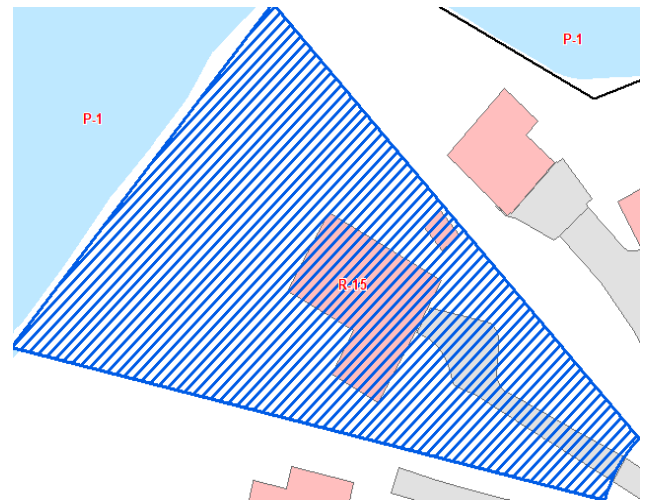
1. 2020-WTRA-00121
David Meyer [Applicant]
Kathy M. Meyer [Owner]

REQUEST FOR 1 YEAR EXTENSION

To remove rip rap involving wetlands

344 Pike Circle
(GPIN 2433-30-6408)

Waterway – North Bay
Subdivision – Back Bay Meadows
Council District – Princess Anne



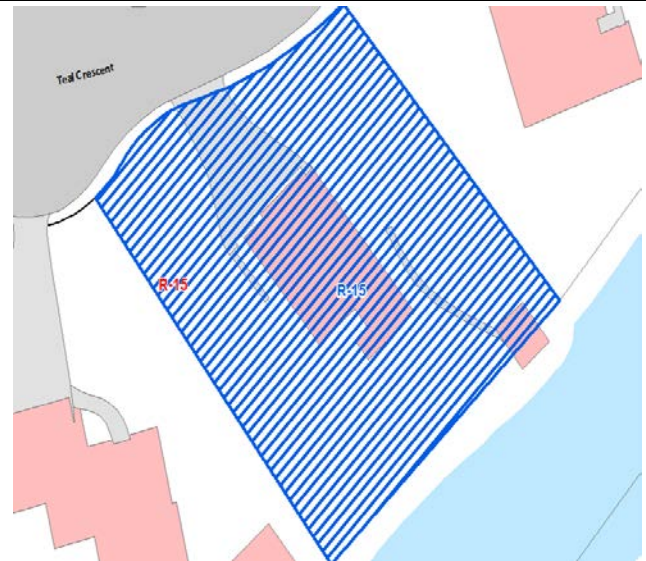
2. 2020-WTRA-00156
James R. Burnell
[Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

To construct a bulkhead involving wetlands

329 Teal Crescent
(GPIN 2433-16-7215)

Waterway – Man Made Canal to North Bay
Subdivision – Sandbridge Shores
Council District – Princess Anne



* Deferral
** Withdrawal

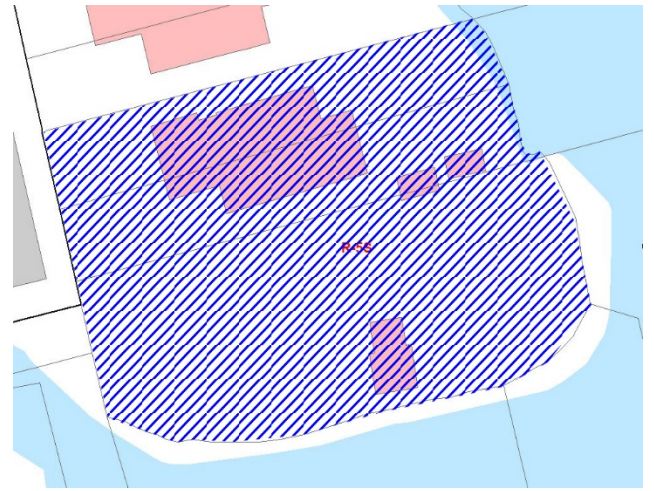
NEW BUSINESS – WETLANDS

3. 2021-WTRA-00130
Joseph J. Lamontagne
[Applicant & Owner]

To construct rip rap revetment involving wetlands

203 Caspian Ave and Lot 1 of Shadow Lawn Heights
(GPIN 2427-01-6928 & 2427-01-6963)

Waterway – Lake Rudee
Subdivision – Shadow Lawn Heights
Council District – Beach

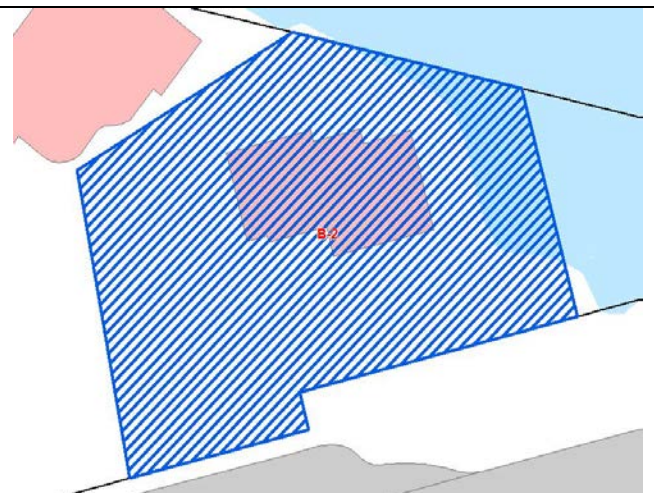


4. 2021-WTRA-00266
900 Laskin-B, LLC and 900 Laskin-T, LLC [Applicant & Owner]

To construct rip rap overlay involving wetlands

900 Laskin Road
(GPIN 2418-71-8663)

Waterway – Little Neck Creek
Subdivision – Laskin Rd
Council District – Lynnhaven

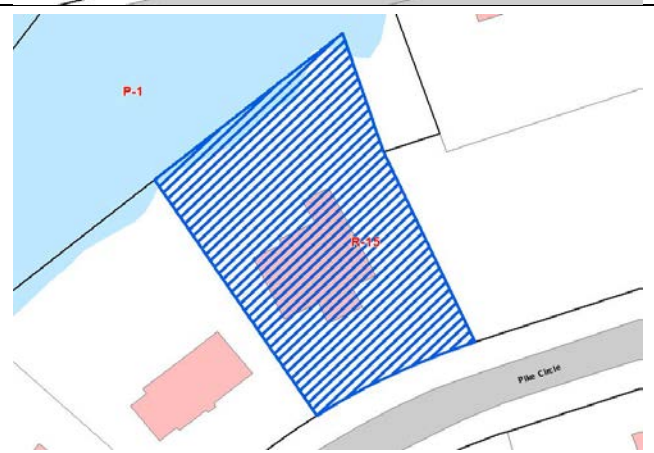


5. 2021-WTRA-00268
Jeffery L. Bruzzesi
[Applicant & Owner]

To install a bulkhead involving wetlands

312 Pike Circle
(GPIN 2433-40-3827)

Waterway – North Bay
Subdivision – Sandbridge
Council District – Princess Anne



* Deferral
** Withdrawal

NEW BUSINESS – WETLANDS

6. 2021-WTRA-00271

Ryan Woods [Applicant & Owner]

To construct rip rap revetment involving wetlands

620 Lake Point Circle
(GPIN 2417-28-4607)

Waterway – Linkhorn Bay
Subdivision – Fremac Shores
Council District – Beach



* Deferral
** Withdrawal

1. 2020-WTRA-00121

David Meyer [Applicant]

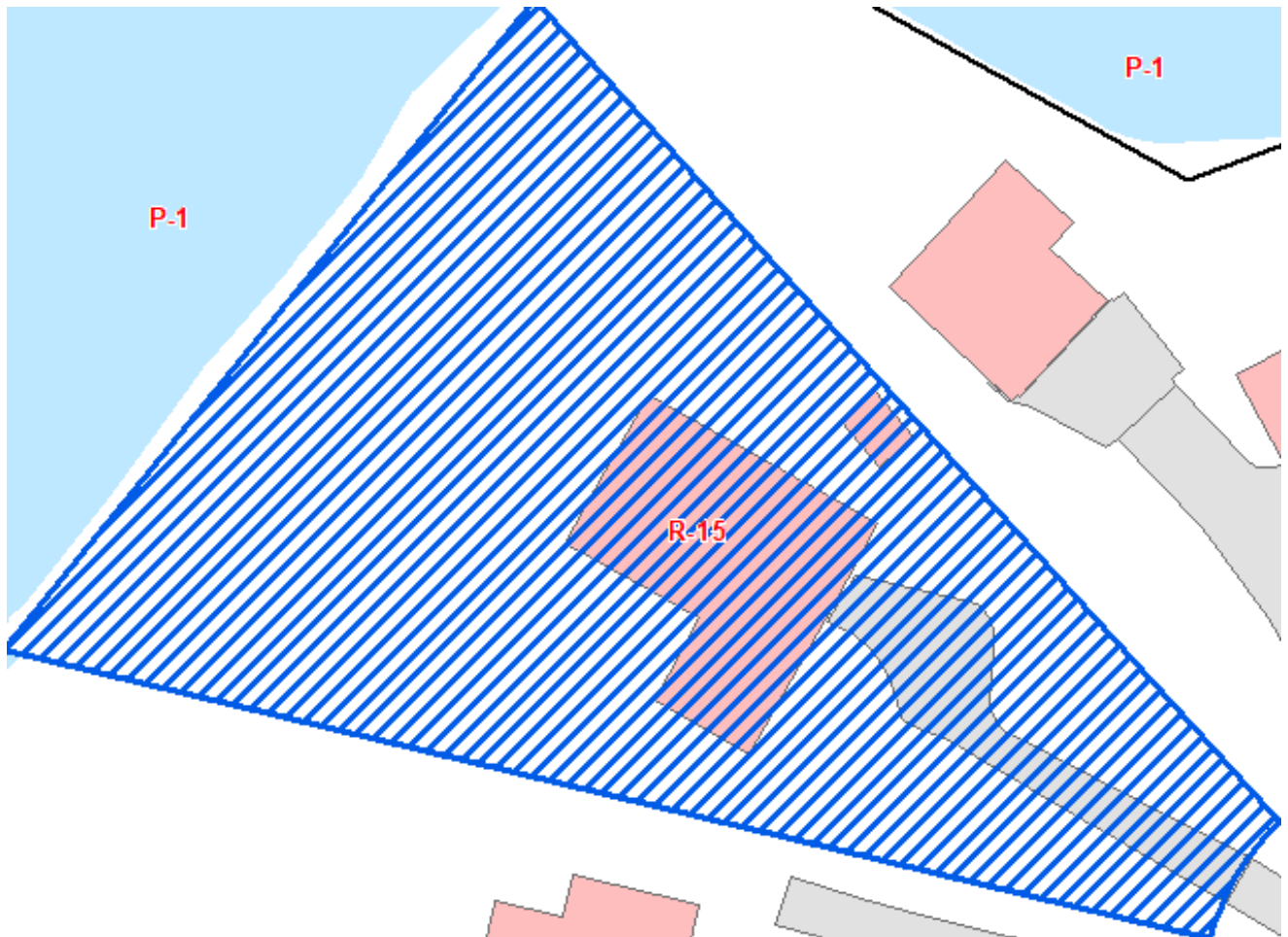
Kathy M. Meyer [Owner]

REQUEST FOR 1 YEAR EXTENSION

To remove rip rap involving wetlands

344 Pike Circle
(GPIN 2433-30-6408)

Waterway – North Bay
Subdivision – Back Bay Meadows
Council District – Princess Anne



From: [Daniel Yates](#)
To: [Planning Waterfront](#)
Subject: Wetlands Permit Extension 344 Pike Circle
Date: Friday, September 3, 2021 1:39:20 PM

CAUTION: This email originated from outside of the City of Virginia Beach. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

We are requesting an extension for the Wetlands Permit located at 344 Pike Circle. Please allow us on the next wetlands docket if possible.

Thanks for your assistance.

Dan

--

Daniel Yates
Sandbridge Marine Corp.
President
757-778-0805

2. 2020-WTRA-00156

James R. Burnell [Applicant & Owner]

REQUEST FOR 1 YEAR EXTENSION

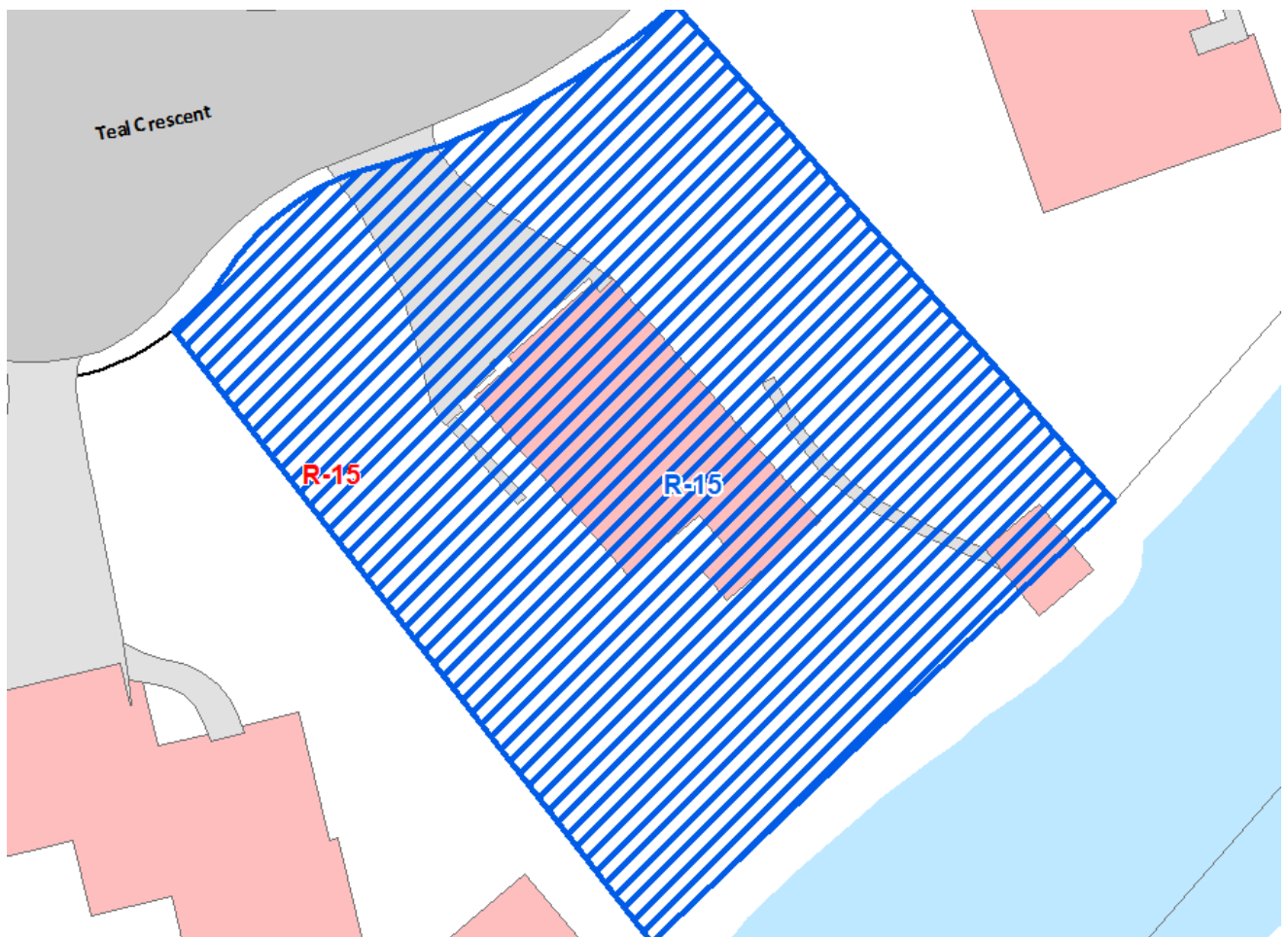
To construct a bulkhead involving wetlands

329 Teal Crescent
(GPIN 2433-16-7215)

Waterway – Man Made Canal to North Bay

Subdivision – Sandbridge Shores

Council District – Princess Anne



From: rhouldjones@aol.com
To: [Planning Waterfront](#)
Subject: October Wetlands Board Agenda
Date: Tuesday, September 7, 2021 11:03:36 AM

CAUTION: This email originated from outside of the City of Virginia Beach. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern:

I hereby request that application number 2020-WTRA- 00156, Mr. James R.. Burnell, be placed on the October 2021 Wetlands Board Agenda seeking approval for a 1-year extension.

Thank you.

Harold

R. Harold Jones, PWS, Emeritus
Sigma Environmental Services, Inc.
1513 Sandbridge Road
Virginia Beach, Virginia 23456

Phone: 757 615-9974

Email: Rharoldjones@aol.com

Veteran Owned Small Business

Environmental Sciences • Regulatory Services
Wetlands Research, Planning & Restoration

3. 2021-WTRA-00130

Joseph J. Lamontagne [Applicant & Owner]

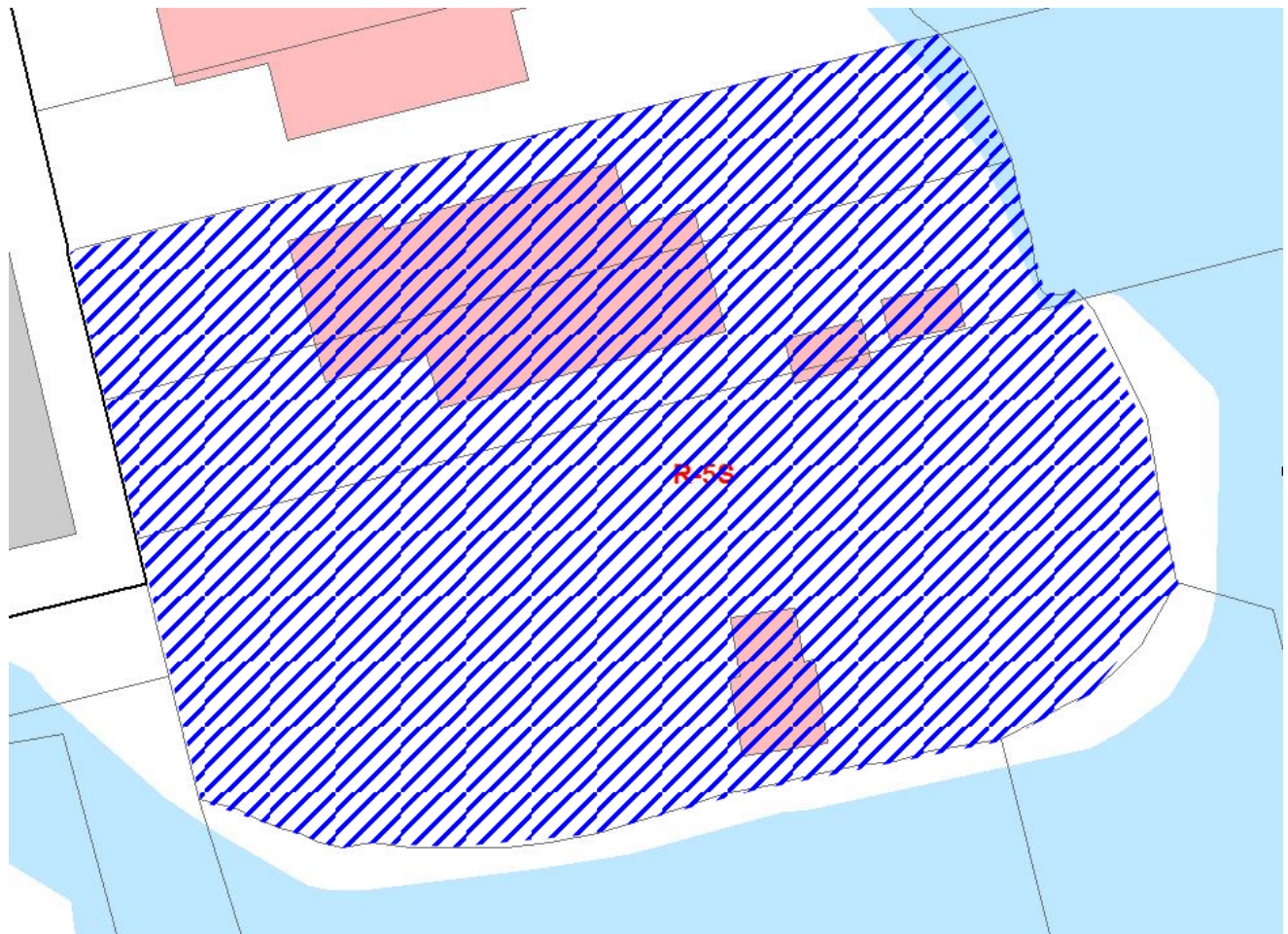
To construct rip rap revetment involving wetlands

203 Caspian Ave and Lot 1 of Shadow Lawn Heights
(GPIN 2427-01-6928 & 2427-01-6963)

Waterway – Lake Rudee

Subdivision – Shadow Lawn Heights

Council District – Beach



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Joseph LaMontagne

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.

Billy Garrington

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.

GALLUP SURVEYORS & ENGINEERS, David Butler

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

GALLUP SURVEYORS & ENGINEERS, David Butler

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Applicant Signature



Print Name and Title

Joseph LaMontagne, Owner

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-0842

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input checked="" type="checkbox"/>			
NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: Virginia Beach				
Waterway at project site: Canal from Lynnhaven River				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Joseph J. Lamontagne
203 Caspian Avenue
Virginia Beach, VA 23451
Email: jlamontagne@prioritytitlells.com

Home (____) _____
Work (757) 320-0471
Fax (____) _____
Cell (____) _____
e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

[Redacted]

Home (____) _____
Work (____) _____
Fax (____) _____
Cell (____) _____
e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable):

Billy Garrington
471 Southside Road
Virginia Beach, VA 23451

Contact Information:
Home (____) _____
Work (757) 478-4245
Fax (757) _____
Cell (____) _____
e-mail dave@gallupsurveyors.c

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Construct I rip rap revetment. Construct timber wharf, pier and boat house with boat lift. Access from land and water. Piles will be installed via vibratory hammer. 8" piles and class B (12" diam) piles will be utilized and driven via vibratory hammer.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot
 150 W. Brambleton Avenue
 Norfolk, VA 23510

Telephone number

(757) 622-1455 _____

7. Give the following project location information:

Street Address (911 address if available) Vacant lot south of 203 Caspian Ave. _____

Lot/Block/Parcel# Parcel 1 _____

Subdivision Shadowlawn _____

City / County Virginia Beach _____ ZIP Code 234514 _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36-49-52.20 _____ / - 75-58-44.69 _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

N/A

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to halt erosion. Secondary purpose is to provide water access.

Part 1 - General Information (continued)

9. Proposed use (check one):
 Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- No clearing. Minimal construction footprint defined by safety fence.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ _____
Approximate cost of that portion of the project that is channelward of mean low water:
\$60,650
13. Completion date of the proposed work: December 30, _____ - 2021
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

- | | |
|---|---|
| 1. Joseph J. Lamontagne
203 Caspian Avenue
Virginia Beach, VA 23451 | 6 and 7: Richard L. Neatherly
305 Caspian Avenue
Virginia Beach, VA 23451 |
| 2. City of Virginia Beach
Courthouse Road
Virginia beach, VA 23456 | |
| 3. Percy Lee and Harriet H. Jones
609 Goldsboro Avenue
Virginia Beach, VA 23451 | |
| 4. Unknown Ownership | |
| 5. Kenneth Lindsley
317 First Colonial Road, Suite C
Virginia Beach, VA 23454 | |

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Joe Lamontagne

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Applicant's Signature

(Use if more than one applicant)

Friday April 2, 2021

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Joe Lamontagne, hereby certify that I (we) have authorized David R. Butler
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

David R. Butler
(Agent's Signature) (Use if more than one agent)

4/5/21
(Date)

[Signature]
(Applicant's Signature) (Use if more than one applicant)

Friday April 2, 2021
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Joe LaMontagne, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm Contractor's or firms address

Contractor's signature and title Contractor's License Number

Applicant's signature (use if more than one applicant)

Date

GALLUP
SURVEYORS & ENGINEERS

April 5, 2021

Percy Lee
Harriet H. Jones
609 Goldsboro Avenue
Virginia Beach, VA 23451

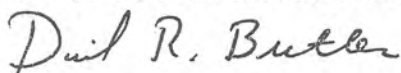
Re: Waterfront Construction Adjacent To Your Property

We have been retained by your neighbor, Joseph Lamontagne, to prepare plans for rip rap, pier, boat house, boat lift and boat ramp to serve his property on Caspian Avenue. The City of Virginia Beach Waterfront Operations Department requires consulting engineers for waterfront construction projects to notify all of the property owners that are adjacent to a proposed waterfront project that construction is proposed for that particular property. I have included a preliminary copy of the waterfront plans with this letter for you to review. In addition to notifying the immediate neighbors, VMRC requires the immediate neighbors to review, check, and sign the enclosed form. I have provided a stamped envelope for your use in returning the form to us.

Please feel free to call me if you have any questions or comments so that I may relay them to my client.

Sincerely,

GALLUP SURVEYORS & ENGINEERS



David R. Butler, P.E.

DRB/ilc



323 First Colonial Road • Virginia Beach, Virginia 23454-4605
Phone (757)428-8132 • Fax (757)425-2390

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), PERCY LEE & HARRIET H. JONES, own land next to (across the water
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated MARCH 21, 2021
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner’s signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

GALLUP
SURVEYORS & ENGINEERS

April 5, 2021

Kenneth Lindsley
317 First Colonial Road
Suite C
Virginia Beach, VA 23454

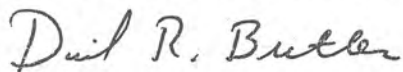
Re: Waterfront Construction Adjacent To Your Property

We have been retained by your neighbor, Joseph Lamontagne, to prepare plans for rip rap, pier, boat house, boat lift and boat ramp to serve his property on Caspian Avenue. The City of Virginia Beach Waterfront Operations Department requires consulting engineers for waterfront construction projects to notify all of the property owners that are adjacent to a proposed waterfront project that construction is proposed for that particular property. I have included a preliminary copy of the waterfront plans with this letter for you to review. In addition to notifying the immediate neighbors, VMRC requires the immediate neighbors to review, check, and sign the enclosed form. I have provided a stamped envelope for your use in returning the form to us.

Please feel free to call me if you have any questions or comments so that I may relay them to my client.


Sincerely,

GALLUP SURVEYORS & ENGINEERS



David R. Butler, P.E.

DRB/ilc



323 First Colonial Road • Virginia Beach, Virginia 23454-4605
Phone (757)428-8132 • Fax (757)425-2390

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), KENNETH LINDSLEY, own land next to (across the water
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE.
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated MARCH 21, 2021
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

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GALLUP
SURVEYORS & ENGINEERS

April 5, 2021

Richard L. Neatherly
305 Caspian Avenue
Virginia Beach, VA 23451

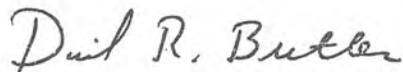
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DRB/ilc



323 First Colonial Road • Virginia Beach, Virginia 23454-4605
Phone (757)428-8132 • Fax (757)425-2390

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), RICHARD L. NEATHERLY, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of JOSEPH LAMONTAGNE.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated MARCH 21, 2021
(Date)

to be submitted for all necessary federal, state and local permits.

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Date

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Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

Install pier, wharf, boat house and boat lift.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? Yes No

If yes, will it be removed? Yes No

Is your lot platted to the mean low water shoreline? Yes No

What is the overall length of the proposed structure? See plans feet.

Channelward of Mean High Water? 45 feet.

Channelward of Mean Low Water? 38 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 960 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 1,804 square feet.

What is the total size of any and all L- or T-head platforms? n/a sq. ft.

For boathouses, what is the overall size of the roof structure? 700 sq. ft.

Will your boathouse have sides? Yes No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

Part 3 – Appendices (continued)

3. For **USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:

- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
- b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
- c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Not yet purchased				

Not yet purchased

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? _____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? _____.
- C) Will the facility be equipped to off-load sewage from boats? _____.
- D) How many wet slips are proposed? _____. How many are existing? _____.
- E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____ square feet

6. For **boat ramps**, what is the overall length of the structure? _____ feet.

From Mean High Water? _____ feet.

From Mean Low Water? _____ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Install 293.5 L.F. of rip rap, most of which is over existing stone. The existing stone will be removed, the bank will be graded. Filter fabric will be installed with two layers of class I rip rap.

823 sq. ft. of rip rap will be placed within the intertidal zone and will replace the same amount of existing concrete rubble.

216 cubic yards of rip rap will be placed between mean low water and the top of bank.

Approximately 265 sq. ft. of salt bush (baccharis) will be lost to construction.

The preferred shoreline treatment, having a living shore (marsh) component, is not feasible

2. What is the maximum encroachment channelward of mean high water? 4.5 feet.
Channelward of mean low water? 1 feet.
Channelward of the back edge of the dune or beach? n/a feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 265 square feet
 - Non-vegetated wetlands 823 square feet
 - Subaqueous bottom 19 square feet
 - Dune and/or beach n/a square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

7

ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR

WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: VACANT (SOUTH OF 203 CASPIAN AVE

APPLICANT'S NAME: JOSEPH J. LANMONTAGNE

APPLICANT'S ADDRESS: 203 CASPIAN AVE
VIRGINIA BEACH, VA 23451

ENGINEER OF RECORD: DAVID R. BUTLER, P.E.

PROFESSIONAL ENGINEER/SURVEYOR
CERTIFYING PROJECT
CONSTRUCTION:

DAVID R. BUTLER, P.E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

David R. Butler

9.7.21

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

DAVID R. BUTLER, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

[Signature]

9.7.21

Applicant's Signature

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



LOCATION MAP

SCALE: 1" = 1,000'

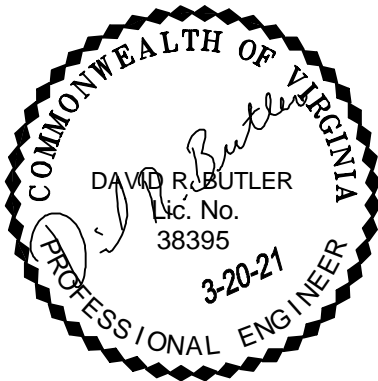
SITE DATA

- 1.) SITE ADDRESS: VACANT, ADDRESS NOT YET ASSIGNED
- 2.) LEGAL: PARCEL 1, I.N. 202000100354
LOT 1, BLOCK 30
SHADOWLAWN HEIGHTS
M.B. 7 P. 41
- 3.) GPIN: 2427-01-6963
- 4.) VERTICAL DATUM: NAVD 88
- 5.) ZONED: R-5S
- 6.) THIS PLAN WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ANY AND/OR ALL EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN.
- 7.) PHYSICAL FEATURES SHOWN OBTAINED FROM A SURVEY PROVIDED BY THE OWNER PREPARED EUGENE T. REYNOLDS DATED OCTOBER 24, 2020 TOPO DATA PROVIDED BY COMPASS AND CHAIN

SEE SHEET 19 FOR WETLANDS IMPACTS

OWNER/DEVELOPER

JOSEPH LAMONTAGNE
203 CASPIAN AVENUE
VIRGINIA BEACH, VA 23451
PH. 757-320-0471
EMAIL: JLAMONTAGNE@PRIORITYTILEUS.COM



SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER
2	OVERALL PLAN
3-6	EXISTING CONDITIONS
7-11	IMPROVEMENTS PLAN
12-16	PIER/WHARF DETAILS
17-18	MATERIAL NOTES
19	NOTES
20-22	BOAT HOUSE DETAILS
23	RIP RAP SECTION

NOTES

- 1.) MEAN LOW WATER ELEVATION = -2.18 (NAVD 88)
- 2.) MEAN HIGH WATER ELEVATION = 1.21 (NAVD 88)
- 3.) 1.5X JURISDICTIONAL ELEV.= 2.91 (NAVD 88)

GALLUP
SURVEYORS & ENGINEERS
323 FIRST COLONIAL ROAD
VIRGINIA BEACH, VIRGINIA 23454
(757)428-8132 FAX (757)425-2390

DATE	COMMENT
8-1-21	REVISE RIP RAP LOCATION

REVISION SCHEDULE

PROJECT: RIP RAP, BOAT HOUSE AND PIER

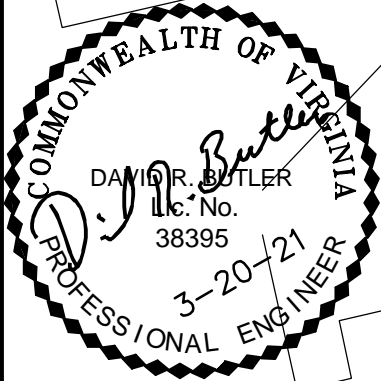
ADJACENT PROPERTY OWNERS:
SEE SHEET 2

COVER SHEET

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 1 OF 23

8-1-21 REV.

LAKE RUDEE
 SHADOW LAWN HEIGHTS
 M.B. 7, P. 41
 CITY OF VIRGINIA BEACH
 GRIN: 2427-01-8263

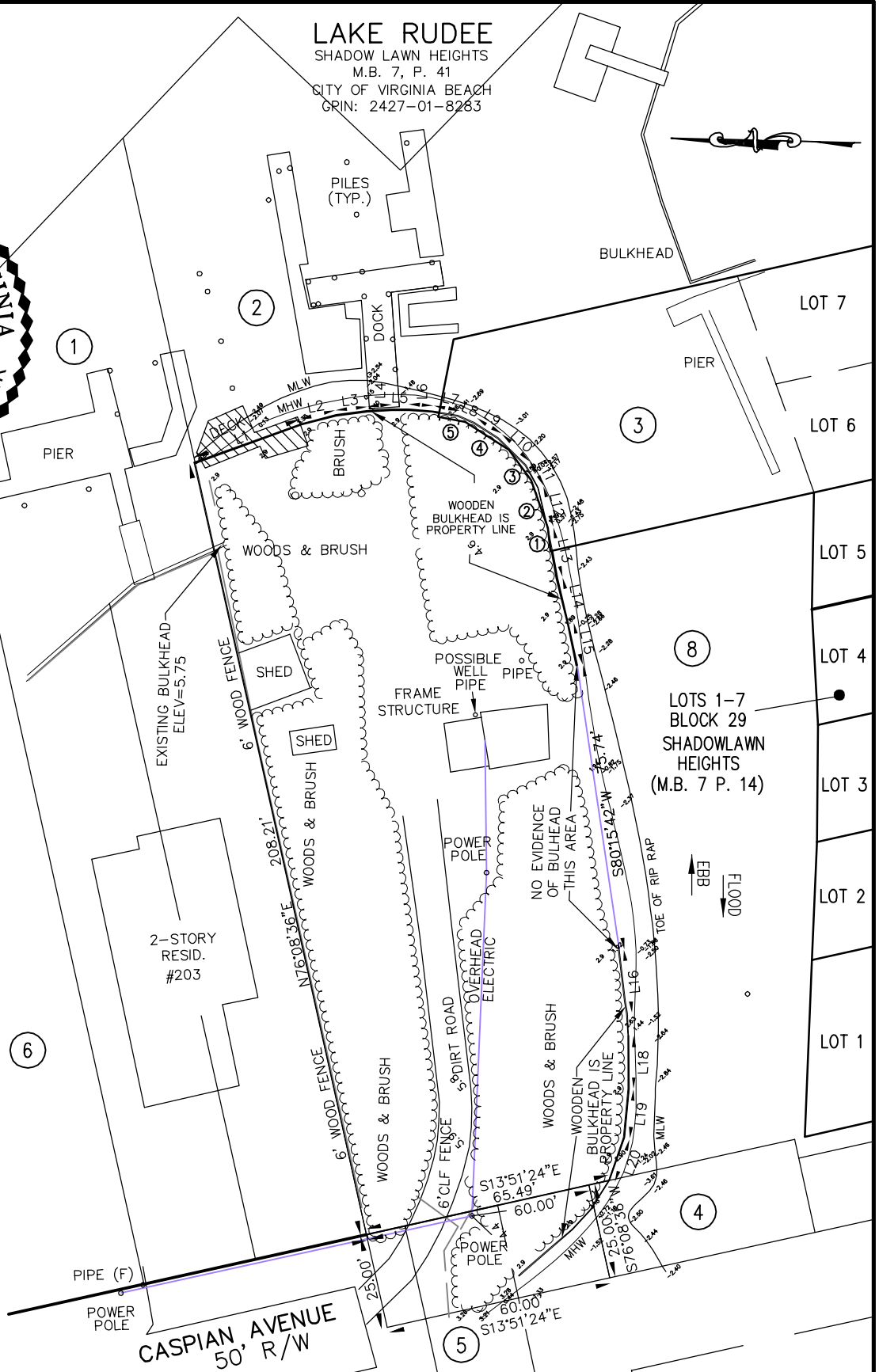


NO.	BEARING	DISTANCE
①	N 89°39'52" E	6.21'
②	N 76°03'42" E	13.19'
③	N 58°48'58" E	10.06'
④	N 38°00'37" E	13.49'
⑤	N 16°19'11" E	7.28'

METES AND BOUNDS ①-⑤
 OBTAINED FROM A PHYSICAL SURVEY
 OF PARCEL A (SUBAQUEOUS LAND)
 ABUTTING ALONG THE NORTH SIDE
 OF LOTS 6 & 7 IN BLOCK 29,
 SHADOWLAWN HEIGHTS (M.B. 7, P. 14)

- JOSEPH JOHN LAMONTAGNE
- CITY OF VIRGINIA BEACH
- PERCY LEE JONES, JR.
AND HARRIET H. JONES
- UNKNOWN OWNERSHIP
- KENNETH LINDSLEY
- RICHARD L. NEATHERLY
- RICHARD L. NEATHERLY
- UNKNOWN OWNERSHIP

LINE TABLE		
NO.	BEARING	DISTANCE
L1	S21°13'12"E	29.87'
L2	S15°41'30"E	9.31'
L3	S08°36'10"E	8.23'
L4	S05°01'34"E	6.51'
L5	S01°57'46"E	4.50'
L6	S03°07'41"W	6.19'
L7	S08°11'20"W	6.89'
L8	S21°42'55"W	4.69'
L9	S31°49'17"W	7.46'
L10	S43°17'11"W	10.17'
L11	S59°28'18"W	6.84'
L12	S75°10'04"W	10.91'
L13	S78°00'53"W	13.54'
L14	S75°12'40"W	12.13'
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L18	S88°35'15"W	14.00'
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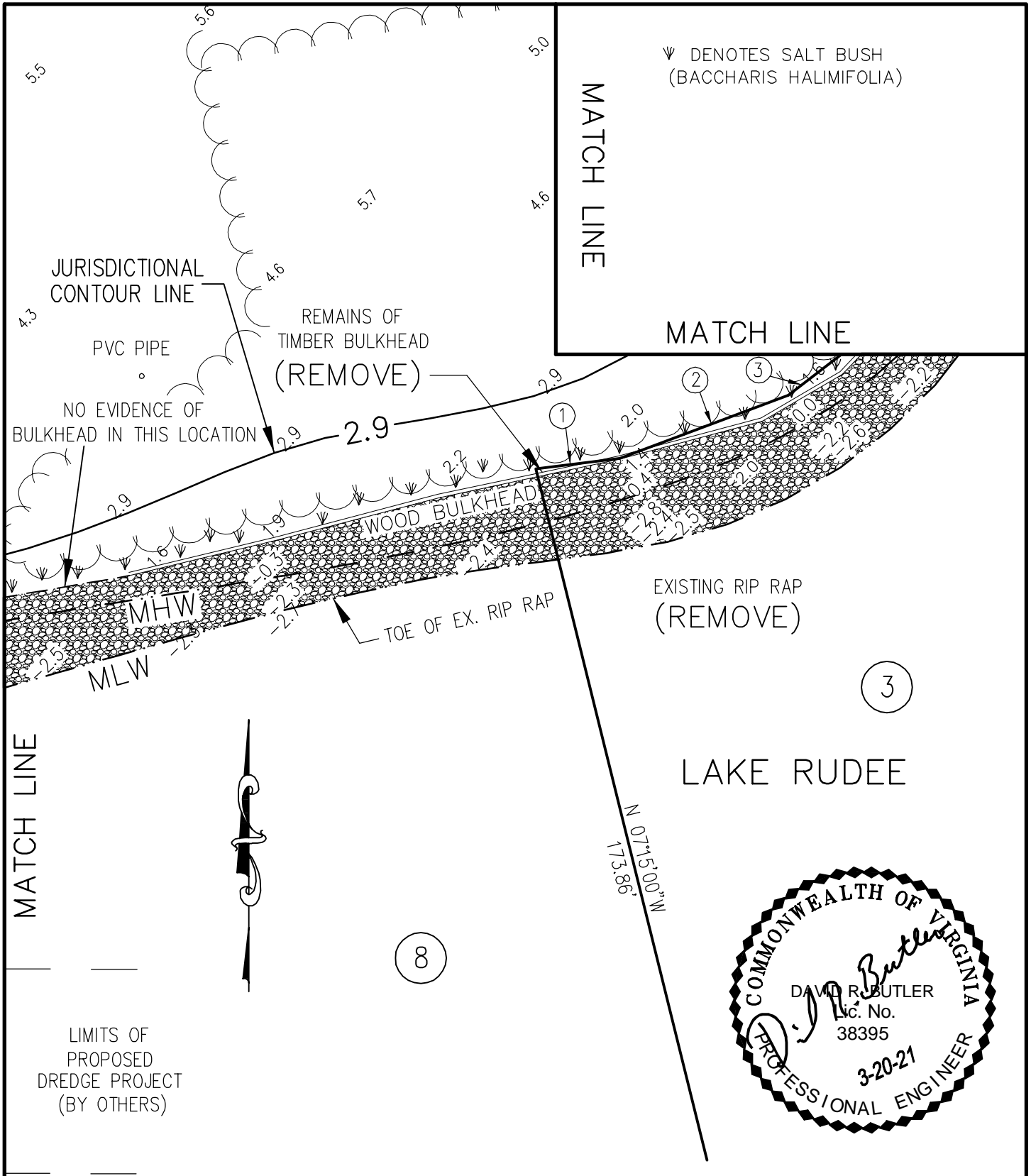


ADJACENT PROPERTY OWNERS:
 SEE LIST, THIS SHEET

OVERALL PLAN
 EXISTING CONDITIONS
 SCALE: 1" = 40'

PROJECT: RIP RAP, BOAT HOUSE, PIER
 IN: LAKE RUDEE
 BY: JOSEPH J. LAMONTAGNE
 DATE: MARCH 21, 2021 SHEET 2 OF 23

8-1-21 REV.



∇ DENOTES SALT BUSH
(BACCHARIS HALIMIFOLIA)

MATCH LINE

MATCH LINE

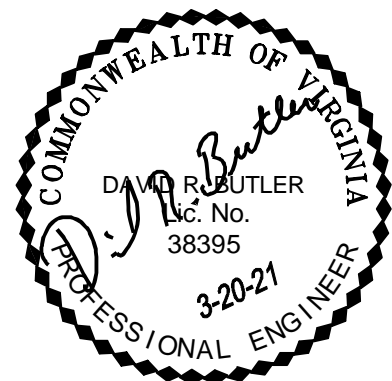
EXISTING RIP RAP
(REMOVE)

3

LAKE RUDEE

N 07°15'00" W
173.86'

8



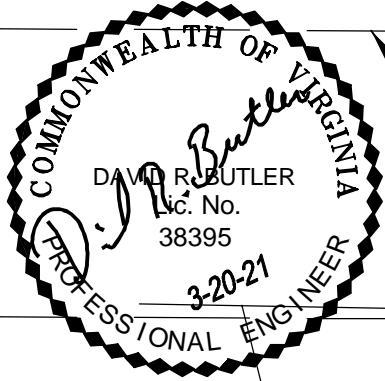
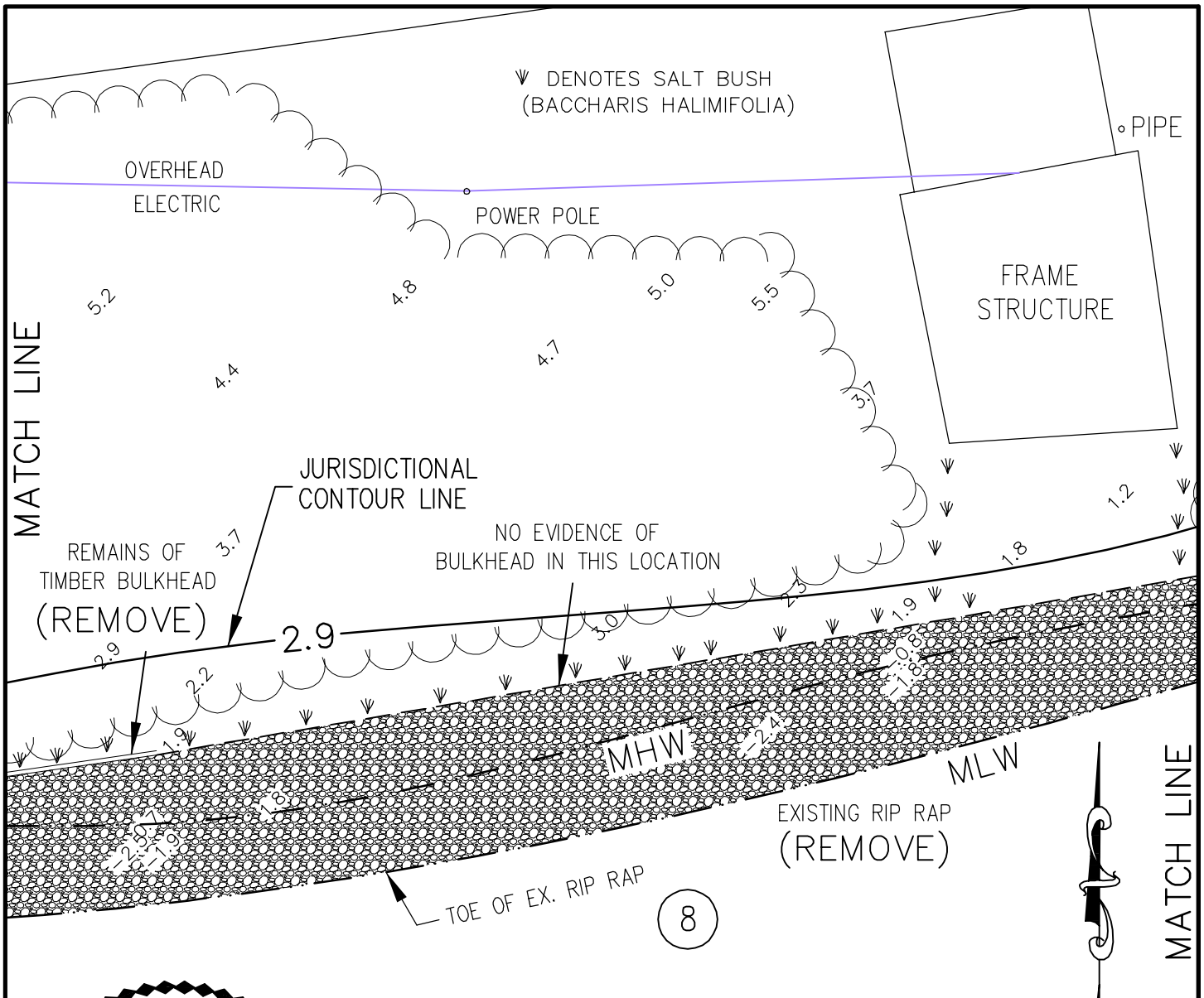
LIMITS OF
PROPOSED
DREDGE PROJECT
(BY OTHERS)

ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PLAN
EXISTING CONDITIONS
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 4 OF 23

8-1-21 REV.



LIMITS OF PROPOSED DREDGE PROJECT (BY OTHERS)

LAKE RUDEE CANAL



ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PLAN
EXISTING CONDITIONS
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 5 OF 23

8-1-21 REV.

1. JOSEPH JOHN LAMONTAGNE
2. CITY OF VIRGINIA BEACH
3. PERCY LEE JONES, JR.
4. UNKNOWN OWNERSHIP
5. KENNETH LINDSLEY
6. RICHARD L. NEATHERLY
7. RICHARD L. NEATHERLY
8. UNKNOWN OWNERSHIP

▼ DENOTES SALT BUSH
(BACCHARIS HALIMIFOLIA)

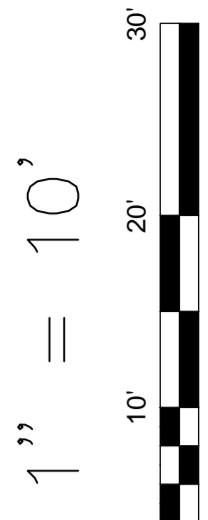
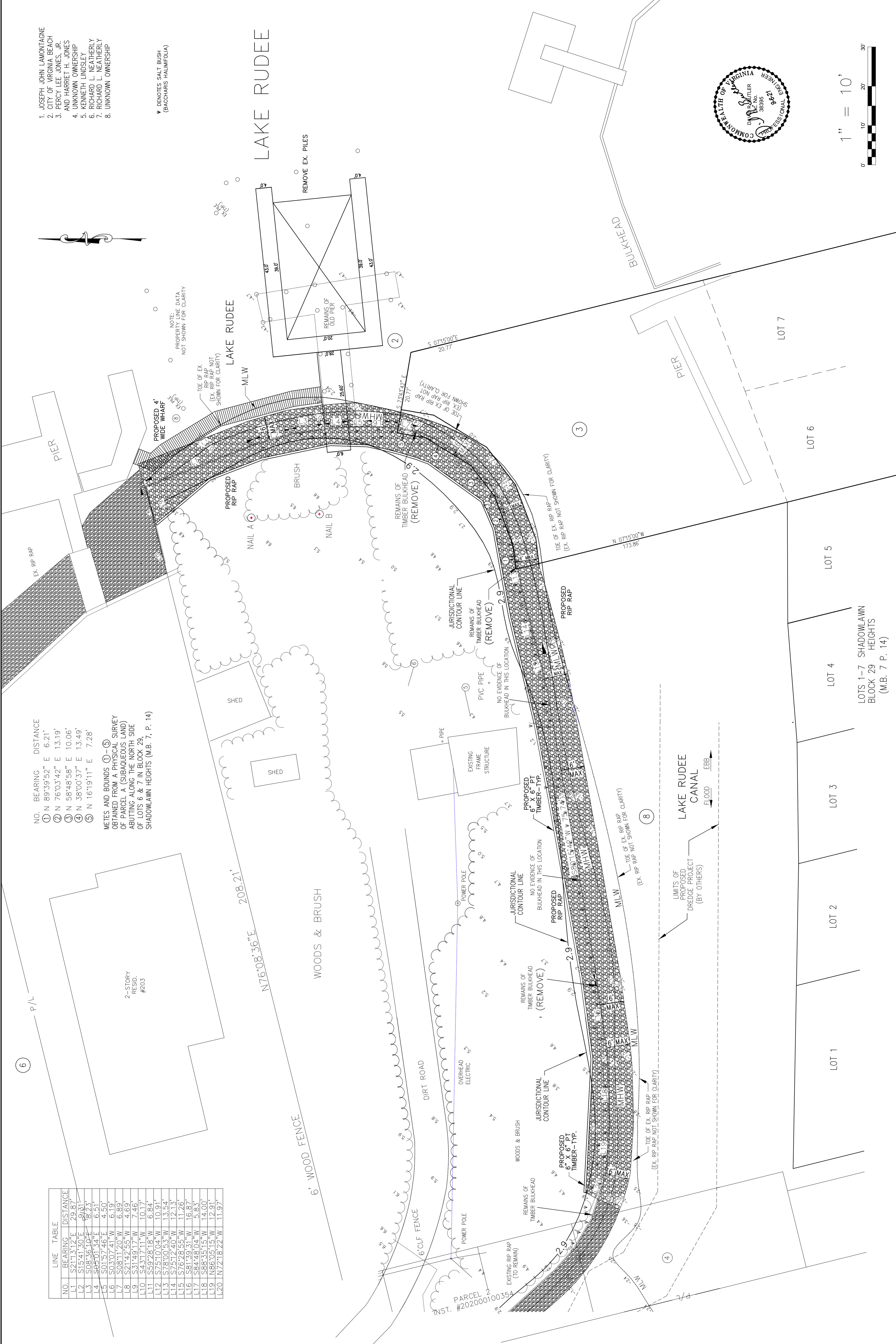
NOTE:
PROPERTY LINE DATA
NOT SHOWN FOR CLARITY

- NO. BEARING DISTANCE
- ① N 89°39'52" E 6.21'
 - ② N 76°03'42" E 13.19'
 - ③ N 58°48'58" E 10.06'
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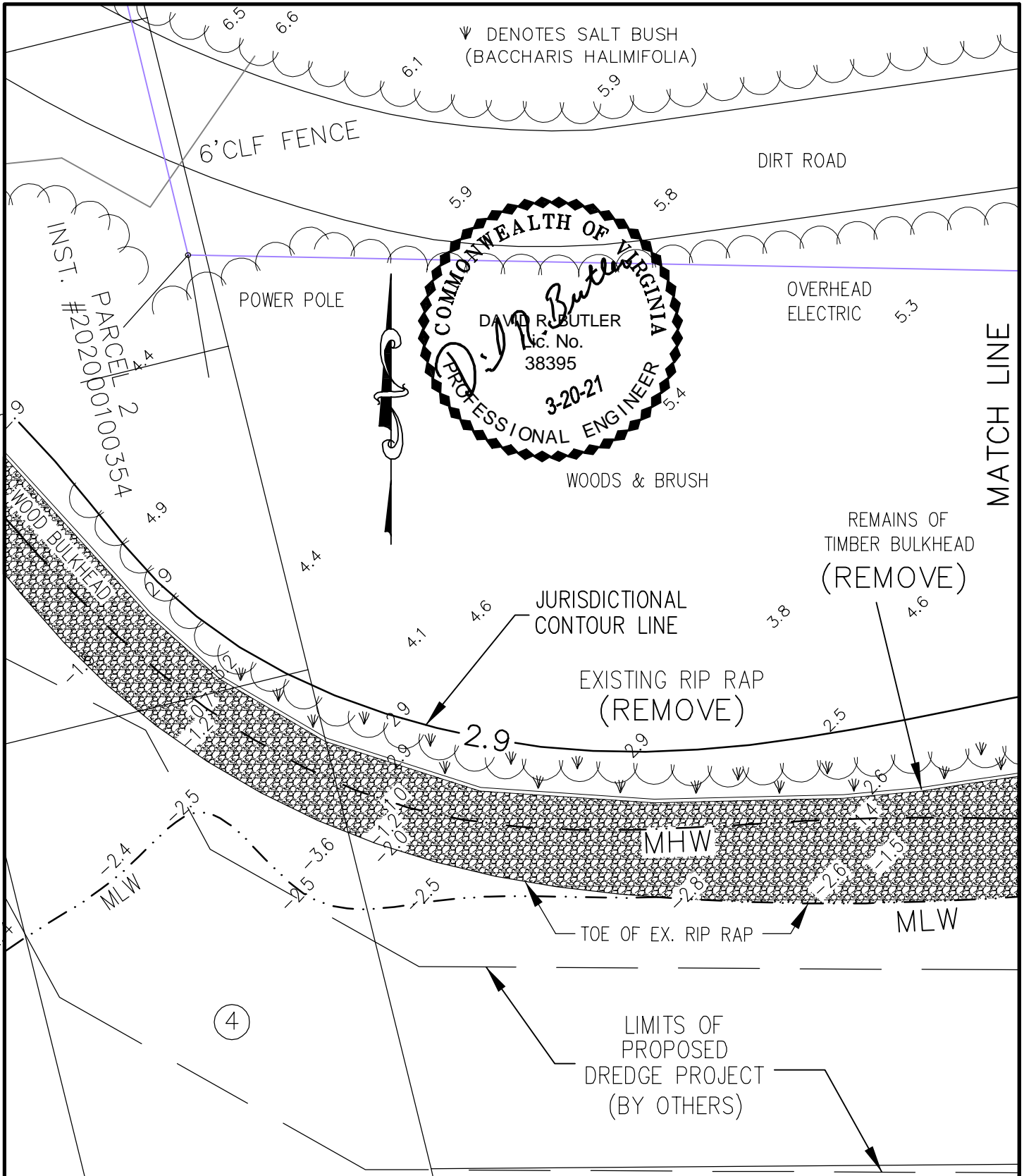
METES AND BOUNDS ①-⑤
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OF LOTS 6 & 7 IN BLOCK 29,
SHADOWLAWN HEIGHTS (M.B. 7, P. 14)

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L20	N72°18'22"W	11.97'

LAKE RUDEE



LOTS 1-7 SHADOWLAWN
BLOCK 29 HEIGHTS
(M.B. 7 P. 14)



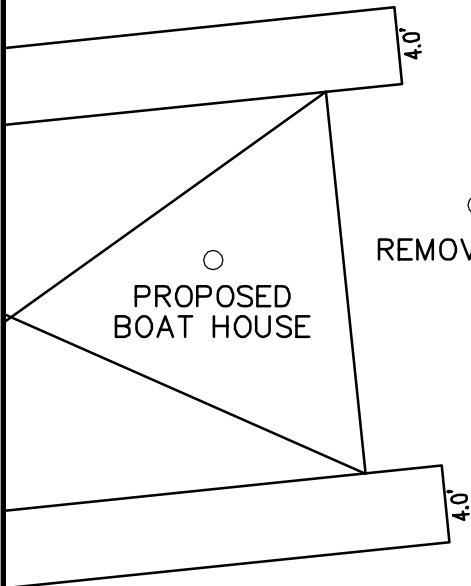
ADJACENT PROPERTY OWNERS: SEE SHEET 2	PLAN SCALE: 1" = 10'	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 6 OF 23
--	--------------------------------	--

8-1-21 REV.



LAKE RUDEE

EX. PILE
(TYP.)



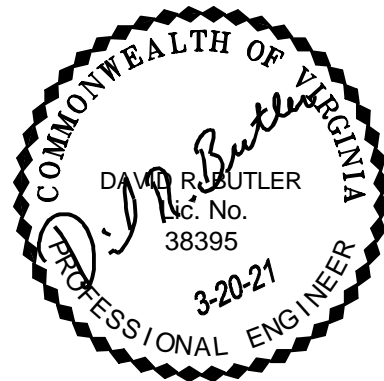
PROPOSED
BOAT HOUSE

REMOVE EX. PILES



MATCH LINE

2

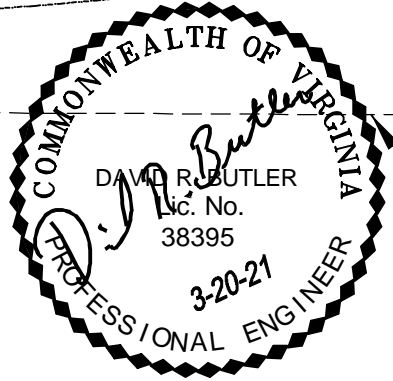
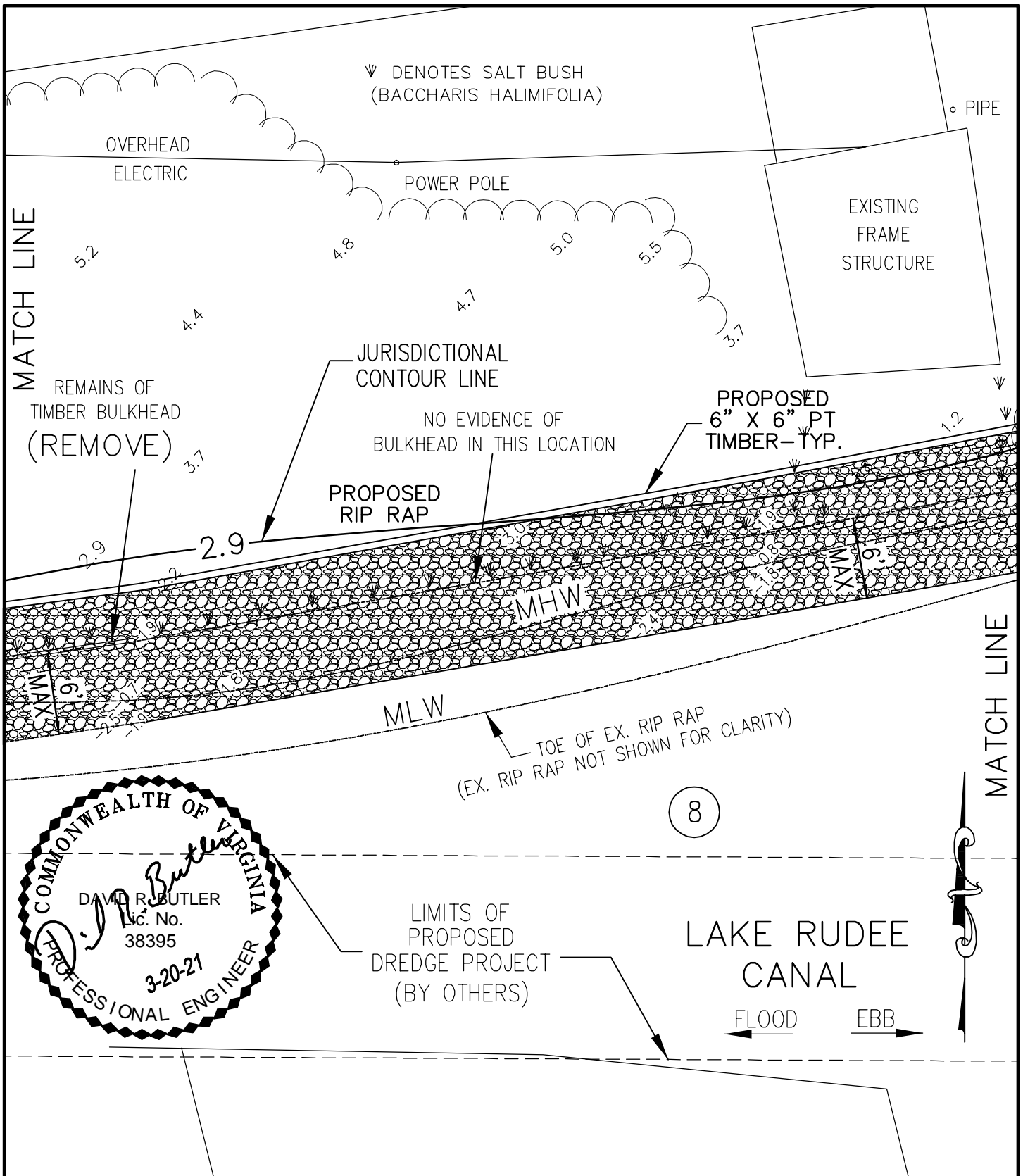


ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PLAN
PROPOSED IMPROVEMENTS
SCALE: 1" = 10'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 8 OF 23

8-1-21 REV.



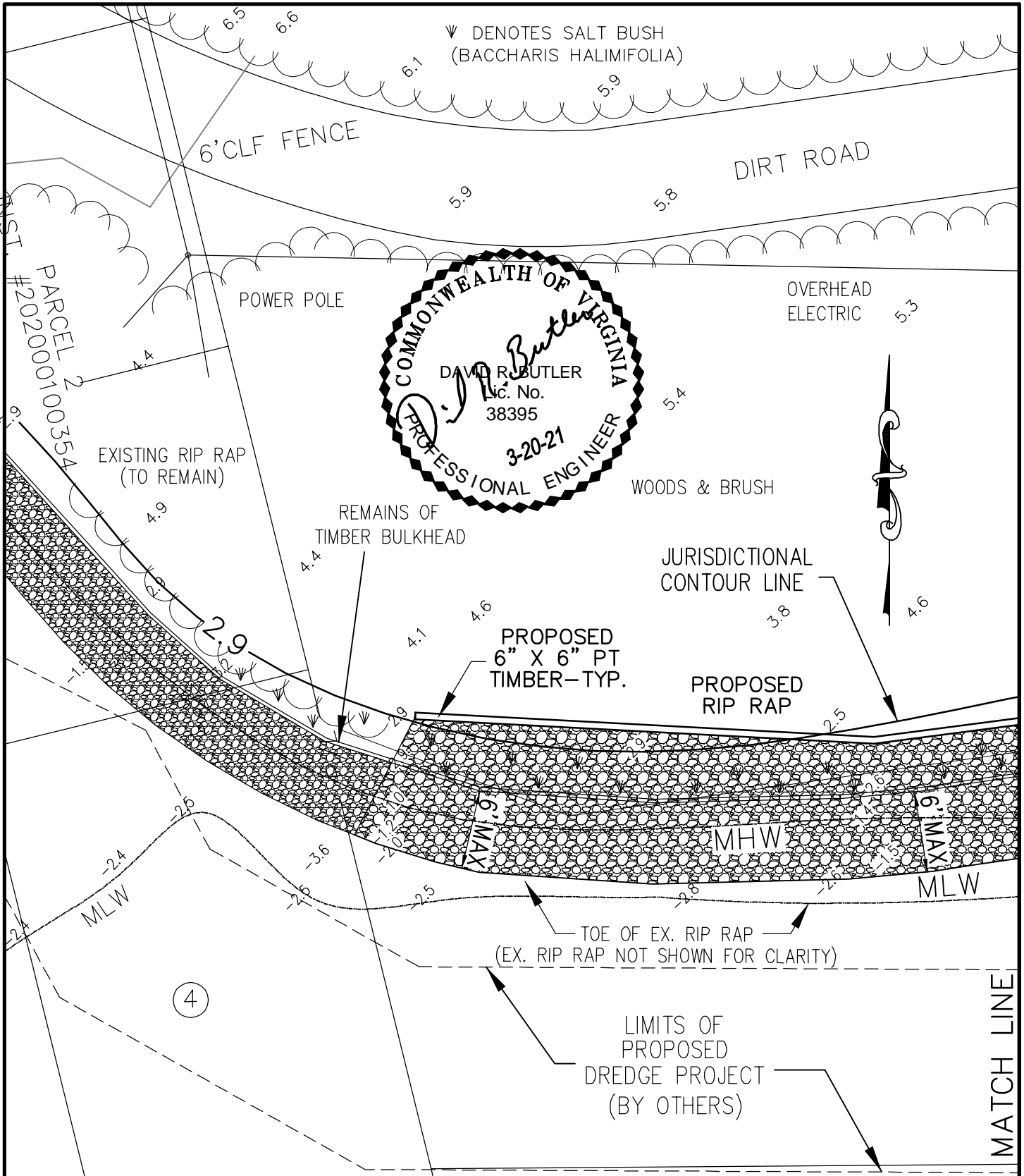
LIMITS OF PROPOSED DREDGE PROJECT (BY OTHERS)

LAKE RUDEE CANAL
 FLOOD ← → EBB

8

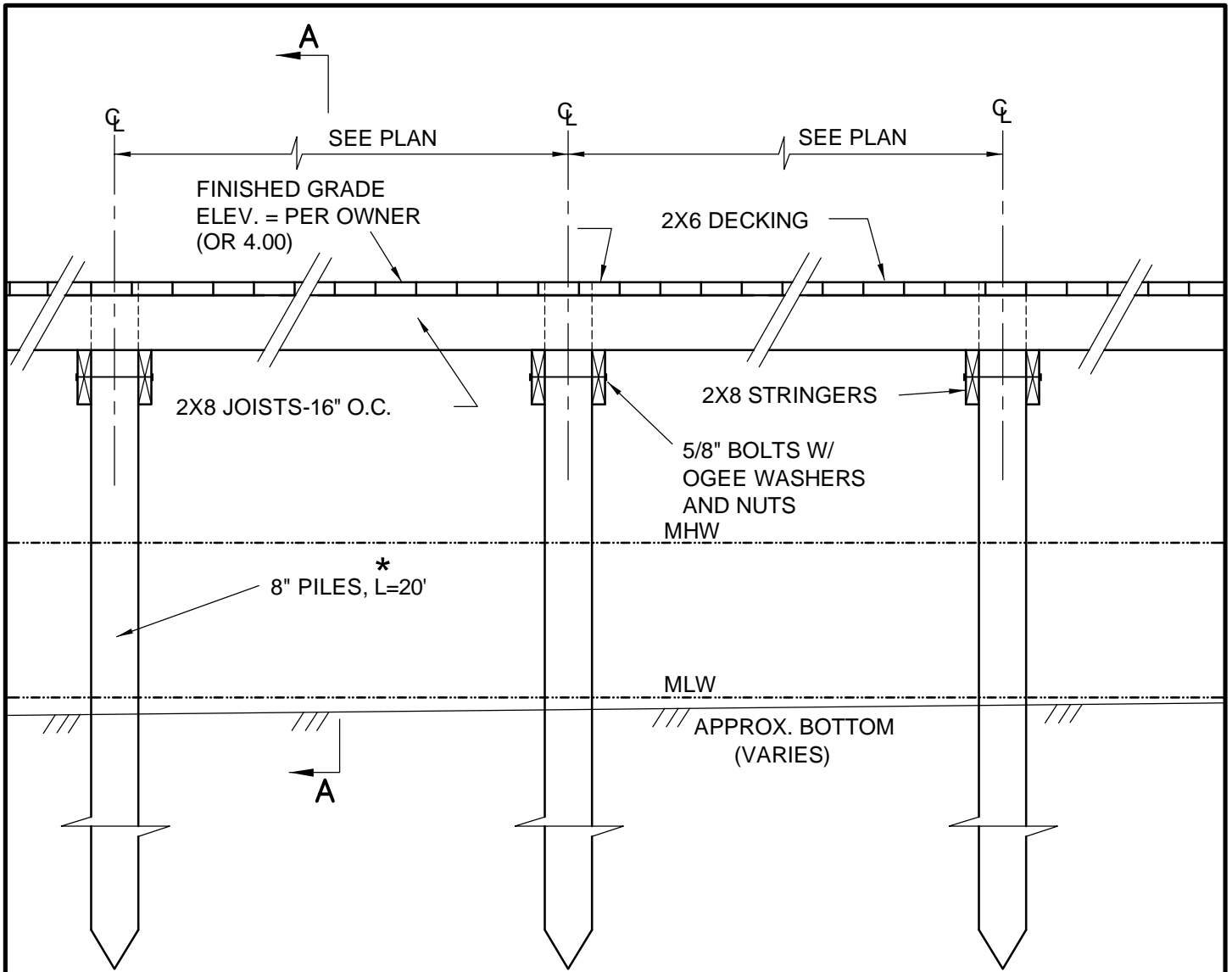
ADJACENT PROPERTY OWNERS: SEE SHEET 2	PLAN PROPOSED IMPROVEMENTS SCALE: 1" = 10'	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 10 OF 23
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8-1-21 REV.



ADJACENT PROPERTY OWNERS: SEE SHEET 2	PLAN PROPOSED IMPROVEMENTS SCALE: 1" = 10'	PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 11 OF 23
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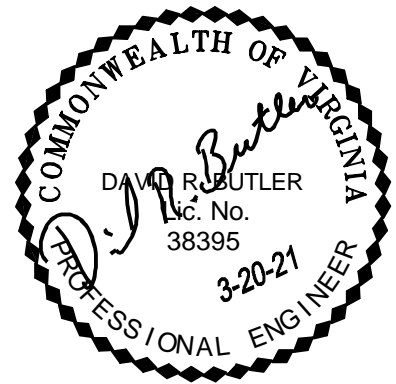
8-1-21 REV.



NOTES

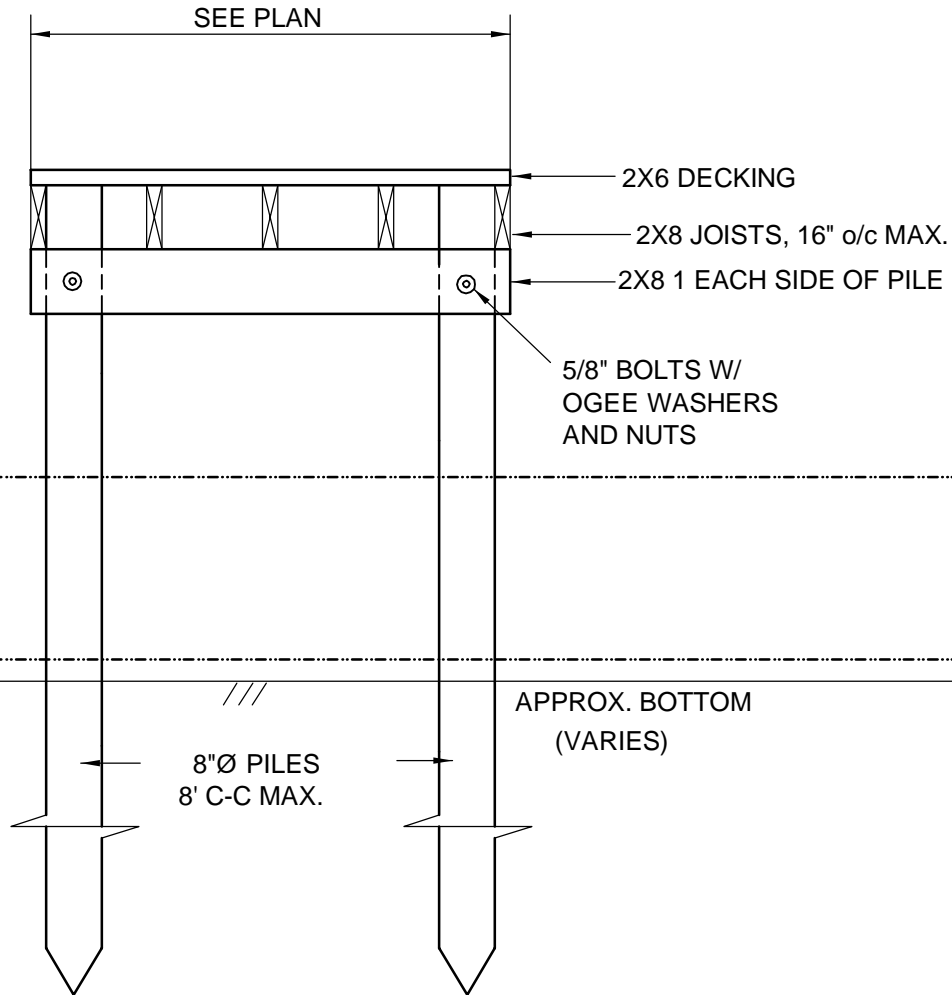
1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- * FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE (NO SOIL BORINGS WERE PROVIDED)

**PROP. PIER
TYPICAL SECTION**



<p>ADJACENT PROPERTY OWNERS: SEE SHEET 2</p>	<p>PIER DETAIL 1/2" = 1'</p>	<p>PROJECT: RIP RAP, BOAT HOUSE, PIER IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 12 OF 23</p>
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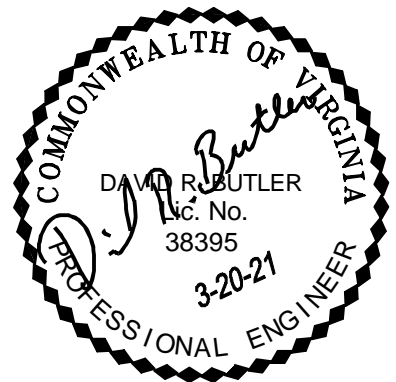
8-1-21 REV.



NOTES

1. ALL FRAMING LUMBER SHALL BE SYP SALT TREATED WITH A MIN. RETENTION OF 0.80 LBS. PER CUBIC FOOT
2. ALL HARDWARE AND FASTENERS SHALL BE HOTTED DIPPED GALVANIZED
- * FIXED PIER PILES SHALL BE DRIVEN TO MIN. 50 PERCENT PENETRATION BELOW THE BOTTOM OF THE MUDLINE (NO SOIL BORINGS WERE PROVIDED)

**PROP. PIER
SECTION A-A AND WHARF**



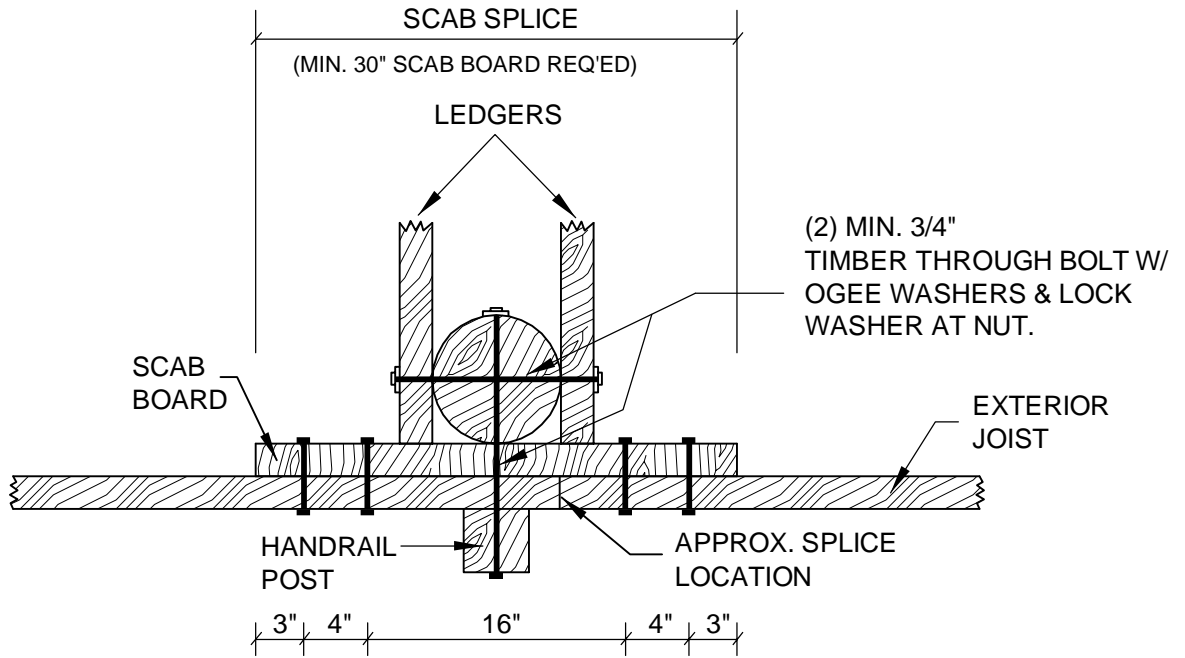
ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PIER DETAIL

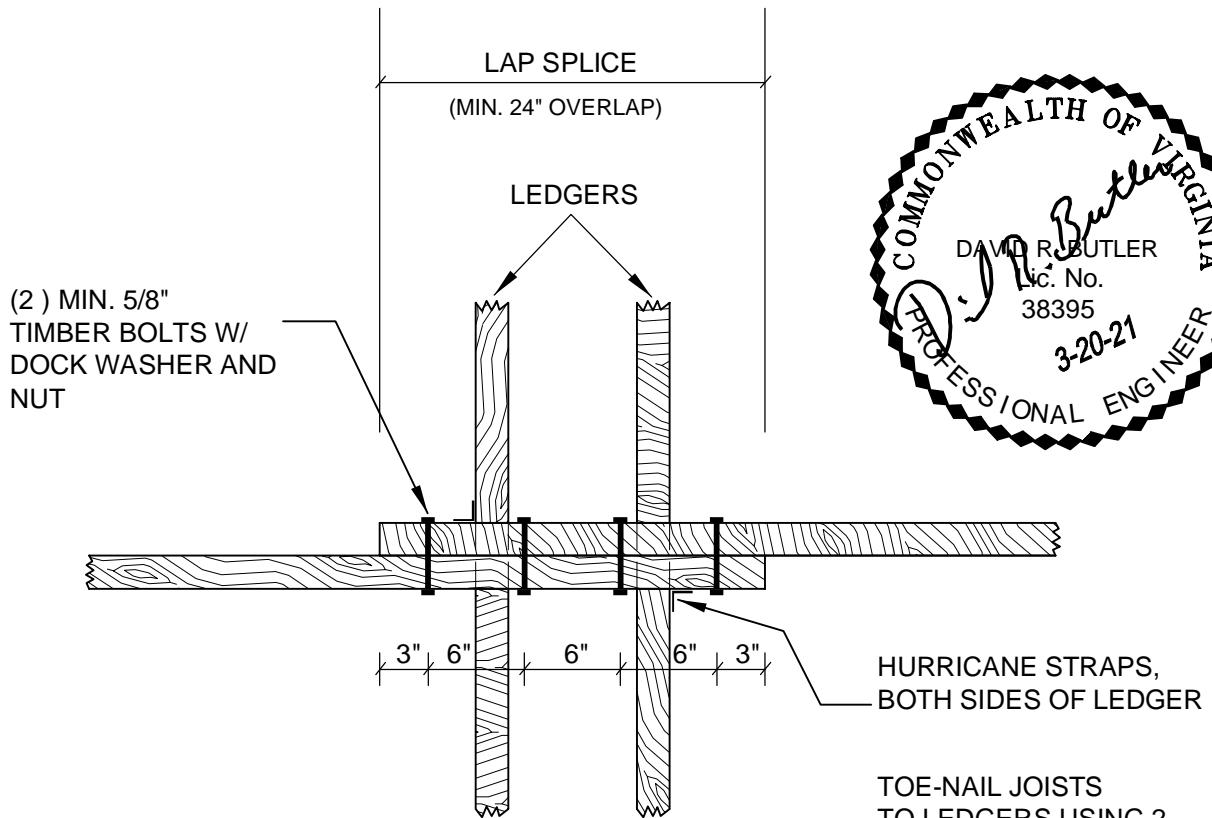
1/2" = 1'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 13 OF 23

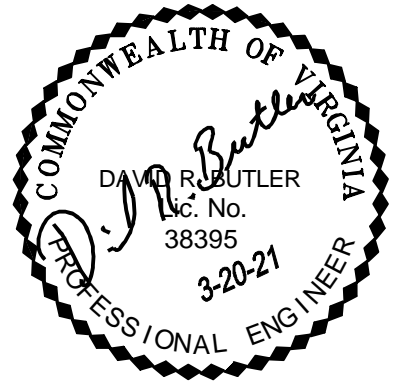
8-1-21 REV.



SCAB SPLICE DETAIL



LAP SPLICE DETAIL



HURRICANE STRAPS,
BOTH SIDES OF LEDGER

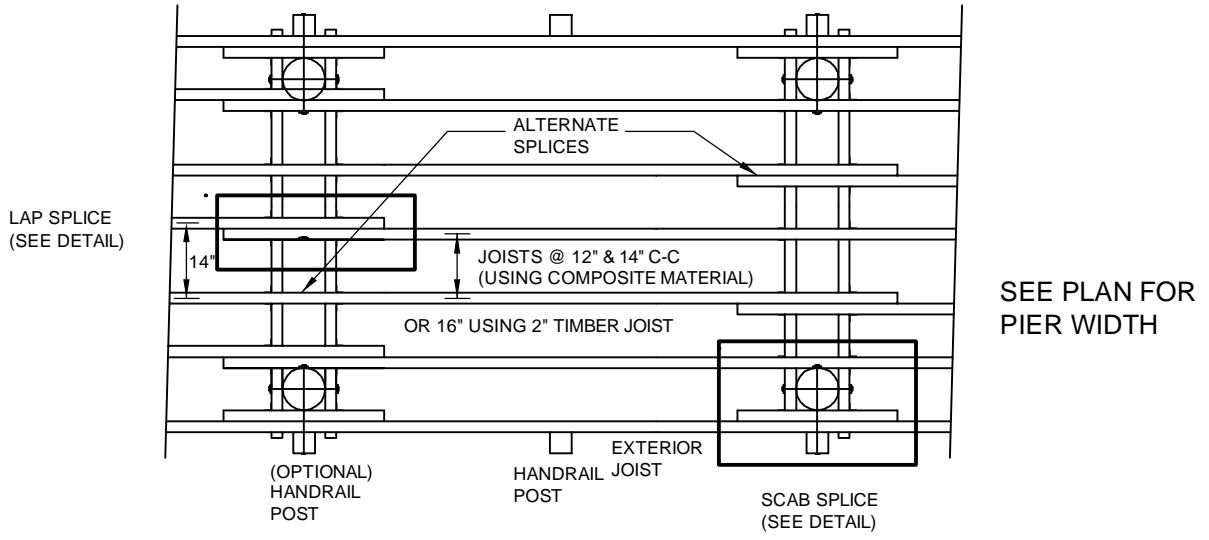
TOE-NAIL JOISTS
TO LEDGERS USING 2
NAILS IN EA. STRINGER

ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PIER DETAILS
(NO SCALE)

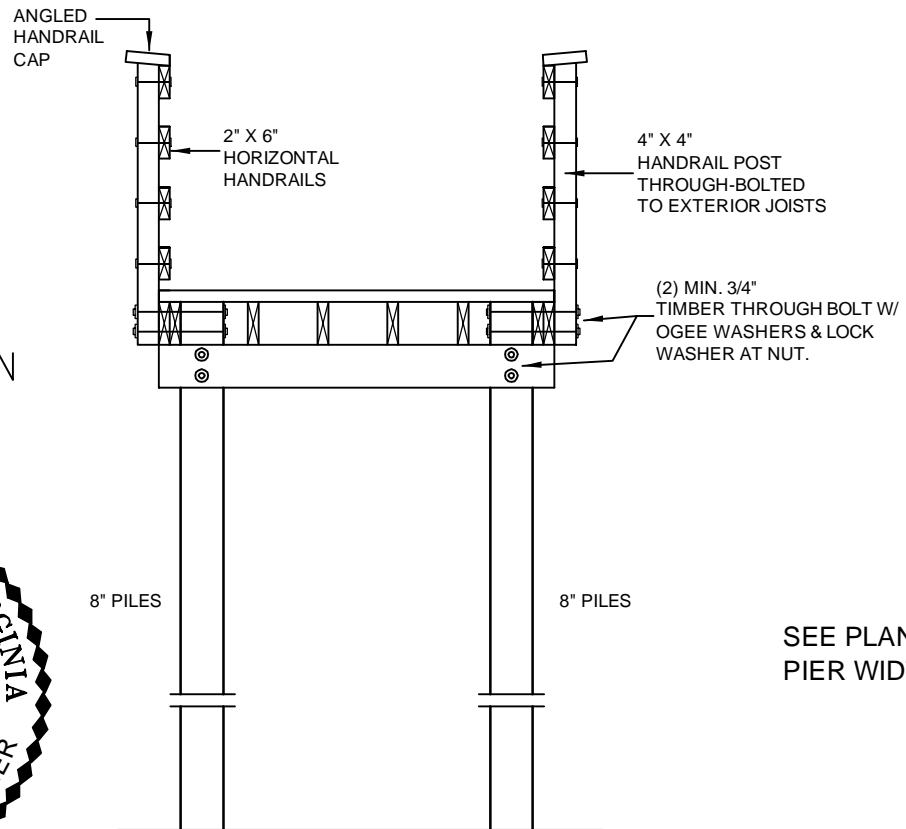
PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 14 OF 23

8-1-21 REV.



SEE PLAN FOR PIER WIDTH

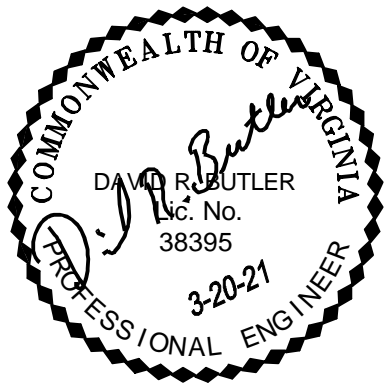
PLAN



HANDRAILS SHOWN ARE OPTIONAL

SEE PLAN FOR PIER WIDTH

SECTION

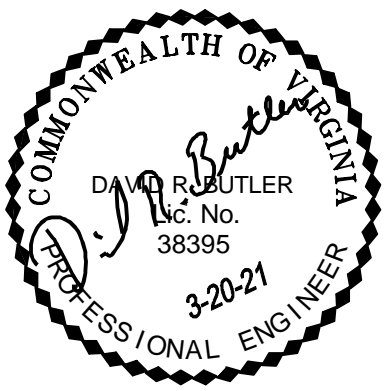
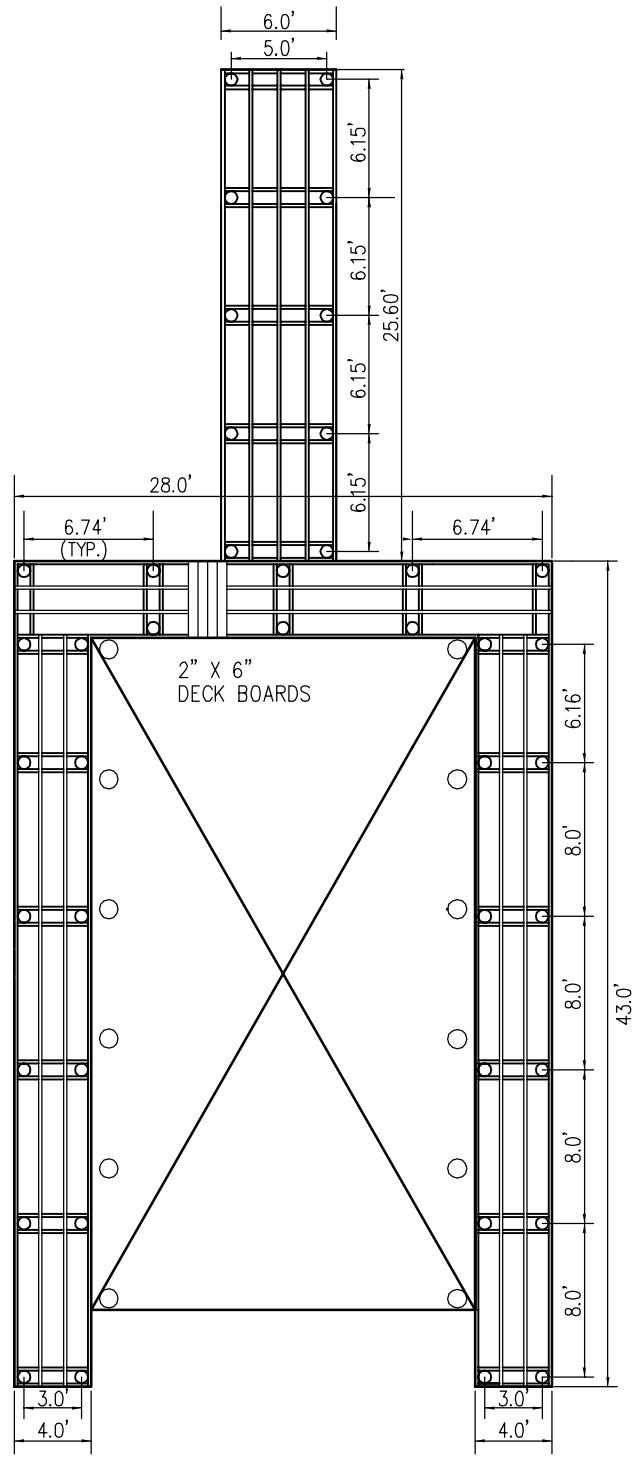


ADJACENT PROPERTY OWNERS:
SEE SHEET 2

PIER DETAILS
(NO SCALE)

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 15 OF 23

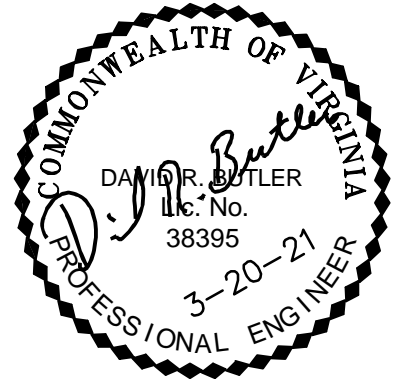
8-1-21 REV.



<p>ADJACENT PROPERTY OWNERS: SEE SHEET 2</p>	<p>PIER FRAMING PLAN SCALE: 1" = 10'</p>	<p>PROJECT: RIP RAP, BOAT HOUSE, PIER, LIFT, BOAT RAMP IN: LAKE RUDEE BY: JOSEPH J. LAMONTAGNE DATE: MARCH 21, 2021 SHEET 16 OF 23</p>
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MATERIAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKING ALL UNDERGROUND UTILITIES.
2. TEST PILES SHALL BE INSTALLED IN THE COMPANY OF THE ENGINEER OF RECORD.
3. ALL MANUFACTURED STRUCTURES, COMPONENTS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
4. ALL STRUCTURES NOT SHOWN OR SPECIFIED TO BE REMOVED SHALL REMAIN.
5. ALL TIMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #1 GRADE OR BETTER, S4S.
6. PRESERVATIVE TREATMENT: ALL TIMBER PILES, WALES, PILE CAPS (AS DEFINED OR SHOWN AS SUCH ON THE DRAWINGS) AND ALL OTHER PERMANENT TIMBER ITEMS INCORPORATED INTO THE STRUCTURE SHALL RECEIVE CHROMATED COPPER ARSENATE (CCA) TREATMENT AT A RATE OF 2.5 PCF IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION AWPA STANDARD UI-12, USE CATEGORY UC5B.
7. ALL BOAT HOUSE PILES SHALL BE ASTM D25, CLASS B, MINIMUM DIAMETER 12" AT 3" FROM BUTT AND MINIMUM 8" DIAMETER AT TIP. WOOD PILE DELIVERY TICKETS SHALL BE ON SITE AND AVAILABLE TO A DESIGNATED REPRESENTATIVE DURING INSTALLATION. (FIXED PIER PILES SHALL BE 8" DIAM)
8. ALL FIELD CUTS, BEVELS, NOTCHES, RESURFACING, AND ABRASIONS SHALL BE PRESERVATIVE TREATED WITH COPPER NAPHTHENATE HAVING A MINIMUM OF 2 % METALLIC SOLUTION IN ACCORDANCE WITH AWPA M4.
9. ALL PILES SHALL BE DRIVEN BY DROP HAMMER OR VIBRATORY HAMMER TO THE REQUIRED EMBEDMENT DETPH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUIPMENT LARGE ENOUGH TO REACH THE REQUIRED EMBEDMENT. JETTING AND/OR PRE-DRILLING SHALL NOT BE PERFORMED WITHOUT PRIOR AUTHORIZATION FROM THE DESIGN ENGINEER. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR DRIVE TEST PILES PRIOR TO FULL MOBILIZATIONS AND DRIVING OF PRODUCTION PILES.
10. ALL PILES DAMAGED DURING DRIVING SHALL BE EXTRACTED.
11. PILES SHALL BE MAINTAINED PLUMB DURING DRIVING. PILES SHALL NOT BE MORE THAN 2-1/2 INCHES OUT-OF-PLUMB PER 10 FEET OF PILE LENGTH, AND/OR NO MORE THAN 6 INCHES OVERALL PER PILE.
12. PILE INSTALLATION SHALL BE INSPECTED PER THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
13. FASTENERS:
ALL FASTENERS SHALL BE PROVIDED WITH A HOT DIPPED GALVANIZED COATING IN ACCORDANCE WITH ASTM A153 AND/OR F2329 (AS APPLICABLE) WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT2 (OUNCES PER SQUARE FOOT OF SURFACE AREA).
14. BOLTS - ALL BOLTS SHALL CONFORM WITH ASTM A307 AND/OR F2329 (AS APPLICABLE) AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A153 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT2 (OUNCES PER



ADJACENT PROPERTY OWNERS:
SEE SHEET 2

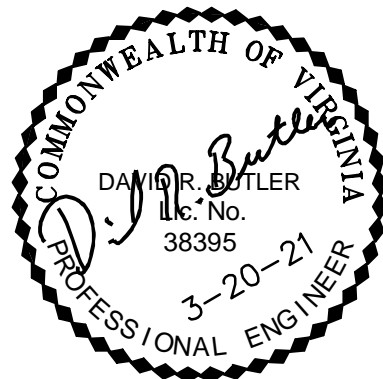
MATERIAL NOTES

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 17 OF 23

8-1-21 REV.

SQUARE FOOT OF SURFACE AREA). WASHERS SHALL BE PROVIDED BENEATH ALL NUTS AND BOLT HEADS.

15. NUTS - ALL NUTS SHALL MEET THE REQUIREMENTS OF ASTM A563 AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A123 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT² (OUNCES PER SQUARE FOOT OF SURFACE AREA).
16. OGEE WASHERS - ALL OGEE WASHERS SHALL MEET THE REQUIREMENTS OF ASTM A47 AND HAVE HOT DIPPED GALVANIZING IN ACCORDANCE TO ASTM A123 A MINIMUM ZINC COATING OF 0.90 OZ/FT² (OUNCES PER SQUARE FOOT OF SURFACE AREA).
17. NAILS - ALL NAILS SHALL BE MINIMUM 16D COMMON (UNLESS NOTED OTHERWISE), SPIRAL SHANK, HOT DIPPED GALVANIZED OR ELECTROGALVANIZED WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT² (OUNCES PER SQUARE FOOT OF SURFACE AREA).
18. MISCELLANEOUS STEEL COMPONENTS - ALL MISCELLANEOUS STRUCTURAL STEEL COMPONENTS, INCLUDING CONNECTORS, BRACKETS AND MISCELLANEOUS PARTS SHALL BE FABRICATED FROM ASTM A36 STEEL. ALL STRUCTURAL STEEL SHALL BE HOT DIPPED IN ACCORDANCE WITH ASTM A123 WITH A MINIMUM ZINC COATING OF 0.90 OZ/FT² (OUNCES PER SQUARE FOOT OF SURFACE AREA).
19. DRILL ALL HOLES WITH A BIT 1/16" LARGER THAN THE REQUIRED BOLT DIAMETER.
20. ALL BOLT ENDS SHALL BE CUT OFF SUCH THAT A MAXIMUM OF 1" OF BOLT PROTRUDES BEYOND THE NUT.
21. EROSION REPAIR AREAS SHALL BE BACKFILLED WITH ONSITE AND/OR OFFSITE SOILS CLASSIFIED AS SM-SC WITH A PLASTICITY INDEX BETWEEN 10 AND 18. ALL SOILS SHALL BE PLACED IN MAXIMUM 8 INCH LIFTS AND COMPACTED TO 95 PERCENT OF THE SOILS MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698. REPAIRED SLOPE FACE SHALL BE SEEDED WITH VEGETATION APPROVED BY THE OWNER.

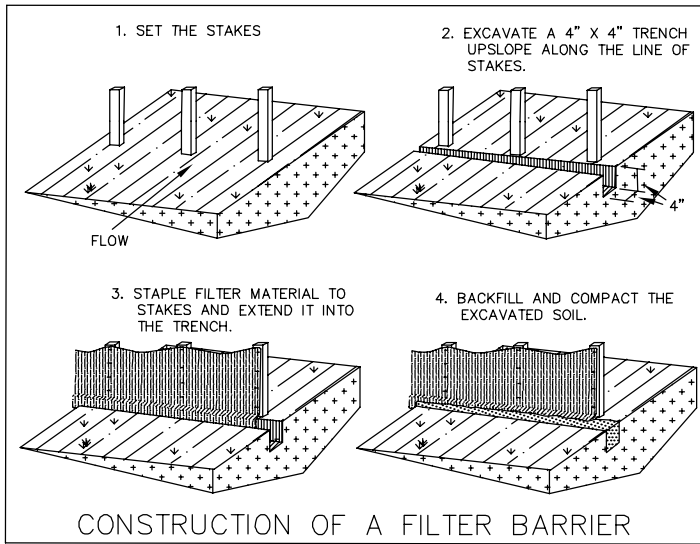


ADJACENT PROPERTY OWNERS:
SEE SHEET 2

MATERIAL NOTES

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 18 OF 23

8-1-21 REV.



CONSTRUCTION OF A FILTER BARRIER

DETAIL - SILT FENCE



CONSTRUCTION SEQUENCE

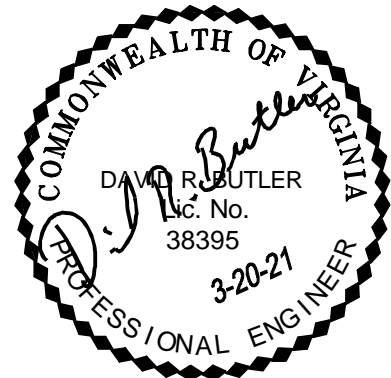
1. OBTAIN ALL REQUIRED PERMITS
2. INSTALL PLASTIC SAFETY FENCE
3. CLEAR BANK
4. SET PILES
5. INSTALL FILTER FABRIC AND RIP RAP
6. CONSTRUCT BOAT HOUSE, LIFT
7. BUILD PIER AND WHARF
8. SEED & MULCH DISTURBED AREAS

IMPACT SUMMARY:

1. VEGETATED WETLANDS LOST: 265 SQ. FT.
2. VEGETATED WETLANDS CREATED FROM UPLANDS: 0 SQ. FT.
3. VEGETATED WETLANDS CONVERTED TO NON VEGETATED ROCK HABITAT: 265 SQ. FT.
4. NON-VEGETATED WETLANDS LOST: 823 SQ. FT. (SAME AS #5 BELOW)
5. NON-VEGETATED WETLANDS/ROCK CONVERTED TO NON-VEGETATED WETLANDS/ROCK: 823 SQ. FT.
6. NON-VEGETATED WETLANDS/ROCK CONVERTED TO VEGETATED WETLANDS: 0 SQ. FT.

TURFGRASS PLANTING SPECIFICATIONS

TURF TYPE	TIME OF YEAR TO SEED	SEEDING RATE	COMMENTS
KENTUCKY 31 FESCUE	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	8 LB. PER 1000 SQ. FT.	MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
NARROW LEAFED FESCUES	9-16 - 4-30 (OR SOD ANY SEASON WITH ADEQUATE WATER PROVIDED)	6 LB. PER 1000 SQ. FT.	IMPROVED FESCUES. MIX WITH ANNUAL RYE FOR QUICK STABILIZATION
BERMUDA (HULLED)	5-1 - 9-15 (OR SOD DURING THIS SAME TIME PERIOD)	2 LB. PER 1000 SQ. FT.	

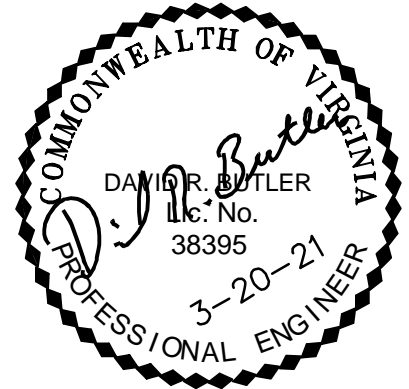
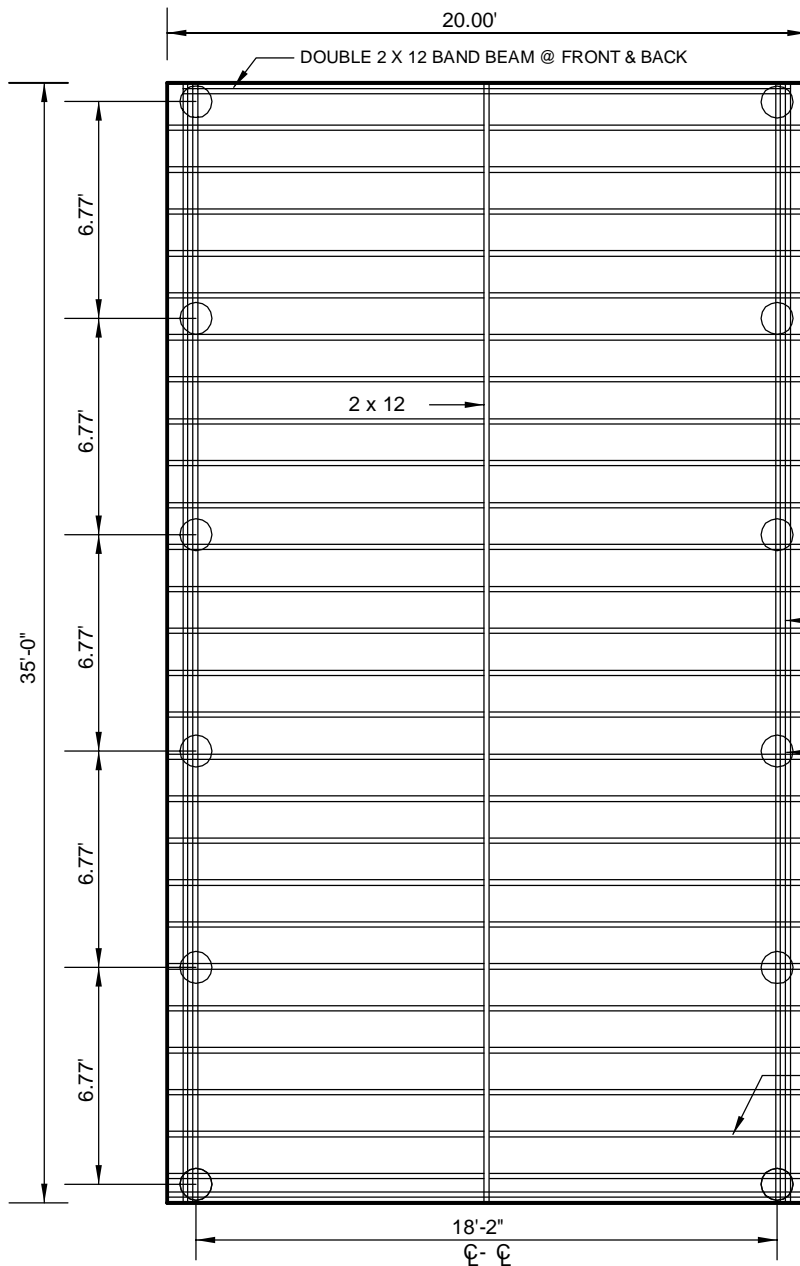


ADJACENT PROPERTY OWNERS:
SEE SHEET 2

NOTES

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 19 OF 23

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(3) 2 X 12's TREATED BEAM

CLASS B PILES, 6.98' O.C.-TYP.

L = 50'

MIN. 20' PILE PENETRATION
FOR BOAT HOUSE & BOAT LIFT PILES

2 X 10 TREATED RAFTERS
@ 16" o/c MAX SPACING

NOTE:
CONTRACTOR SHALL COORDINATE
LOCATION OF BOAT LIFT WITH OWNER
AND/OR BOAT MANUFACTURER.

ADJACENT PROPERTY OWNERS:
SEE SHEET 2

BOAT HOUSE PLAN

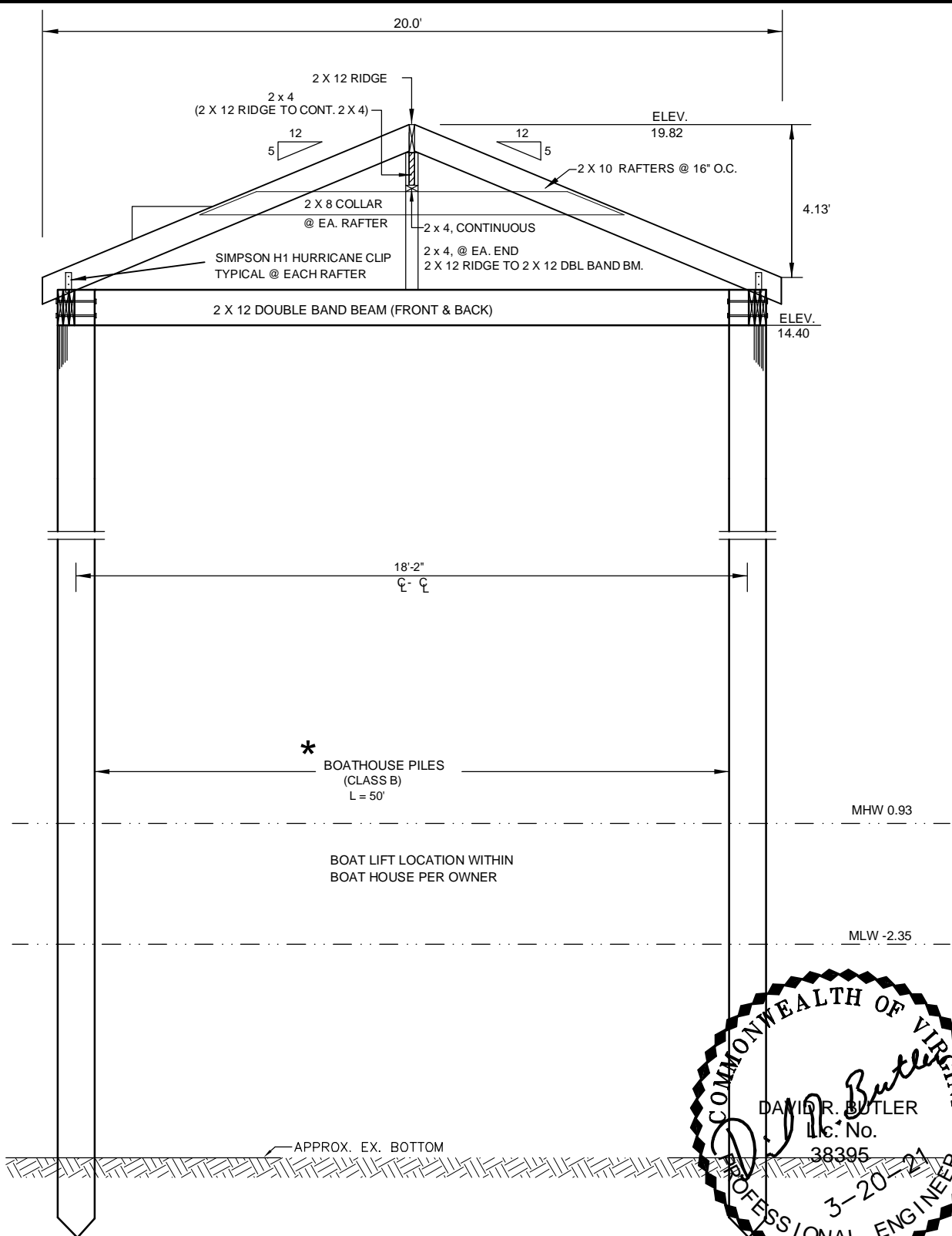
1" = 6'

PROJECT: RIP RAP, BOAT HOUSE,
PIER, LIFT, BOAT RAMP

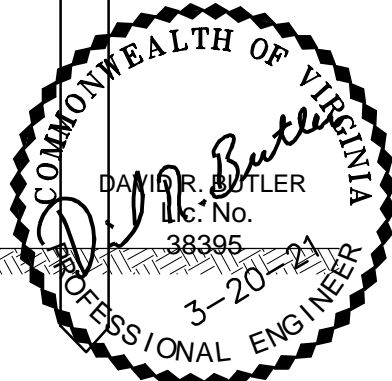
IN: LAKE RUDEE

BY: JOSEPH J. LAMONTAGNE

DATE: MARCH 21, 2021 SHEET 20 OF 26



* LIFT AND BOAT HOUSE PILE LENGTHS MAY BE REQUIRED TO BE LONGER BASED ON BOTTOM CONDITIONS. CONTACT ENGINEER OF RECORD IN THE EVENT THE PILES DO NOT MAKE ADEQUATE CONTACT AND DEPTH INTO FIRM MATERIAL.

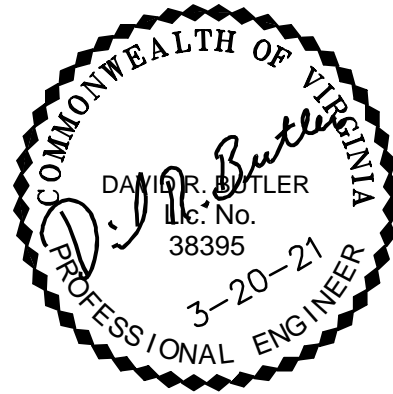


ADJACENT PROPERTY OWNERS:
SEE SHEET 2

BOAT HOUSE SECTION
1" = 4'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 21 OF 23

8-1-21 REV.



FIBERGLASS BACKED ASPHALT SHINGLES OVER 15# FELT

5/8" EXT. GRADE PLYWOOD ON 2 X 10 TREATED RAFTERS @ 16" o/c

DRIP EDGE

SIMPSON H1 HURRICANE CLIP TYPICAL @ EACH RAFTER

2-3/4" GALV. BOLTS AND WASHERS

(3) 2 X 12's TREATED BEAM

NOTCH PILE TO ACCEPT BEAM

CLASS B BOATHOUSE SUPPORT PILE

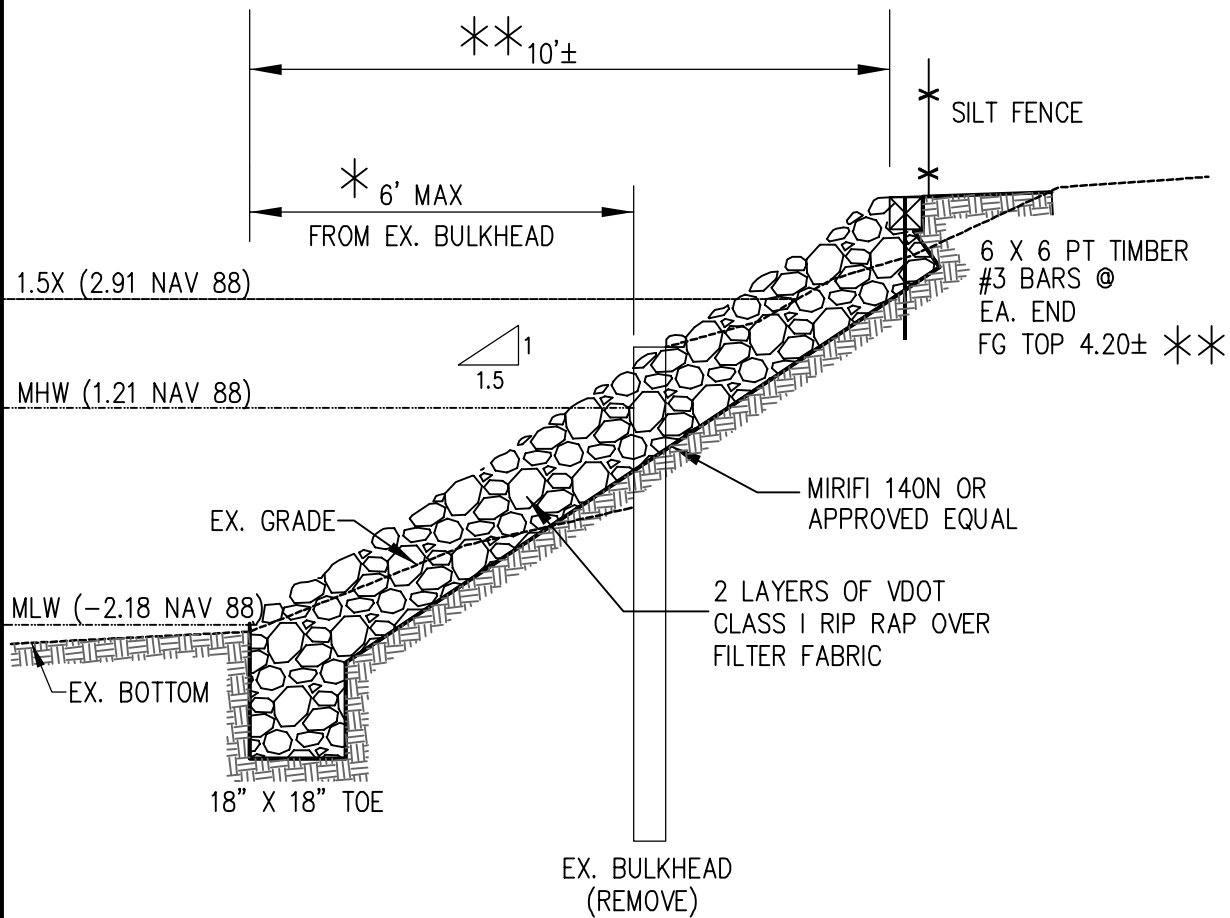
ROOF CONNECTION DETAIL

ADJACENT PROPERTY OWNERS:
SEE SHEET 2

BOAT HOUSE DETAILS
NO SCALE

PROJECT: RIP RAP, BOAT HOUSE, PIER
 IN: LAKE RUDEE
 BY: JOSEPH J. LAMONTAGNE
 DATE: MARCH 21, 2021 SHEET 22 OF 23

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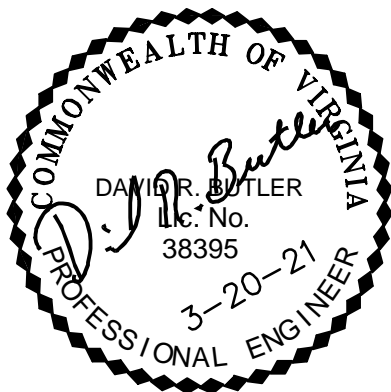
* THE TOE OF THE NEW RIP RAP SHALL NOT EXCEED 6' FROM PROPERTY LINES ①-⑤ SEE PLAN SHEETS 7 AND 9

** TOP OF RIP RAP BANK MAY EXTEND BEYOND 10' (LANDWARD) IN THE EVENT THE LOT IS FILLED HIGHER THAN FIN. GRADE 4.2

NOTES:

RIP RAP SHOWN NOT DRAWN TO SCALE

EX. CONCRETE RUBBLE NOT SHOWN FOR CLARITY



ADJACENT PROPERTY OWNERS:
SEE SHEET 2

TYPICAL SECTION
RIP RAP
SCALE: 1" = 3'

PROJECT: RIP RAP, BOAT HOUSE, PIER
IN: LAKE RUDEE
BY: JOSEPH J. LAMONTAGNE
DATE: MARCH 21, 2021 SHEET 23 OF 23

8-1-21 REV.

4. 2021-WTRA-00266

900 Laskin-B, LLC and 900 Laskin-T, LLC [Applicant & Owner]

To construct rip rap overlay involving wetlands

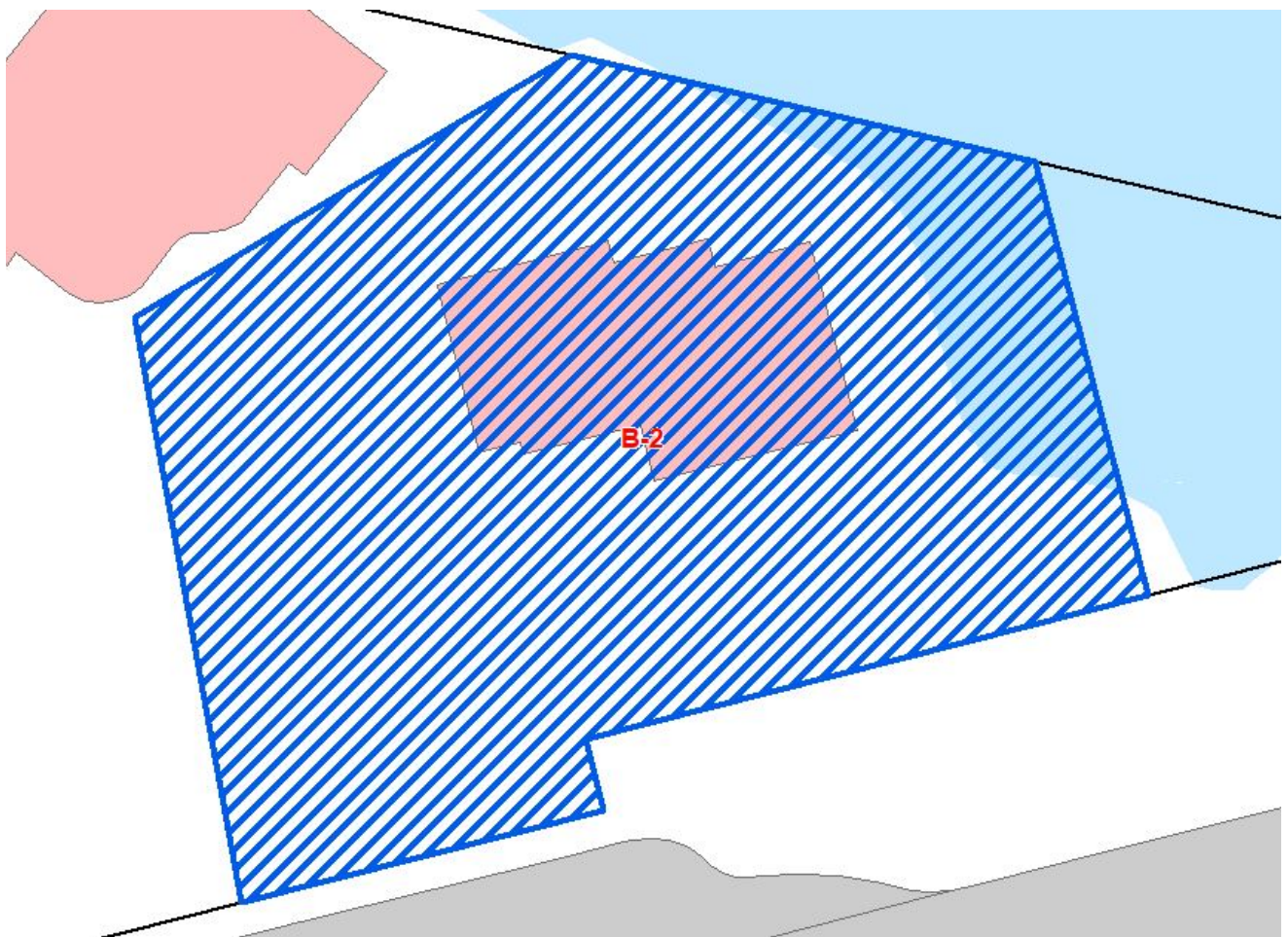
900 Laskin Road

GPIN (2418-71-8663)

Waterway – Little Neck Creek

Subdivision – Laskin Rd

Council District – Lynnhaven



Disclosure Statement

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name 900 Laskin-B, LLC

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

James P. Karides Manager

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

Bar Realty LLC owns 100% of 900 LASKIN-B, LLC
900 LASKIN-T, LLC is a co-owner of the property

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

James P. Karides CPA

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

 MANAGER

Applicant Signature

James P. Korides MANAGER

Print Name and Title

8/27/2021

Date

Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

Disclosure Statement

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name 900 Laskin -T, LLC

Does the applicant have a representative? Yes No

- If yes, list the name of the representative.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

James P. Karides Manager

- If yes, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

TMG, LLC owns 100% of 900 LASKIN-T, LLC
900 LASKIN -B, LLC is a co-owner of the property

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.

James P. Karides CPA

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the name of the attorney or firm providing legal services.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

 MANAGER

Applicant Signature

James P. Korides MANAGER

Print Name and Title

8/27/2021

Date

- Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: _____				
Waterway at project site: _____				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable):

Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* ___ No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home (____) _____

Work (____) _____

Fax (____) _____

Cell (____) _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

(____) _____

7. Give the following project location information:

Street Address (911 address if available) _____

Lot/Block/Parcel# _____

Subdivision _____

City / County _____ ZIP Code _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

_____ / - _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Part 1 - General Information (continued)

9. Proposed use (check one):
___ Single user (private, non-commercial, residential)
___ Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___Yes ___No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$_____
- Approximate cost of that portion of the project that is channelward of mean low water:
\$_____
13. Completion date of the proposed work: _____-_____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

900 Laskin - B, LLC
Applicant's Legal Name (printed/typed)

900 Laskin - T, LLC
(Use if more than one applicant)


Applicant's Signature


(Use if more than one applicant)

8/27 / 2021
Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), 900 Laskin - B LLC
900 Laskin - T LLC, hereby certify that I (we) have authorized Richard Calvert
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Richard Calvert

(Agent's Signature)

(Use if more than one agent)

(Date)
8/27/2021

(Applicant's Signature)

8/27/2021

(Use if more than one applicant)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? ____ Yes ____ No

If yes, will it be removed? ____ Yes ____ No

Is your lot platted to the mean low water shoreline? ____ Yes ____ No

What is the overall length of the proposed structure? _____ feet.

Channelward of Mean High Water? _____ feet.

Channelward of Mean Low Water? _____ feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands _____ square feet.

Tidal vegetated wetlands _____ square feet.

Submerged lands _____ square feet.

What is the total size of any and all L- or T-head platforms? _____ sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? ____ Yes ____ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
 - a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
 - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
 - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
 - A) Have you obtained approval for sanitary facilities from the Virginia Department of Health?_____ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
 - B) Will petroleum products or other hazardous materials be stored or handled at your facility?_____.
 - C) Will the facility be equipped to off-load sewage from boats?_____.
 - D) How many wet slips are proposed?_____. How many are existing?_____.
 - E) What is the area of the piers and platforms that will be constructed over
 - Tidal non-vegetated wetlands _____ square feet
 - Tidal vegetated wetlands _____ square feet
 - Submerged lands _____square feet

6. For **boat ramps**, what is the overall length of the structure?_____feet.
 - From Mean High Water?_____feet.
 - From Mean Low Water?_____feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

2. What is the maximum encroachment channelward of mean high water? _____ feet.
Channelward of mean low water? _____ feet.
Channelward of the back edge of the dune or beach? _____ feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands _____ square feet
- Non-vegetated wetlands _____ square feet
- Subaqueous bottom _____ square feet
- Dune and/or beach _____ square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? ____ Yes ____ No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? ____ Yes ____ No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

900 Laskin-B, LLC
900 Laskin-T, LLC
900 Laskin Road
Virginia Beach, VA 23451

PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing rip rap revetment 6.0 ft. to 8.0' tall around the shoreline. There was a bulkhead project that failed and the previous Owner was required to install rip rap. The bottom is soft and the existing rip rap has settled and is pushing the existing timber piles channel-ward with the floating docks. The slope of the bank is steep and needs to be filled in and reworked with hand labor. A new toe is being installed to stabilize the revetment.

After review of the property rip rap was found to be the only solution to remedy the current conditions. A new bulkhead could not be properly anchored and there is absolutely no room for planting with the existing grades and bank condition. The conditions that are unfavorable for a Living Shoreline as listed below

1. The water is deep to accommodate the vessels moored at the facility and was previously dredged.
2. A living shoreline would be difficult to transition to the adjacent properties. One APO has an existing bulkhead with a return wall that would be undermined. A new return walls would be required at each property line to avoid impacting the adjacent properties.
3. The only area to plant is beyond the top of bank covered by rip rap and is not inter-tidal.
4. Planting would be subject to heavy boat traffic from the 9 slips.
5. There is not enough room to provide the VIMS recommended slope for Living Shorelines.

**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 900 Laskin Road, 23451

APPLICANT'S NAME: 900 Laskin-B, LLC / 900 Laskin-T, LLC

APPLICANT'S ADDRESS: 2247 W. Great Neck Road, Suite 201

Virginia Beach, VA 23451

ENGINEER OF RECORD: Gary Franks Jr. P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

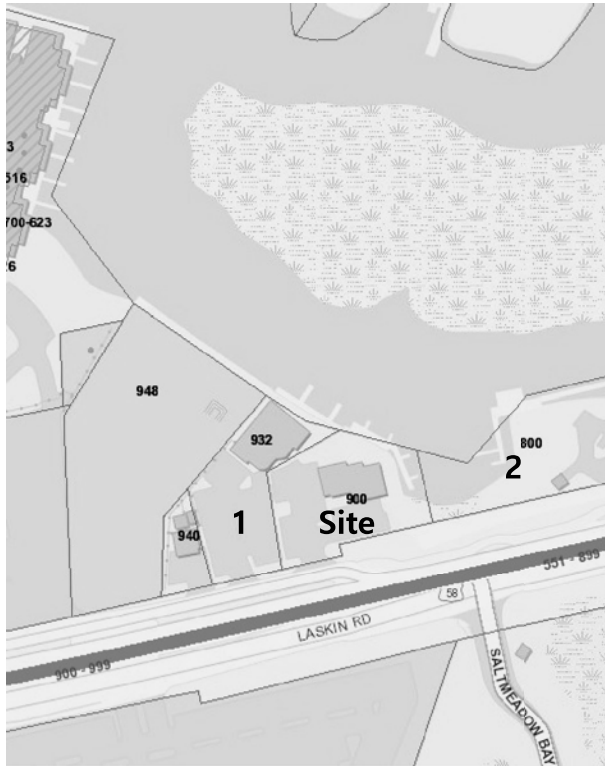

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION 08/30/21
DATE
Gary Franks Jr. P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION
JCP Keule, manager 900 Laskin-B, LLC
JPK Keule, manager 900 Laskin-T, LLC
SIGNATURE OF APPLICANTS 8/27/2021
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR _____ DATE _____

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____
(TO BE COMPLETED BY STAFF)



PROPERTY MAP



STREET MAP

FLOATING DOCK REPLACEMENT AND RIP RAP STABILIZATION

900 Laskin Road
Virginia Beach, VA 23451

Legal: BIRDNECK PARCEL 2-A 0.551 AC BY PLAT



NO SCALE ⚙ DATUM: MLW = 0.00' MHW = 1.68'



BLAKEWAY
630 N. Witchduck Road
VA BEACH, VIRGINIA 23485
P707.226.0081 F707.226.5765
www.blakewaycorp.com



**CALVERT
MARINE**

757•777•6960

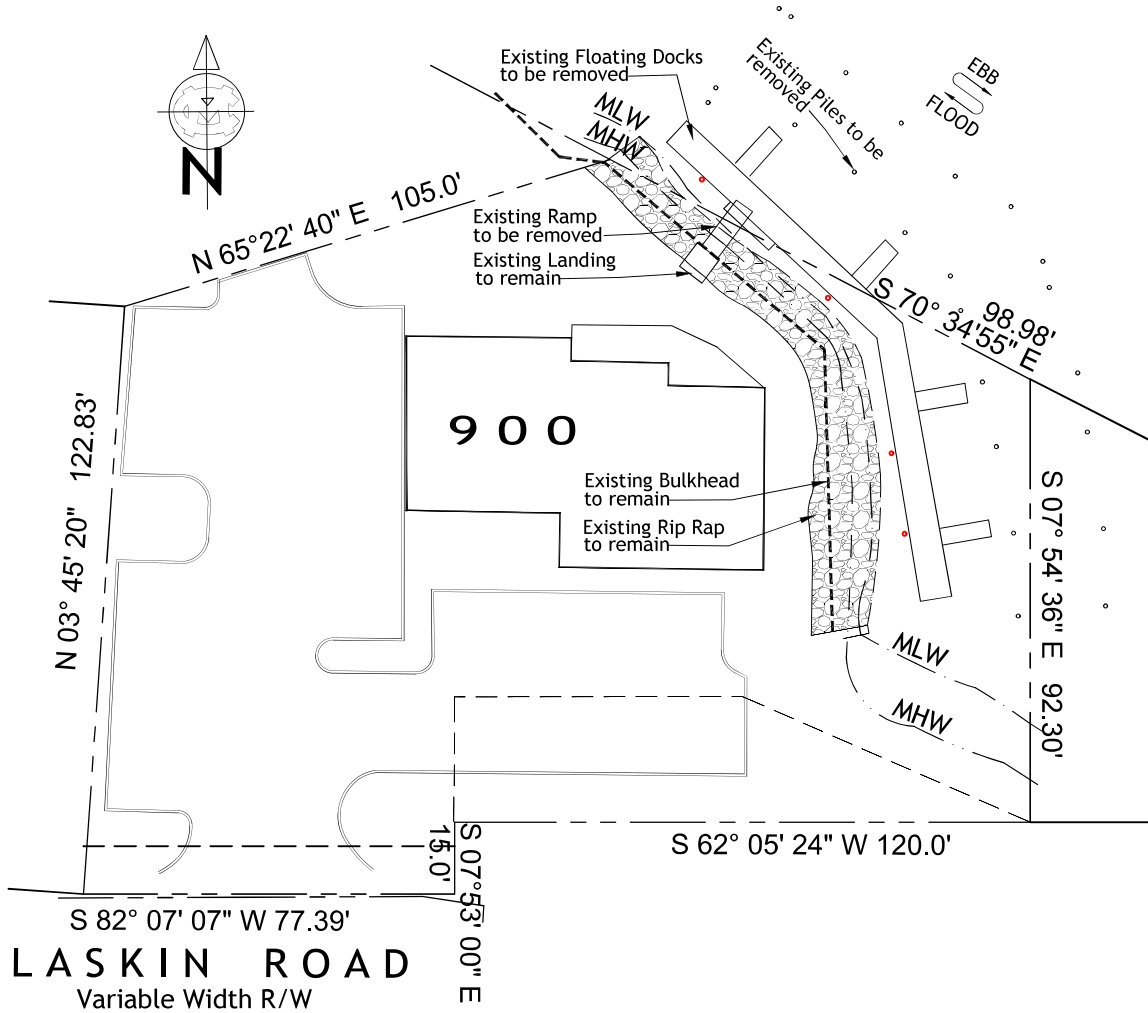
VICINITY MAP

Adjacent Property Owners:
1. 932 LASKIN ROAD LLC
2. JTR LLC

Proposed: FLOATING DOCKS & RIP RAP REPAIRS
in: LITTLE NECK CREEK
at: 900 LASKIN ROAD
County of: VIRGINIA BEACH
Applicant: 900 LASKIN-B, LLC / 900 LASKIN-T, LLC

Sheet: 1 of 8 Date: 01 AUG 2021



LITTLE NECK CREEK



SEQUENCE OF CONSTRUCTION:

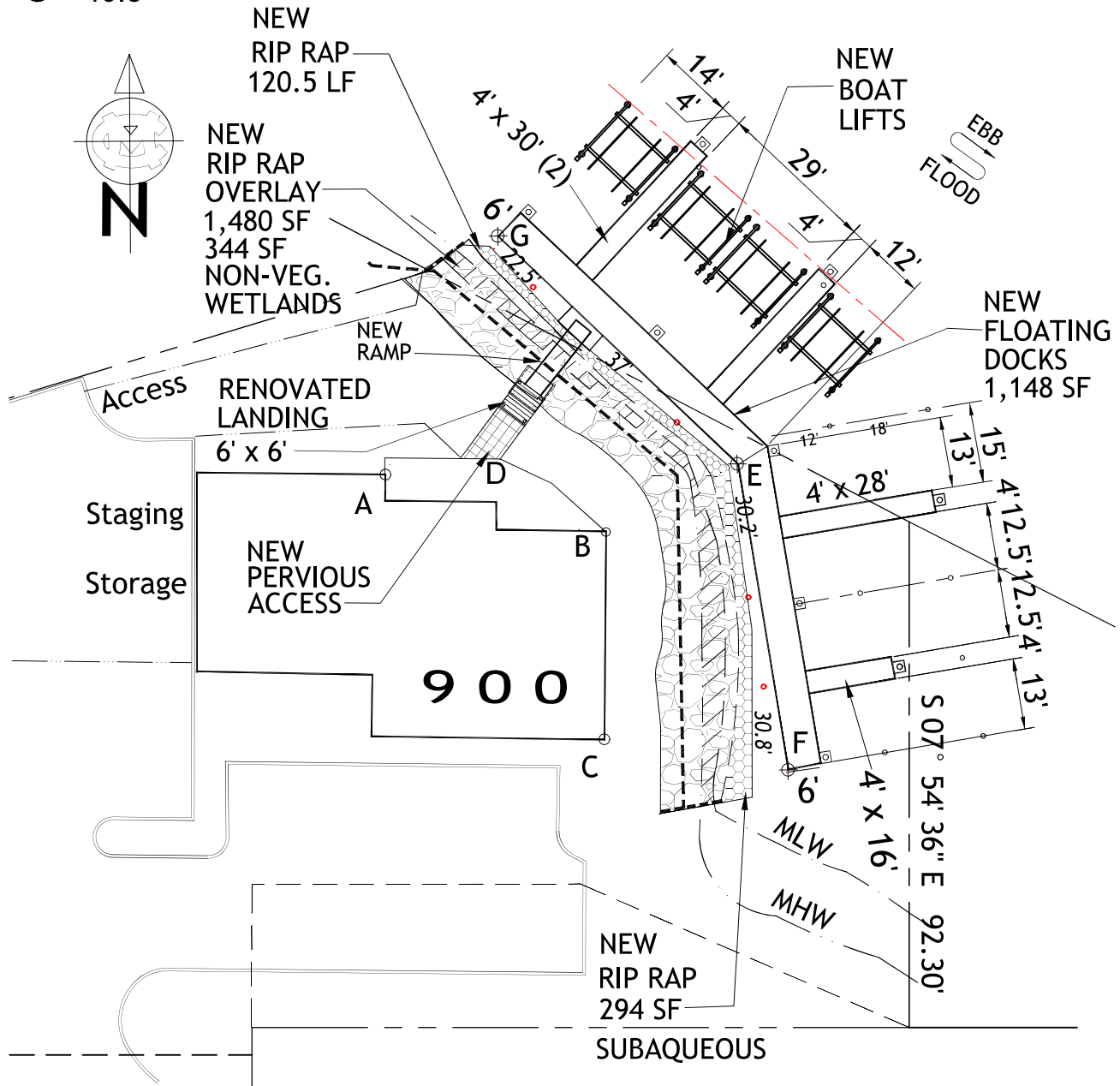
1. Procure all Permits and layout the new Docks 1D
2. Meet with City of VB rep for the Pre-construction Mtg. 1D
3. Disconnect and Remove all electrical and water lines 1D
4. Remove the existing piles and floating docks and legally dispose off Site. 5D
5. Install the new Floating Docks and Anchor Piles. 4D
6. Install the Mooring Piles 3D
7. Demobilize 1D

SCALE: 1" = 60'-0" * DATUM: MLW = 0.00' MHW = 1.68'

 BLAKEWAY <small>630 N. Witchduck Road VA BEACH, VIRGINIA 23463 P757.226.0581 F757.226.8765 www.blakewaycorp.com</small>	 CALVERT MARINE 757-777-6960	<h2>PLAN</h2>	Proposed: FLOATING DOCKS & RIP RAP REPAIRS in: LITTLE NECK CREEK at: 900 LASKIN ROAD County of: VIRGINIA BEACH Applicant: 900 LASKIN-B, LLC / 900 LASKIN-T, LLC
		Adjacent Property Owners: 1. 932 LASKIN ROAD LLC 2. JTR LLC	Sheet: 2 of 8 Date: 01 AUG 2021

A - G = 47.5'
 B - E = 27.1'
 C - F = 33.5'
 D - E = 43.3'
 D - G = 40.5'

LITTLE NECK CREEK



SCALE: 1" = 40'-0" * DATUM: MLW = 0.00' MHW = 1.68'



NEW WORK

Adjacent Property Owners:
 1. 932 LASKIN ROAD LLC
 2. JTR LLC

Proposed: FLOATING DOCKS & RIP RAP REPAIRS
 in: LITTLE NECK CREEK

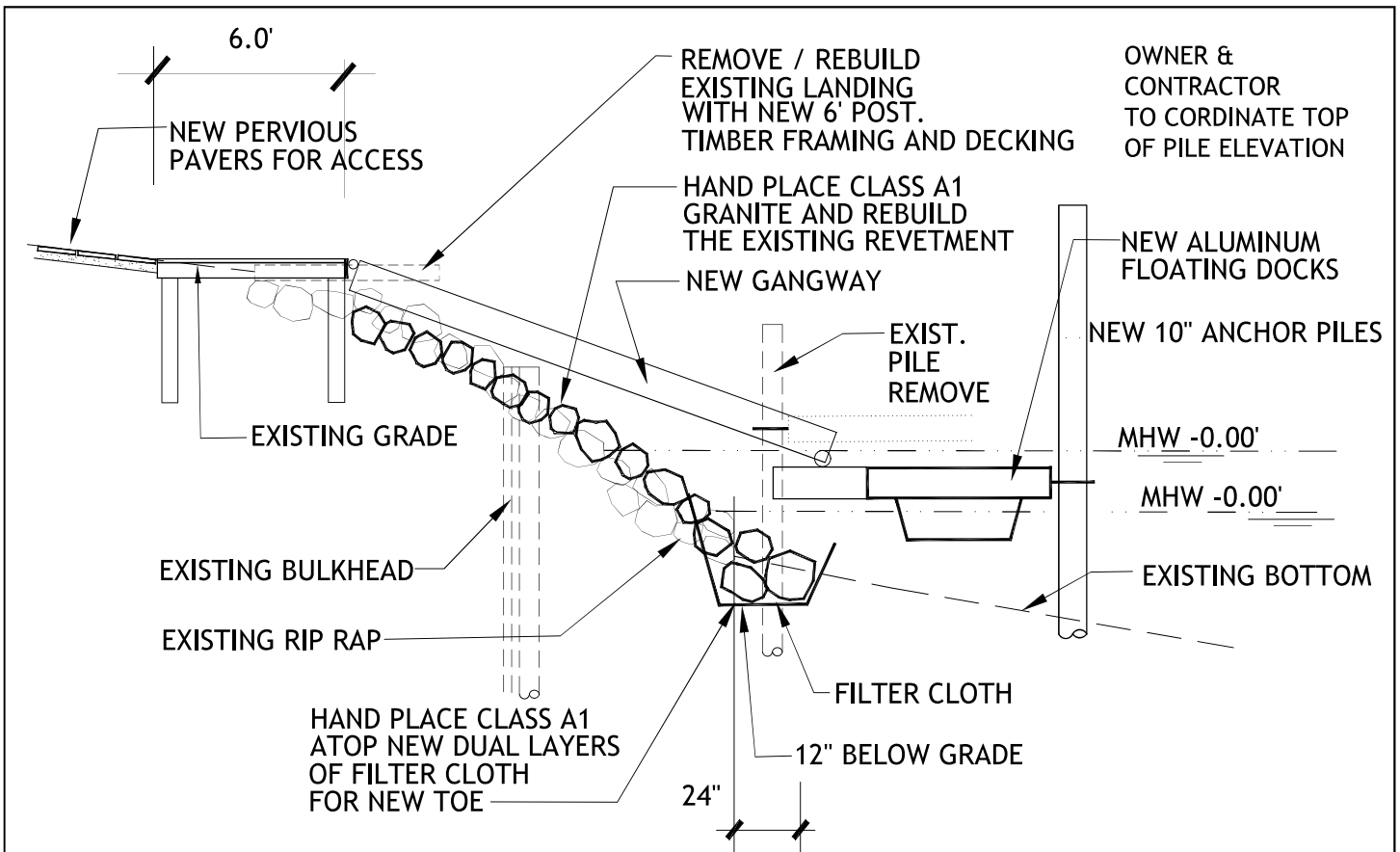
at: 900 LASKIN ROAD

County of: VIRGINIA BEACH

Applicant: 900 LASKIN-B, LLC / 900 LASKIN-B, LLC

Sheet: 3 of 8

Date: 01 AUG 2021



1. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
2. ALL DAMAGED AND OR DENUDED VEGETATION, LANDSCAPING AND TURF SHALL BE REPLACED IN KIND
3. ALL GRANITE SHALL BE AS SPECIFIED IN THE SECTIONS. FILTER CLOTH SHALL BE USED UNDER ALL GRANITE. CARE SHALL BE TAKEN WHEN PLACING THE GRANITE.
4. GRANITE SHALL BE NEW QUARRY STONE.
5. ALL EXCAVATED AND OR DEMOLISHED MATERIAL SHALL BE HAULED OFF SITE AND LEGALLY DISPOSED.
6. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.
7. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
8. ALL TIMBER STRINGERS BANDS AND BLOCKING SHALL BE 2.5# CCA TREATED.
9. ALL DECKING SHALL BE COMPOSITE OR 2" x 6", TREATED
10. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.
11. THE NEW TIMBER ANCHOR PILES SHALL BE 10" CLASS B. THE NEW MOORING PILES SHALL BE 10" BUTT IN ACCORDANCE WITH ASTM D-25. ALL PILES SHALL BE EMBEDDED 60% OF THEIR LENGTH.

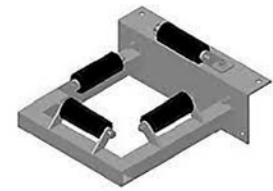
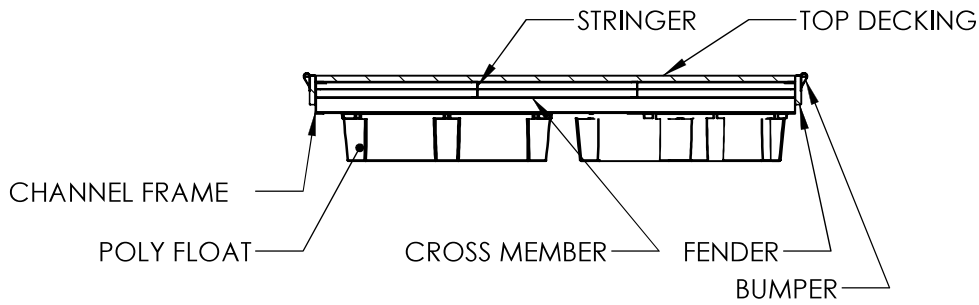
SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = 1.68'



SECTION AT RIP RAP

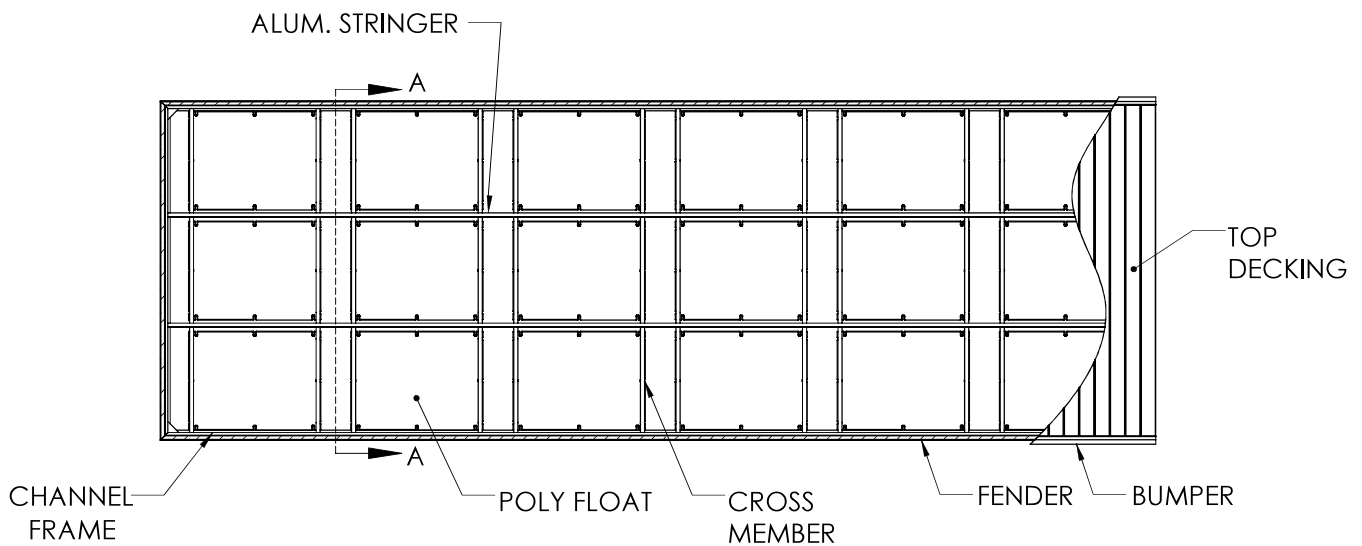
Adjacent Property Owners:
1. 932 LASKIN ROAD LLC
2. JTR LLC

Proposed: **FLOATING DOCKS & RIP RAP REPAIRS**
in: **LITTLE NECK CREEK**
at: **900 LASKIN ROAD**
County of: **VIRGINIA BEACH**
Applicant: **900 LASKIN-B, LLC / 900 LASKIN-B, LLC**
Sheet: **4** of **8** Date: **01 AUG 2021**



SECTION A - A
4.0' WIDE AND 6.0' WIDE

PILE GUIDE



TYPICAL PLAN

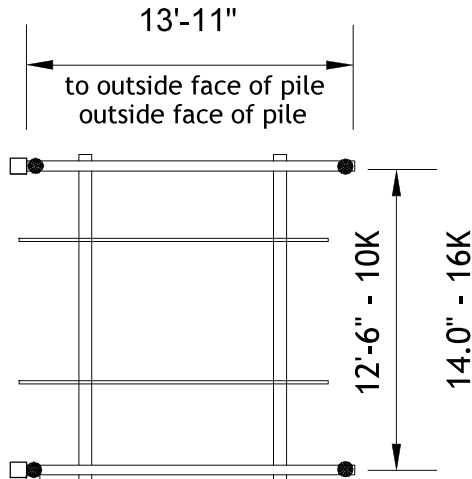
SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = 1.68'



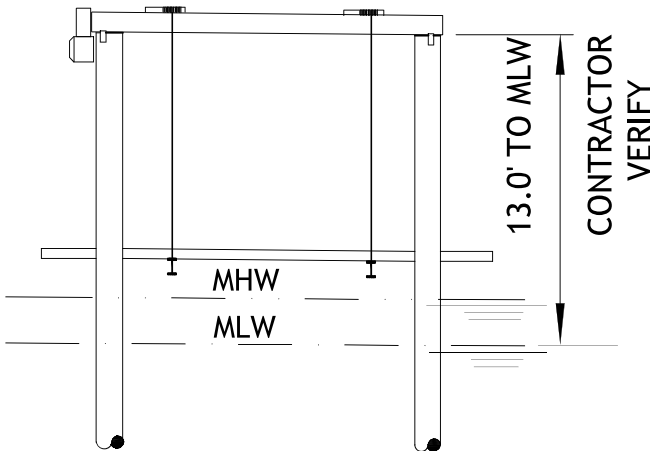
FLOATING DOCK SECTION

Adjacent Property Owners:
1. 932 LASKIN ROAD LLC
2. JTR LLC

Proposed: **FLOATING DOCKS & RIP RAP REPAIRS**
in: **LITTLE NECK CREEK**
at: **900 LASKIN ROAD**
County of: **VIRGINIA BEACH**
Applicant: **900 LASKIN-B, LLC / 900 LASKIN-B, LLC**
Sheet: **5** of **8** Date: **01 AUG 2021**



PLAN



ELEVATION

BOAT LIFT NOTES:

Take care to clear shafts, thru-hull fittings, chines, etc. Keel of vessel must not rest on lifter beam and should clear beam by at least one inch. The Boat Lift shall have bunks designed for the hull of the Owner's vessel. The Contractor shall coordinate the bunks with the vessel manufacturer and the Boat Lift manufacturer. Center of gravity of vessel must be in center of lift (bow to stern) as required to evenly distribute the load over the two lifter beams. Contractor to verify:

- 1) The Installation is completed according to the manufacturer's recommendations.
- 2) The ultimate user understands how to operate in a safe manner.
- 3) The ultimate user acknowledges the need for regular service and maintenance of the lifting equipment.
- 4) The Customer is informed and understands all safety and warning labels affixed to the equipment.
- 5) The center of gravity of vessel is located by equal deflection of lifter beam.
- 6) Any Lift is of suitable capacity to safely lift the Owner's vessel and the bunks are installed at the Vessel Manufacturer's spacing.

SCALE: 1/4" = 1'-0" * DATUM: MLW = 0.00' MHW = 1.68'



BOAT LIFT

Adjacent Property Owners:
 1. 932 LASKIN ROAD LLC
 2. JTR LLC

Proposed: **FLOATING DOCKS & RIP RAP REPAIRS**
 in: **LITTLE NECK CREEK**
 at: **900 LASKIN ROAD**
 County of: **VIRGINIA BEACH**
 Applicant: **900 LASKIN-B, LLC / 900 LASKIN-B, LLC**
 Sheet: **6** of 8 Date: **01 AUG 2021**

FLOATING DOCK SPECIFICATIONS AND NOTES:

This work shall consist of furnishing and installing a complete Prefabricated Aluminum Floatin Boat Dock System with Gangway and other necessary marine hardware and accessories in accordance with the details shown in the Joint Permit Application. Dimensions of the Dock System shown in the Plans are nominal and variation of component sizes based on readily available manufactured sizes may be allowed, as approved by the Engineer. Contractor to verify the layout prior to fabrication to assure proper alignment during installation.

MATERIALS: The materials and components shall be new and free from defects which would adversely affect the performance or maintainability of individual components or the overall assembly. Materials required for the floating boat docks shall be as follows:

A. The Floating Dock system will be built using an aluminum C-Channel frame system with .125”-.188” wall thickness or greater, with height of either 8” or 12” C-Channel. Aluminum will be 6061-T6 marine grade. Spacing of cross member (s) will depend on desired decking, but in no circumstance be greater than 24” center to center. All sections will have corner strength gussets, and sections are pre-drilled for ease of field installation.

B. Floatation of the Marina Dock sections will be accomplished using our standard fabrication process. Each float section shall be composed of hand welded High Density Polyethylene (HDPE) sheet plastic, using non-rotationally molded floats with a universal wall thickness of .150 inches (min.) and completely encapsulated expanded polystyrene (EPS) foam. HDPE plastic will be black in color. All plastic material meets requirements of ASTM D4976 – PE 235 & FDA 21CFR 177.1520. The tensile strength at yield will be no less than 3800 pounds per square inch and at break no less than 4400 pounds per square inch, per ASTM D638. The material will have a cold brittleness temperature at no less than -103° F.

C. Floatation will be lag bolted into the bottom of the C-Channel with 3/8” x 1-1/2” stainless steel lag bolts. All heavy duty sections are bolted together with 3/8” x 5” stainless steel 304 series hardware. The percentage of the footprint of floatation to the overall footprint of the dock surface area will be no less than 75% to maximize overall stability.

The number of anchor piles required, and length shall be determined and verified by the Contractor and dock manufacturer’s representative based on the water depth and the 60% embedment. Cleats, rings, and other hardware shall be marine grade and shall be designed to accommodate all anticipated loads.

SCALE: 1/4" = 1'-0" ✪ DATUM: MLW = 0.00' MHW = 1.68'



FLOATING DOCKS

Adjacent Property Owners:
1. 932 LASKIN ROAD LLC
2. JTR LLC

Proposed: **FLOATING DOCKS & RIP RAP REPAIRS**
in: **LITTLE NECK CREEK**
at: **900 LASKIN ROAD**
County of: **VIRGINIA BEACH**
Applicant: **900 LASKIN-B, LLC / 900 LASKIN-B, LLC**
Sheet: **7** of 8 Date: **01 AUG 2021**

FLOATING DOCK DESIGN CRITERIA:

The dock shall be designed for a minimum uniformly applied vertical live load of 50 psf. The deck surface shall be designed for a concentrated live load of 400 lbs. applied over an area of one square foot. Maximum deflection shall be limited to $L/180$, where "L" is the length of individual dock units.

The dock shall be designed to be stable under all load combinations.

The dock shall be designed for a uniformly applied horizontal wind load of 20 psf. Wind load shall originate from any direction and shall be applied on all projected surfaces, assuming 100% boat occupancy.

The dock shall be designed to accommodate the loading of the gangway in all load cases.

The dock and its connections shall be designed to resist the impact of the largest boat normally using the dock moving at a velocity of two knots or less at a maximum angle of ten degrees to the centerline of the dock.

Flotation devices shall be sized and placed to provide freeboard of at least 12" but not more than 30" under combined dead load plus 20 psf uniformly distributed live load. Flotation devices shall provide a minimum of 18" freeboard under dead load only. The freeboard shall be measured from the top of the decking to the waterline.

Gangways shall be designed for a minimum uniformly applied vertical live load of 60 psf. The deck surface shall be designed for a concentrated live load of 400 lbs distributed over a one square foot area. Gangways shall be designed for a uniformly applied horizontal wind load of 15 psf applied to an area equal to the length of the gangway times its height. Wind load shall originate from any direction. Maximum deflection shall be limited to $L/180$, where "L" is the length of the gangway. Handrails on the gangway, shall meet ADA requirements, and shall be designed to withstand a horizontal load of 20 lb/ft or a 300 lb force in any direction.

The hinged connection at the new landing / abutment at the beginning of the gangway shall be designed to accommodate the gangway loadings described above.

NO SCALE ✪ DATUM: MLW = 0.00' MHW = 1.68'



BLAKEWAY
630 N. Witchduck Road
VA BEACH, VIRGINIA 23465
P757.226.0581 F757.226.8765
www.blakewaycorp.com



**CALVERT
MARINE**
757-777-6960

NOTES

Adjacent Property Owners:
1. 932 LASKIN ROAD LLC
2. JTR LLC

*Proposed: FLOATING DOCKS & RIP RAP REPAIRS
in: LITTLE NECK CREEK
at: 900 LASKIN ROAD
County of: VIRGINIA BEACH
Applicant: 900 LASKIN-B, LLC / 900 LASKIN-T, LLC
Sheet: 8 of 8 Date: 01 AUG 2021*

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore disturbed/denuded area to previous condition		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  900 Laskin-B, LLC/900 LASKIN-T, LLC
 Print Name: _____

Signature of Permittee:  900 Laskin-B, LLC/900 LASKIN-T, LLC
 Print Name: _____

Date: 3/27/2021

Mailing Address:
2009 Thomas Bishop Lane
Virginia Beach, VA 23451

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

5. 2021-WTRA-00268

Jeffery L. Bruzzesi [Applicant & Owner]

To install a bulkhead involving wetlands

312 Pike Circle

(GPIN 2433-40-3827)

Waterway – North Bay

Subdivision – Sandbridge

Council District – Princess Anne



Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name Jeffery L. Bruzzesi

Does the applicant have a representative? **Yes** **No**

- If **yes**, list the name of the representative.
Sigma Environmental Services, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? **Yes** **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)
- _____
- _____
- _____

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)
- _____
- _____

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? Yes No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering **any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes No

- If **yes**, identify the financial institutions providing the service.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes No

- If **yes**, identify the company and individual providing the service.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? Yes No

- If **yes**, identify the firm and individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? Yes No

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the firm and individual providing the service.
Sigma Environmental Services, Inc.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? Yes No
- If **yes**, identify the firm and individual providing the service.

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Jeffery L. Bruzzesi

Print Name and Title

J. Bruzzesi

Date 9/8/2024

- Is the applicant also the owner of the subject property? Yes No

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

Part 1 – General Information

PLEASE PRINT OR TYPE ALL RESPONSES: If a question does not apply to your project, please print N/A (not applicable) in the block or space provided. If additional space is needed, attach 8-1/2" x 11" sheets of paper.

County or City in which the project is located: <u>Virginia Beach</u> Waterway at project site: <u>Sage Point Inlet, a man-made canal to North Bay/Back Bay</u>
--

- | | |
|--|---|
| <p>1. Applicant's name* and complete mailing address:</p> <p>Jeffery L. Bruzzesi
312 Pike Circle
Virginia Beach, VA 23456</p> <p style="text-align: center;">State Corporation Commission ID Number (if applicable) _____</p> | <p>Contact Information:</p> <p>Home () _____</p> <p>Work () _____</p> <p>Fax () _____</p> <p>Cell/ Pager (757) <u>486-2726</u></p> <p>e-mail _____</p> |
| <p>2. Property owner(s) name* and complete address, if different from applicant</p> <p style="text-align: center;">State Corporation Commission ID Number (if applicable) _____</p> | <p>Contact Information:</p> <p>Home () _____</p> <p>Work () _____</p> <p>Fax () _____</p> <p>Cell/ Pager () _____</p> <p>e-mail _____</p> |
| <p>3. Authorized agent name* and complete mailing address (if applicable):</p> <p>Sigma Environmental Services, Inc.
1513 Sandbridge Road
Virginia Beach, Virginia 23456</p> <p style="text-align: center;">State Corporation Commission ID Number (if applicable) _____</p> | <p>Contact Information:</p> <p>Home () _____</p> <p>Work () _____</p> <p>Fax () _____</p> <p>Cell/ Pager (757) <u>615-9974</u></p> <p>e-mail <u>rharoldjones@aol.com</u></p> |

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

4. Provide a detailed description of the project in the space below. If additional space is needed, provide a separate sheet of paper with the project description. Be sure to include how the construction site will be accessed, especially if clearing and/or grading will be required.

Install 125' 10" of bulkhead along an eroding shoreline at or landward of the MHW line, to the greatest degree practicable.

FOR AGENCY USE ONLY	
	Notes:
	JPA # <u>21-1822</u>

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Not selected yet.

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell / Pager () _____

email _____

State Corporation Commission ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot
150 Brambleton, Avenue
Norfolk, Virginia 23509

Telephone number

(757) _____ 446-2000

7. Give the following project location information:

Street Address (911 address if available) 312 Pike Circle

Lot/Block/Parcel# Lot 33

Subdivision Sandbridge Shores, Section 1B, Back Bay Meadows, Section 2

City / County Virginia Beach, VA Zipcode 23456

Latitude and Longitude at Center of Project Site (Decimal Degrees): 36.717461 N, -75.936242 W

If the project is located in a rural area, please provide driving directions.

From the intersection of Sandbridge Road and Sandpiper Road, turn right and head south on Sandpiper Road. Travel approximately 1.9 miles, turn right onto Whiting Lane. Travel one block, turn left onto Little Island Road. Travel 2 blocks, turn right onto Pike Circle. 312 Pike is the first driveway on the right.

Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.

Part 1 - General Information (continued)

8. What is the primary and secondary purpose of the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose of the project is to stabilize an eroding shoreline. The secondary project purpose is to prevent additional eroded materials from entering the waterway.

9. Proposed use (check one):

Single user (private, non-commercial, residential)
 Multi-user (community, commercial, industrial, government)

10. Describe the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction.

Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.

The bulkhead alignment is located predominately at or above the MHW line. A couple of small undulations are located within the backfill zone. Use of the VA Beach In-Lieu-Fee Mitigation fund will be used to provide appropriate compensation for unavoidable impacts to jurisdictional areas.

11. Have you previously had a site visit, applied to, or obtained a permit from any agency (Federal, State, or Local) for any portion of the project described in this application or any other project at the site?

Yes* No * If you answered "Yes", provide the following information:

<u>Agency / Representative</u>	<u>Activity</u>	<u>Permit/Project No.</u>	<u>Action** & Date</u>
--------------------------------	-----------------	---------------------------	----------------------------

(**Issued, Denied, Withdrawn, or Site Visit)

Part 1 - General Information (continued)

12. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___ Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
13. Approximate cost of the entire project (materials, labor, etc.): \$ 48,000
Approximate cost of that portion of the project which is below mean low water: \$ 0
14. Completion date of the proposed work: Fall - Winter 2021 - _____
15. Adjacent Property Owner Information: List the name and complete mailing address, including zip code, of each adjacent property owner to the project. (NOTE: a property owner/applicant cannot be their own adjacent property owner. You must give the next owner down the river, creek, etc).

Mark Knoop, 316 Pike Circle, Virginia Beach, VA 23456

Guy Weddell, 3701 Hardwick Terrace, Chesapeake, VA 23321

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

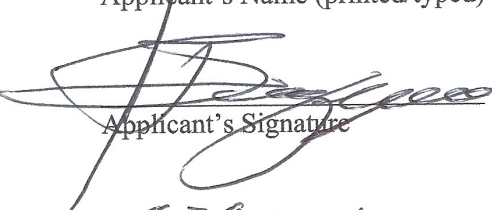
CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Jeffery L. Bruzzesi

Jeffery L. Bruzzesi
Applicant's Name (printed/typed)

(Use if more than one applicant)


Applicant's Signature

(Use if more than one applicant)

8.28.2021
Date

Property Owner's Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

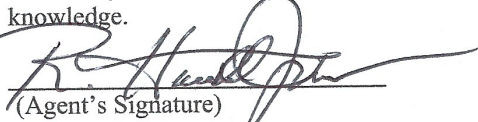
2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Jeffery L. Bruzzesi, hereby certify that I (we) have authorized Sigma Environmental Services, Inc.
(Applicant's name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.


(Agent's Signature)

(Use if more than one agent)

8-28-21
(Date)


(Applicant's Signature)

(Use if more than one applicant)

8-28-21
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), _____, have contracted _____
(Applicant's Name(s)) (Contractor's Name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches (including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, etc). Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service.

NOTE: Information on non-structural, vegetative alternatives (i.e. Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html .

1. For riprap, bulkheads, marsh toe, breakwaters, groins, jetties: What is the overall length of the structure(s)? 125' 10" linear feet. If applicable, what is the volume of the associated backfill? 65 cubic yards.
2. What is the maximum encroachment channelward of mean high water? 0.8 feet.
channelward of mean low water? 0 feet.
channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
 - Vegetated wetlands 0 square feet
 - Nonvegetated wetlands 5 square feet
 - Subaqueous bottom 4 square feet
 - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? Yes No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? Yes No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

5. Describe the type of construction and all materials to be used, including source of backfill material, if applicable (e.g. vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).
NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.

See Sheet 3 of 4 for material specifications and schedule.

6. If using stone, broken concrete, etc., for your structure(s), what is the average weight of the:
Core (inner layer) material _____ pounds per stone Class size _____
Armor (outer layer) material _____ pounds per stone Class size _____

Part 3 – Appendices (continued)

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material _____ cubic yards channelward of mean low water
_____ cubic yards landward of mean low water
- Area to be covered _____ square feet channelward of mean low water
_____ square feet landward of mean low water
- Source of material, composition (e.g. 90% sand, 10% clay): _____
- Method of transportation and placement: _____
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc.:

Jeffery L. Buzzesi
312 Pike Circle

Statement indicating whether use of a living shoreline (as defined in §28.2-104.1) for a shoreline management practice is not suitable, including reasons for that determination.

The proposed 125' bulkhead alignment is currently located at or above the MHW line for the vast majority of its length. The proposed bulkhead is set along four (4) different vectors to maximize the alignment along the MHW line and minimize impacts to the intertidal zone. No vegetated wetlands will be impacted as a result of implementation of the current proposal.

Most canal-front properties in Sandbridge were created from pre-existing wetlands that were subsequently filled with dredged materials from canal excavation. Those lots continue to be plagued with vertical and horizontal soil instability due to the existence of a highly compressible organic layer that contains the organic remnants of the pre-existing vegetated wetlands prior to filling with material excavated during canal creation. Most erosion in the canals in Sandbridge initiates at the buried organic horizon. As erosion of this horizon continues, collapse of the overburden results, creating total shoreline erosion. Re-grading the existing shoreline to a very gentle slope (e.g. 6:1) would expose the organic layer to additional erosional forces across the slope face. The organic layer would be situated entirely within the intertidal zone and subject to additional vertical and horizontal instability due to constant water level fluctuations and erosion forces along a greatly increased face. This would have a tendency to de-stabilize the sandy loam shoreline above that layer, with slow, but inevitable collapse of the materials upslope. The result would actually increase the rate of erosion at the site. The resulting condition would not be in the best interest to long-term stabilization of a created living shoreline, nor in the best interest of the homeowner.

Additionally, once the bulkhead has been constructed, the applicant proposes to install a swimming pool in the northwest quadrant of the property, approximately 18-20 feet landward of the bulkhead.

The proposed project will only impact 5 sq. ft. of non-vegetated wetlands which will be compensated for via a contribution to the City's In-Lieu-Fee Mitigation Program.

In Summary, it is Sigma's professional opinion that (1) the site is not conducive to the short- or long-term stability of a created living shoreline, (2) that no wetland creation or compensation is

required since none will be impacted, and (3) the cost of creating a living shoreline is not commensurate with the minimal impact generated by the proposed construction activity.

ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS

REVISED 10-09-03

PROJECT LOCATION: 312 PIKE CIRCLE

APPLICANT'S NAME: JEFFERY L. BRUZZESI

APPLICANT'S ADDRESS: 312 PIKE CIRCLE

VIRGINIA BEACH, VA 23456

ENGINEER OF RECORD: JOHN W. BLAKE, II

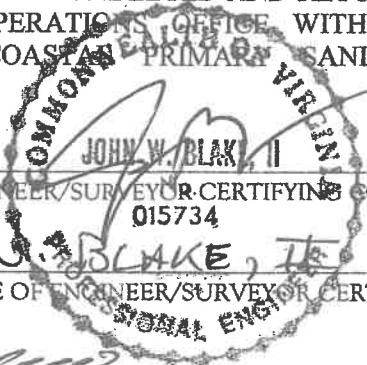
PROFESSIONAL ENGINEER/ SURVEYOR
CERTIFYING PROJECT
CONSTRUCTION:

JOHN W. BLAKE, II

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



DATE

4-20-21

JOHN W. BRUZZESI
TYPE OR PRINT NAME OF APPLICANT

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____



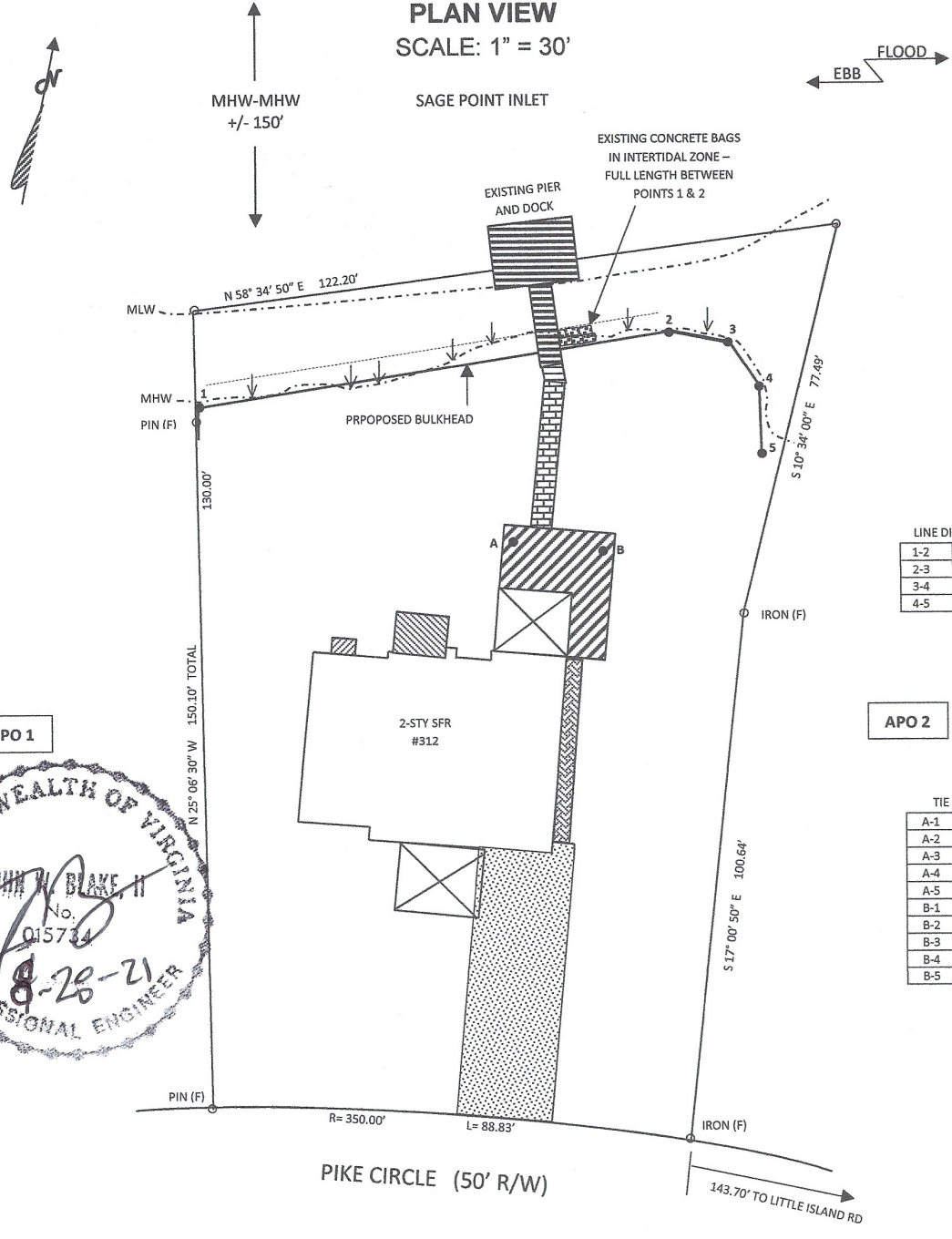
Σ SIGMA ENVIRONMENTAL SERVICES, INC.
 1513 SANDBRIDGE ROAD
 VIRGINIA BEACH, VIRGINIA 23456
 (757) 615-9974

APOs:
 1. MARK KNOPP
 2. GUY WEDDELL

WATERWAY: SAGE POINT INLET
FOR: JEFFERY L. BRUZZESI
AT: 312 PIKE CIRCLE
 VIRGINIA BEACH, VA 23456

PROJECT: BULKHEAD
DATUM: 0.00' MLW = -1.3' NAVD 1988
DATE: AUG. 28, 2021 SHEET 1 OF 3

PLAN VIEW
SCALE: 1" = 30'

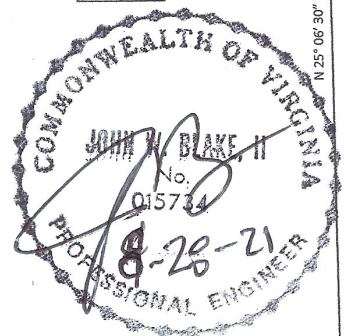


LINE DISTANCES

1-2	91' 1"
2-3	11' 10"
3-4	9' 11"
4-5	13' 0"

TIE DOWNS

A-1	66' 5"
A-2	50' 0"
A-3	56' 1"
A-4	57' 5"
A-5	51' 11"
B-1	84' 4"
B-2	43' 6"
B-3	45' 9"
B-4	44' 3"
B-5	36' 0"



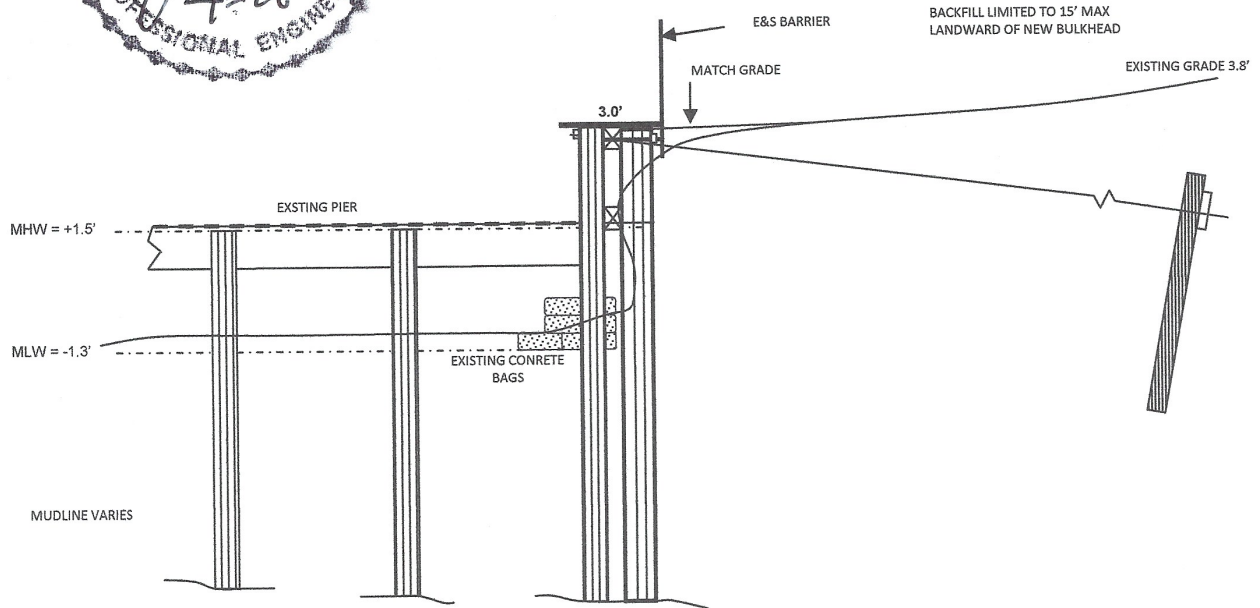
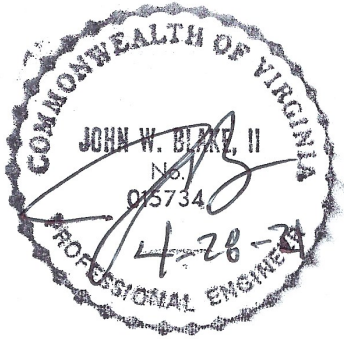
SIGMA ENVIRONMENTAL SERVICES, INC.
1513 SANDBRIDGE ROAD
VIRGINIA BEACH, VIRGINIA 23456

APOs:
1. MARK KNOOP
2. GUY WEDDELL

WATERWAY: SAGE POINT INLET
FOR: JEFFERY L. BRUZZESI
312 PIKE CIRCLE
VIRGINIA BEACH, VA 23456

PROJECT: BULKHEAD
DATUM: 0.00' MLW = -1.3' NAVD 1988
DATE: AUGUST 28, 2021 SHEET 2 OF 3

**CROSS SECTION
SCALE: 1" = 4'**



MATERIAL SCHEDULE:
 TIE BACK RODS: 3/4" DIA. 12-15' LENGTH
 DRAGBOARDS: TWO (2) 2" X 12"
 DEADMEN PILES: 8" DIA. MINIMUM
 SHEETING: 2' x 12" X 10'
 ALTERNATIVE SHEETING: VINYL SCMI-SG-330, 8'
 WALES: 4" X 6" ON EDGE - CONTINUOUS -
 STAGGERED JOINTS - BOLTED
 TOP CAP: TWIN 2" X 10"
 UV PROTECTED FILTER CLOTH
 1" WEEP HOLES 2' O/C 4" BELOW MHW

MATERIAL SPECIFICATIONS:
 FRAMING: CCA 2.5# PCF (MLP-88)
 DEADMAN: CCA 2.5# (MP-88)
 TOP PLATE: 0.4# PCF (LP-22)
 HARDWARE: HOT DIPPED
 GALVANIZED (ASTM-A153)

NOTES:
 1) ANY DISTURBED AREAS TO BE
 REGRADED AND SEEDED
 2) E&S CONTROLS WILL BE MAINTAINED
 UNTIL UPLAND VEGETATION IS RE-
 ESTABLISHED

TYPICAL SECTION ONLY

SIGMA ENVIRONMENTAL SERVICES, INC.
 1513 SANDBRIDGE ROAD
 VIRGINIA BEACH, VIRGINIA 23456

APOs:

1. MARK KNOOP
2. GUY WEDDELL

WATERWAY: SAGE POINT INLET

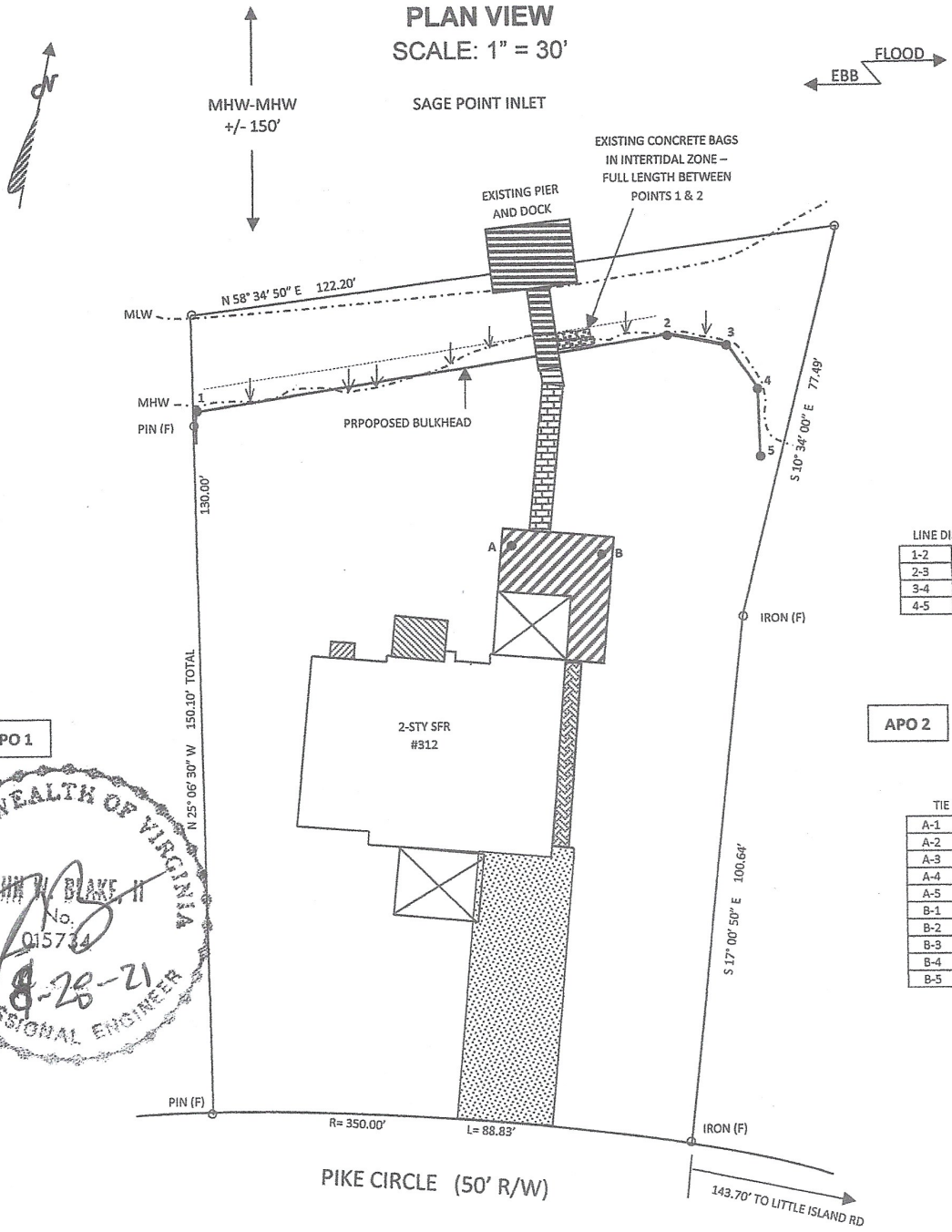
FOR: JEFFERY L. BRUZZESI
 320 PIKE CIRCLE
 VIRGINIA BEACH, VA 23456

PROJECT: BULKHEAD

DATUM: MLW = -1.3' NAVD 1988

DATE: AUGUST 28, 2021 SHEET 3 OF 3

PLAN VIEW
SCALE: 1" = 30'

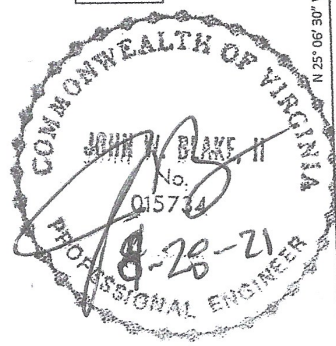


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B-1	84' 4"
B-2	43' 6"
B-3	45' 9"
B-4	44' 3"
B-5	36' 0"



SIGMA ENVIRONMENTAL SERVICES, INC.
1513 SANDBRIDGE ROAD
VIRGINIA BEACH, VIRGINIA 23456

APOs:

- MARK KNOOP
- GUY WEDDELL

WATERWAY: SAGE POINT INLET

FOR: JEFFERY L. BRUZZESI
312 PIKE CIRCLE
VIRGINIA BEACH, VA 23456

PROJECT: BULKHEAD

DATUM: 0.00' MLW = -1.3' NAVD 1988

DATE: AUGUST 28, 2021 SHEET 2 OF 3

August 28, 2021

Mark Knoop
316 Pike Circle
Virginia Beach, VA 23456

RE: Waterfront Improvements
At: 312 Pike Circle
Virginia Beach, Virginia 23456

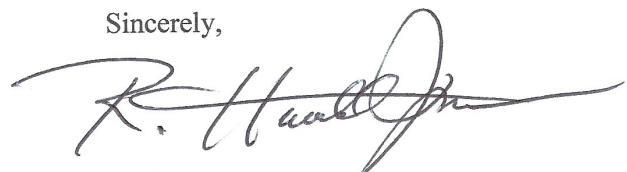
Dear Mr. Knoop:

Sigma Environmental Services, Inc. has been retained by Mr. Jeffery L. Bruzzesi to obtain all necessary permits and approvals for the installation of a bulkhead on his property located at 312 Pike Circle, Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Mr. Bruzzesi and requests your input on the project.

The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

Should you have any questions regarding this project, please feel free to call me at business cell (757) 615-9974. Thank you for your assistance in this matter.

Sincerely,



R. Harold Jones, PWS, Emeritus
President

CC: Mr. Jeffery L. Bruzzesi

1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456
Business Cell (757) 615-9974 fax (757) 426-5145

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Mark Knoop, own land next to (across
(Print adjacent/nearby property owner's name)

the water from/on the same cove as) the land of Jeffery L. Bruzzesi.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated August 28, 2021
(Date)

to be submitted for all necessary Federal, state and local permits.

I HAVE NO COMMENT _____ ABOUT THE PROJECT.

I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

August 28, 2021

Guy Weddell
3701 Hardwick Terrace
Chesapeake, VA 23321

**RE: Waterfront Improvements
At: 312 Pike Circle
Virginia Beach, Virginia 23456**

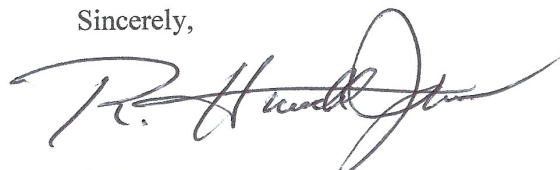
Dear Mr. Weddell:

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The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

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Sincerely,



R. Harold Jones, PWS, Emeritus
President

CC: Mr. Jeffery L. Bruzzesi

1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456
Business Cell (757) 615-9974 fax (757) 426-5145

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Guy Weddell, own land next to (across
(Print adjacent/nearby property owner’s name)

the water from/on the same cove as) the land of Jeffery L. Bruzzesi.
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated August 28, 2021
(Date)

to be submitted for all necessary Federal, State and Local permits.

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I DO NOT OBJECT _____ TO THE PROJECT.

I OBJECT _____ TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form, be sure you have checked the appropriate option above).

Adjacent/nearby property owner’s signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.

6. 2021-WTRA-00271

Ryan Woods [Applicant & Owner]

To construct rip rap revetment involving wetlands

620 Lake Point Circle
(GPIN 2417-28-4607)

Waterway – Linkhorn Bay
Subdivision – Fremac Shores
Council District – Beach



Disclosure Statement

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

Applicant Disclosure

Applicant Name _____

Does the applicant have a representative? Yes No

- If **yes**, list the name of the representative.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business? Yes No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary¹ or affiliated business entity² relationship with the applicant. (Attach a list if necessary)

¹ "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

² "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action? **Yes** **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
-

Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes **No**

- If **yes**, identify the financial institutions.
-

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes **No**

- If **yes**, identify the real estate broker/realtor.
-

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the firm or individual providing the service.
-

5. Is there any other **pending or proposed purchaser** of the subject property? **Yes** **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

Disclosure Statement

6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the construction contractor.
-

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the engineer/surveyor/agent.
-

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property? **Yes** **No**

- If **yes**, identify the name of the attorney or firm providing legal services.
-

Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

Ryan Woods

Applicant Signature

Print Name and Title

Date

Is the applicant also the owner of the subject property? **Yes** **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications

<input type="checkbox"/>	No changes as of	Date		Signature	
				Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
	Notes:
	JPA #

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
County or City in which the project is located: _____				
Waterway at project site: _____				
PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)				
Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

Part 1 - General Information (continued)

1. Applicant's legal name* and complete mailing address: Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

2. Property owner(s) legal name* and complete address, if different from applicant: Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

3. Authorized agent name* and complete mailing address (if applicable):

Contact Information:

Home (____)_____

Work (____)_____

Fax (____)_____

Cell (____)_____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? ___ Yes* ___ No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name* and complete mailing address:

Contact Information:

Home (____) _____

Work (____) _____

Fax (____) _____

Cell (____) _____

email _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

(____) _____

7. Give the following project location information:

Street Address (911 address if available) _____

Lot/Block/Parcel# _____

Subdivision _____

City / County _____ ZIP Code _____

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

_____ / - _____ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Part 1 - General Information (continued)

9. Proposed use (check one):
___ Single user (private, non-commercial, residential)
___ Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? ___Yes ___No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$_____
- Approximate cost of that portion of the project that is channelward of mean low water:
\$_____
13. Completion date of the proposed work: _____-_____
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Ryan Woods

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)


Applicant's Signature

(Use if more than one applicant)

31 AUG 21
Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), Ryan Woods, hereby certify that I (we) have authorized Waterfront Consulting, Inc.
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P. *RES*
(Agent's Signature)

(Use if more than one agent)

9/1/2021
(Date)

[Signature]
(Applicant's Signature)

(Use if more than one applicant)

31AV621
(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

I (we), Ryan Woods, have contracted _____
(Applicant's legal name(s)) (Contractor's name(s))
to perform the work described in this Joint Permit Application, signed and dated _____.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Contractor's name or name of firm

Contractor's or firms address

Contractor's signature and title

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

Appendix A: (TWO PAGES) Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

2. **For private, noncommercial piers:**

Do you have an existing pier on your property? ____ Yes ____ No

If yes, will it be removed? ____ Yes ____ No

Is your lot platted to the mean low water shoreline? ____ Yes ____ No

What is the overall length of the proposed structure? _____ feet.

Channelward of Mean High Water? _____ feet.

Channelward of Mean Low Water? _____ feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands _____ square feet.

Tidal vegetated wetlands _____ square feet.

Submerged lands _____ square feet.

What is the total size of any and all L- or T-head platforms? _____ sq. ft.

For boathouses, what is the overall size of the roof structure? _____ sq. ft.

Will your boathouse have sides? ____ Yes ____ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

Part 3 – Appendices (continued)

Appendix B: Projects for Shoreline Stabilization in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

NOTE: It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html.**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

2. What is the maximum encroachment channelward of mean high water? _____ feet.
Channelward of mean low water? _____ feet.
Channelward of the back edge of the dune or beach? _____ feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands _____ square feet
- Non-vegetated wetlands _____ square feet
- Subaqueous bottom _____ square feet
- Dune and/or beach _____ square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure? ____ Yes ____ No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead? ____ Yes ____ No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT
FOR
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 620 Lake Point Circle

APPLICANT'S NAME: Ryan Woods

APPLICANT'S ADDRESS: 620 Lake Point Circle

Virginia Beach, VA 23451

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Riprap & Pier

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

31 AUG 21

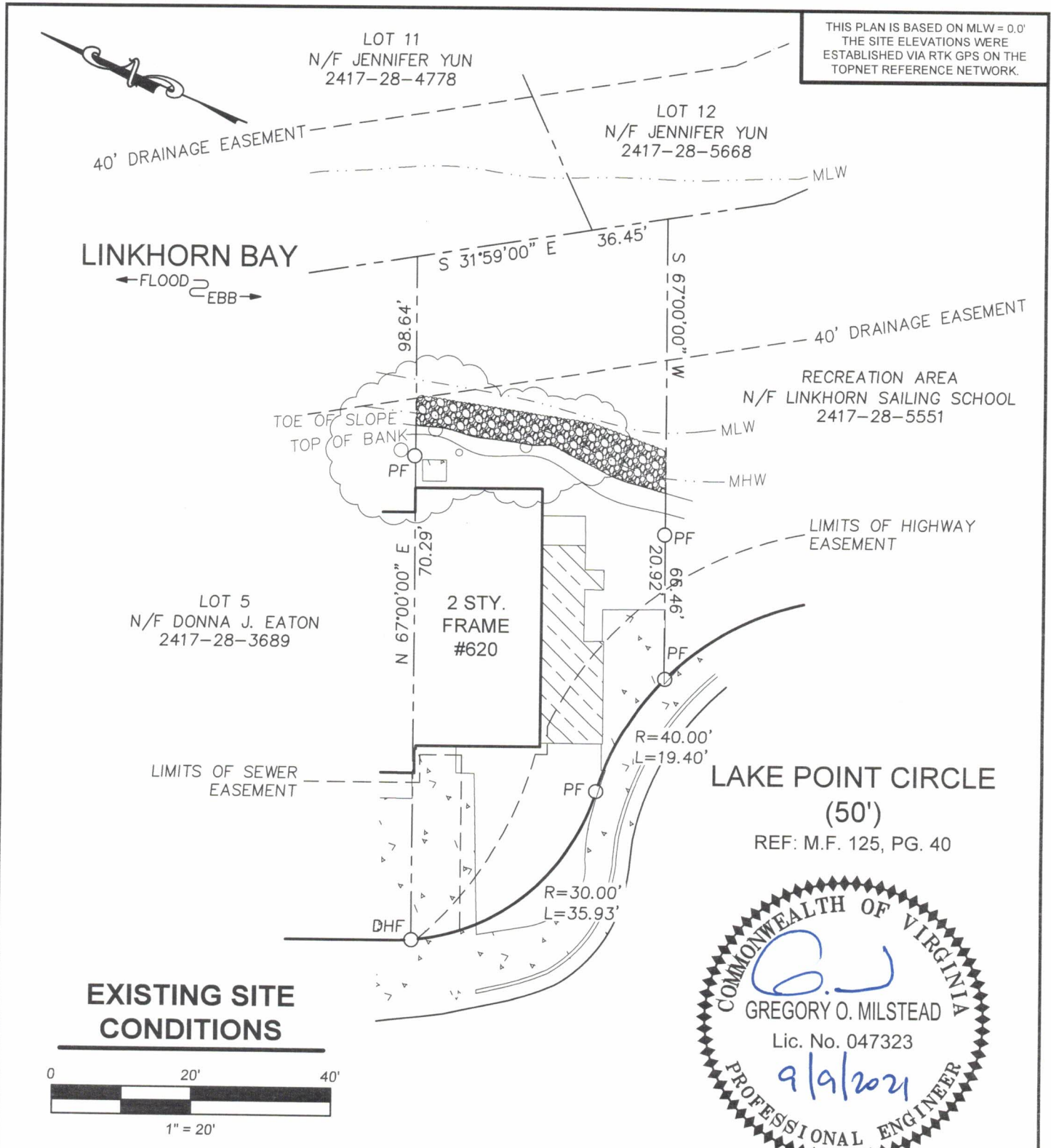
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

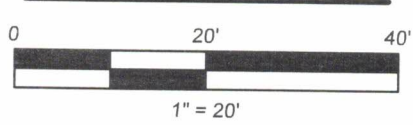
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. _____

THIS PLAN IS BASED ON MLW = 0.0'
THE SITE ELEVATIONS WERE
ESTABLISHED VIA RTK GPS ON THE
TOPNET REFERENCE NETWORK.



**EXISTING SITE
CONDITIONS**



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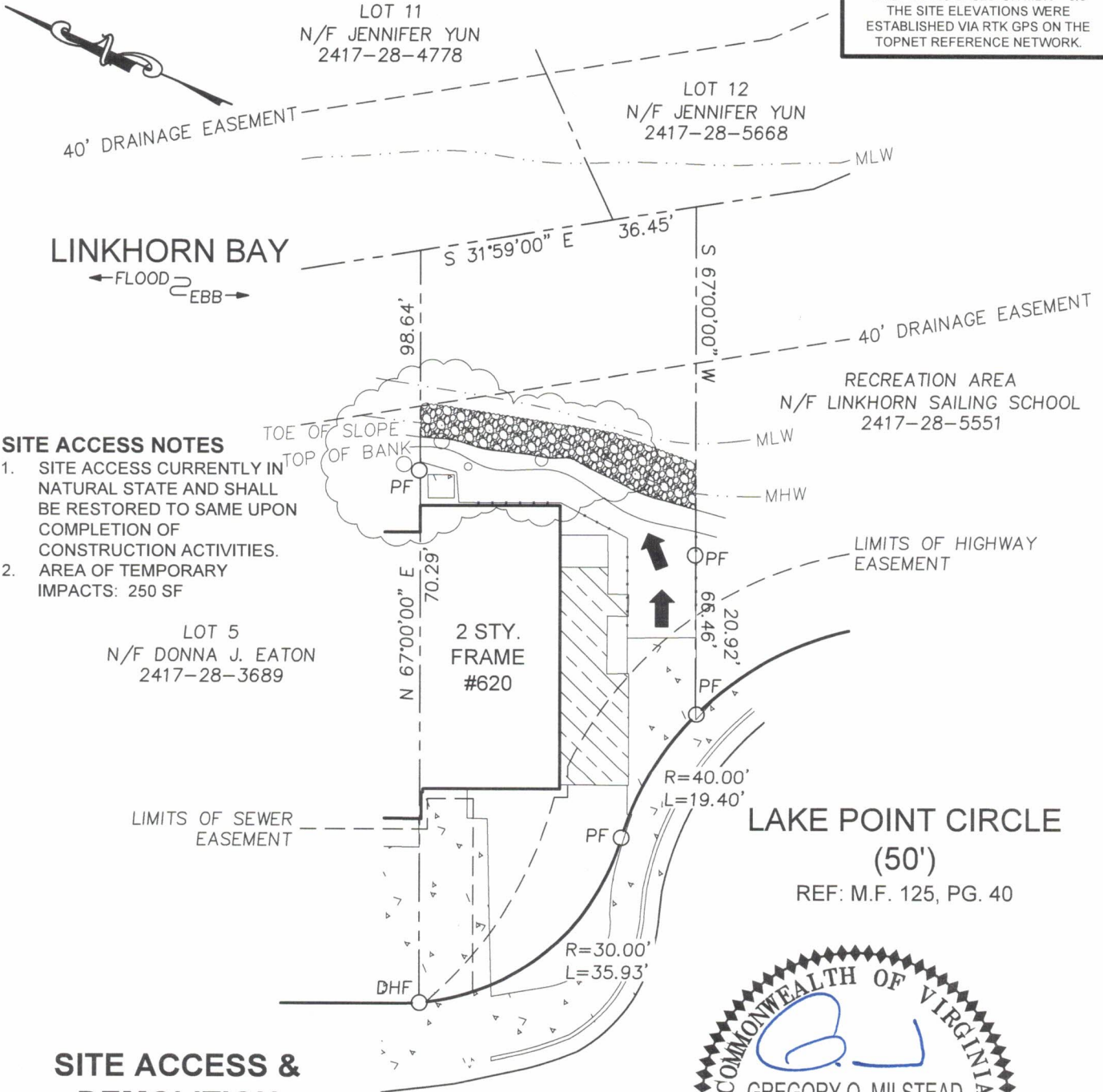
PURPOSE: EROSION CONTROL
DATUM: MLW 0.0
A.P.O.
1. DONNA J. EATON
2. JENNIFER YUN
3. JENNIFER YUN
4. LINKHORN SAILING SCHOOL
REV:

WCI WATERFRONT CONSULTING, INC.
 2589 QUALITY COURT, STE. 323
 VIRGINIA BEACH, VA 23454
 PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
 CHESAPEAKE BAY SITE SOLUTIONS, INC.
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456
 PHONE: (757) 575-3715

PROPOSED: RIPRAP & PIER
IN: LINKHORN BAY
AT: 620 LAKE POINT CIRCLE
VIRGINIA BEACH, VA 23451
APPLICATION BY:
RYAN WOODS
SHEET 1 OF 10
DATE: AUGUST 31, 2021

THIS PLAN IS BASED ON MLW = 0.0'
 THE SITE ELEVATIONS WERE
 ESTABLISHED VIA RTK GPS ON THE
 TOPNET REFERENCE NETWORK.

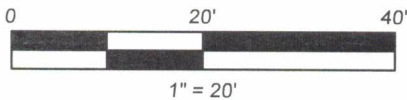


SITE ACCESS NOTES

1. SITE ACCESS CURRENTLY IN NATURAL STATE AND SHALL BE RESTORED TO SAME UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
2. AREA OF TEMPORARY IMPACTS: 250 SF

LOT 5
 N/F DONNA J. EATON
 2417-28-3689

SITE ACCESS & DEMOLITION



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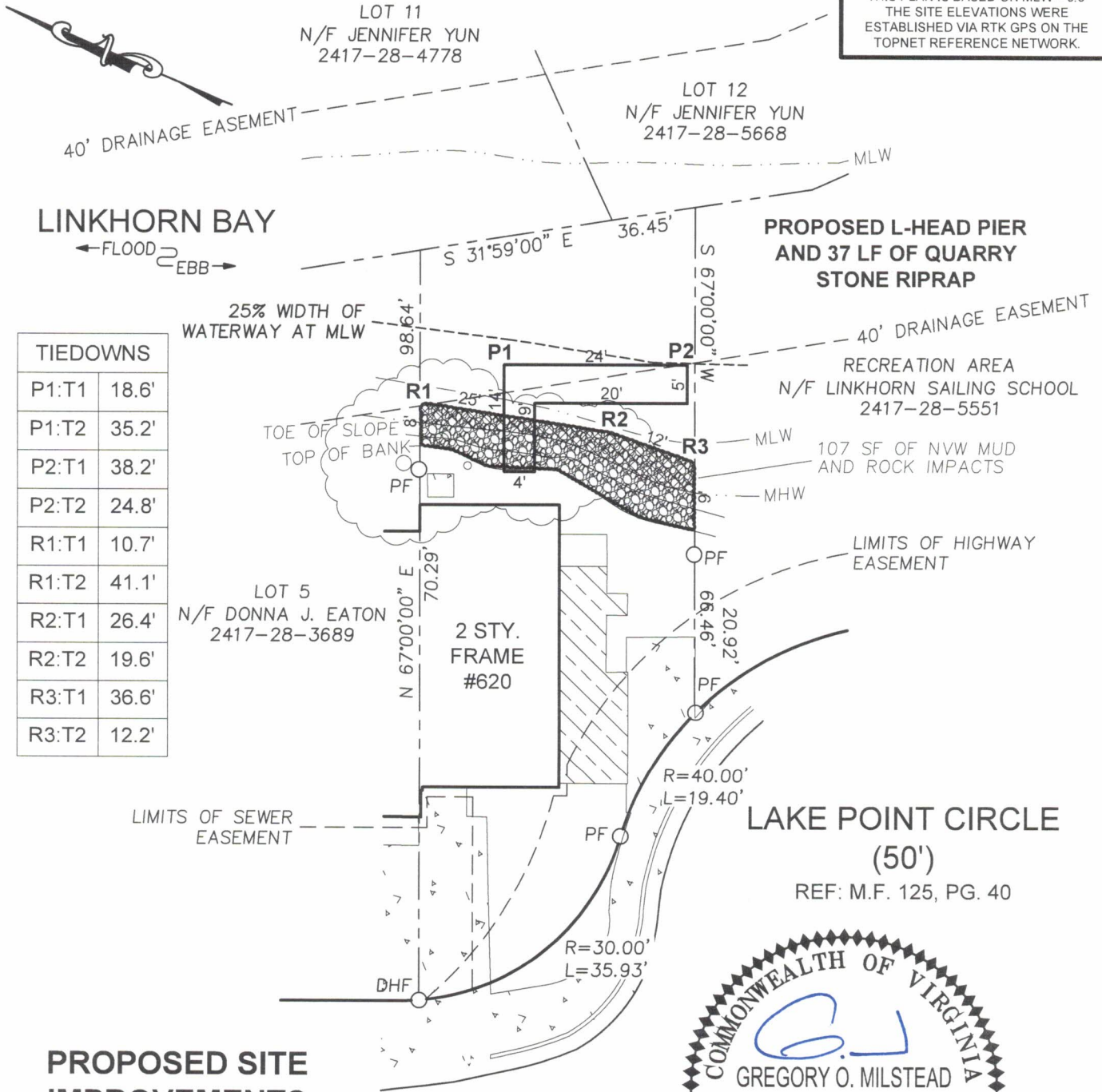
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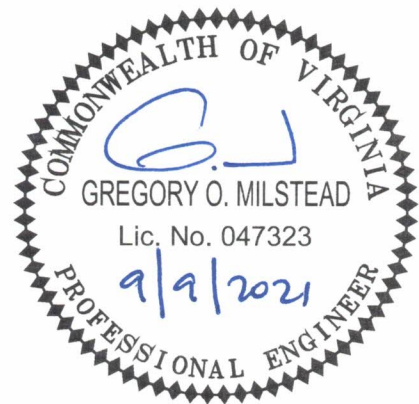
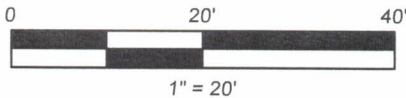
SHEET 2 OF 10
 DATE: AUGUST 31, 2021

THIS PLAN IS BASED ON MLW = 0.0'
THE SITE ELEVATIONS WERE
ESTABLISHED VIA RTK GPS ON THE
TOPNET REFERENCE NETWORK.



TIEDOWNS	
P1:T1	18.6'
P1:T2	35.2'
P2:T1	38.2'
P2:T2	24.8'
R1:T1	10.7'
R1:T2	41.1'
R2:T1	26.4'
R2:T2	19.6'
R3:T1	36.6'
R3:T2	12.2'

PROPOSED SITE IMPROVEMENTS



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APPLICATION BY:
RYAN WOODS

SHEET 3 OF 10
DATE: AUGUST 31, 2021

SITE DATA

LEGAL DESCRIPTION: LOT 6, LAKE POINT TOWNHOUSES

REF: MAP BOOK 125, PAGE 40, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA

GPIN: 2417-28-4607

ZONING: A12 RESIDENTIAL

SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND SAFETY FENCE AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)

PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre

NOTICE

BEFORE YOU DIG,
CALL MISS UTILITY
1-800-552-7001 or 811
FOR LOCATIONS OF
EXISTING UTILITIES.

WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.



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PROPOSED: RIPRAP & PIER

IN: LINKHORN BAY

AT: 620 LAKE POINT CIRCLE

VIRGINIA BEACH, VA 23451

APPLICATION BY:

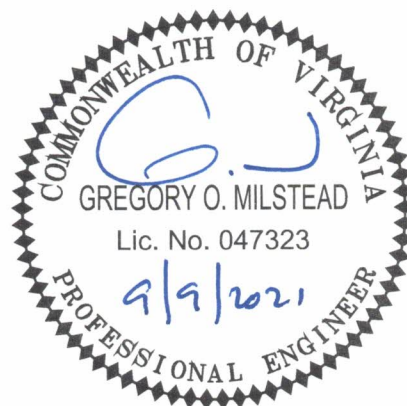
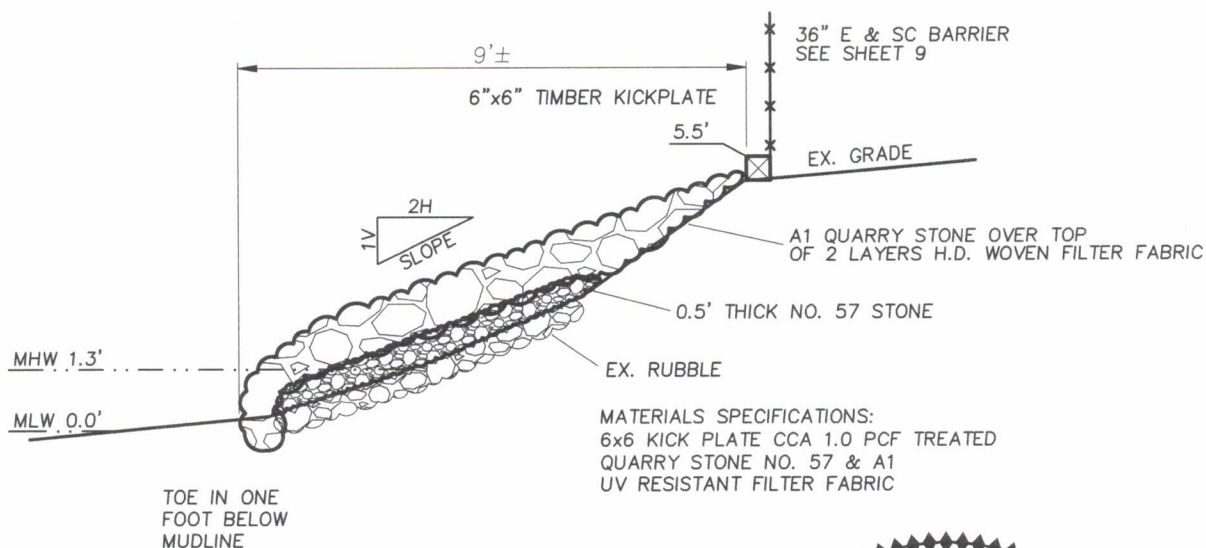
RYAN WOODS

SHEET 4 OF 10

DATE: AUGUST 31, 2021

CROSS SECTION PROPOSED RIPRAP

SC: 1" = 4'



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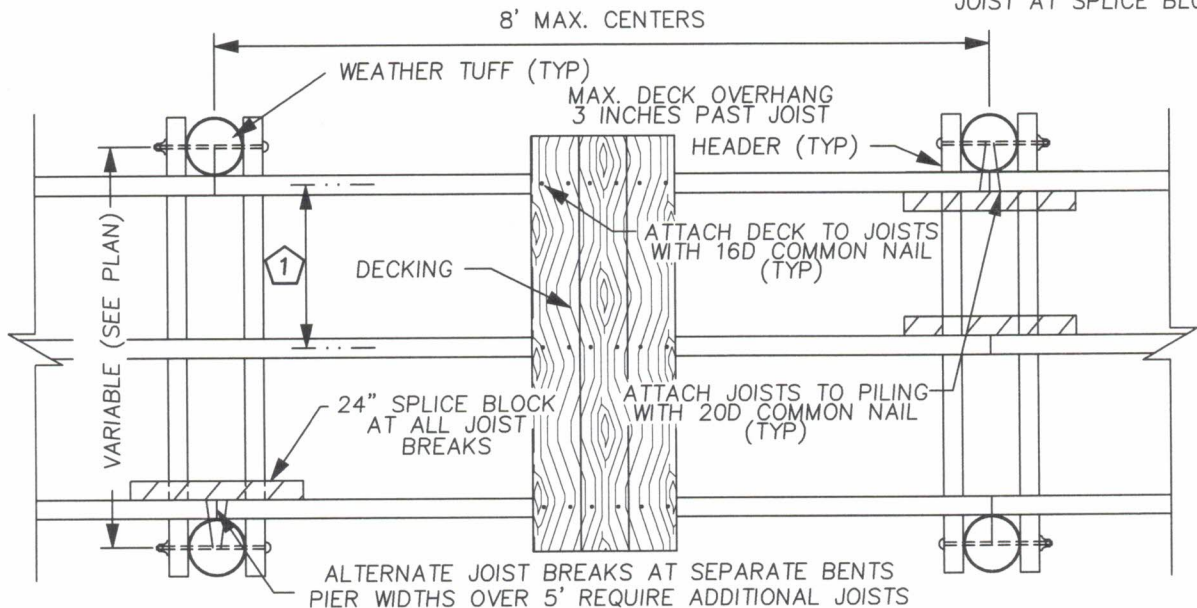
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SHEET 5 OF 10
DATE: AUGUST 31, 2021

PROPOSED PIER DETAILS

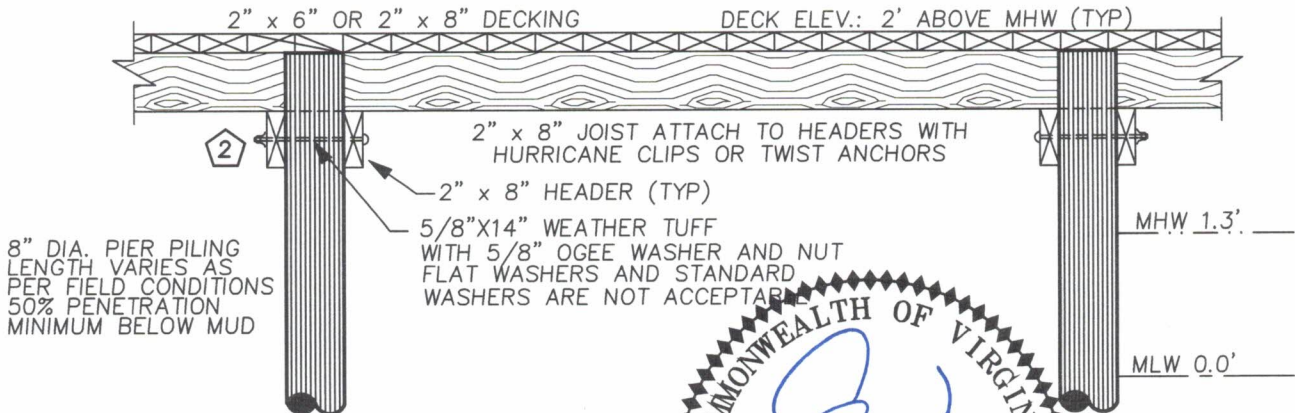
SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



1 JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.

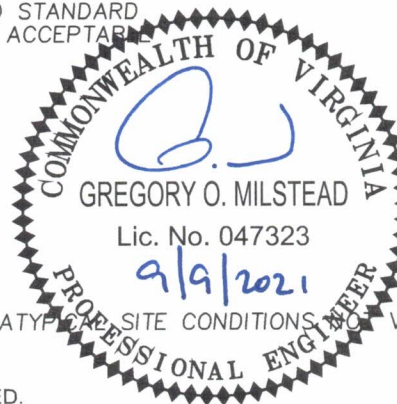
2 PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF
HEADERS AND JOISTS: C.C.A. 0.6 PCF
DECKING: CCA 0.4 PCF
ALL WOOD TO BE GRADE 2 OR BETTER.
HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.



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REV:

SHEET 6 OF 10
DATE: AUGUST 31, 2021

NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
PIER	11					

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.



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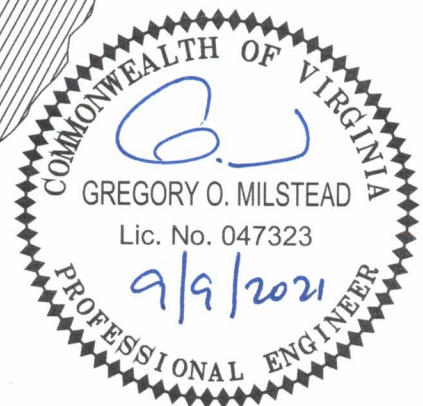
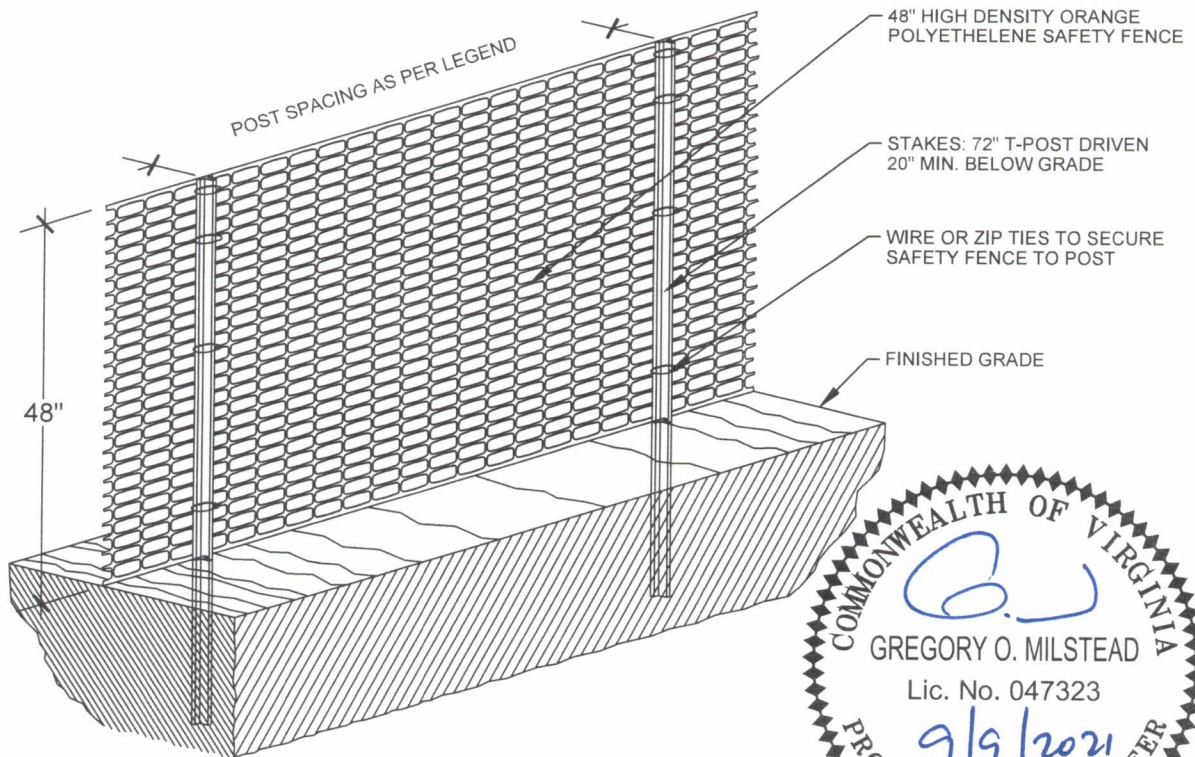
PROPOSED: RIPRAP & PIER
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VIRGINIA BEACH, VA 23451
APPLICATION BY:
RYAN WOODS

SHEET 7 OF 10
DATE: AUGUST 31, 2021

48" Orange Safety Fence, 72" T-Posts Sensitive Area/Tree Protection

LEGEND

SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C..
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C..
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



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PURPOSE: EROSION CONTROL
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REV:



**WATERFRONT
CONSULTING, INC.**

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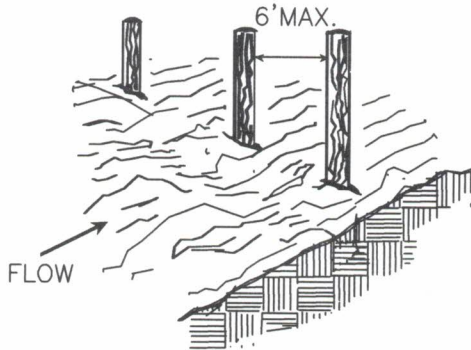
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APPLICATION BY:
RYAN WOODS

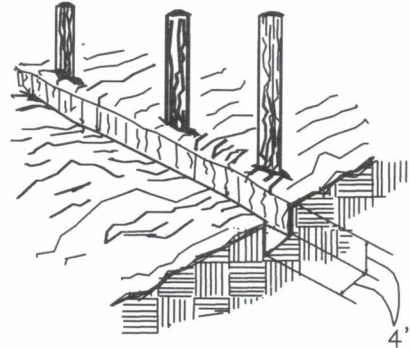
SHEET 8 OF 10
DATE: AUGUST 31, 2021

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

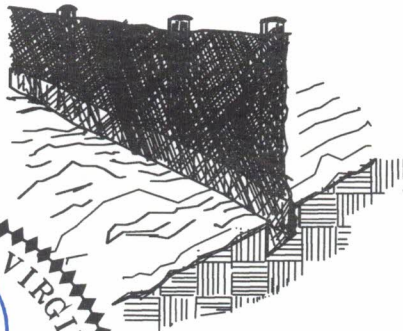
1. SET THE STAKES.



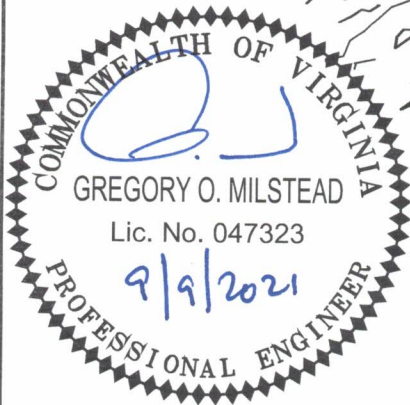
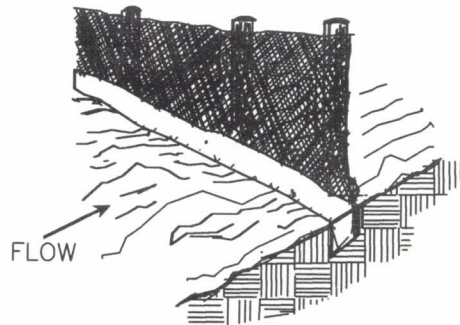
2. EXCAVATE A 4"X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant

PLATE. 3.05-2

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PURPOSE: EROSION CONTROL
DATUM: MLW 0.0
A.P.O.

1. DONNA J. EATON
2. JENNIFER YUN
3. JENNIFER YUN
4. LINKHORN SAILING SCHOOL

REV:



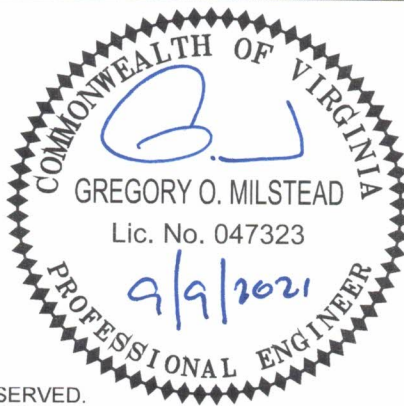
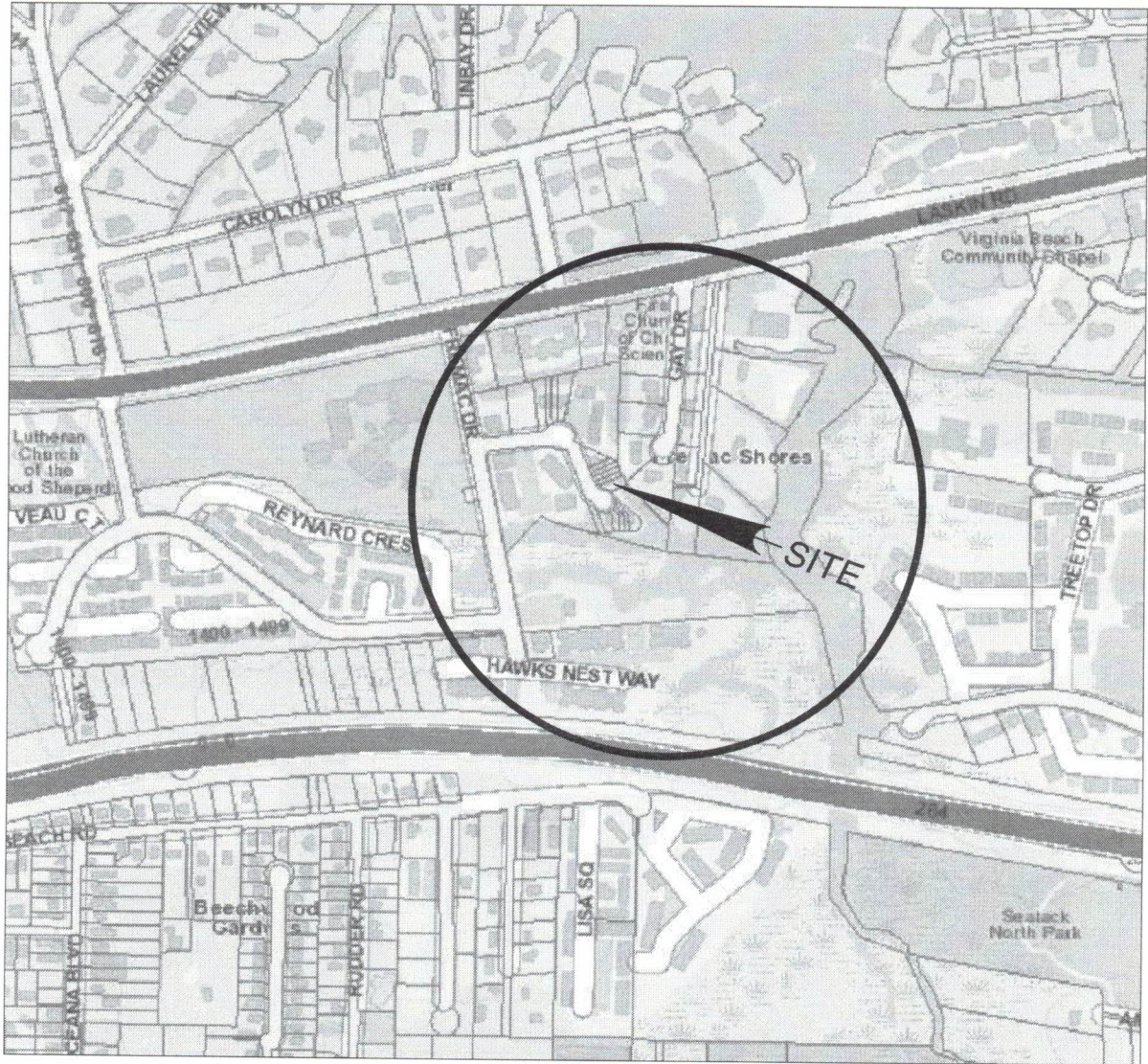
WATERFRONT
CONSULTING, INC.

2589 QUALITY COURT, STE. 323
VIRGINIA BEACH, VA 23454
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:
CHESAPEAKE BAY SITE SOLUTIONS, INC.
P.O. BOX 6663 VIRGINIA BEACH, VA 23456
PHONE: (757) 575-3715

PROPOSED: RIPRAP & PIER
IN: LINKHORN BAY
AT: 620 LAKE POINT CIRCLE
VIRGINIA BEACH, VA 23451
APPLICATION BY:
RYAN WOODS

SHEET 9 OF 10
DATE: AUGUST 31, 2021



LOCATION MAP

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SHEET 10 OF 10
DATE: AUGUST 31, 2021

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: _____ DSC Plan # : _____

Location: _____ GPIN: _____

Watershed: _____ HUC: _____

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:


Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: Ryan Woods

Signature of Permittee: _____ Print Name: _____

Date: _____



WATERFRONT CONSULTING, INC.
“Specializing in Permit Processing”

**RE: Proposed
Located**

Dear

This letter is to notify you that your neighbor(s), have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to bob@waterfrontconsulting.net or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission
Habitat Management Division
380 Fenwick Road, Bldg. 96
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

Robert E. Simon

Robert E. Simon, Vice President

CC: _____, Applicant

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of _____.
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated _____
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



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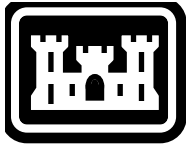
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REGIONAL PERMIT 17 CHECKLIST

Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structures that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES NO (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES NO (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES NO (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES NO N/A (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES NO N/A (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES NO N/A (7) Is the open-sided roof structure designed to shelter a boat \leq 700 square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier \leq 400 square feet?
- YES NO N/A (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES NO N/A (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES NO N/A (10) If the proposed structure(s) is to be located within an anadromous fish use area, will the prospective permittee adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline?
- YES NO (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES NO (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES NO (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES NO (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?

- YES NO (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES NO (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES NO N/A (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES NO N/A (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES NO (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES NO (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES NO N/A (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES NO N/A (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission (VMRC)'s Habitat Management Division? Please refer to Appendix D of the Tidewater JPA for more details on VMRC's aquaculture requirements.
- YES NO (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES NO (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.

Proposed work to be located at:

Signature of Property Owner(s) or Agent

Date _____