



# Wetlands Board Agenda

April 19, 2021

# Wetlands Board Hearing Procedures

Due to the ongoing COVID-19 pandemic, the Virginia Beach Wetlands Board meeting will be held virtually on April 19, 2021 at 10:00 a.m. with Wetlands Board Members, Staff and citizens participating via video/audio conference. Prior to the public hearing, a virtual Staff briefing will be held at 9:00 a.m.

**For those citizens who desire to attend this meeting virtually, registration is required.** Please visit [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) or enter the following URL into your web browser to register: <https://vbgov.webex.com/vbgov/onstage/g.php?MTID=ef264b0b408ae2b054af429c97c8e52f0>

**If you desire to speak at the virtual public hearing you must notify Staff prior to 5:00 pm, Friday, April 16, 2021 at (757) 385-4621.** Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to [waterfront@vbgov.com](mailto:waterfront@vbgov.com) or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Staff will attempt to facilitate real-time citizen participation/comments in the public hearing for those citizens who registered, which includes speaker's name, physical address, email address, and phone number. For more information on this process, please review the Wetlands Board website at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) or contact Staff at (757) 385-4621. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands). For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

**PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE WHILE IN THE COUNCIL CHAMBER.**

**THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.**

## **THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING**

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
  - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
  - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your

\* Deferral

\*\* Withdrawal

**Wetlands Board Agenda  
April 19, 2021**

remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.

2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:
  - a. The applicant or applicant’s representative will have 10 minutes to present the case.
  - b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
  - c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
  - d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
  - e. The applicant or applicant’s representative will then have 3 minutes for rebuttal of any comments from the opposition.
  - f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
  - g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
  - h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

\* Deferral  
\*\* Withdrawal

**9:00 A.M. – STAFF BRIEFING AND DISCUSSION**

- NEW PROCEDURE FOR ABSTAINING – Victoria Eisenberg, Assistant City Attorney
- REVIEW OF PUBLIC HEARING AGENDA ITEMS

**10:00 A.M. – PUBLIC HEARING**

**OLD BUSINESS – WETLANDS**

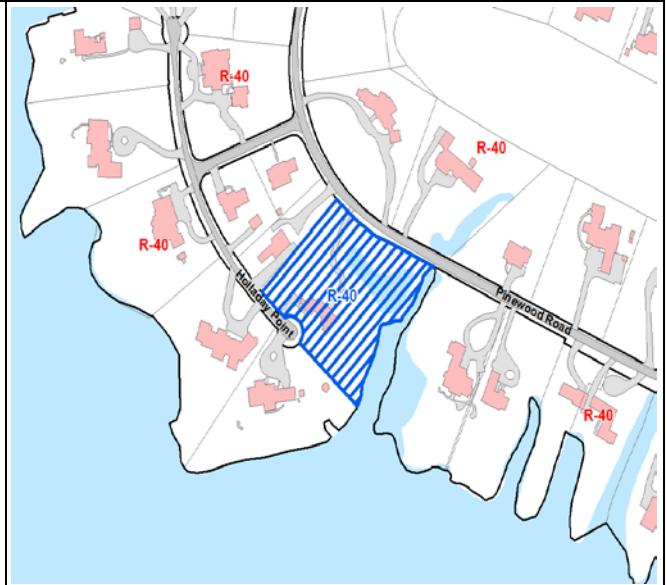
1. 2019-WTRA-00058  
George Clarke [Applicant],  
Patricia Clarke [Owner]

**REQUEST FOR 1 YEAR EXTENSION**

**To remove bulkhead, construct rip rap, excavate uplands, dredge, and create a living shoreline involving wetlands**

128 Pinewood Road  
(GPIN 2418-53-9402)

Waterway – Little Neck Creek  
Subdivision – Bay Colony Waterfront  
Council District – Beach



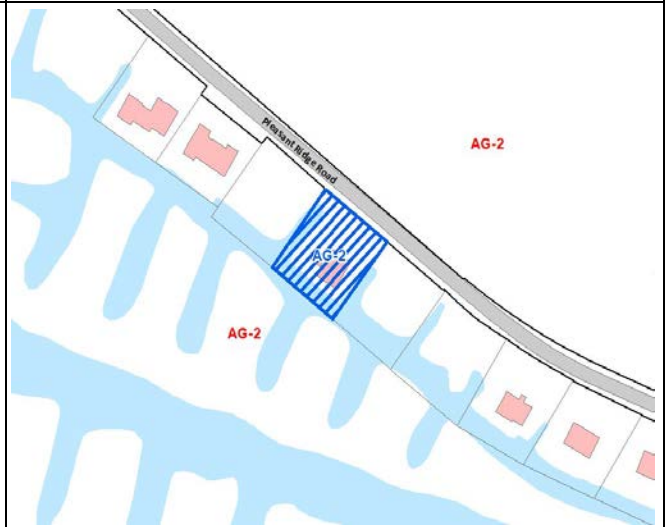
02. 2020-WTRA-00022  
Victoria Oldani [Applicant/Owner]

**REQUEST FOR 1 YEAR EXTENSION**

**To construct a bulkhead involving wetlands**

1325 Pleasant Ridge Road  
(GPIN 2411-97-5590)

Waterway – Canal to Shipp's Bay  
Subdivision – Pungo  
Council District – Princess Anne



\* Deferral  
\*\* Withdrawal

OLD BUSINESS - WETLANDS

3. 2021-WTRA-00038  
Lorna C. Donatone, QPRT  
[Applicant/Owner]

**Deferred from March 15, 2021**

**To relocate rip rap and install a bulkhead involving wetlands**

1421 Blue Heron Road  
(GPIN 1498-58-4496)

Waterway – Eastern Branch of Lynnhaven River  
Subdivision – Shorehaven  
Council District – Lynnhaven



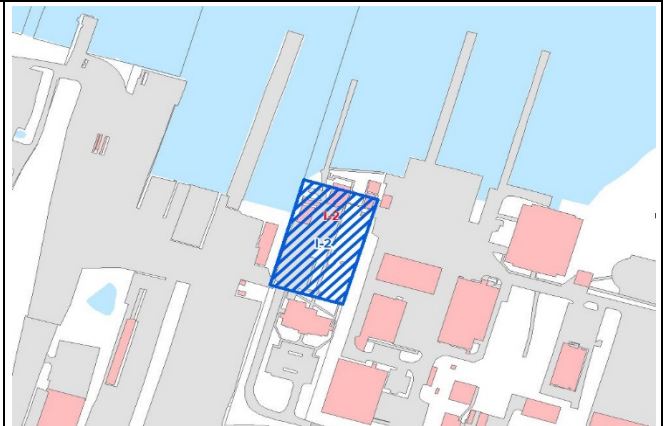
NEW BUSINESS - WETLANDS

4. 2021-WTRA-00010  
U.S. Coast Guard [Applicant/Owner]

**To construct a bulkhead involving wetlands**

1100 Abbott Road  
(GPIN 1469-29-1708)

Waterway – Little Creek Cove  
Subdivision – Shore Dr  
Council District – Bayside

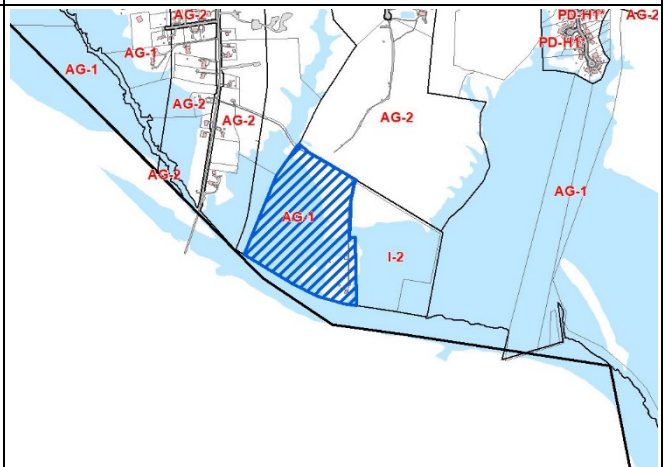


5. 2021-WTRA-00041  
NuStar Terminals Operations Partnership, LP [Applicant/Owner]

**To construct rip rap and a boat ramp involving wetlands**

3924 North Landing Road  
(GPIN 1482-79-7939)

Waterway – North Landing River  
Subdivision – N/A  
Council District – Princess Anne



\* Deferral  
\*\* Withdrawal

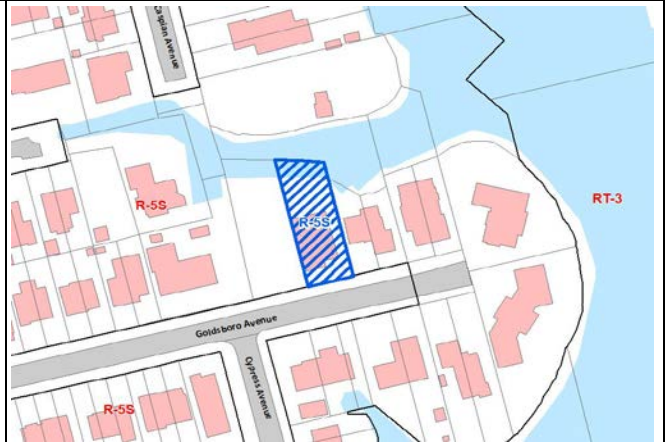
NEW BUSINESS - WETLANDS

6. 2021-WTRA-00056  
Luke Kinser [Applicant/Owner]

**To construct a bulkhead involving wetlands**

617 Goldsboro Ave  
(GPIN 2427-01-6768)

Waterway – Lake Rudee  
Subdivision – Shadowlawn Heights  
Council District – Beach



7. 2021-WTRA-00073  
John & Tama Profilet  
[Applicant/Owner]

**To construct a bulkhead and rip rap involving wetlands**

1336 Holly Point Road  
(GPIN 1498-67-3201)

Waterway – Eastern Branch Lynnhaven River  
Subdivision – Trant Berkshire Area  
Council District – Lynnhaven



8. 2021-WTRA-00082  
Chelsea Waterway  
Associates, Inc. [Applicant]  
Marlyn Fabrizio Trust [Owner]

**To maintenance dredge involving wetlands**

1825 Green Hill Road  
(GPIN 1499-86-9178)

Waterway – Broad Bay  
Subdivision – Green Hill Farm  
Council District – Lynnhaven



\* Deferral

\*\* Withdrawal

NEW BUSINESS - WETLANDS

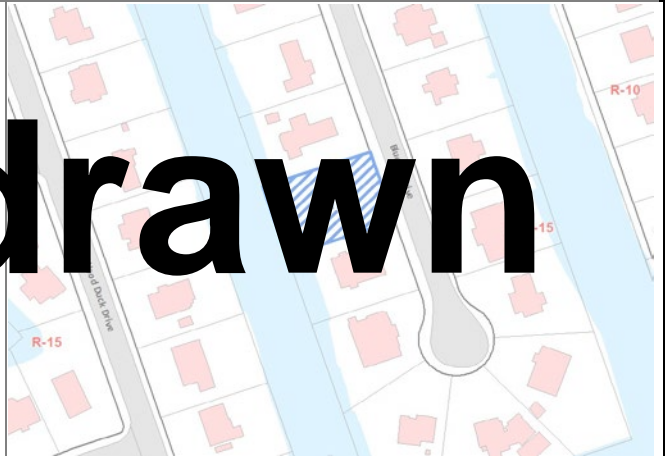
9. 2021-WTRA-00086

Robert T. Collins [Applicant/Owner]

**To construct a bulkhead involving wetlands**

2873 Blue Duck Drive  
(GPIN 2433-34-0646)

Waterway – Bass Inlet  
Subdivision – Sandbridge Shores  
Council District – Princess Anne



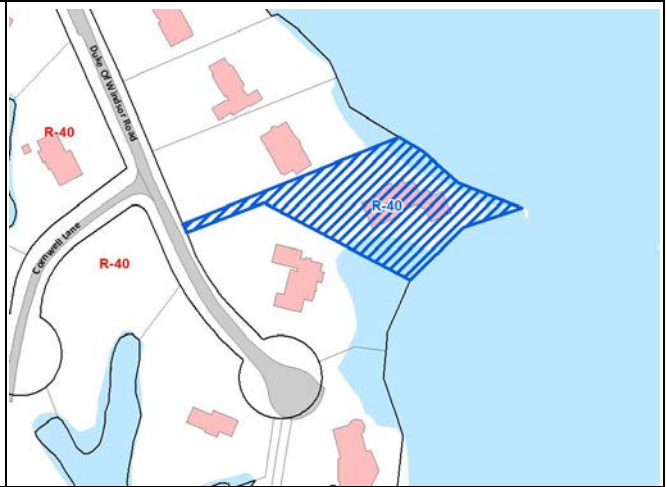
10. 2021-WTRA-00093

James J. Jamison  
[Applicant/Owner]

**To rework rip rap revetment, create oyster reef, and plant vegetation involving wetlands**

1508 Duke of Windsor  
(GPIN 2418-07-3353)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Shores  
Council District – Lynnhaven



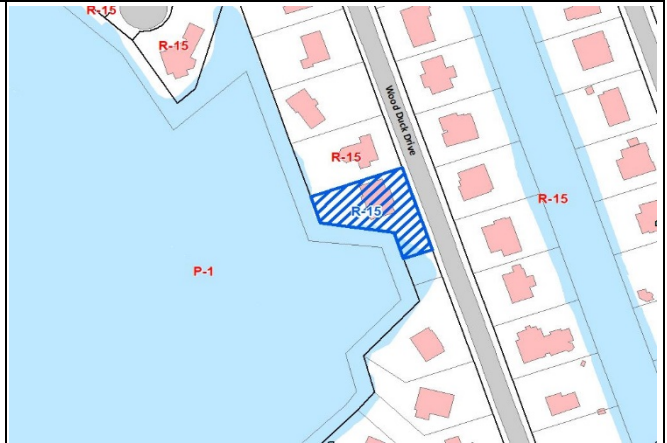
11. 2021-WTRA-00067

Neil C. Thompson [Applicant/Owner]

**To construct a bulkhead involving wetlands**

2821 Wood Duck Drive  
(GPIN 2433-25-2680)

Waterway – Sand Broad Inlet  
Subdivision – Sandbridge Shores  
Council District – Princess Anne



\* Deferral  
\*\* Withdrawal

1. 2019-WTRA-00058

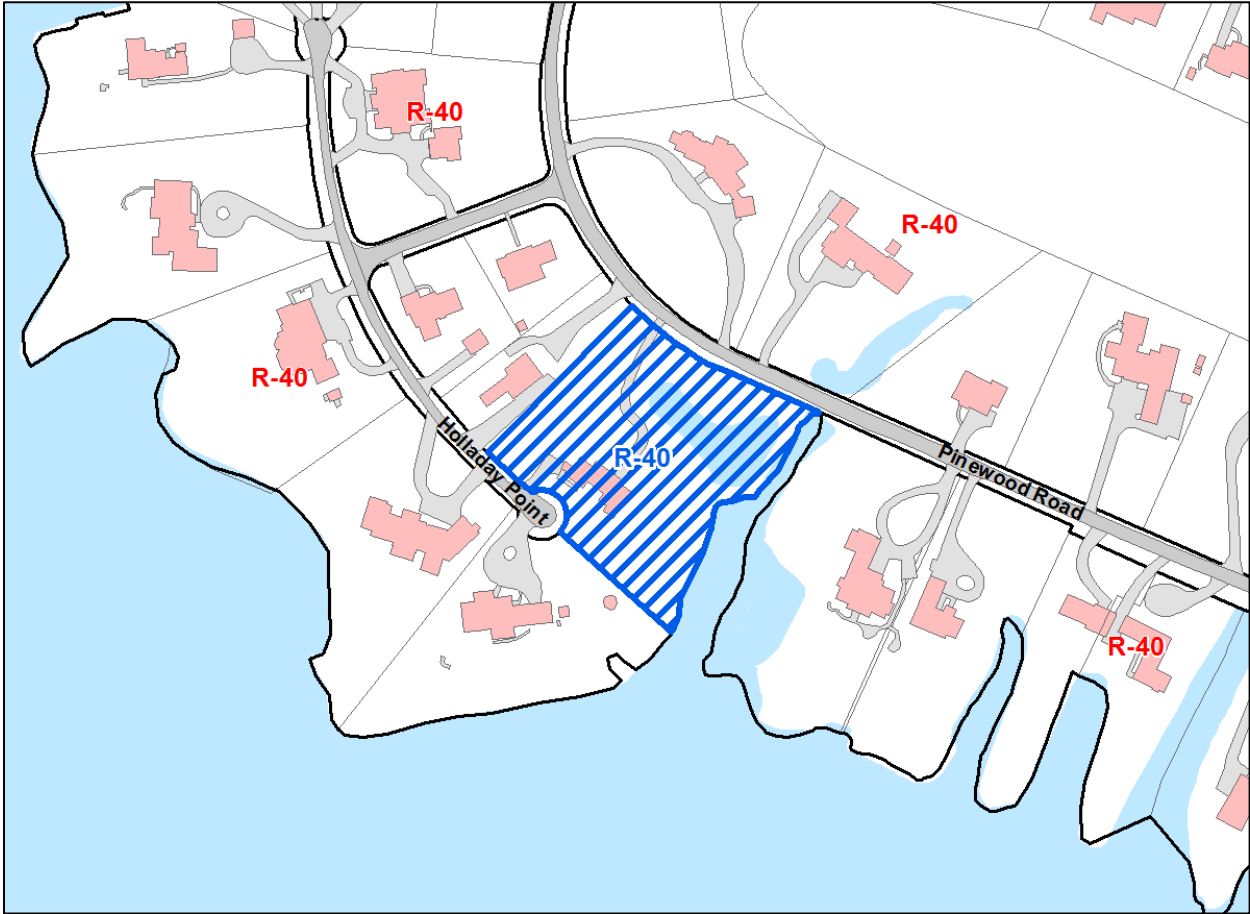
George Clarke [Applicant], Patricia Clarke [Owner]

**REQUEST FOR 1 YEAR EXTENSION**

**To remove bulkhead, construct rip rap, excavate uplands, dredge, and create a living shoreline involving wetlands**

128 Pinewood Road  
(GPIN 2418-53-9402)

Waterway – Little Neck Creek  
Subdivision – Bay Colony Waterfront  
Council District – Beach







**WATERFRONT CONSULTING, INC.**  
“Specializing in Permit Processing”

March 4, 2021

To: City of Virginia Beach, Ms. Whitney McNamara  
VMRC, Habitat Management Division, Mr. Justin Worrell  
US ACOE, Regulatory Branch, Norfolk District

**RE: VMRC #19-0314, 2019-WTRA-00058 Wetlands Permit for George Clarke  
Located at 128 Pinewood Road, Virginia Beach, VA 23451**

To all:

The is a request for a one-year extension to the Wetlands Permit issued for this project. This is our second request due to delays in starting the project. The project is currently under construction and the contractor anticipates 6-8 months to complete.

We thank you for your time and consideration of this request.

Thank you,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: Mr. George Clarke, Applicant

02. 2020-WTRA-00022

Victoria Oldani [Applicant/Owner]

**REQUEST FOR 1 YEAR EXTENSION**

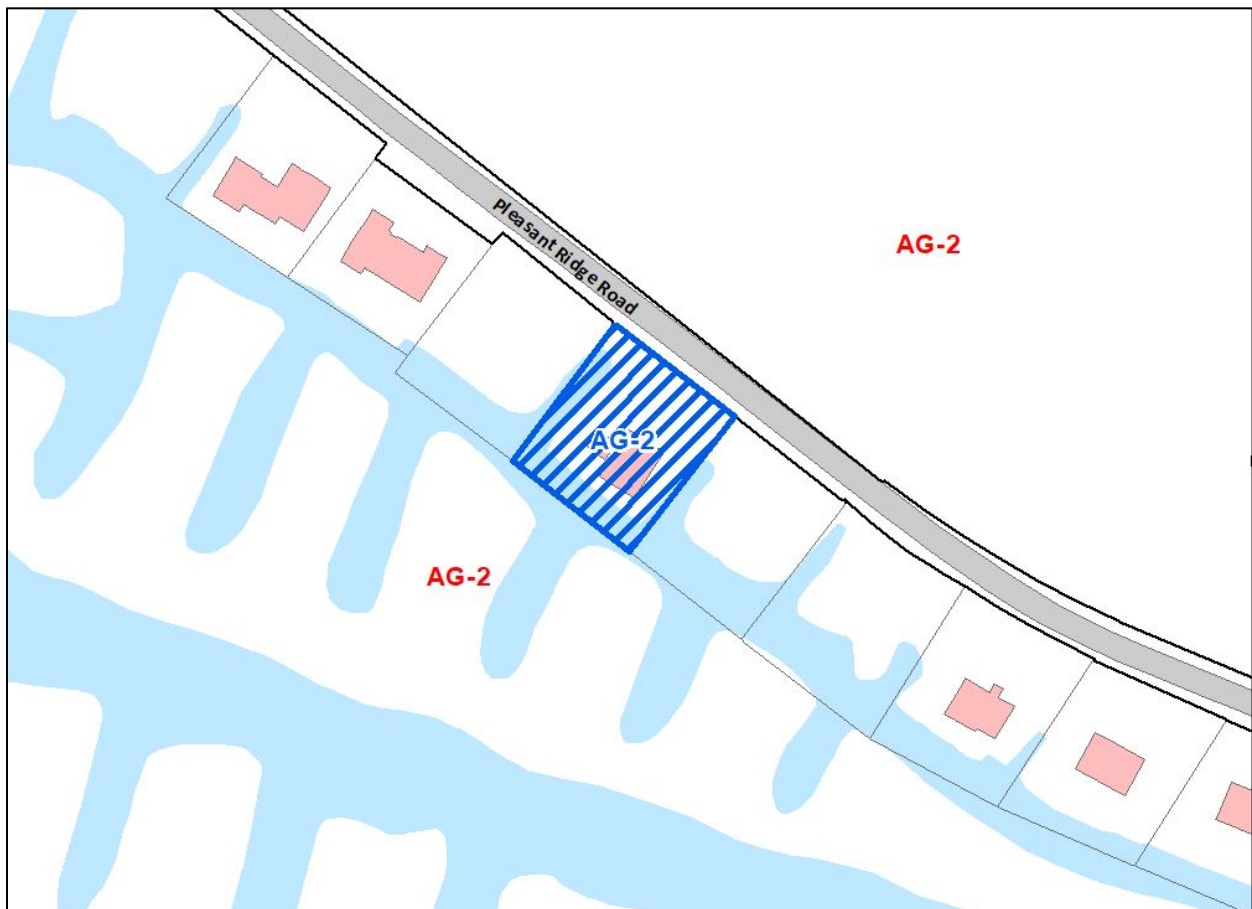
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1325 Pleasant Ridge Road  
(GPIN 2411-97-5590)

Waterway – Canal to Shipps Bay

Subdivision – Pungo

Council District – Princess Anne



## Cole S. Fisher

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**From:** bob@waterfrontconsulting.net  
**Sent:** Monday, March 29, 2021 9:23 AM  
**To:** Cole S. Fisher  
**Subject:** [FWD: Victoria Oldani]

**CAUTION:** This email originated from outside of the City of Virginia Beach. Do not click links or open attachments unless you recognize the sender and know the content is safe.

FYI

Thank you,

Bob Simon

Robert E. Simon, V.P.  
Waterfront Consulting, Inc.  
2589 Quality Court, Ste. 323  
Virginia Beach, VA 23454  
O/F: (757) 425-8244  
M: (757) 619-7302

----- Original Message -----

Subject: Victoria Oldani  
From: <[bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net)>  
Date: Fri, March 26, 2021 1:50 pm  
To: "Whitney McNamara" <[WMcNamar@vbgov.com](mailto:WMcNamar@vbgov.com)>  
Cc: "Victoria Oldani" <[tori.oldani@gmail.com](mailto:tori.oldani@gmail.com)>

Good afternoon Whitney,

As we discussed, please withdraw the current Joint Permit Application for Ms. Oldani at 1325 Pleasant Ridge Road and extend the current permit for a period of one year. We are going to remove the bulkhead along both sides and allow the natural vegetation to stabilize those areas. We will have a 5' return

Thank you,

Bob Simon

Robert E. Simon, V.P.  
Waterfront Consulting, Inc.  
2589 Quality Court, Ste. 323  
Virginia Beach, VA 23454  
O/F: (757) 425-8244  
M: (757) 619-7302

3. 2021-WTRA-00038

Lorna C. Donatone, QPRT [Applicant/Owner]

Deferred from March 15, 2021

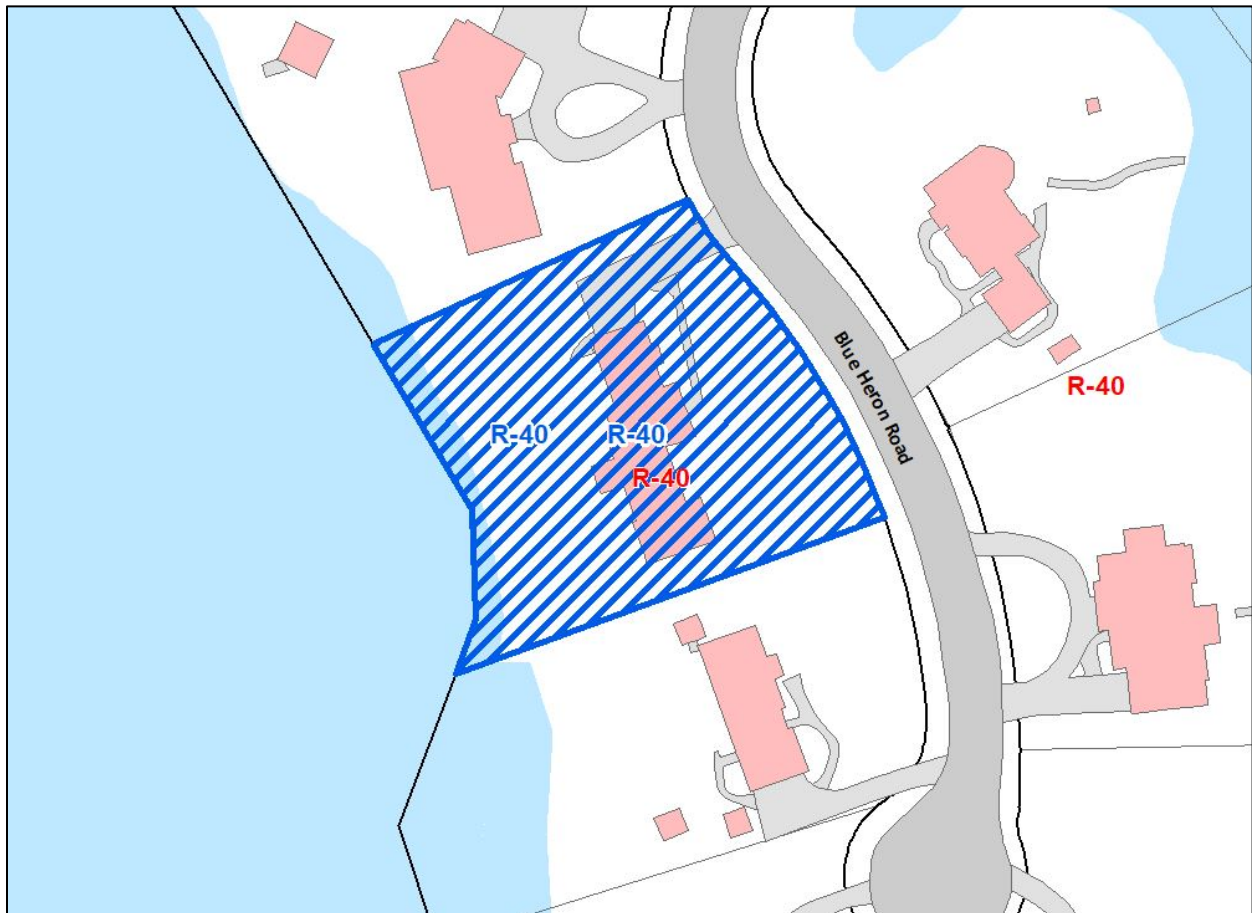
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4. 2021-WTRA-00010

U.S. Coast Guard [Applicant/Owner]

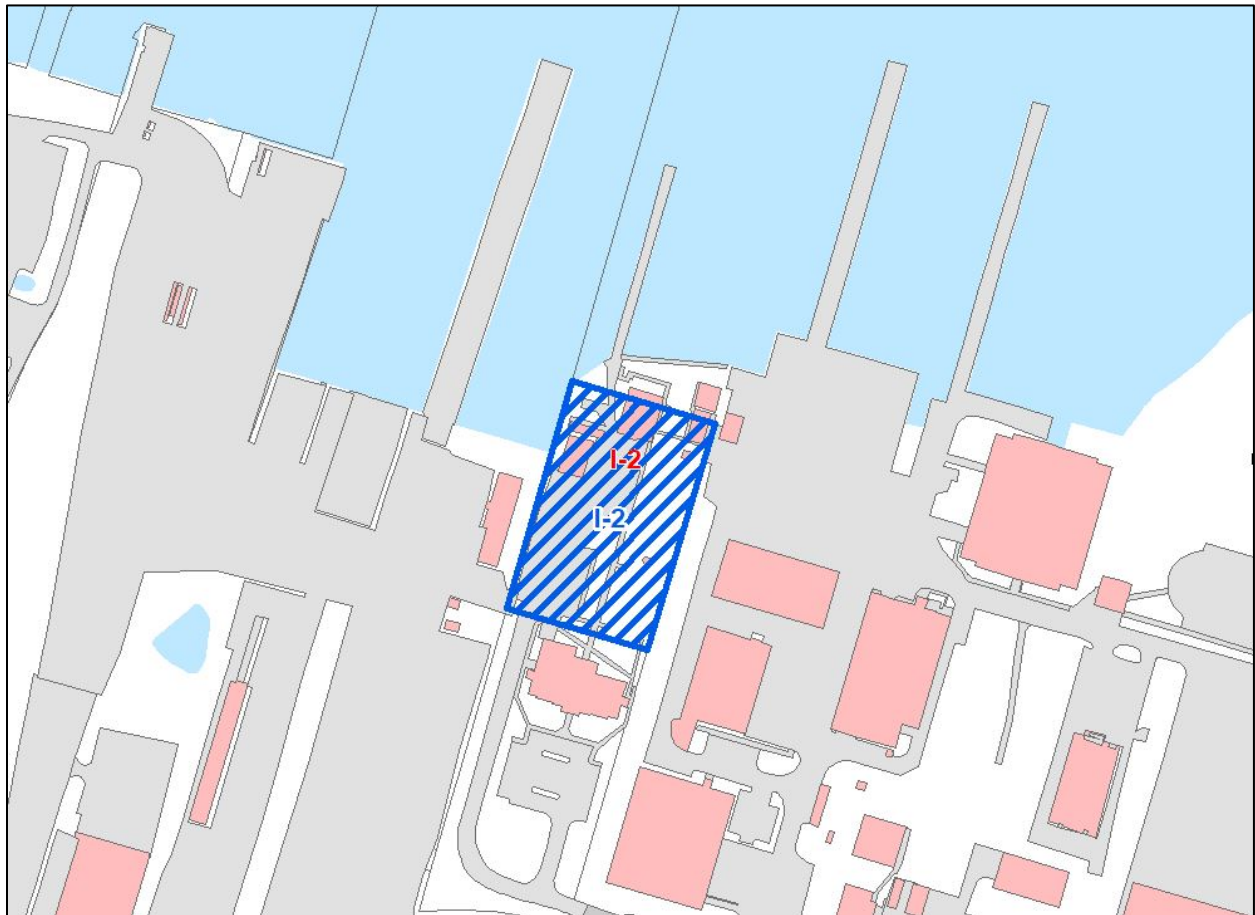
**To construct a bulkhead involving wetlands**

1100 Abbott Road  
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Waterway – Little Creek Cove

Subdivision – Shore Dr

Council District – Bayside



- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-0054

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input checked="" type="checkbox"/>	NWP # <u>03</u> <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>		Regional Permit 17 (RP-17) <input type="checkbox"/>	
<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Little Creek Cove (opening onto Chesapeake Bay)</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
USACE	Bulkhead & Waterfront Repairs	NAO-2018-01045	09-05-2018	
VMRC	Bulkhead & Waterfront Repairs	VMRC #18-V0916	08-29-2018	

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
Commanding Officer Home ( ) \_\_\_\_\_  
U.S. Coast Guard Work ( 216 ) 902-6300  
Civil Engineering Unit Cleveland Fax ( 216 ) 902-6277  
1240 East Ninth St, RM 2179 Cell ( ) \_\_\_\_\_  
Cleveland, OH 44199 e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
\*same as above\* Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Gregory Lodge - Technical Director Home ( ) \_\_\_\_\_  
Civil Engineering Unit Cleveland Work ( 216 ) 902-6202  
1240 East Ninth St, RM 2179 Fax ( 216 ) 902-6277  
Cleveland, OH 44199 Cell ( ) \_\_\_\_\_  
e-mail gregory.p.lodge@uscg.mil  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Current waterfront repair work is taking place at U.S. Coast Guard Station Little Creek under USACE NWP 03, issued NAO-2018-01045, VMRC#18-V0916, and Virginia Beach 2018-WTRA-00120. During construction existing conditions of the steel sheet pile bulkhead wall were found to be in a worse and more deteriorated condition than anticipated and the proposed concrete facing repair work is no longer a feasible repair solution. This application covers our proposed work modification to the original plans and permits, consisting of repairing the sheet pile bulkhead along the western portion of our property, from station 0+00 to 1+34, by installing new steel sheet pile outboard of the existing, filling the annular space with flowable concrete and constructing a new concrete cap. The alignment and orientation will remain the same, the new wall will be installed as close to the existing wall as possible, placed about 42 inches out from the existing. This section of wall is above mean high water at station 0+00, transitions from MHW to MLW from approximately stations 0+30 to 0+47, and remains below MLW from station 0+47 to the end of the wall. See attached plans for more details of proposed work.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project?  Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Tuskegee Contracting, LLC  
15 N. Mallory Street  
Hampton, VA 23662

Contact Information:

Home ( ) \_\_\_\_\_  
Work ( 757 ) 723-3989  
Fax ( 757 ) 723-4539  
Cell ( 757 ) 814-1281  
email jrayford@tuskegeecontracting.com

State Corporation Commission Name and ID Number (if applicable) 2705142424

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Daily Press  
703 Mariners Row  
Newport News, VA 23606

Telephone number

( 757 ) 247-4600

7. Give the following project location information:

Street Address (911 address if available) 1100 Abbott Road

Lot/Block/Parcel# 1A / 14692917080000

Subdivision Shore Drive

City / County Virginia Beach

ZIP Code 23459

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.912371 / -76.176426 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

On Joint Expeditionary Base Little Creek.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary: To repair the steel bulkhead wall to prevent future failure allowing the USCG to continue to safely transit, moor, and execute operational missions at the unit.

Secondary: To protect existing waterfront assets from potential sinkholes and bulkhead failure.



## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- Original plan called for concrete encasement of the wall within the splash zone, which is being executed on portions of the wall. With the current condition of the wall and location of the wall, the repair option to build a new sheet pile wall outboard of the existing is the best and most feasible solution. Alternatives such as a living shoreline or rip-rap are not feasible as the existing bulkhead is along the property line and an existing building is behind the bulkhead. With limited space and to minimize the footprint of the project, the selected option of a new sheet pile bulkhead was selected over those alternatives.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 2,400,000 \_\_\_\_\_  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 600,000 \_\_\_\_\_
13. Completion date of the proposed work: current \_\_\_\_\_ - Q2 2021 \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

The site is within:

Joint Expeditionary Base - Little Creek - Fort Story  
2600 Tarawa Court  
Virginia Beach, VA 23459

Property to the west:

Chesapeake Bay Bridge Tunnel  
2377 Ferry Road  
Virginia Beach, VA 23455

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Jeremy M. Hall, CDR, USCG

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Date: 2020.12.17  
12:37:16 -05'00'

Applicant's Signature

(Use if more than one applicant)

12/17/20

Date

Same as Above

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Jeremy M. Hall, CDR USCG, hereby certify that I (we) have authorized Gregory Lodge  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

LODGE.GREGORY.PE  
TER.1271339905

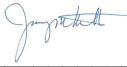
Digitally signed by  
LODGE.GREGORY.PETER.1271339905  
Date: 2021.03.15 09:43:54 -04'00'

(Agent's Signature)

(Use if more than one agent)

12/17/2020

(Date)



Date: 2020.12.17  
12:40:52 -05'00'

(Applicant's Signature)

(Use if more than one applicant)

12/17/20

(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Jeremy M. Hall, CDR USCG, have contracted Tuskegee Contracting, LLC.  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated 11/30/2020.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

Tuskegee Contracting, LLC.

Contractor's name or name of firm

15 North Mallory Street, Hampton, VA 23663

Contractor's or firms address

2705142424

Contractor's License Number

Jeffery M. Rayford, President

Contractor's signature and title

Jeffery M. Rayford

Digitally signed by Jeffery M. Rayford  
DN: cn=Jeffery M. Rayford, o, ou,  
email=jrayford@tuskegeecontracting.com, c=US  
Date: 2020.11.30 13:25:46 -05'00'

Applicant's signature

(use if more than one applicant)

11/30/2020

Date

LICENSE AGREEMENT

HSCG83-21-3-0003

This Agreement, made and entered by and between the CHESAPEAKE BAY BRIDGE AND TUNNEL DISTRICT, whose address is 32386 Lankford Highway, Cape Charles, VA 23310, , hereinafter called the District and the United States of America, acting through the U.S. Coast Guard, hereinafter called the Coast Guard.

Pursuant to 14 U.S.C. 501(e) the Coast Guard is authorized to use and occupy real property pursuant to a real property license.

WITNESS: The parties hereto for the consideration hereinafter mentioned agree as follows:

1. The District hereby grants to the Coast Guard a non-exclusive, revocable license to permit the construction of the tieback portion of its bulkhead and that portion of the bulkhead to thereafter exist as further identified in the attached Exhibit A titled, "Major M&R of Waterfront CG Station Little Creek, Virginia Beach, VA, Waterfront Civil Bulkhead Improvements," dated January 7, 2021, in its prescribed location. The Coast Guard shall have all obligations for the repair, replacement and maintenance of the bulkhead and shall have such right to enter upon Site A as may be necessary to repair and maintain the bulkhead on a temporary basis, but shall have no right to enlarge, modify or further encroach onto the District property except as may be expressly permitted by the District.
2. The District further grants to the Coast Guard the right of ingress and egress thereto and therefrom over the property of the District for the Coast Guard, its contractors or other duly authorized representatives necessary or convenient for the installation, operation, maintenance, replacement, repair or removal of said bulkhead. Ingress and egress for the purpose of installation, operation, maintenance, replacement, repair or removal shall be reasonably coordinated in advance with the District to minimize impacts to the District.
3. The Coast Guard shall not at any time make any changes in the location of its bulkhead without the consent in writing, obtained beforehand, of the District. The bulkhead is to be installed, operated, and maintained in such a manner that the District's use of the property shall in no way be interfered

with.

4. All costs and expenses incurred in connection with the operation, maintenance, and repair of said bulkhead shall be borne by the Coast Guard. The District shall not be responsible for the care, maintenance or safekeeping of the bulkhead of the Coast Guard installed upon the property of the District pursuant to this agreement.
5. The Coast Guard's liability for damage or loss of property, personal injury or death resulting from its use of the granted premises shall be as prescribed by the Federal Tort Claims Act, as amended (28 U.S.C. Sections 2671-2680).
6. All administration of the subject license will be carried out by the Coast Guard at the office listed below. If any changes relating to the sale of The District property, or name and address of the District are made, the Coast Guard shall be notified immediately in writing by the District. Commanding Officer, U.S. Coast Guard, Civil Engineering Unit (p1), room 2179, 1240 E. 9<sup>th</sup> Street, Cleveland, Ohio 44199.
7. The District and the Coast Guard may terminate this license at any time by giving 30 days written notice to the Coast Guard. Upon termination of this license, the Coast Guard shall remove any and all improvements caused by the Coast Guard that encroach upon the District's property identified in Exhibit A. In any event, this License shall terminate 30-years after the dated of execution.
8. The Coast Guard shall, in consideration of this license, pay to the District the sum of \$1.00, receipt of which is hereby acknowledged.
9. The Coast Guard shall have title to its improvements installed on the Licensed Premises, and the right to dispose of such improvements by transfer, sale, abandonment or destruction upon revocation, expiration, or surrender of this License.
10. This Agreement does not create any right in, or for the benefit of, any person or business entity other than those expressly provided herein, whether as a third party beneficiary or otherwise.

Coast Guard technical point of contact is Matt Blackburn, Design Bravo Supervisor, U.S. Coast Guard Civil Engineering Unit Cleveland, 1240 E. Ninth St., Room 2179, Cleveland Ohio, 44199, 216-902-6241.

WITNESS the following signatures and seals:

CHESAPEAKE BAY BRIDGE & TUNNEL DISTRICT

By: Jeffrey B. Holland  
Jeffrey B. Holland, Executive Director

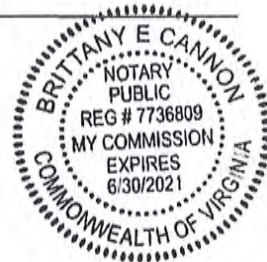
COMMONWEALTH OF VIRGINIA AT LARGE:  
City/County of Northampton

The foregoing instrument was acknowledged before me this 13 day of January, 2021 by Jeffrey B. Holland, Executive Director of the Chesapeake Bay Bridge and Tunnel District, on behalf of the District.

Brittany Cannon  
Notary Public

My Commission expires: 6/30/2021

Registration Number: 7736809



U.S. COAST GUARD

By: Michelle M. Frieden  
Michelle M. Frieden, Real Estate Contracting Officer,

STATE OF OHIO:  
City/County of Cuyahoga County

The foregoing instrument was acknowledged before me this 16th day of March, 2021 by Michelle M. Frieden, Real Estate Contracting Officer of the U.S. Coast Guard.

[Signature]  
Notary Public

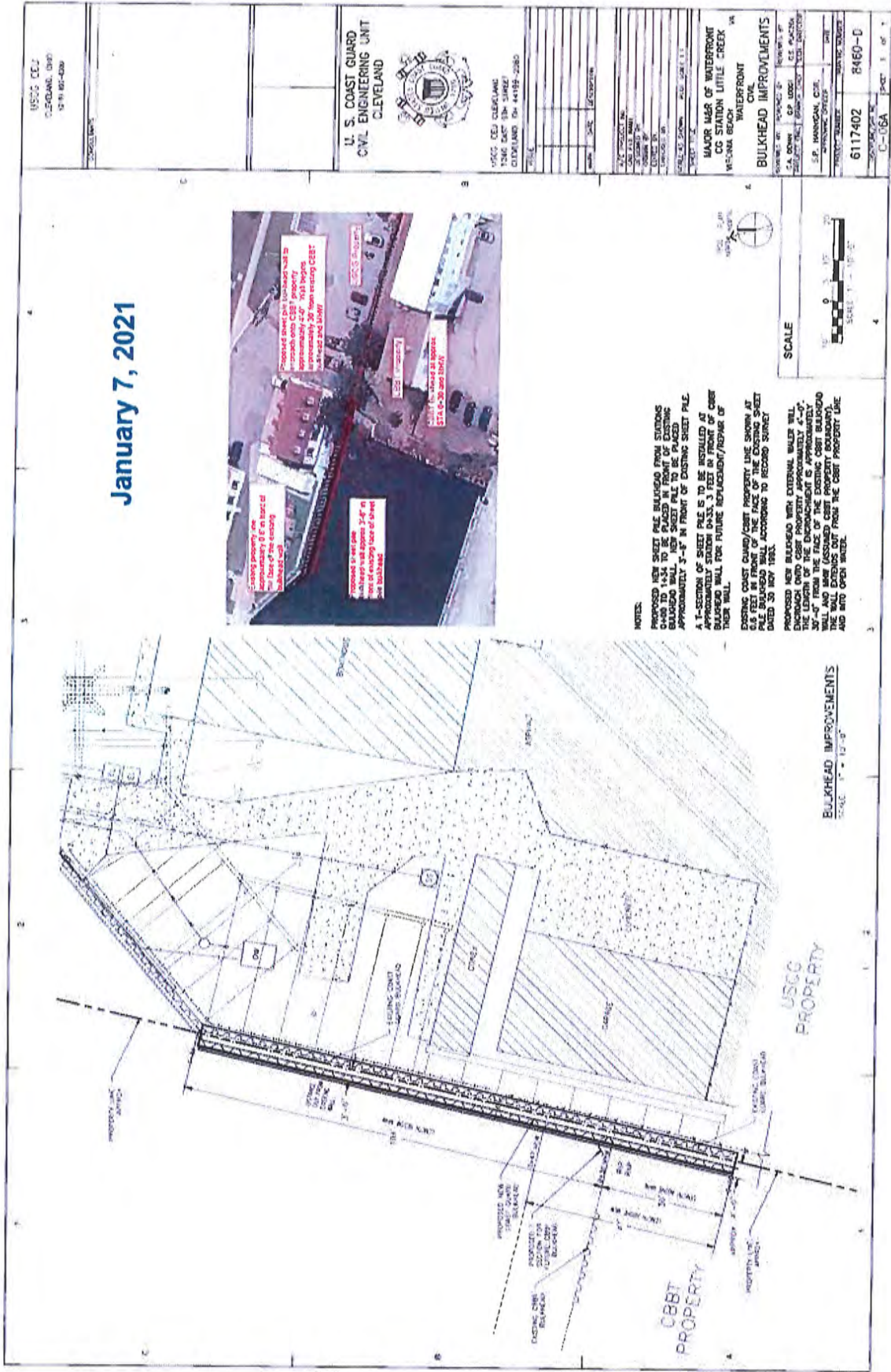
My commission expires: \_\_\_\_\_

Registration Number: \_\_\_\_\_



Attachment to License:

Exhibit A, "Major M&R of Waterfront CG Station Little Creek, Virginia Beach, VA, Waterfront Civil Bulkhead Improvements" dated, January 7, 2021.





## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The bulkhead contains approximately 10'-12' of soil with the MLW elevation of -1.70 feet. The total length of the bulkhead is approximately 355 linear feet. Proposed repairs along the western bulkhead consist of building a new sheet pile bulkhead wall 3.5 feet in front of the existing bulkhead wall, the length of this section of wall is approximately 134 feet. The first 30 feet of the wall is above MHW, with the remaining 104 feet below MHW and impacting approximately 370 square feet, or 0.008 acres.

2. What is the maximum encroachment channelward of mean high water? 3.5 feet.  
Channelward of mean low water? 3.5 feet.  
Channelward of the back edge of the dune or beach? 3.5 feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands \_\_\_\_\_ square feet
  - Non-vegetated wetlands 150 square feet
  - Subaqueous bottom 370 square feet
  - Dune and/or beach \_\_\_\_\_ square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

Placing new sheet pile as close as possible to existing wall. Existing bulkhead waler extends channelward 16" +/-, new sheet pile is 16" wide, and a 10" space is required for form work and to make connections from the new wall waler to the existing waler. See attached plan sections for more detail.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The existing bulkhead is MZ27 steel sheet pile with a double C channel waler and tiebacks to a deadman system. The bulkhead is around 50 years old and is experiencing severe corrosion, leading to sinkholes behind the structure and loss of fill. The steel is corroded to a point where there is not enough sound material to make repairs to the existing steel sheet pile.

The proposed repair to the bulkhead consist of driving new NZ19, 45 foot long steel sheet pile waterside of the existing bulkhead, approximately 3.5 feet from the face of the existing. The space between the new and existing wall will be filled with flowable concrete fill. A new waler will be installed and tie to the existing walls waler. See plans for additional details.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:
- |                              |       |                  |            |       |
|------------------------------|-------|------------------|------------|-------|
| Core (inner layer) material  | _____ | pounds per stone | Class size | _____ |
| Armor (outer layer) material | _____ | pounds per stone | Class size | _____ |
7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:
- Volume of material      \_\_\_\_\_ cubic yards channelward of mean low water  
                                  \_\_\_\_\_ cubic yards landward of mean low water  
                                  \_\_\_\_\_ cubic yards channelward of mean high water  
                                  \_\_\_\_\_ cubic yards landward of mean high water
  
  - Area to be covered      \_\_\_\_\_ square feet channelward of mean low water  
                                  \_\_\_\_\_ square feet landward of mean low water  
                                  \_\_\_\_\_ cubic yards channelward of mean high water  
                                  \_\_\_\_\_ cubic yards landward of mean high water
  
  - Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
  - Method of transportation and placement: \_\_\_\_\_
  
  - Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

CONSULTANTS  
THE JOHNSON MCDAMIS FIRM  
GREENWOOD, MISSISSIPPI 38930



U. S. COAST GUARD  
CIVIL ENGINEERING UNIT  
CLEVELAND



USCG. CEU CLEVELAND  
1240 EAST 9TH STREET  
CLEVELAND, OH 44199-2060

MARK	DATE	DESCRIPTION

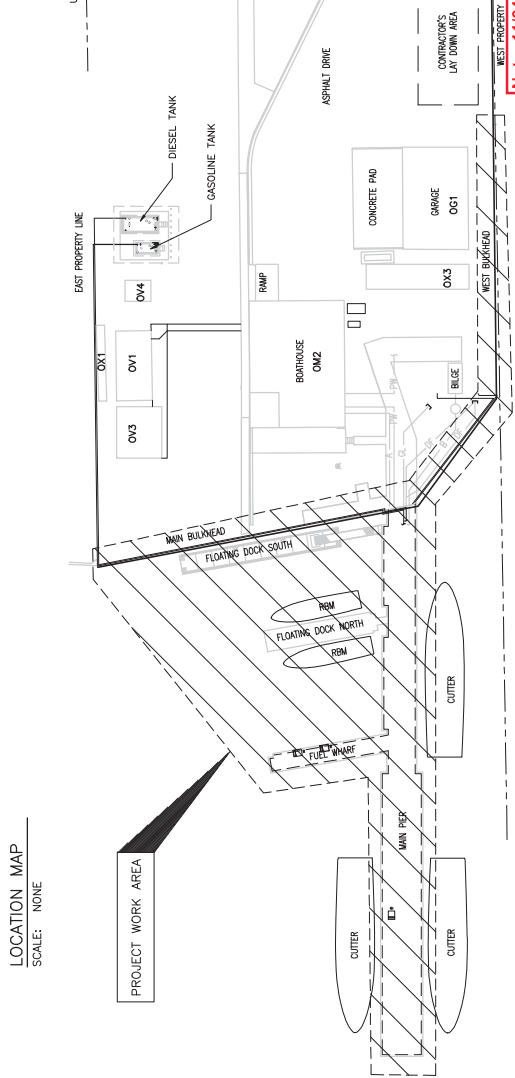
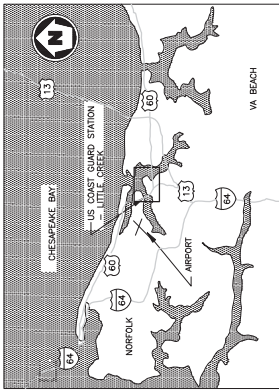
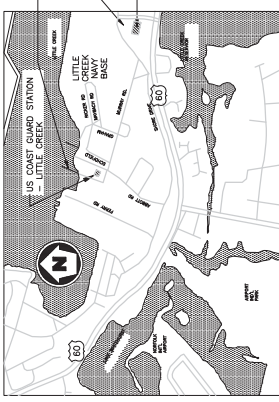
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CAD FILE NAME: 09A06201.dwg  
DESIGNED BY: AJG  
DRAWN BY: AJD  
CHECKED BY: JED

SCALE(S) SHOWN PLOT SCALE: 1:1

MAJOR M&R OF WATERFRONT  
CC STATION LITTLE CREEK  
VIRGINIA BEACH WATERFRONT  
GENERAL  
TITLE PAGE

REVIEWED BY:	G.A. DEWAN	PROJECT ENG.
REVIEWED BY:	G.P. LOOSE	PROJECT CHIEF
REVIEWED BY:	G.S. PLACZEK	TECH. DIRECTOR
DATE	06/08/18	
APPROVING OFFICER:	S.P. HANNIGAN, CDR.	
DRAWING NUMBER	6117402	
DRAWING NUMBER	8460-D	
DESIGNER/SHR NO	G-01	
SHEET	1	OF 17

UNITED STATES COAST GUARD  
STATION LITTLE CREEK  
VIRGINIA BEACH, VIRGINIA  
MAJOR M&R OF  
WATERFRONT



**Note: 11/24/2020**  
Original plans previously submitted and approved by  
USACE NWP 03, NAO-2018-01045, on 09/05/2018  
VMIRC#18-V0916, on 08/29/2018  
Virginia Beach 2018-WTRA-00120, on 09/05/2018  
West bulkhead repair from station 0+00 to 1+34 has been modified on these plans to address issues found during construction. Plans originally called for concrete encasement of bulkhead for that section, modification calls for new sheet pile wall to be installed in front of existing wall. See modifications of sheets C-06A and C-07A. All other work has been completed or will be completed according to original plans.

**Note: 03/12/2021**  
Updates to sheets C-06A (sheet 11 of 19) and C-07A (sheet 13 of 19) to show areas of potential wetland impacts. Wetland impacts from mean low water (MLW) to the end of the wall, approximately 4.50 square feet of area

DRAWING INDEX		DRAWING INDEX	
SHEET	TITLE	SHEET	TITLE
G-01	TITLE PAGE	C-06	BULKHEAD IMPROVEMENTS
G-02	GENERAL - SITE SURVEY SOUTH	C-07	BULKHEAD REPAIR DETAIL
G-03	GENERAL - SITE SURVEY NORTH	C-08	CIVIL - PIER BULKHEAD UTILITIES
G-04	GENERAL - BUILDING FOOTINGS	C-09	CIVIL - PIER IMPROVEMENTS
C-01	CIVIL - EXIST. BULKHEAD SECTIONS	C-10	CIVIL - FENCE IMPROVEMENTS
C-02	CIVIL - EXIST. BULKHEAD DETAILS	C-11	CIVIL - SECURITY FENCE DETAILS
C-03	CIVIL - EXIST./DEMO PIER PLAN	C-12	CIVIL - FENCE & GATE DETAILS
C-04	CIVIL - EXIST./DEMO PIER PLAN	C-13	CIVIL - MISC FENCE DETAILS
C-05	CIVIL - BULKHEAD REMEDIATION PLAN		

USCG CEU  
CLEVELAND, OHIO  
(216) 842-6200

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GREENWOOD, MISSISSIPPI 38930



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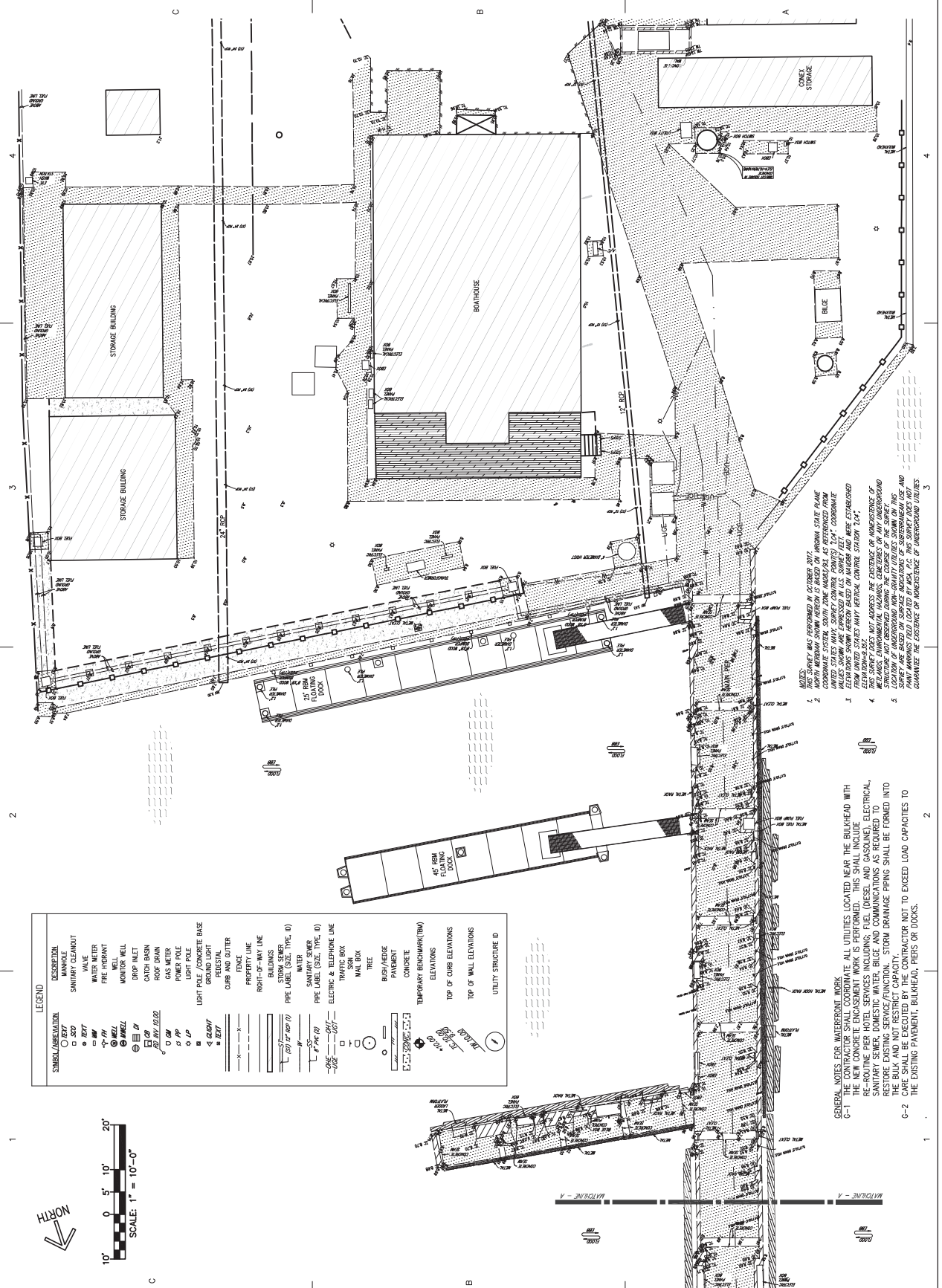
USCG. CEU CLEVELAND  
1240 EAST 9TH STREET  
CLEVELAND, OH 44199-2060

MARK	DATE	DESCRIPTION

SCALE: AS SHOWN PLOT SCALE: 1:1  
SHEET TITLE  
MAJOR M&R OF WATERFRONT  
CC STATION LITTLE CREEK  
VIRGINIA BEACH VA  
GENERAL  
SITE SURVEY SOUTH

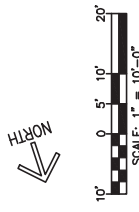
REVIEWED BY: G.P. LODGE  
PROJECT ENG. BRONKHORST CHIEF TECH. DIRECTOR  
S.P. HANNIGAN, CDR. 06/08/18  
APPROVING OFFICER DATE

PROJECT NUMBER: 6117402  
DRAWING NUMBER: 8460-D  
DISCIPLINE/SHEET NO: G-02  
SHEET 2 OF 17



**LEGEND**

SYMBOL/OBSERVATION	DESCRIPTION
○ 6300	SANITARY CLEANOUT
○ 6207	VALVE
○ 6208	WATER METER
○ 6209	FIRE HYDRANT
○ 6210	WATER METER
○ 6211	WATER METER
○ 6212	WATER METER
○ 6213	DROP INLET
○ 6214	CATCH BASIN
○ 6215	ROOF DRAIN
○ 6216	GAS METER
○ 6217	POWER POLE
○ 6218	LIGHT POLE
○ 6219	GROUND LIGHT
○ 6220	4 LIGHT
○ 6221	8 LIGHT
— X —	FENCE
— — — —	PROPERTY LINE
— — — —	RIGHT-OF-WAY LINE
— — — —	BUILDINGS
— — — —	BUILDING FOOTPRINT
— — — —	PIPE LABEL (SIZE, TYPE, ID)
— — — —	WATER
— — — —	SANITARY SEWER
— — — —	PIPE LABEL (SIZE, TYPE, ID)
— — — —	ELECTRIC & TELEPHONE LINE
○	TRAFFIC BOX
○	MAIL BOX
○	TREE
○	BUSH/SHRUB
○	PAVEMENT
○	CONCRETE
○	TEMPORARY BENCHMARK (TBM)
○	ELEVATIONS
○	TOP OF CURB ELEVATIONS
○	TOP OF WALL ELEVATIONS
○	UTILITY STRUCTURE ID

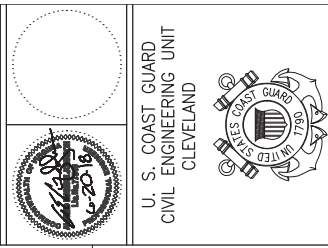


NOTES:  
1. THIS SURVEY WAS PERFORMED IN OCTOBER 2017.  
2. NORTH ARROW SHOWN HEREON IS BASED ON VIRGINIA STATE PLANE  
UNITED STATES MAPS SURVEY CONTROL POINT (U.S. COORDINATE  
MILES SHOWN ARE EXPRESSED IN U.S. SURVEY FEET.  
3. FROM UNITED STATES MAPS SURVEY CONTROL POINT (U.S. COORDINATE  
ELEVATION = 2.55). THIS DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF  
4. METEOROLOGICAL HAZARDS, CHANGES OR ANY UNDERGROUND  
5. LOCATION OF UNDERGROUND NON-UTILITY UTILITIES SHOWN ON THIS  
SURVEY ARE BASED ON SURFACE INDICATIONS OF SUBSTRAIN USE AND  
6. THE CONTRACTOR SHALL COORDINATE ALL UTILITIES LOCATED NEAR THE BULKHEAD WITH  
G-1 THE NEW CONCRETE ENCASUREMENT WORK IS PERFORMED. THIS SHALL INCLUDE  
RE-ROUTING PER HOTEL SERVICES INCLUDING: FUEL (DIESEL AND GASOLINE), ELECTRICAL,  
SANITARY SEWER, DOMESTIC WATER, BULK AND COMMUNICATIONS AS REQUIRED TO  
THE BULK HEAD AND MUST BE INSTALLED WITH SUFFICIENT DRAINAGE PIPING SHALL BE FORMED INTO  
G-2 CARE SHALL BE EXERCISED BY THE CONTRACTOR NOT TO EXCEED LOAD CAPACITIES TO  
THE EXISTING PAVEMENT, BULKHEAD, PIERS OR DOCK.



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CLEVELAND, OHIO  
(216) 862-6260

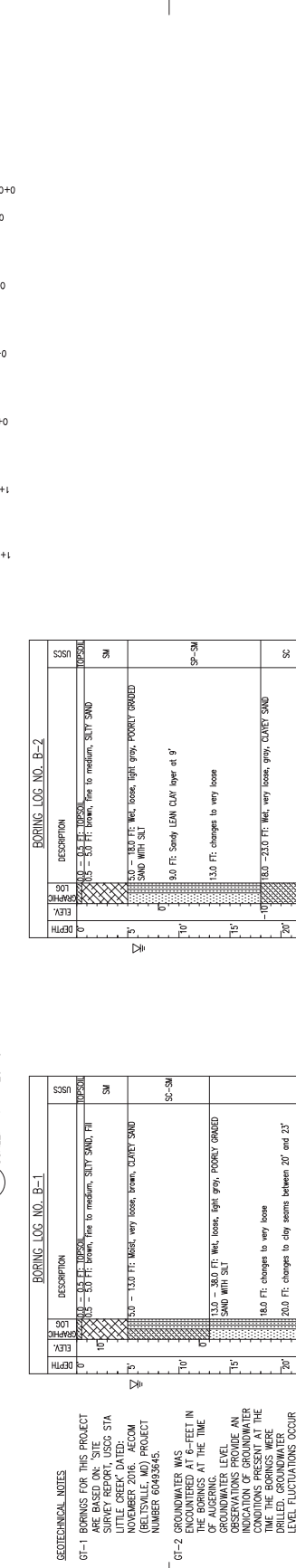
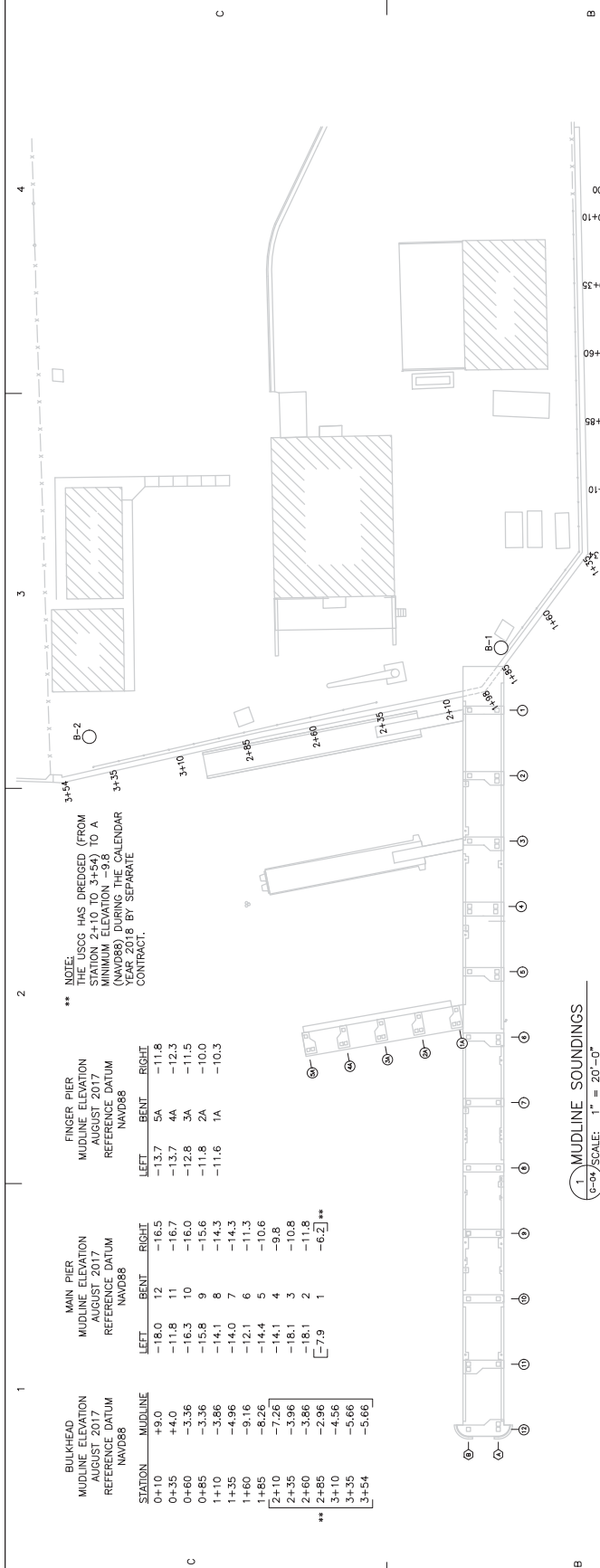
CONSULTANTS  
THE JOHNSON MCDAMIS FIRM  
GREENWOOD, MISSISSIPPI 38930



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CLEVELAND

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1240 EAST 9TH STREET  
CLEVELAND, OH 44199-2080

DATE PREPARED: 08/13/2017	DATE	DESCRIPTION
CAD FILE NAME: 08160204.dwg		
DESIGNED BY: ALJ		
DRAWN BY: ZSD		
CHECKED BY: PJD		
SCALE: AS SHOWN		
PROJECT NO: 16-03		
PROJECT NAME: MAJOR M&R OF WATERFRONT		
PROJECT LOCATION: CC STATION LITTLE CREEK		
PROJECT CITY: VIRGINIA BEACH		
PROJECT STATE: VA		
PROJECT TITLE: GENERAL		
PROJECT NUMBER: 8460-D		
PROJECT SHEET NO: C-04		
SHEET: 4		
OF 17		



**GEOTECHNICAL NOTES**

GT-1 BORINGS FOR THIS PROJECT WERE PERFORMED BY THE SURVEY REPORT USCG STA LITTLE CREEK DATED: NOVEMBER 2016. AECOM (BELTSVILLE, MD) PROJECT NUMBER 60453645.

GT-2 GROUNDWATER WAS ENCOUNTERED AT 6- FEET IN THE BORINGS AT THE TIME OF BORING. GROUNDWATER LEVEL OBSERVATIONS PROVIDE AN INDICATION OF GROUNDWATER CONDITIONS PRESENT AT THE TIME OF BORING. THESE LEVEL FLUCTUATIONS OCCUR DUE TO SEASONAL VARIATIONS IN THE AMOUNT OF RAINFALL AND OTHER FACTORS NOT IDENTIFIED AT THE TIME.

**SCALE**

SCALE: 1" = 20'-0"

END OF BORING AT 45' ON 10/20/2016 AT 4:30 P.M.

END OF BORING AT 45' ON 10/20/2016 AT 12:50 P.M.

USCG CEU  
 CLEVELAND, OHIO  
 (216) 892-6200

CONSULTANTS  
 THE JOHNSON MCDONNELL FIRM  
 GREENWOOD, MISSISSIPPI 38930

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 CIVIL ENGINEERING UNIT  
 CLEVELAND

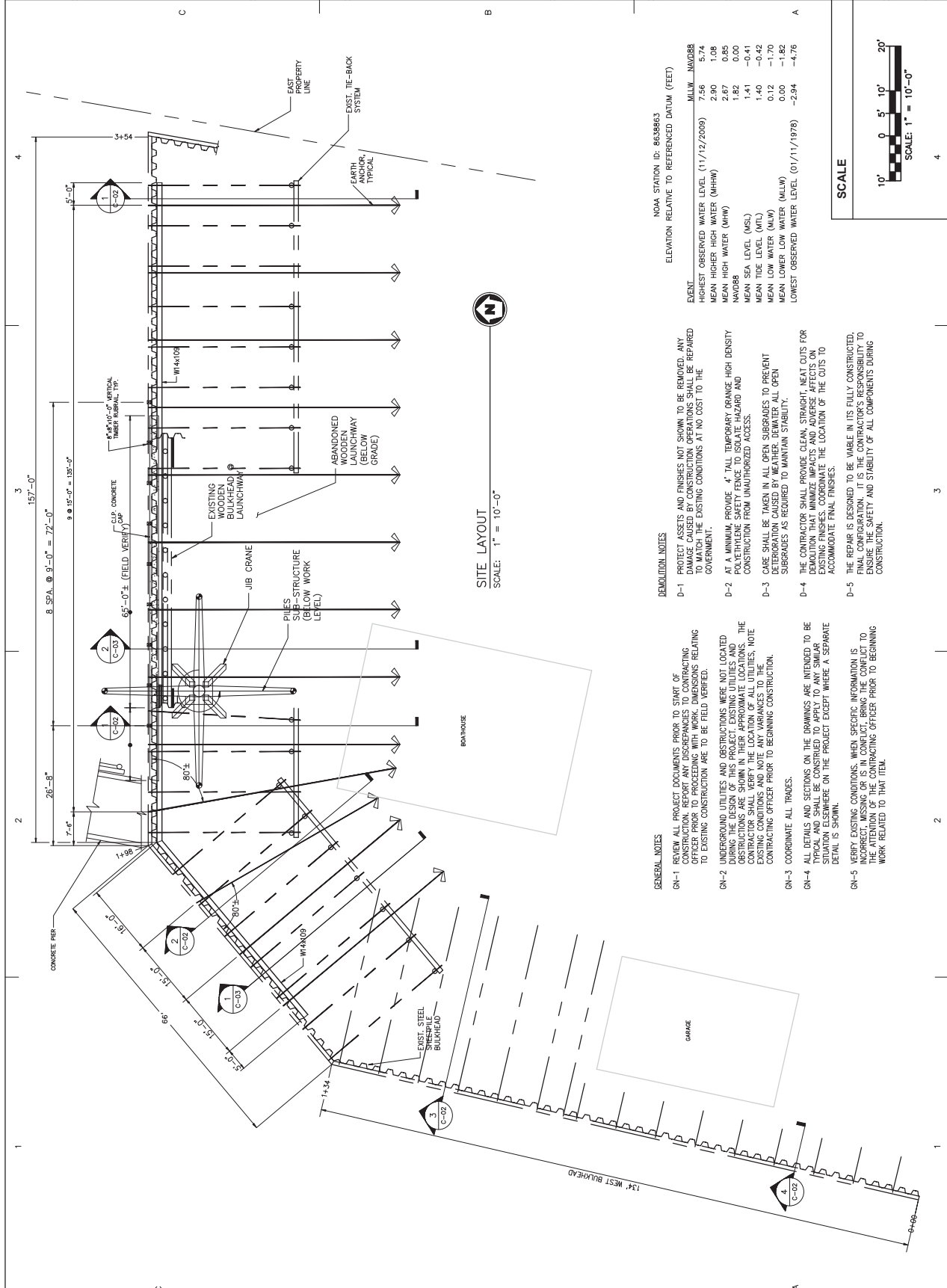
USCG CEU CLEVELAND  
 1240 EAST 9TH STREET  
 CLEVELAND, OH 44199-2060

SCALE: 1" = 10'-0"

DATE: 06/08/18

PROJECT NO.: 2486001.049  
 DESIGNED BY: AEJ  
 DRAWN BY: ADB  
 CHECKED BY: FEJ  
 SCALES SHOWN: PLOT SCALE: 1:1  
 SHEET TITLE: MAJOR M&R OF WATERFRONT CG STATION LITTLE CREEK VIRGINIA BEACH VA STEEL BULKHEAD PLANS  
 REVIEWED BY: G.S. PLAZEK  
 PROJECT ENG.: TBRONCT CHIEF TECH. DIRECTOR  
 S.P. HANNIGAN, CDR. 06/08/18  
 APPROVING OFFICER: DATE

PROJECT NUMBER: 8460-D  
 DISCIPLINE/SHT NO: 6117402  
 SHEET 5 OF 17  
 C-01



Additional Info/Revision received by VMRC on March 15, 2021 /lra

NOAA STATION ID: 8638663  
 ELEVATION RELATIVE TO REFERENCED DATUM (FEET)

EVENT	MLW	NAVD88
HIGHEST OBSERVED WATER LEVEL (11/12/2009)	7.56	5.74
MEAN HIGHER HIGH WATER (MHHW)	2.90	1.08
MEAN HIGH WATER (MHW)	2.67	0.85
MEAN SEA LEVEL (MSL)	1.82	0.00
MEAN TIDE LEVEL (MTL)	1.41	-0.41
MEAN LOW WATER (MLW)	1.40	-0.42
MEAN LOWER LOW WATER (MLLW)	0.12	-1.70
LOWEST OBSERVED WATER LEVEL (01/11/1978)	0.00	-1.82
		-4.76

**SCALE**

10' 5' 10' 20'  
 SCALE: 1" = 10'-0"

- REVISION NOTES**
- D-1 PROTECT ASSETS AND FINISHES NOT SHOWN TO BE REMOVED. ANY DAMAGE CAUSED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO MATCH THE EXISTING CONDITIONS AT NO COST TO THE GOVERNMENT.
  - D-2 AT A MINIMUM PROVIDE 4' TALL TEMPORARY CRANE-HIGH DENSITY POLYETHYLENE SAFETY FENCE TO ISOLATE HAZARD AND CONSTRUCTION FROM UNAUTHORIZED ACCESS.
  - D-3 CARE SHALL BE TAKEN IN ALL OPEN SUBGRADES TO PREVENT OBTURATION CAUSED BY EITHER SHORING OR OPEN SUBGRADES AS REQUIRED TO MAINTAIN STABILITY.
  - D-4 THE CONTRACTOR SHALL PROVIDE CLEAN, STRAIGHT, NEAT CUTS FOR ALL OPENINGS TO BE MADE IN EXISTING FINISHES. COORDINATE THE LOCATION OF THE CUTS TO ACCOMMODATE FINAL FINISHES.
  - D-5 THE REPAIR IS DESIGNED TO BE VISIBLE IN ITS FULLY CONSTRUCTED, FINISHED CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE SAFETY AND STABILITY OF ALL COMPONENTS DURING CONSTRUCTION.

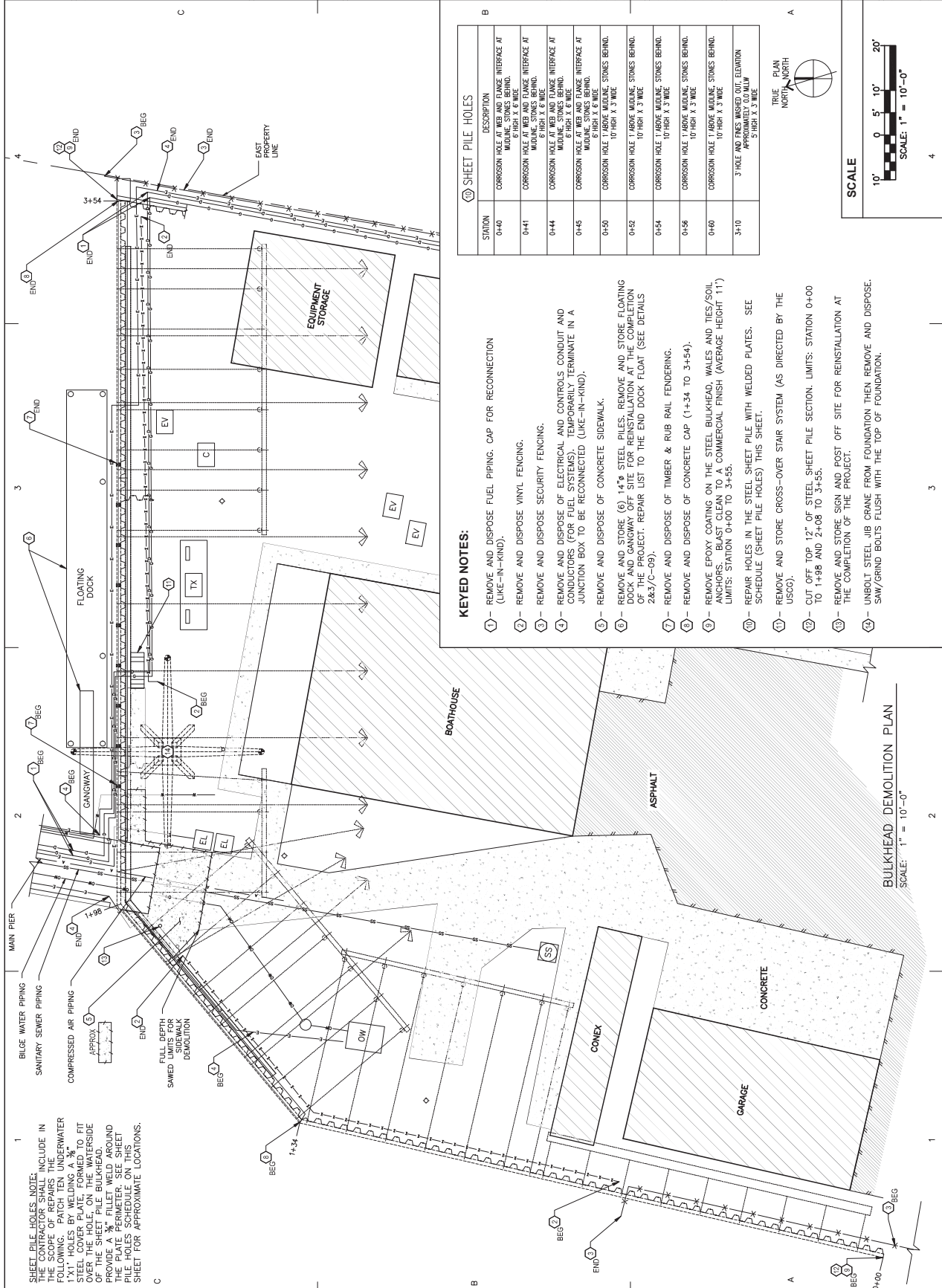
- GENERAL NOTES**
- GN-1 REVIEW ALL PROJECT DOCUMENTS PRIOR TO START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONTRACTING OFFICER PRIOR TO PROCEEDING WITH WORK. DIMENSIONS RELATING TO EXISTING CONSTRUCTION ARE TO BE FIELD VERIFIED.
  - GN-2 UNDERGROUND UTILITIES AND OBSTRUCTIONS WERE NOT LOCATED DURING THE DESIGN OF THIS PROJECT. EXISTING UTILITIES AND OBSTRUCTIONS SHALL BE FIELD VERIFIED AT APPROPRIATE LOCATIONS. CONTRACTORS SHALL VERIFY THE LOCATION OF ALL UTILITIES AND OBSTRUCTIONS AND NOTE ANY VARIANCES TO THE CONTRACTING OFFICER PRIOR TO BEGINNING CONSTRUCTION.
  - GN-3 COORDINATE ALL TRACES.
  - GN-4 ALL DETAILS AND SECTIONS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT EXCEPT WHERE A SEPARATE DETAIL IS SHOWN.
  - GN-5 VERIFY EXISTING CONDITIONS. WHEN SPECIFIC INFORMATION IS INCORRECT, MISSING OR IS IN CONFLICT, BRING THE CONFLICT TO THE CONTRACTING OFFICER PRIOR TO BEGINNING CONSTRUCTION. WORK RELATED TO THAT ITEM.











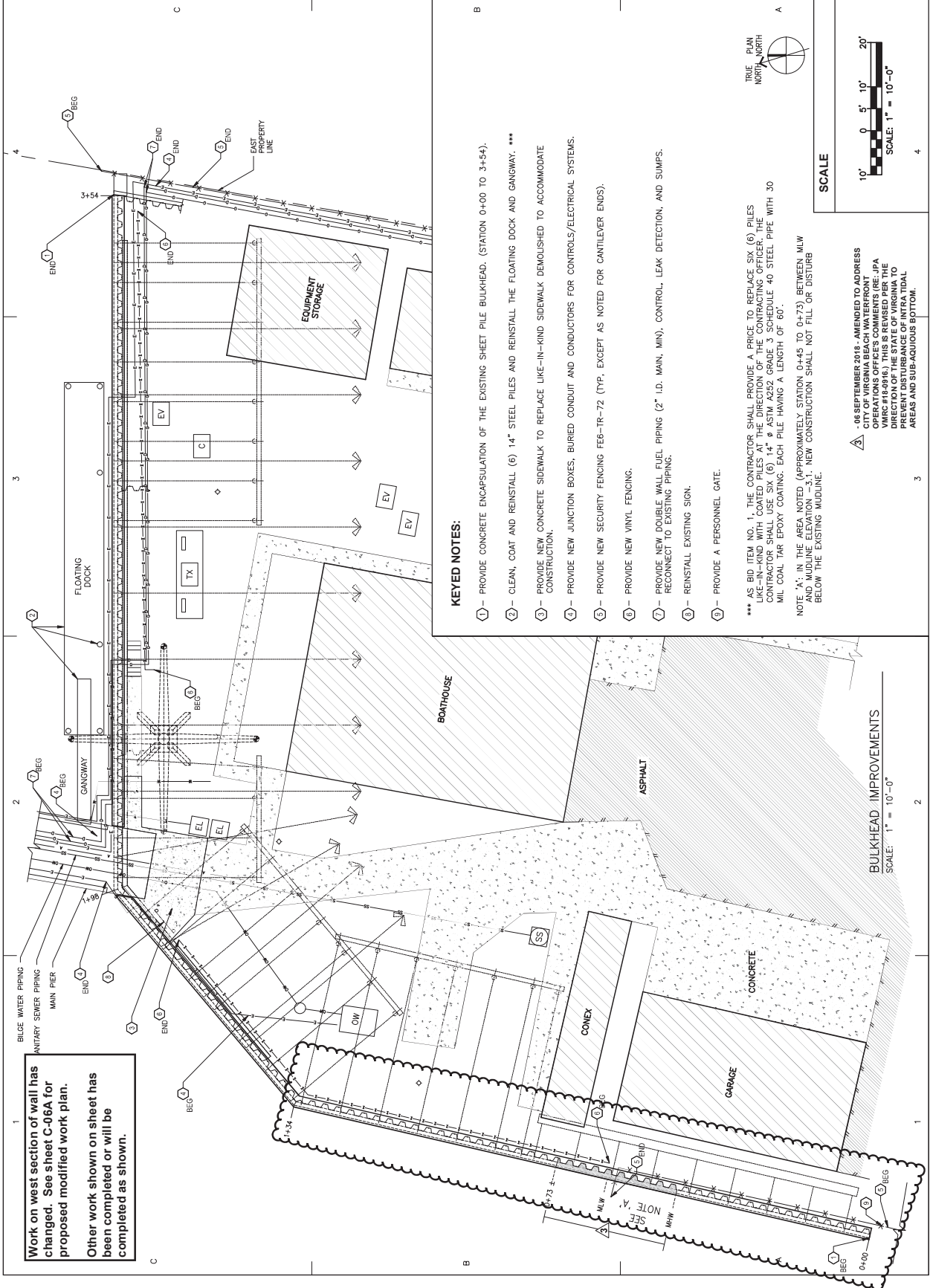
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1240 EAST 9TH STREET  
CLEVELAND, OH 44199-2060

MARK	DATE	DESCRIPTION
ISSUE		
A/E PROJECT NO: 1387-M		
CAD FILE NAME: C3460036.dwg		
DRAWN BY: ZAD		
EDITED BY: ZAD		
CHECKED BY: FEJ		
SCALE(S) SHOWN: BLOT SCALE: 1:1		
SHEET TITLE		
MAJOR M&R OF WATERFRONT CG STATION LITTLE CREEK VIRGINIA BEACH WATERFRONT CIVIL BULKHEAD IMPROVEMENTS		
REVIEWED BY:	G.P. LODGE	TECH. DIRECTOR
PROJECT ENG.:	G.S. PLAZEK	
S.P. HANNIGAN, CDR.	06/08/18	DATE
APPROVING OFFICER:		
PROJECT NUMBER:	8460-D	DRAWING NUMBER
DESIGNER/SIT NO:		
C-06		SHEET 10 OF 17



Work on west section of wall has changed. See sheet C-06A for proposed modified work plan.  
Other work shown on sheet has been completed or will be completed as shown.

- KEYED NOTES:**
- 1— PROVIDE CONCRETE ENCAPSULATION OF THE EXISTING SHEET PILE BULKHEAD. (STATION 0+00 TO 3+54).
  - 2— CLEAN, COAT AND REINSTALL (6) 14" STEEL PILES AND REINSTALL THE FLOATING DOCK AND GANGWAY. \*\*\*
  - 3— PROVIDE NEW CONCRETE SIDEWALK TO REPLACE LIKE-IN-KIND SIDEWALK DEMOLISHED TO ACCOMMODATE CONSTRUCTION.
  - 4— PROVIDE NEW JUNCTION BOXES, BURIED CONDUIT AND CONDUCTORS FOR CONTROLS/ELECTRICAL SYSTEMS.
  - 5— PROVIDE NEW SECURITY FENCING FE6-TR-72 (TYP. EXCEPT AS NOTED FOR CANTILEVER ENDS).
  - 6— PROVIDE NEW VINYL FENCING.
  - 7— PROVIDE NEW DOUBLE WALL FUEL PIPING (2" I.D. MAIN, MIN), CONTROL LEAK DETECTION, AND SUMPS. RECONNECT TO EXISTING PIPING.
  - 8— REINSTALL EXISTING SIGN.
  - 9— PROVIDE A PERSONNEL GATE.

\*\*\* AS BID ITEM NO. 1, THE CONTRACTOR SHALL PROVIDE A PRICE TO REPLACE SIX (6) PILES LIKE-IN-KIND WITH COATED PILES AT THE DIRECTION OF THE CONTRACTING OFFICER. THE CONTRACTOR SHALL USE SIX (6) 14" Ø ASTM A252 GRADE 3 SCHEDULE 40 STEEL PIPE WITH 30 MIL COAL TAR EPOXY COATING. EACH PILE HAVING A LENGTH OF 60'.  
NOTE: 'A': IN THE AREA NOTED (APPROXIMATELY STATION 0+45 TO 0+73) DISTURB MLW AND MUDLINE ELEVATION -3.1'. NEW CONSTRUCTION SHALL NOT FILL OR DISTURB BELOW THE EXISTING MUDLINE.

TRUE PLAN NORTH

SCALE  
1" = 10'-0"

10' 0' 5' 10' 20'  
SCALE: 1" = 10'-0"

06 SEPTEMBER 2018 - AMENDED TO ADDRESS OPERATIONS OFFICER'S COMMENTS (RE: JPA) FROM THE CONTRACTING OFFICER. THE PREVENT DISTURBANCE OF INTRA TIDAL AREAS AND SUB-AQUOUS BOTTOM.

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ISSUE

MARK	DATE	DESCRIPTION
2	3/7/21	VB WETLANDS UPDATES
	11/24/20	BULKHEAD MOD

AVE PROJECT NO: 1387-M  
CAD FILE NAME: 2846006.dwg  
DESIGNED BY: AJS  
DRAWN BY: AJS  
CHECKED BY: FEJ

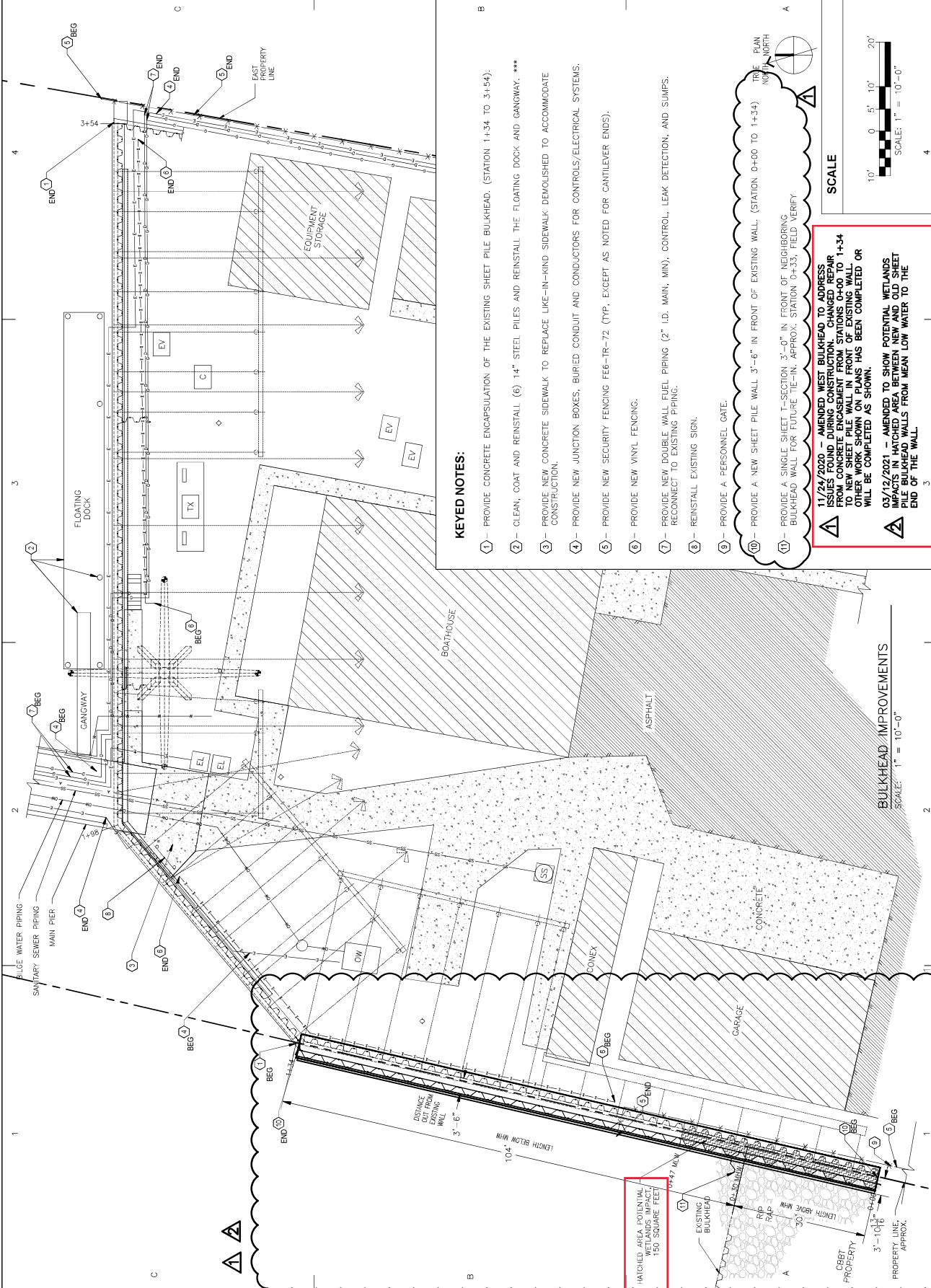
SCALE: AS SHOWN PLOT SCALE: 1:1

**MAJOR M&R OF WATERFRONT  
CC STATION LITTLE CREEK  
VIRGINIA BEACH VA  
WATERFRONT  
CIVIL**

**BULKHEAD IMPROVEMENTS**

REVIEWED BY: G.S. PLAZEK  
G.P. LODGE  
PROJECT ENG. BRANCH CHIEF  
S.P. HANNIGAN, CDR.  
APPROVING OFFICER  
06/08/18  
DATE

PROJECT NUMBER: 8460-D  
DRAWING NUMBER: 6117402  
DISPERSE/SHEET NO: C-06A  
SHEET 10A OF 17



**KEYED NOTES:**

- 1 - PROVIDE CONCRETE ENCAPSULATION OF THE EXISTING SHEET PILE BULKHEAD. (STATION 1+34 TO 3+54).
- 2 - CLEAN, COAT AND REINSTALL (6) 14" STEEL PILES AND REINSTALL THE FLOATING DOCK AND GANGWAY. \*\*\*
- 3 - PROVIDE NEW CONCRETE SIDEWALK TO REPLACE LIKE-IN-KIND SIDEWALK DEMOLISHED TO ACCOMMODATE CONSTRUCTION.
- 4 - PROVIDE NEW JUNCTION BOXES, BURIED CONDUIT AND CONDUCTORS FOR CONTROLS/ELECTRICAL SYSTEMS.
- 5 - PROVIDE NEW SECURITY FENCING FE6-TR-72 (TYP. EXCEPT AS NOTED FOR CANTILEVER ENDS).
- 6 - PROVIDE NEW VINYL FENCING.
- 7 - PROVIDE NEW DOUBLE WALL FUEL PIPING (2" I.D. MAIN, MIN), CONTROL, LEAK DETECTION, AND SUMPS. RECONNECT TO EXISTING PIPING.
- 8 - REINSTALL EXISTING SIGN.
- 9 - PROVIDE A PERSONNEL GATE.
- 10 - PROVIDE A NEW SHEET PILE WALL 3'-6" IN FRONT OF EXISTING WALL. (STATION 0+00 TO 1+34) (SEE PLAN NORTH)
- 11 - PROVIDE A SINGLE SHEET T-SECTION 3'-0" IN FRONT OF NEIGHBORING BULKHEAD WALL FOR FUTURE TIE-IN. APPROX. STATION 0+33. FIELD VERIFY

**11/24/2020 - AMENDED WEST BULKHEAD TO ADDRESS ISSUES FOUND DURING CONSTRUCTION. CHANGED REPAIR TO NEW SHEET PILE WALL IN FRONT OF EXISTING WALL. THIS REPAIR WORK HAS BEEN COMPLETED OR WILL BE COMPLETED AS SHOWN.**

**03/12/2021 - AMENDED TO SHOW POTENTIAL WETLANDS IMPACTS IN HATCHED AREA BETWEEN NEW AND OLD SHEET PILE WALLS FROM MEAN LOW WATER TO THE END OF THE WALL.**

**BULKHEAD IMPROVEMENTS**  
SCALE: 1" = 10'-0"

**GENERAL NOTE**

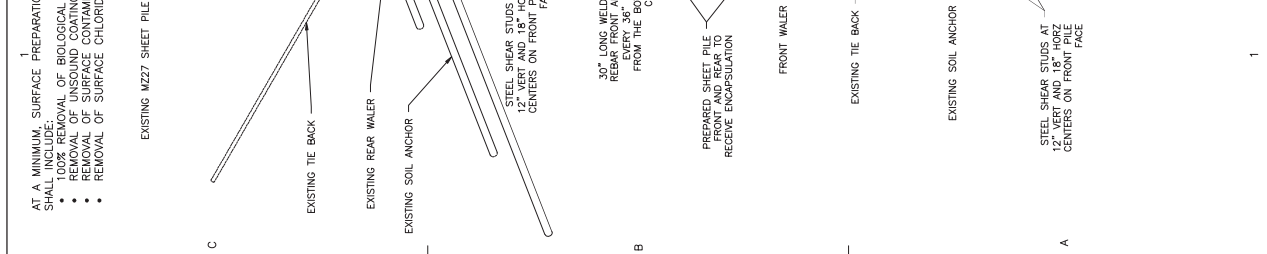
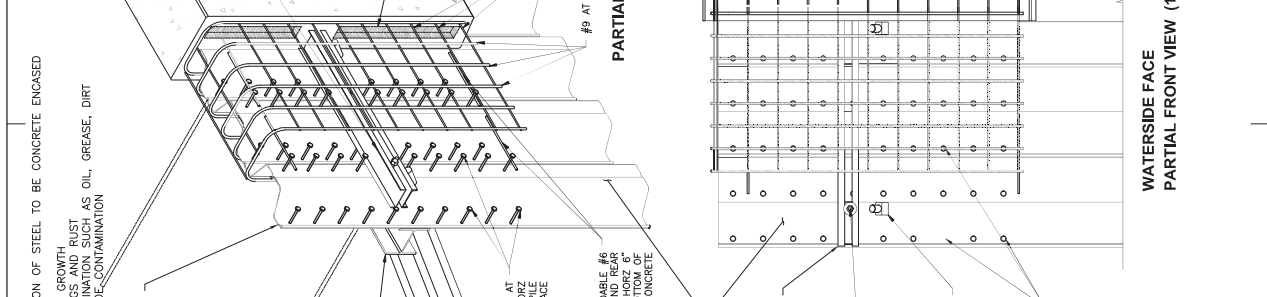
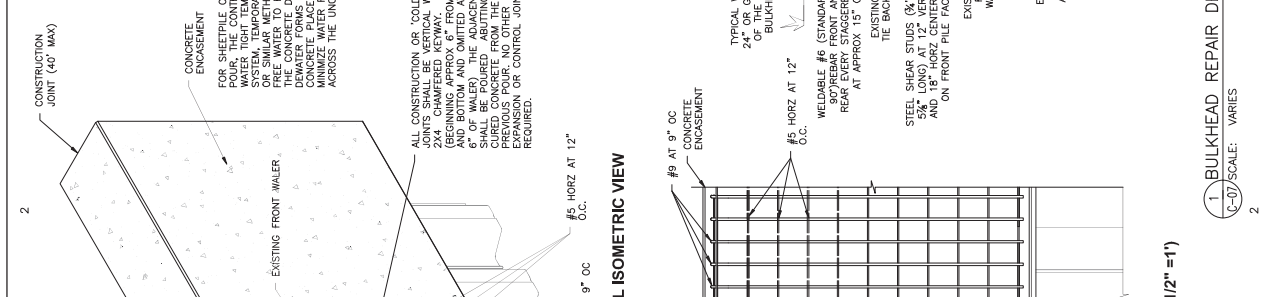
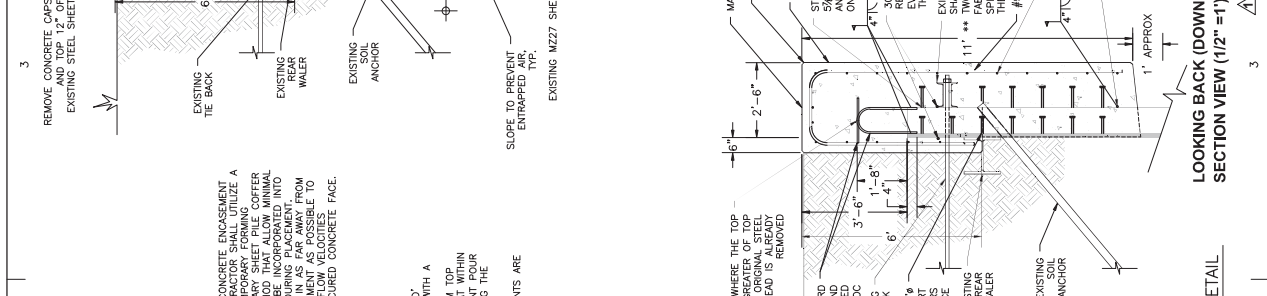
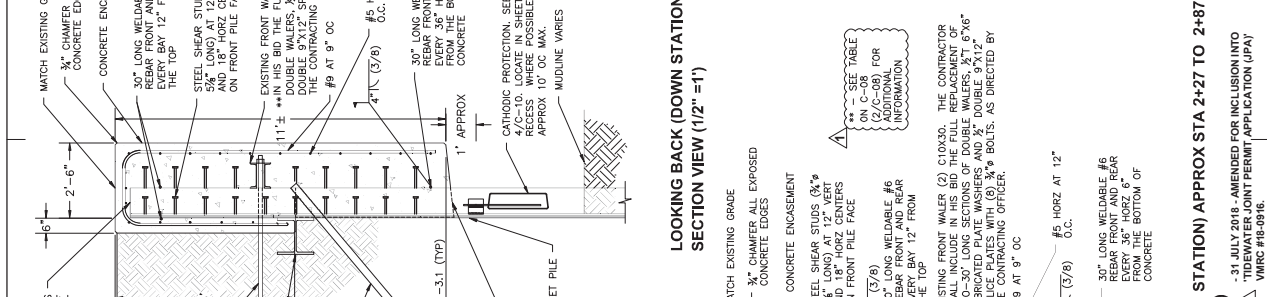
FOR CONCRETE PLACEMENT, THE CONTRACTOR SHALL UTILIZE A TREMIE OR PUMP PLACEMENT METHOD. THE CONTRACTOR SHALL NOT PERMIT FOR THE PLACEMENT OF CONCRETE EXCEPT TO DELIVER CONCRETE TO THE TREMIE/PUMP. THE TREMIE/LINE MUST PERMIT A FREE FLOW OF CONCRETE. KEEP THE DISCHARGE END OF THE PUMP LINE OR SEAL IN A MANNER THAT WILL NOT PRODUCE AIR ENTRAINMENT IN THE UNDERWATER CONCRETE. PROVIDE AN UNDERWATER TREMIE SHIRT FULL OF CONCRETE TO A POINT WELL ABOVE THE WATER SURFACE. INTERRUPTION INTO THE CONCRETE HAS BEEN BROUGHT TO THE REQUIRED HEIGHT. DO NOT MOVE THE TREMIE/LINES HORIZONTALY UNLESS THE MAXIMUM HORIZONTAL FLOW IS LIMITED TO 10% OF THE VERTICAL FLOW. VIBRATION/CONSOLIDATION IS PERFORMED, DO NOT ASK THE CONCRETE WATER INTERFACE.

**SCALE**

0 1' 2' 4' 8'

SCALE: 1/2"=1'-0"

4



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ISSUE

NO.	DATE	DESCRIPTION
2	03/12/2021	06 WETLANDS UPDATES
1	11/17/2020	ISSUE FOR PERMITS

A/E PROJECT NO: 1367-M  
CAD FILE NAME: 28480032.dwg  
DESIGNED BY: AGJ  
CHECKED BY: AUC  
ENTERED BY: AUC  
DATE: 2/10/20

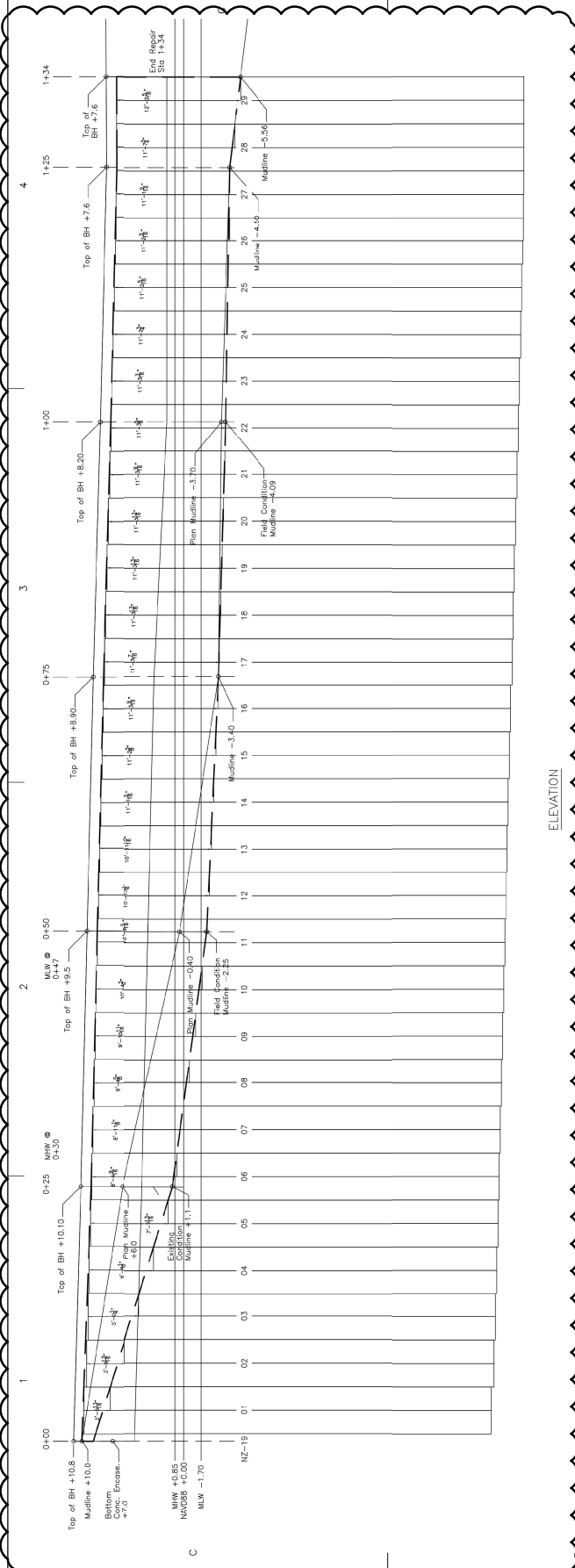
SCALE: AS SHOWN PLOT SCALE: 1:1

SHEET TITLE  
MAJOR M&R OF WATERFRONT  
CG STATION LITTLE CREEK  
VIRGINIA BEACH VA  
CIVIL  
STEEL BULKHEAD

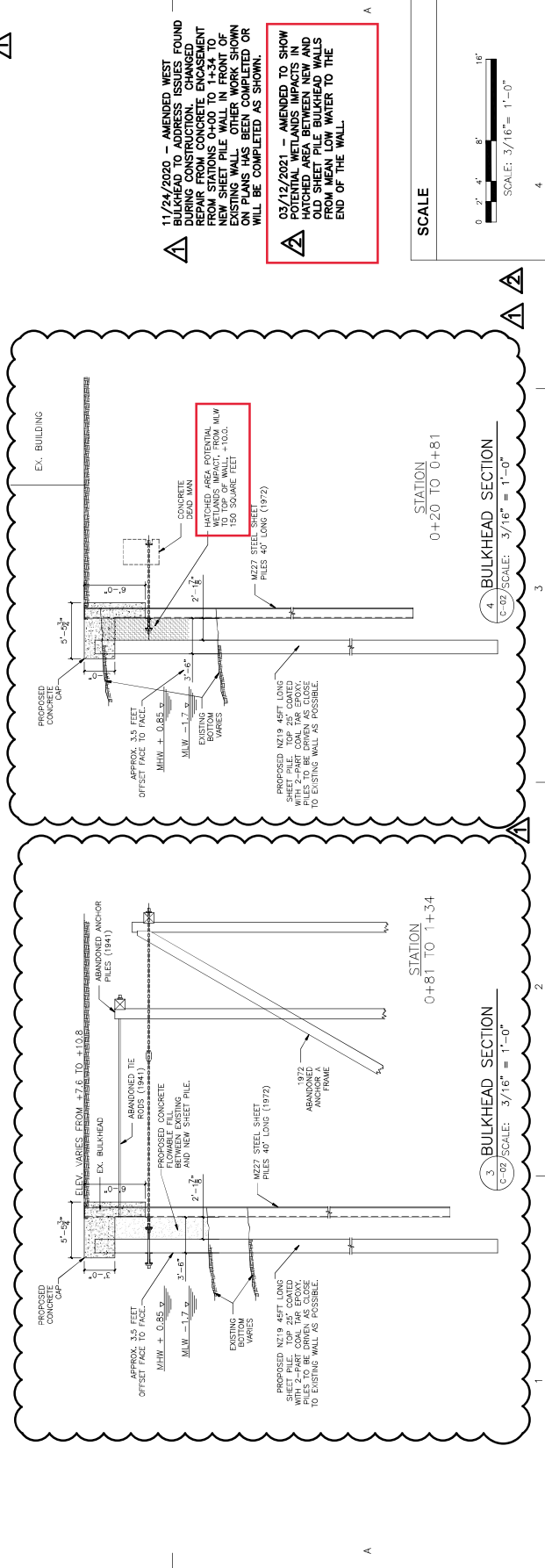
BULKHEAD REPAIR DETAIL

REVIEWED BY:	G.A. DEWAN	G.S. PLACZEK
PROJECT ENG:	B. BRANTZ	TECH. DIRECTOR
S.P. HANNIGAN, CDR.	06/08/18	DATE
APPROVING OFFICER		

PROJECT NUMBER	6117402	DRAWING NUMBER	8460-D
DISCIPLINE/SHEET NO	C-07A	SHEET 11A OF 17	



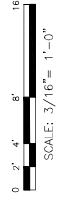
ELEVATION



11/24/2020 - AMENDED WEST BULKHEAD TO ADDRESS ISSUES FOUND FROM CONCRETE ENCASEMENT REPAIR FROM STATIONS 0+00 TO 1+34 TO NEW SHEET PILE WALL IN FRONT OF EXISTING WALLS. OTHER WORK SHOWN IN THIS SHEET WILL BE AMENDED OR WILL BE COMPLETED AS SHOWN.

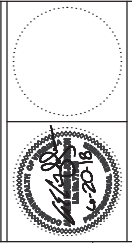
03/12/2021 - AMENDED TO SHOW POTENTIAL WETLANDS IMPACTS IN HATCHED AREA BETWEEN NEW AND EXISTING WALLS. HATCHED AREA FROM MEAN LOW WATER TO THE END OF THE WALL.

SCALE



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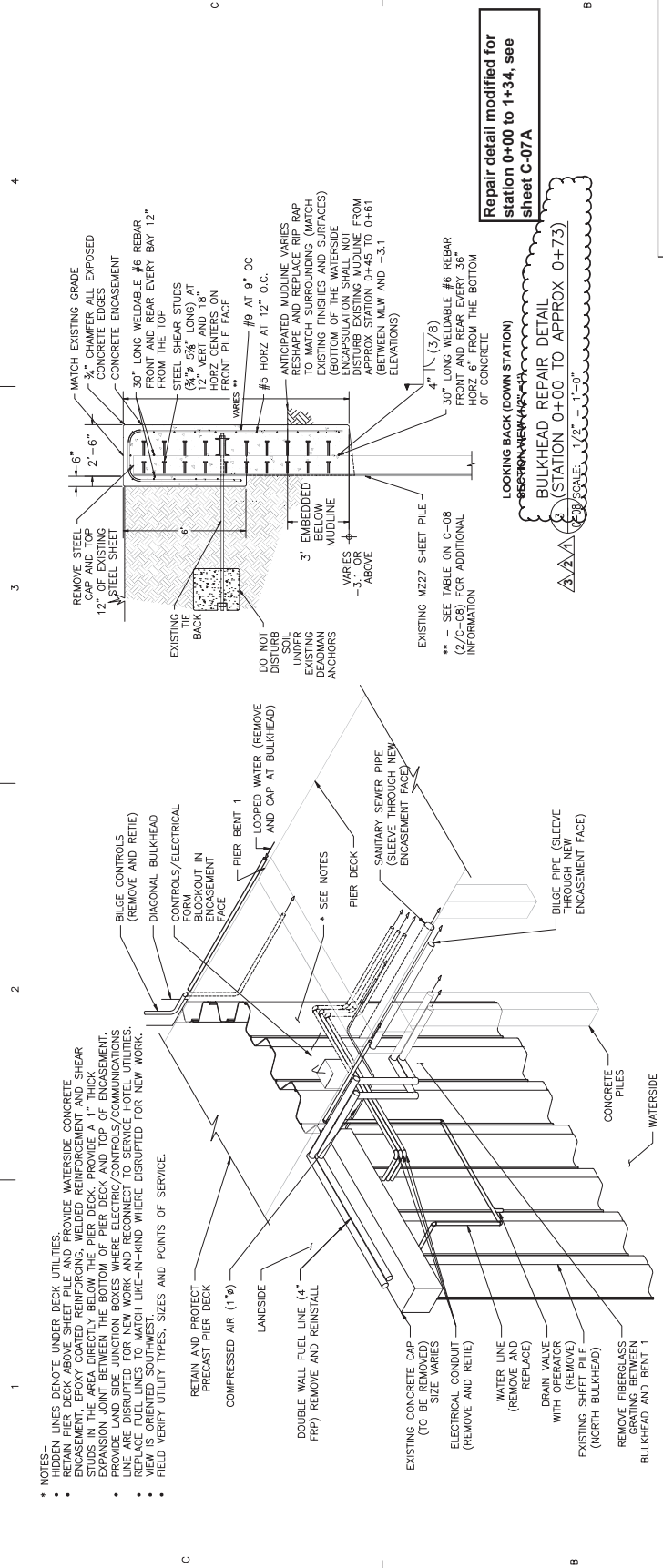
USCG. CEU CLEVELAND  
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CLEVELAND, OH 44199-2080

MARK	DATE	DESCRIPTION
1	06/08/18	ISSUE
2	06/08/18	ISSUE
3	06/08/18	ISSUE
4	06/08/18	ISSUE

SCALE: AS SHOWN  
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CAD FILE NAME: 24K40206.dwg  
DESIGNED BY: AEJ  
DRAWN BY: ADP  
CHECKED BY: FEJ

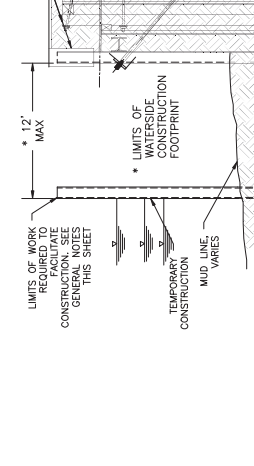
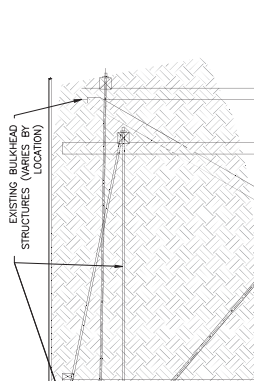
MAJOR M&R OF WATERFRONT  
CC STATION LITTLE CREEK  
VIRGINIA BEACH VA  
STEEL BULKHEAD  
CIVIL  
PIER BULKHEAD UTILITIES

REVIEWED BY: G.P. LOJZE  
G.S. PLAZZEK  
TECH. DIRECTOR  
S.P. HANNIGAN, CDR.  
APPROVING OFFICER  
DATE: 06/08/18  
PROJECT NUMBER: 6117402  
DRAWING NUMBER: 8460-D  
DISCIPLINE/SHT NO: C-08  
SHEET 12 OF 17



**GENERAL NOTE**  
DETAIL 4/C-08 SHOWS THE ALLOWABLE LIMIT OF WATER-SIDE ENCROACHMENT. THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PIER BULKHEAD AND SHALL TAKE NECESSARY MEASURES TO FACILITATE CONSTRUCTION OR NECESSARY FOR DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK REQUIRED TO FACILITATE CONSTRUCTION OF PIER BULKHEAD SHALL BE REMOVED AND RESTORED TO MATCH EXISTING PRE-CONTRACT SURROUNDING CONDITIONS.

1 - 31 JULY 2018 - AMENDED FOR INCLUSION INTO TIDEWATER JOINT PERMIT APPLICATION (JPA) VMRC #18-0916  
2 - 06 SEPTEMBER 2018 - AMENDED TO ADDRESS CITY OF VIRGINIA BEACH WATERFRONT OPERATIONS OFFICES COMMENTS (RE: JPA VMRC #18-0916)  
3 - 06 SEPTEMBER 2018 - AMENDED TO ADDRESS CITY OF VIRGINIA BEACH WATERFRONT OPERATIONS OFFICES COMMENTS (RE: JPA VMRC #18-0916). THIS IS REVISED PER THE DIRECTION OF THE STATE OF VIRGINIA TO PREVENT DISTURBANCE OF INTRA-TIDAL AREAS AND SUB-AQUOUS BOTTOM.



**EXISTING (1+96 TO 2+08) PIER BULKHEAD UTILITIES**  
SCALE: 1/8" = 1'-0"

STATION	APPROXIMATE ELEVATIONS (NAVD88)			BOTTOM OF CONCRETE ENCASUREMENT	MUDLINE
	TOP OF BULKHEAD	MEAN HIGH WATER	MEAN LOW WATER		
0+00	10.80	0.85	-1.70	7.00 ***	10.00
0+25	10.10	0.85	-1.70	3.00 ***	6.00
0+50	9.50	0.85	-1.70	-3.10	-0.40
0+75	8.90	0.85	-1.70	-3.10	-3.40
1+00	8.20	0.85	-1.70	-3.10	-3.70
1+25	7.60	0.85	-1.70	-3.10	-4.50
1+50	7.70	0.85	-1.70	-3.10	-7.50
1+75	7.90	0.85	-1.70	-3.10	-8.60
2+00	8.60 **	0.85	-1.70	-3.10	-10.60
2+25	7.60	0.85	-1.70	-3.10	-10.60
2+50	7.60	0.85	-1.70	-3.10	-10.20
2+75	7.60	0.85	-1.70	-3.10	-10.50
3+00	7.60	0.85	-1.70	-3.10	-9.90
3+25	7.60	0.85	-1.70	-3.10	-10.30
3+50	7.60	0.85	-1.70	-3.10	-10.50

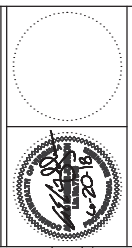
TOP OF BULKHEAD = TOP OF EXISTING BULKHEAD AND TOP OF NEW CONSTRUCTION  
ELEVATION DENOTES TOP OF PIER FORM AND PLACE ENCASUREMENT TO THE BOTTOM OF THE PIER ABOVE WITH A 1" EXPANSION MATERIAL.  
\*\*\* — EMBED 3.0' BELOW EXISTING MUDLINE.  
\*\* — (2+00 TO 3+50) BASED ON AS-BUILT SURVEYS (MAY 14 2018) PROVIDED BY USCG.

**WORKING ELEVATIONS**  
SCALE: NONE



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ISSUE  
MARK DATE DESCRIPTION  
PROJECT NO: 13E9-27  
CAD FILE NAME: 24R0203.DWG  
DESIGNED BY: AEJ  
DRAWN BY: ADP  
CHECKED BY: TEU  
SCALES SHOWN PLOT SCALE: 1:1  
SHEET TITLE  
MAJOR M&R OF WATERFRONT  
CC STATION LITTLE CREEK  
VIRGINIA BEACH MAIN SHIP PIER  
VA  
PIER IMPROVEMENTS  
REVIEWED BY: G.P. LOJGE  
G.S. PLAZZEK  
PROJECT ENG. BRONKHORST CHIEF TECH. DIRECTOR  
S.P. HANNIGAN, CDR. 06/08/18  
APPROVING OFFICER DATE  
PROJECT NUMBER DRAWING NUMBER  
6117402 8460-D  
DISCIPLINE/SHT NO SHEET 13 OF 17  
C-09

KEYED NOTES

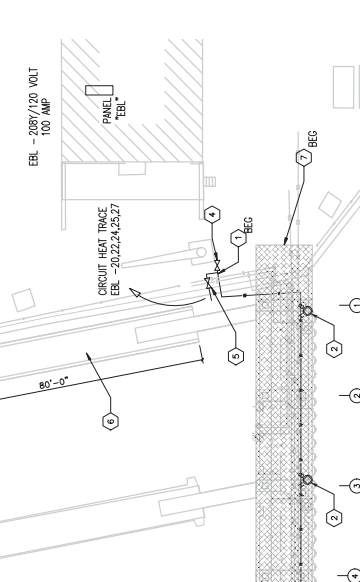
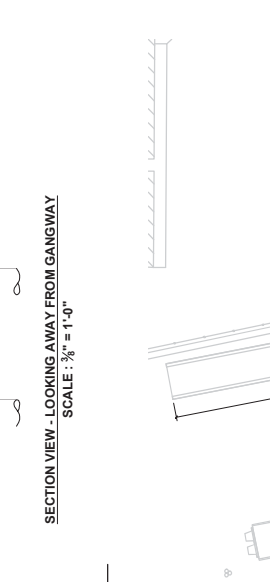
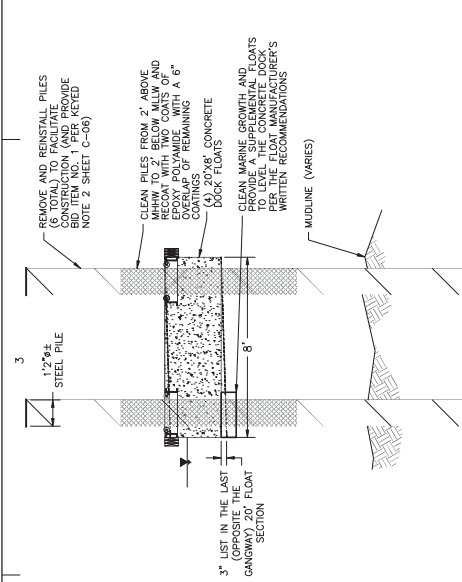
1. PROVIDE NEW 2"  $\phi$  WATER LINE WITH HEAT TRACE. TIE TO EXISTING SERVICE APPROXIMATELY 10' LANDSIDE OF BULKHEAD. PROVIDE NEW HEAT TRACE CONNECTIONS.
2. PROVIDE 3/4"  $\phi$  HOSE CONNECTION.
3. PROVIDE 3/4"  $\phi$  & 1-1/2"  $\phi$  HOSE CONNECTIONS.
4. PROVIDE ISOLATION VALVE.
5. REMOVE AND REINSTALL THE FLOATING CONCRETE DOCK (SEE DETAIL 2 THIS SHEET).
6. PREPARE AND SEAL MAIN PIER DECK WALKING SURFACE WITH HIGH MOLECULAR WEIGHT METHACRYLATE. (EXTENTS ARE FROM BENT 0 TO BENT 5) FULL DECK WIDTH WITH FACE AND TOP OF BOTH CURBS

GENERAL NOTE  
A. ALL NEW EXPOSED WATER BRING SHALL HAVE HEAT TRACE (EQUIVALENT TO 6 WATTS/LINEAR FOOT, FEED FROM EXISTING CIRCUITS) AND 1" OF SHIELDED INSULATION.

LEGEND

- BILGE
- DIESEL FUEL DISPENSER
- GASOLINE FUEL DISPENSER
- DIESEL EMERGENCY SHUT OFF
- GASOLINE EMERGENCY SHUT OFF
- HOSE BIBB
- HOSE BIBB (3/4" & 1-1/2")
- SANITARY SEWER CONNECTION
- CONVENIENCE OUTLET
- SHORE TIE
- SITE LIGHT
- TELEPHONE PANEL
- TRANSFORMER
- COMPRESSED AIR
- DIESEL
- GASOLINE
- ELECTRICAL CONDUIT
- BILGE AND OILY WASTE
- SANITARY SEWER
- WATER

SCALE  
16' 8" 4' 0" 4' 8" 16' 24' 32' 40'  
SCALE: 1/16" = 1'-0"  
4" SCALE: 3/8" = 1'-0"

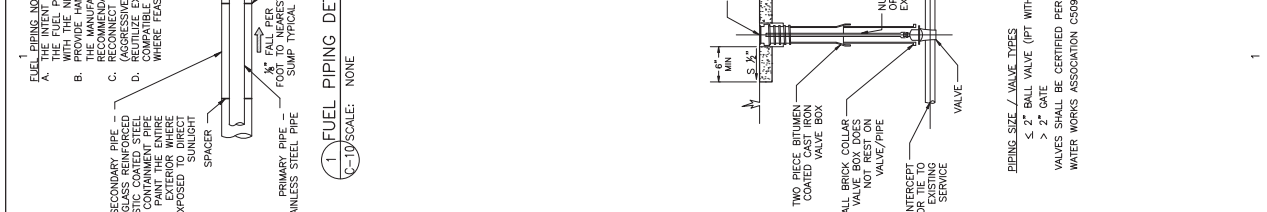
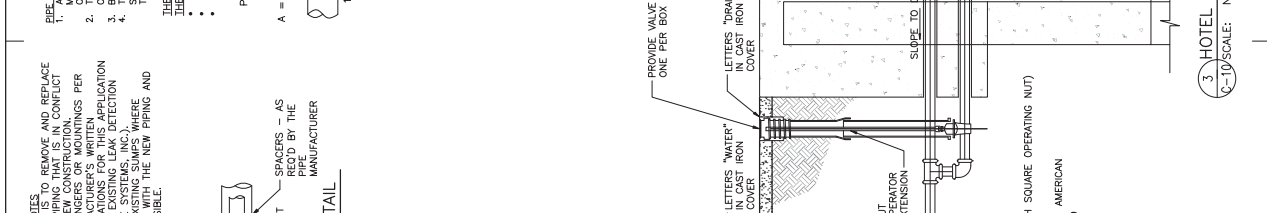
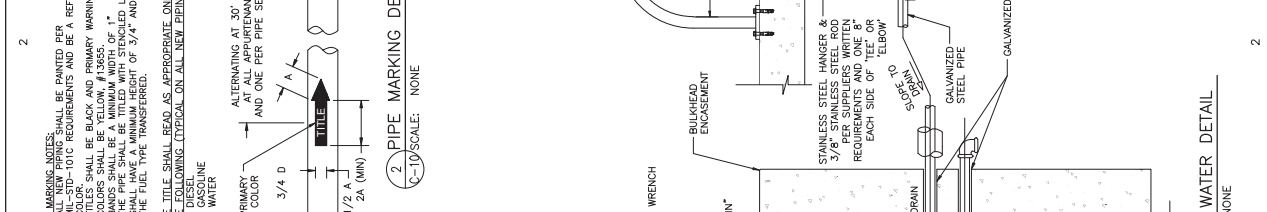
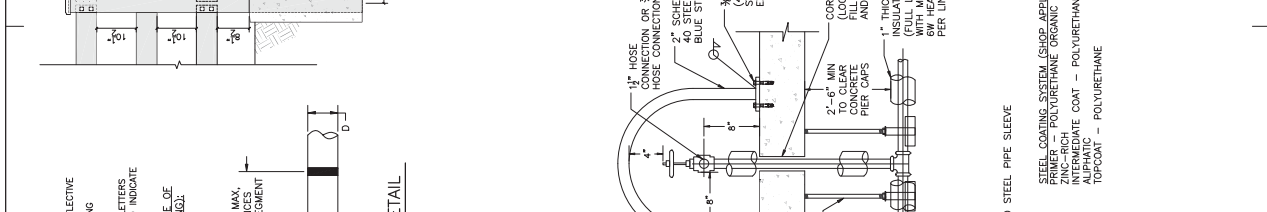
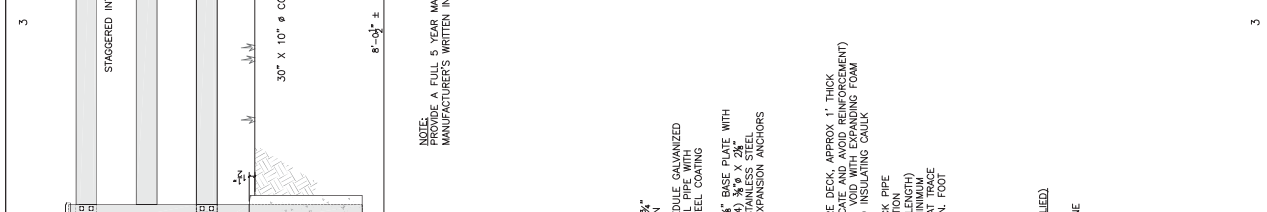
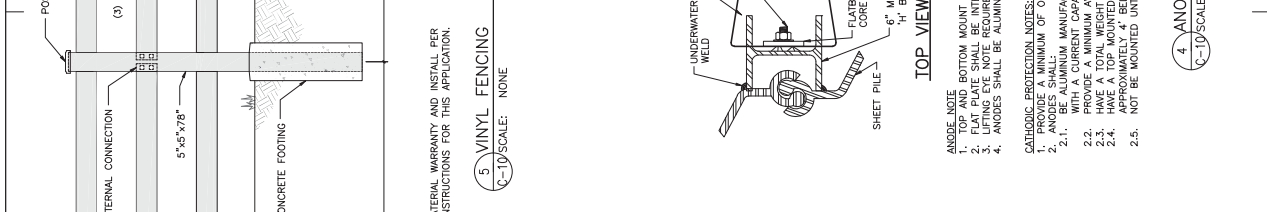
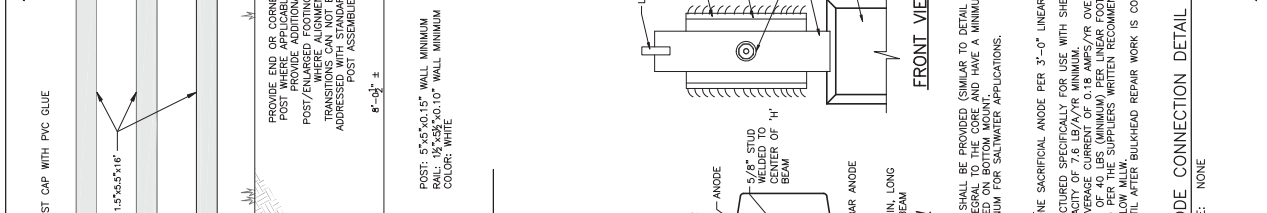
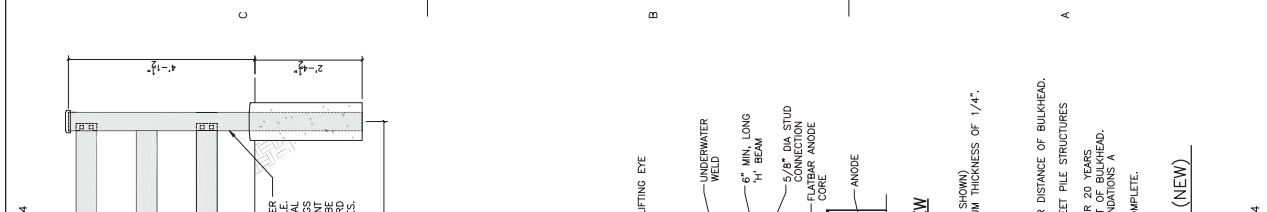




REMOVE MARINE GROWTH ON REPLACE CONCRETE FLOATS TO ALLOW FOR INSTALLATION OF NEW POLY FLOAT

PROVIDE NEW 2"x4"x8" POLY ENCASED FLOAT (FRICTION FIT, INSET APPROXIMATELY 1" FROM EDGES OF CONCRETE) ESTIMATED 3 TOTAL AS REQUIRED TO BE INSTALLED ON END MODULE ONLY

REMOVE MARINE GROWTH OR REPLACE DAMAGED HARDWARE ASSUME 25% OF THE HARDWARE REQUIRES REPAIR HARDWARE SHOWN

1. PIER IMPROVEMENTS PLAN  
SCALE: 1/16" = 1'-0"



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CONSULTANTS  THE JOHNSON MACDAMS FIRM GREENWOOD, MISSISSIPPI 38930

<b>U. S. COAST GUARD CIVIL ENGINEERING UNIT CLEVELAND</b>

USCG, CEU CLEVELAND 1240 EAST 9TH STREET CLEVELAND, OH 44199-2080
ISSUE MARK DATE DESCRIPTION
TYP: PROJECT: 103-1-237-31 CAD FILE NAME: GRAF0021.dwg DESIGNED BY: AJG DRAWN BY: AJG CHECKED BY: JED
SCALES AS SHOWN PLOT SCALE: 1:1 SHEET TITLE <b>MAJOR M&amp;R OF WATERFRONT CC STATION LITTLE CREEK VA</b> <b>PERIMETER FENCE</b>
<b>SECURITY FENCE DETAILS</b>
REVIEWED BY: G.P. DEWANE PROJECT ENG: BRANTON CHIEF TECH. DIRECTOR
S.P. HANNIGAN, CDR. 06/08/18 APPROVING OFFICER DATE
PROJECT NUMBER: 6117402 DRAWING NUMBER: 8460-D DESIGNED BY: G.S. PLACZEK SHEET NO. 15 OF 17

**4 GENERAL NOTES (SECURITY)**

A. FABRIC: THE STANDARD FENCE FABRIC SHALL BE ALUMINUM-COATED STEEL WIRE CHAIN LINK WITH A MESH OF 2 INCHES BY 2 INCHES. THE FABRIC SHALL BE 45-50% GALVANIZED. THE FABRIC SHALL BE USED WITH 12-GAUGE BARBED WIRE AND A TWINNED AND TWISTED BARBED SERVAJE AT TOP AND BOTTOM IN HEIGHTENED SECURITY ZONES AND 9-GAUGE HEAVY-DUTY DOUBLE OUTRIGGER OR HEAVY-DUTY DOUBLE OUTRIGGER OR HEAVY-DUTY DOUBLE OUTRIGGER ON EXISTING FENCE WHICH IS ALREADY 9-GAUGE. FABRIC TIES ON 12-GAUGE STEEL TIES. FABRIC TIES SHALL BE ELECTRICALLY COMPATIBLE WITH THE FENCE FABRIC TO INHIBIT CORROSION.

C. REMEDICATION: TENSION WIRES SHALL BE INSTALLED AND INTERWOVEN (OR AFFIXED WITH AN APPROPRIATE METHOD) TO BOTH SIDES OF THE FENCE FOR STABILIZATION OF THE FENCE FABRIC.

D. FENCE HEIGHT: CHAIN LINK FABRIC SHALL BE 7' HIGH WITH AN ADDITIONAL 1' IN HEIGHT COMPOSED OF 3 STRANDS OF BARBED WIRE SHALL BE 8'. THE TOTAL FENCE HEIGHT SHALL BE 8'.

E. SPACING: BOTTOM OF THE FENCE SHALL BE WITHIN TWO INCHES OF THE FIRM SOIL.

F. TOP GUARDS: A TOP GUARD IS AN OVERHANG OF BARBED WIRE ALONG THE TOP OF A FENCE, FACING OUTWARD (AWAY FROM THE SITE) WITH AN OVERHANG OF 45 DEGREES. TOP GUARD SUPPORTING ARMS WILL BE PERMANENTLY AFFIXED TO THE TOP OF THE FENCE POSTS AND SHALL BE AT LEAST THREE STRANDS OF 12-GAUGE BARBED WIRE, EQUALLY SPACED. SHALL BE INSTALLED ON THE SUPPORTING ARMS.

G. FENCE POSTS SHALL BE ASTM F1643 OR EQUIVALENT. SHALL BE GALVANIZED IN ACCORDANCE WITH THE SPECIFICATIONS. FENCE POST SPACING SHALL BE 10'-0" MAXIMUM. FENCE SHALL BE INSTALLED IN ACCORDANCE WITH CHAIN LINK FENCE MANUFACTURER'S INSTITUTE (M.I.S. 2445). SPACING SHALL NOT EXCEED 10'-0" OC.

H. WIRE TIE RAILS, POSTS AND BRACES SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE ALIGNMENT. CHAIN-LINK FABRIC SHALL BE PLACED ON THE SIDE OPPOSITE THE SECURE AREA.

I. PROVIDE BRACE PANEL WHENEVER STRAIGHT RAILS EXCEED 500 FEET.

**LEGEND**

TYPE LE-3 - CHAIN-LINK FENCE WITHOUT BARBED-WIRE APPROX ON SINGLE OUTRIGGER

TYPE LE-2 - CHAIN-LINK FENCE W/ BARBED-WIRE ON DOUBLE OUTRIGGER AND BARRED-TAPE ON DOUBLE OUTRIGGER

TR - FENCE WITH TOP RAIL AND TENSION WIRE AT BOTTOM AND BOTTOM RAILS

TRB - TENSION WIRE TOP AND BOTTOM

TMB - FENCE WITH TOP TENSION WIRE AND BOTTOM RAIL

FINAL NUMBER IS FABRIC WIDTH IN INCHES.

EXAMPLES:  
 FE5-TB-72 - CHAIN-LINK SECURITY FENCE WITH BARRED-WIRE ON SINGLE OUTRIGGER, TOP RAIL AND 72 INCH FABRIC WIDTH.  
 FE5-TMB-84 - CHAIN-LINK SECURITY FENCE WITH NO BOTTOM TENSION AND 84 INCH FABRIC WIDTH.

**3 CHAIN-LINK SECURITY FENCE DETAIL**  
(C-1) SCALE: NONE

1. CHAIN-LINK SECURITY FENCE DETAIL

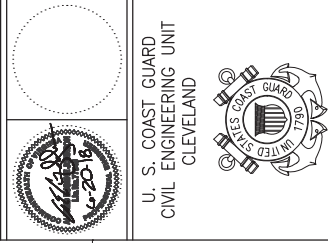
2. BRACE PANEL DETAIL (C-1) SCALE: NONE

3. EXTENSION ARM DETAIL (C-1) SCALE: NONE

3. STEEL POST SCHEDULE

USE AND SECTION	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)		
	FABRIC WIDTH 72" OR LESS	FABRIC WIDTH 84" TO 96"	FABRIC WIDTH 108" AND OVER
CORNER, END & RAIL POSTS TUBULAR - ROUND	2.375" O.D.	2.875" O.D.	4.00" O.D.
LINE POSTS TUBULAR - ROUND	1.90" O.D.	2.375" O.D.	2.875" O.D.
BOTTOM & BRACE RAILS TUBULAR - ROUND TUBULAR - SQUARE C-SECTION (ROLL-FORMED)	1.66" O.D. 1.50" SQ. 1.625" X 1.50" 1.625" X 1.25"		

Additional Info/Revision received by VMRC on March 15, 2021 /lra



U. S. COAST GUARD  
CIVIL ENGINEERING UNIT  
CLEVELAND

USCG. CEU CLEVELAND  
1240 EAST 9TH STREET  
CLEVELAND, OH 44199-2080

MARK	DATE	DESCRIPTION
TYPE PROJECT	10/15/17	UT
CAD FILE NAME	06/06/18.dwg	
DESIGNED BY	ALC	
DRAWN BY	AKD	
CHECKED BY	AKD	
SCALE AS SHOWN	AS SHOWN	
SHEET TITLE		

REVIEWED BY	REVIEWED BY	DATE
G.A. DEWAN	G.P. LOOZE	06/06/18
PROJECT ENG. / BRANCH CHIEF	TECH. DIRECTOR	
S.P. HANNIGAN, CDR. / APPROVING OFFICER		
PROJECT NUMBER	DRAWING NUMBER	
6117402	8460-D	
DRAWING SHEET NO	SHEET	OF
C-12	16	17

**GENERAL NOTES**

A. DETAILS SHOWN ARE TO CLARIFY REQUIREMENTS AND ARE NOT INTENDED TO BE CONSIDERED AS THE ONLY METHODS OF INSTALLATION WHICH COMPLY WITH THE SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL DETAILS.

B. EXCEPT AS NOTED, ALL METALS SHALL MEET THE MINIMUM REQUIREMENTS OF ASTM F80 1.90T NOMINAL (ROUND) OR 2.00T NOMINAL (SQUARE). GATE FRAMES SHALL BE OF WELDED CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL DETAILS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL DETAILS.

D. THE REMOVAL AND DISPOSAL OF ALL MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FOOTING Voids SHALL BE BACKFILLED AND COMPACTED TO MATCH SURROUNDING IN-SITE CONDITIONS.

E. CODED GATE LOCK SHALL BE HEAVY DUTY, WEATHERPROOF, MECHANICAL DUAL-SIDED LOCKING SYSTEM. CONTRACTOR SHALL PROVIDE GRADE FINISH, PICK/BLIMP PROOF, AND A LIFETIME MECHANICAL MANUFACTURER APPROVED ACCESS TO THE ENTRY AND EGRESS SIDES OF THE SECURE AREA.

**LEGEND**

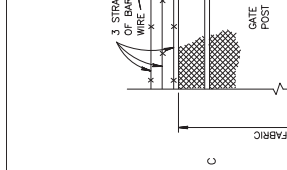
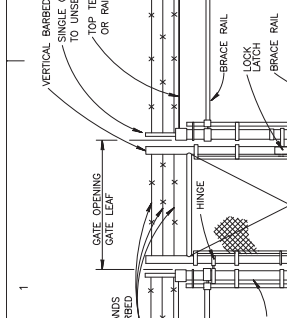
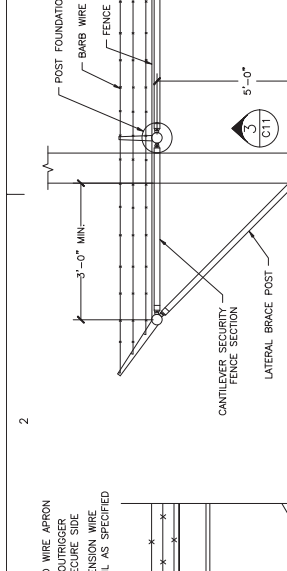
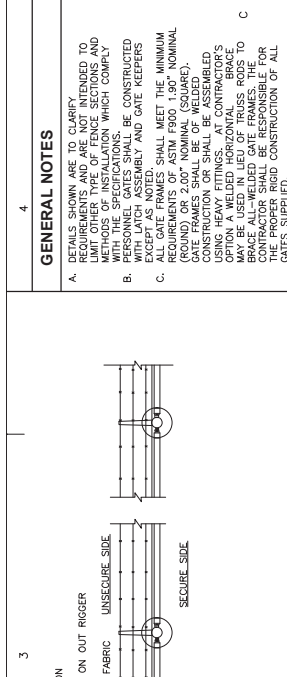
GATE NOMENCLATURE:  
— FEET (CLEAR OPENING BETWEEN GATE POSTS)  
— FEET (OFFSET)  
— RA (STANDARD)  
— DO (DOUBLE)  
— HO (OFFSET)  
— RA (STANDARD)  
— DO (DOUBLE)  
— HO (OFFSET)

**1 PERSONNEL GATE TYPE FE-6 FENCE**  
C-12/SCALE: NONE

**2 CANTILEVER END PLAN**  
C-12/SCALE: NONE

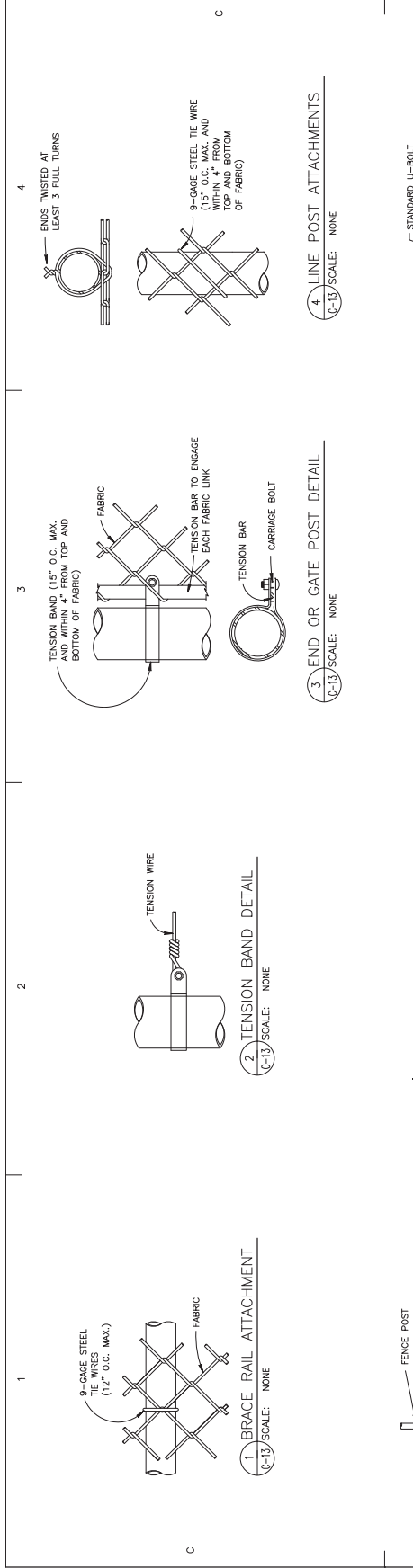
**3 CANTILEVER END DETAIL**  
C-12/SCALE: NONE

**4 CANTILEVER END DETAIL**  
C-12/SCALE: NONE

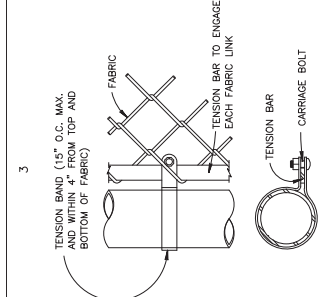


USCG CEU  
 CLEVELAND, OHIO  
 (216) 902-6260

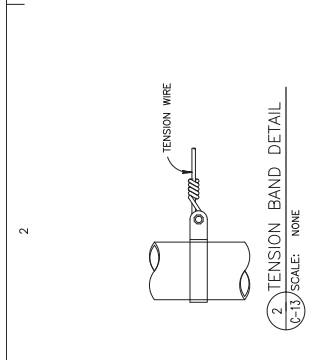
CONSULTANTS  
 THE JOHNSON MACADAMS FIRM  
 GREENWOOD, MISSISSIPPI 38930



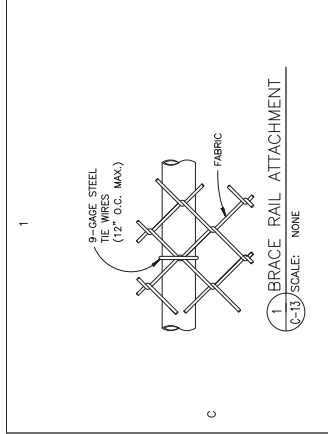
1. BRACE RAIL ATTACHMENT  
 (C-13) SCALE: NONE



2. TENSION BAND DETAIL  
 (C-13) SCALE: NONE



3. END OR GATE POST DETAIL  
 (C-13) SCALE: NONE



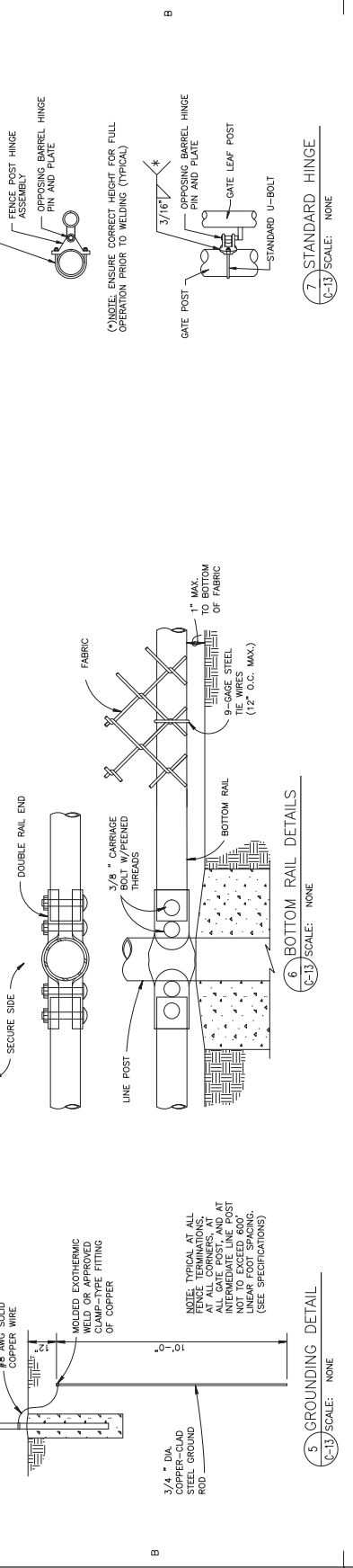
4. LINE POST ATTACHMENTS  
 (C-13) SCALE: NONE

U. S. COAST GUARD  
 CIVIL ENGINEERING UNIT  
 CLEVELAND

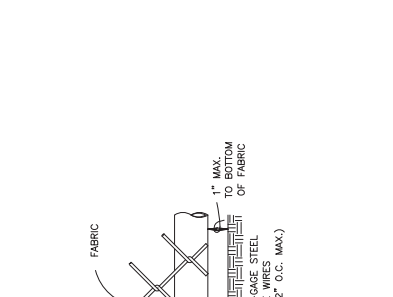


USCG CEU CLEVELAND  
 1240 EAST 9TH STREET  
 CLEVELAND, OH 44199-2080

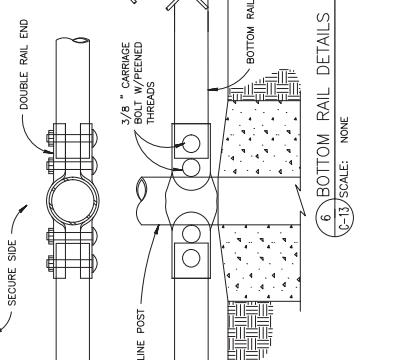
ISSUE  
 MARK DATE DESCRIPTION



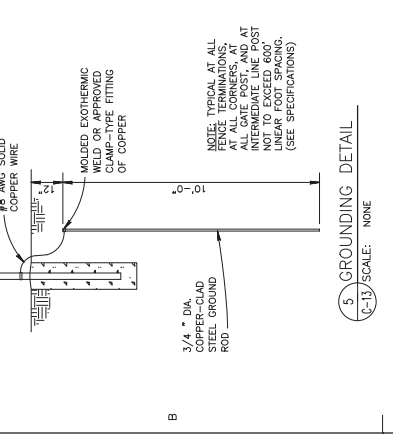
5. GROUNDING DETAIL  
 (C-13) SCALE: NONE



6. BOTTOM RAIL DETAILS  
 (C-13) SCALE: NONE



7. STANDARD HINGE  
 (C-13) SCALE: NONE



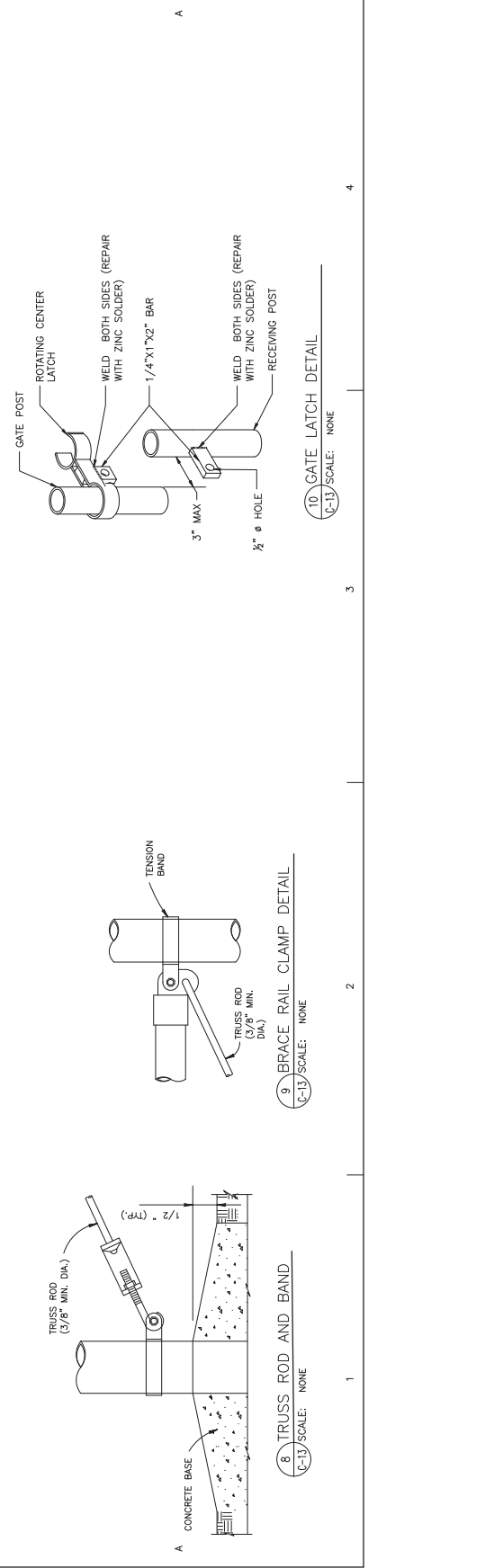
8. TRUSS ROD AND BAND  
 (C-13) SCALE: NONE

TYPE PROJECT INSTRUMENT  
 CAD FILE NAME: 06A0023.dwg  
 DESIGNED BY: ALJ  
 DRAWN BY: ADP  
 CHECKED BY: ADP  
 SCALES AS SHOWN PLOT SCALE: 1:1

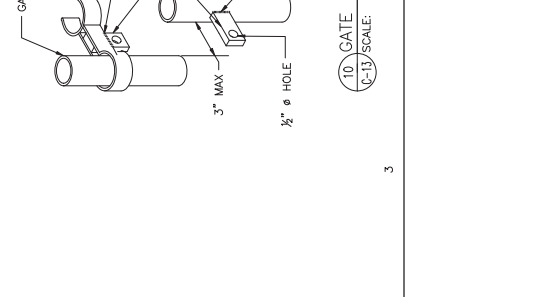
SHEET TITLE  
 MAJOR M&R OF WATERFRONT  
 CCS STATION LITTLE CREEK  
 VIRGINIA BEACH VA  
 PERIMETER FENCE CIVIL  
 MISC FENCE DETAILS

REVIEWED BY: G.P. LOEGE  
 PROJECT ENG. BRANCH CHIEF TECH. DIRECTOR  
 S.P. HANNIGAN, CDR. 06/08/18  
 APPROVING OFFICER DATE

DRAWING NUMBER: 6117402  
 SHEET NO: C-13  
 SHEET 17 OF 17



9. BRACE RAIL CLAMP DETAIL  
 (C-13) SCALE: NONE



10. GATE LATCH DETAIL  
 (C-13) SCALE: NONE

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), \_\_\_\_\_, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of \_\_\_\_\_.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated \_\_\_\_\_  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

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(Date)

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I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

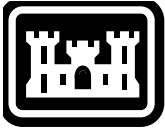
**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



Please review the 18-RP-17 enclosure before completing this form and note 18-RP-17 can only be used for proposed **PRIVATE USE** structure(s) that comply with the terms and conditions of 18-RP-17. Copies can be obtained online at <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional/>.

- YES  NO  (1) Has the permittee reviewed the 18-RP-17 enclosure and verified that the proposed structure(s) is in compliance with all the terms, conditions, and limitations of 18-RP-17?
- YES  NO  (2) Does the proposed structure(s) extend no more than one-fourth of the distance across the waterway measured from either mean high water (MHW) to MHW (including all channelward wetlands) or ordinary high water (OHW) to OHW (including all channelward wetlands)?
- YES  NO  (3) Does the proposed structure(s) extend no more than 300 feet from MHW or OHW (including all channelward wetlands)?
- YES  NO  N/A  (4) Does the proposed structure(s) attach to the upland at a point landward of MHW or OHW (including all channelward wetlands)?
- YES  NO  N/A  (5) If the proposed structure(s) crosses wetland vegetation, is it an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES  NO  N/A  (6) Does the proposed structure(s) include no more than two (2) boatlifts and no more than two (2) boat slips?
- YES  NO  N/A  (7) Is the open-sided roof structure designed to shelter a boat  $\leq 700$  square feet and/or is the open sided roof structure or gazebo structure designed to shelter a pier  $\leq 400$  square feet?
- YES  NO  N/A  (8) Are all piles associated with the proposed structure(s) non-steel, less than or equal to 12" in diameter, and will less than or equal to 25 piles be installed channelward of MHW?
- YES  NO  N/A  (9) Is all work occurring behind cofferdams, turbidity curtains, or other methods to control turbidity being utilized when operationally feasible and federally listed threatened or endangered species may be present?
- YES  NO  N/A  (10) If the proposed structure(s) is to be located within an anadromous fish use area, the prospective permittee will adhere to the anadromous fish use area time of year restriction (TOYR) prohibiting in-water work from occurring between February 15 through June 30 of any given year if (1) piles are to be installed with a cushioned impact hammer and there is less than 492 feet between the most channelward pile and mean low water (MLW) on the opposite shoreline or (2) piles are to be installed with a vibratory hammer and there is less than 384 feet between the most channelward pile and MLW on the opposite shoreline.
- YES  NO  (11) Is all work occurring outside of submerged aquatic vegetation (SAV) mapped by the Virginia Institute of Marine Sciences' (VIMS) most recent survey year and 5 year composite?
- YES  NO  (12) Has the permittee ensured the construction and/or installation of the proposed structure(s) will not affect federally listed threatened or endangered species or designated critical habitat?
- YES  NO  (13) Will the proposed structure be located outside of Broad Creek in Middlesex County, Fisherman's Cove in Norfolk, or the Salt Ponds in Hampton?
- YES  NO  (14) Will the proposed structure(s) be located outside of the waterways containing a Federal Navigation Project listed in Permit Specific Condition 12 of 18-RP-17 and/or will all portions of the proposed structure(s) be located more than 85 feet from the Federal Navigation Project?



- YES  NO  (15) Will the proposed structure(s) be located outside a USACE Navigation and Flood Risk Management project area?
- YES  NO  (16) Will the proposed structure(s) be located outside of any Designated Trout Waters?
- YES  NO  N/A  (17) If the proposed structure(s) includes flotation units, will the units be made of materials that will not become waterlogged or sink if punctured?
- YES  NO  N/A  (18) If the proposed structure(s) includes flotation units, will the floating sections be braced so they will not rest on the bottom during periods of low water?
- YES  NO  (19) Is the proposed structure(s) made of suitable materials and practical design so as to reasonably ensure a safe and sound structure?
- YES  NO  (20) Will the proposed structure(s) be located on the property in accordance with the local zoning requirements?
- YES  NO  N/A  (21) If the proposed structure(s) includes a device used for shellfish gardening, will the device be attached directly to a pier and limited to a total of 160 square feet?
- YES  NO  N/A  (22) If the proposed structure(s) includes a device used for shellfish gardening, does the permittee recognize this RP does not negate their responsibility to obtain an oyster gardening permit (General Permit #3) from Virginia Marina Resources Commission's Habitat Management Division?
- YES  NO  (23) Does the permittee recognize this RP does not authorize any dredging or filling of waters of the United States (including wetlands) and does not imply that future dredging proposals will be approved by the Corps?
- YES  NO  (24) Does the permittee understand that by accepting 18-RP-17, the permittee accepts all of the terms and conditions of the permit, including the limits of Federal liability contained in the 18-RP-17 enclosure? Does the permittee acknowledge that the structures permitted under 18-RP-17 may be exposed to waves caused by passing vessels and that the permittee is solely responsible for the integrity of the structures permitted under 18-RP-17 and the exposure of such structures and vessels moored to such structures to damage from waves? Does the permittee accept that the United States is not liable in any way for such damage and that it shall not seek to involve the United States in any actions or claims regarding such damage?

**IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, REGIONAL PERMIT 17 (18-RP-17) DOES NOT APPLY AND YOU ARE REQUIRED TO OBTAIN WRITTEN AUTHORIZATION FROM THE CORPS PRIOR TO PERFORMING THE WORK.**

**IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH REGIONAL PERMIT 17 (18-RP-17). PLEASE SIGN BELOW, ATTACH, AND SUBMIT THIS CHECKLIST WITH YOUR COMPLETED JOINT PERMIT APPLICATION (JPA). THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS; HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.**

**I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (18-RP-17), DATED SEPTEMBER 2018, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WRR), NORFOLK, VIRGINIA.**

**Proposed work to be located at:**

\_\_\_\_\_  
Signature of Property Owner(s) or Agent

Date 12/17/20

\_\_\_\_\_  
VMRC Number: \*same as above\*

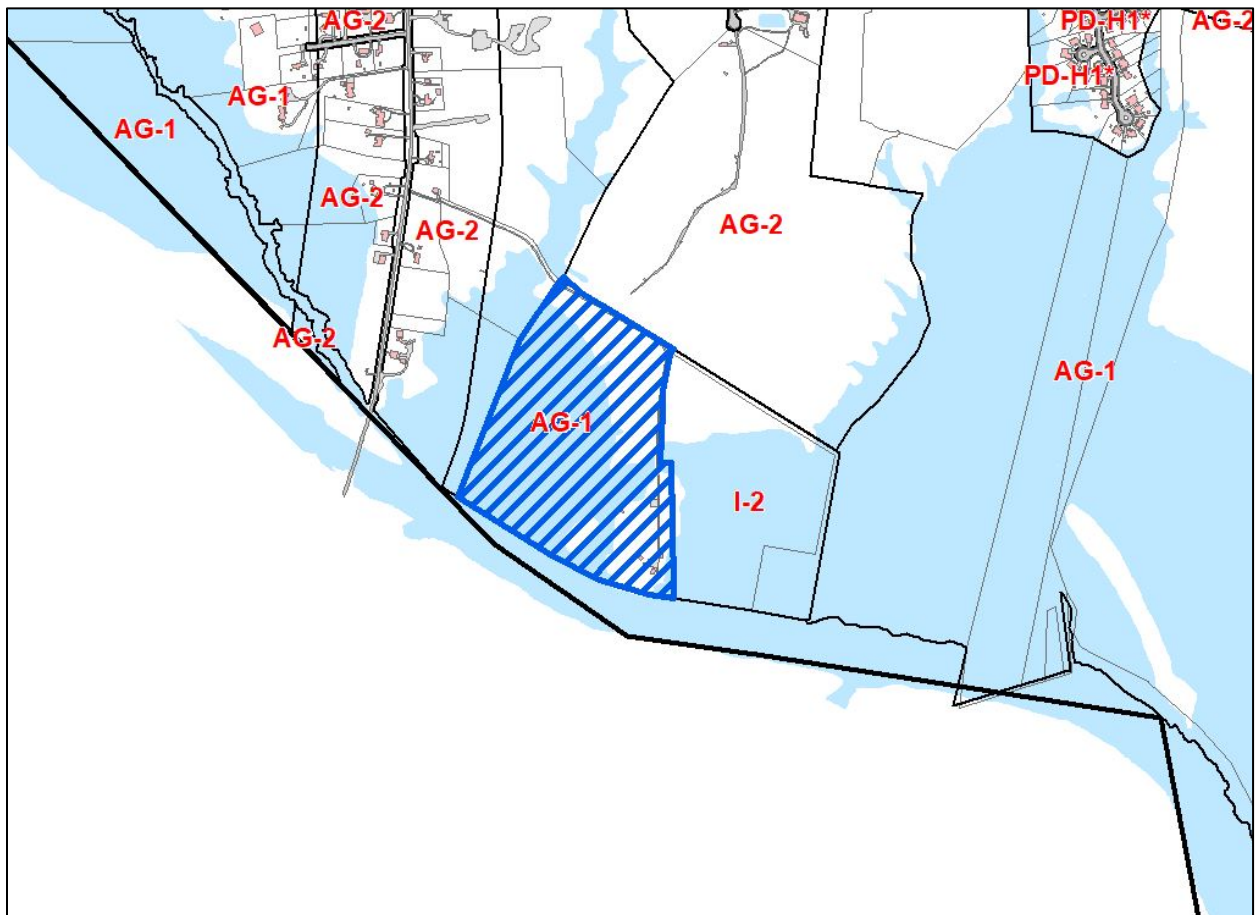
5. 2021-WTRA-00041

NuStar Terminals Operations Partnership, LP  
[Applicant/Owner]

**To construct rip rap and a boat ramp involving wetlands**

3924 North Landing Road  
(GPIN 1482-79-7939)

Waterway – North Landing River  
Subdivision – N/A  
Council District – Princess Anne



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** NuStar Terminals Operations Partnership, LP

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.  
Christopher Kriegner Ramboll, Blue Bell, Pennsylvania

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)  
NuStar would prefer to keep this information confidential.

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)  
NuStar would prefer to keep this information confidential.

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If **yes**, identify the financial institutions providing the service.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes  No

- If **yes**, identify the company and individual providing the service.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the company and individual providing the service.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.


Engineer - Anchor Consulting, Chadds Ford, Pennsylvania

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm and individual providing the service.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

DocuSigned by:  
  
 0D594C8034FF418...

## Applicant Signature

NuStar Terminals Operations Partnership LP - Kyle Oppliger, Vice President, NuStar Terminals Operations Partnership LP

## Print Name and Title

2/12/2021

## Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ- VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> <u>Virginia Beach County, Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Intercoastal Waterway//North Landing River</u>				
<b><i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i></b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
VMRC	Pre-application meeting	Pre-application meeting RP19	12/16/20	N/A
VMRC/USACE	Construct 230 ft tied steel pile bulkhead	VMRC#02-1278	7/15/02	N/A

### Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
 NuStar Terminals Operations Partnership, L.P.  
 19003 IH-10 West, San Antonio, Texas 78257  
 Home ( ) \_\_\_\_\_  
 Work (210) 918-2074  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail Kyle.Oppliger@nustarenergy.com  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
  
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
 Same as Applicant  
 Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
  
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
 Ramboll Americas Engineering Solutions  
 751 Arbor Way  
 Suite 200  
 Blue Bell, PA 19422  
 Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell (484) 362-7249  
 e-mail Chris.Kriegner@ramboll.com  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Please see the attached pages below for the detailed description of the proposed project.

Date: 1/29/2021 (Revised 3/17/2021)

Applicant: NuStar Terminals Operations Partnership, L.P. 19003 IH-10 West, San Antonio, Texas 78257

Project: Shoreline Stabilization Project at NuStar's Virginia Beach Facility

### **Detailed Project Description**

Planned improvements include shoreline stabilization measures, the replacement of four land-side mooring dolphins, construction of one new mooring dolphin, construction of a boat ramp to facilitate emergency response measures, and the installation of a sump to facilitate site drainage (Figures S-1 through S-10). These measures are discussed below.

**Shoreline Stabilization** – The rip-rap revetment has been designed for a wave height of 3 ft. This design wave height is based on several years of observations by NuStar's terminal manager. Using the U.S. Army Corps of Engineers "Engineer Manual 1110-2-1614", the required height of riprap for this wave height is 3'-9" above waterline. The MHW elevation at this site is +1'-6" MLW (NAVD 88). Therefore, the minimum revetment design height at this facility needs to be at +5'-3" MLW. Considering settlement of soil, the minimum required rip-rap height was established at +5'-8.375" MLW.

The east shoreline stabilization plan (Figures S-3 and S-6) includes the placement of approximately 180 linear feet (LF) of riprap from the existing bulkhead northeast to the proposed boat ramp. The design also includes the installation of approximately 35 LF of riprap east of the proposed boat ramp. The west shoreline stabilization plan (Figures S-3 and S-7) includes the placement of approximately 85 LF of riprap from the existing bulkhead north to the existing shoreline. Two types of riprap are proposed – Type A (Figure S-8) and Type B (Figure S-9). Type A will be used where the height between existing grade and mudline is 5 ft or less. Type B will be used for heights greater than 5 ft. Both riprap types are comprised of the same construction materials (non-woven geotechnical fabric, NCSA R-3, NCSA R-7 stone), have the same slope (1.5:1), and will be tied into the existing grade. No bank excavation is required for the installation of Type A riprap. The installation of Type B riprap will require excavation of the existing bank to install stone at a stable bank. It is estimated that 300 square feet (ft<sup>2</sup>) of existing bank will be excavated to a depth of approximately 3 feet, yielding approximately 30 cubic yards (CY) of material. The installation of Type A & B riprap will require excavation of the existing river mudline to create a stable toe for the stone riprap. It is estimated that approximately 2,000 ft<sup>2</sup> of existing mudline will be excavated to a depth of 2'-6", yielding approximately 110 CY of material. All excavated material will be legally disposed of offsite. Tree clearing will be kept to a minimum but some trees within a small area of the west shoreline Limit of Disturbance will be removed.



**Sump** – A human-made, unnamed drainage ditch (approximately 1 ft in width) parallels and drains stormwater from the eastern side of the NuStar facility into the North Landing River (Figure S-2). The mouth of this drainage ditch has been significantly eroded by wave and boat wake action - as demonstrated by the wide ditch mouth and undercut and eroding banks. The 35 LF section of proposed riprap to the east of the proposed boat ramp will be emplaced at the mouth of this drainage ditch and may reduce stormwater flow to the river. A 3.0 ft x 3.0 ft x 3.0 ft, precast concrete sump is proposed on the inboard side of the riprap (Figure S-6). This sump will be manually drained to the river during high stormwater events via a portable, gasoline-powered, 3-inch trash pump (160cc; 290 GPM). The discharge hose will be flaked out over the proposed riprap and no scour protection will be required.

**Mooring Dolphins** – The four existing mooring dolphins are in disrepair and will be removed. Five new mooring dolphins are proposed for construction (Figures S-3, S-4, and S-5). Mooring dolphins will be constructed of poured concrete connected to plumb and batter piles (Figures S-4 and S-5). A total of 15, steel HP14 pilings will be installed using vibratory and impact hammers. The new dolphins will facilitate continued mooring of barges to the bulkhead for offloading of jet fuel.

**Boat Ramp** – A 10'-0" x 28'-0" poured concrete boat ramp is proposed to facilitate the placement of floating spill containment boom during barge offloading and emergency response activities (Figures S-3, S-6, and S-10). During construction, the poured concrete will be separated from surface water via a cofferdam. No dredging or filling will be required for the construction and operation of the proposed boat ramp. However, a minor amount of in-water and bank excavation will be required to construct the foundation of the ramp (approximately 18 CY of the existing grade).

**Construction Access**– Construction access will be gained via an existing gate separating site buildings from the dock area. No grading will be required for construction access. Access to the west shoreline is impeded by the existing product pipeline and will be facilitated by the use of a crane, constructing a cross-over bridge over the pipe, or will be conducted using a barge from the water side of the North Landing River.

### Part 1 - General Information (continued)

- 5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

- 6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

The Virginia Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

( 757 ) 622-1455 \_\_\_\_\_

- 7. Give the following project location information:

Street Address (911 address if available) 3924 North Landing Road

Lot/Block/Parcel# 14827979390000

Subdivision Not Applicable

City / County City of Virginia Beach, Virginia Beach County ZIP Code 23456

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
36.715301 / - 76.093685 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

- 8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Please see attached narrative below.

Date: 1/29/2021 (Revised 3/17/2021)

Applicant: NuStar Terminals Operations Partnership, L.P. 19003 IH-10 West, San Antonio, Texas 78257

Project: Shoreline Stabilization Project at NuStar's Virginia Beach Facility

**Primary, Secondary Purposes of and Need for Project**

The primary purpose of this project is to stabilize the shoreline at NuStar's Virginia Beach terminal to facilitate continued safe operation of the facility. Significant shoreline erosion has compromised the integrity of facility infrastructure and jeopardized safety of operations (e.g., trees falling on pipes as a result of undermining). Erosion of multiple feet of shoreline has occurred due to excessive weathering and the wake patterns of passing commercial and recreational vessels. Erosion is occurring behind the existing bulkhead compromising its integrity. Addressing shoreline erosion through maintenance, repair, and improvements to the dockside infrastructure is necessary for continued safe operation of the facility.

A secondary purpose of the proposed project is to augment the emergency response capabilities of the NuStar facility and the Virginia Beach Region in general. Proposed riprap placed at the mouth of the east drainage ditch (Figure S-3) will facilitate the placement of effective boom should an accidental release occur at the NuStar facility. In addition, the proposed boat ramp will facilitate emergency response activities during a NuStar-related emergency as well as access to the river for regional responders during non-NuStar-related emergencies. Another secondary purpose of this project is to renew the existing deteriorated mooring dolphins to continue safe barge mooring operations.

## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- Using sheet piling as an alternative to riprap was considered early in the design phase. However, a discussion with the VMRC indicated that riprap was the preferred construction material for this project. Project design has focused on minimizing the project footprint as much as possible while still achieving project goals. Project impacts will be further minimized by following all permit conditions and an approved erosion and sediment control plan. Minimal excavation of the existing bank (48 CY) and mudline (110 CY) will be required during the construction of the riprap revetment and boat ramp. Tree clearing will be kept to a minimum but some trees within the west shoreline Limit of Disturbance will be removed. The proposed project will permanently impact 45 ft<sup>2</sup> of vegetated wetlands, 983 ft<sup>2</sup> of unvegetated wetlands, and 3,884 ft<sup>2</sup> of submerged lands.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 1,000,000  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 350,000
13. Completion date of the proposed work: November 2022 - \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Property 1 (east of NuStar)  
Vulcan Lands Inc.  
1200Urban Center Drive  
Vestavia AL 35242-2545

Property 2 (north of NuStar)  
GOWDA HOLDINGS LLC  
2536 Greystone Street  
Virginia Beach VA 23456-8204

Property 3 (northwest of NuStar)  
Gayle R. Roundtree JR Revocable Trust  
2997 Seaboard Rd  
Virginia Beach VA 23456-3880

Property 4 (west of NuStar)  
Island Marina Properties LLC  
2337 Mount Pleasant Road  
Chesapeake VA 23322-1210

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

NuStar Terminals Operations Partnership, L.P.

\_\_\_\_\_  
Applicant's Legal Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

DocuSigned by:  
  
0D594C8634FF418...  
\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

**3/17/2021**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), NuStar Terminals Operations Partnership, L.P., hereby certify that I (we) have authorized Christopher Kriegner  
(Applicant’s legal name(s)) (Agent’s name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Christopher J. Kriegner Digitally signed by Christopher J. Kriegner  
Date: 2021.03.17 12:29:08 -04'00'

\_\_\_\_\_  
(Agent’s Signature)

\_\_\_\_\_  
(Use if more than one agent)

3/17/2021

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Applicant’s Signature)

\_\_\_\_\_  
(Use if more than one applicant)

3/17/2021

\_\_\_\_\_  
(Date)

### 3. Applicant’s having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant’s legal name(s)) (Contractor’s name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor’s name or name of firm

\_\_\_\_\_  
Contractor’s or firms address

\_\_\_\_\_  
Contractor’s signature and title

\_\_\_\_\_  
Contractor’s License Number

\_\_\_\_\_  
Applicant’s signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

-----  
**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

**1. Briefly describe your proposed project.**

Part of the proposed project will be to construct a commercial, 28'-0" X 10'-0" poured concrete boat ramp to facilitate water access during emergency response events.

**2. For private, noncommercial piers:**

Do you have an existing pier on your property? \_\_\_\_ Yes \_\_\_\_ No

If yes, will it be removed? \_\_\_\_ Yes \_\_\_\_ No

Is your lot platted to the mean low water shoreline? \_\_\_\_ Yes \_\_\_\_ No

What is the overall length of the proposed structure? \_\_\_\_\_ feet.

Channelward of Mean High Water? \_\_\_\_\_ feet.

Channelward of Mean Low Water? \_\_\_\_\_ feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands \_\_\_\_\_ square feet.

Tidal vegetated wetlands \_\_\_\_\_ square feet.

Submerged lands \_\_\_\_\_ square feet.

What is the total size of any and all L- or T-head platforms? \_\_\_\_\_ sq. ft.

For boathouses, what is the overall size of the roof structure? \_\_\_\_\_ sq. ft.

Will your boathouse have sides? \_\_\_\_ Yes \_\_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

### Part 3 – Appendices (continued)

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
  - a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
  - A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
6. For **boat ramps**, what is the overall length of the structure? 28 feet.
  - From Mean High Water? 28 feet.
  - From Mean Low Water? 28 feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**



### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The east shoreline stabilization plan (Figures S-3 and S-6) includes the placement of approximately 180 LF of riprap revetment from the existing bulkhead northeast to the proposed boat ramp. The design includes the installation of another approximately 35 LF of riprap east of the proposed boat ramp. The west shoreline stabilization plan (Figures S-3 and S-7) includes the placement of approximately 85 LF of riprap from the existing bulkhead north to the existing shoreline. In total, this project is projected to permanently impact 45 ft<sup>2</sup> of vegetated wetlands, 983 ft<sup>2</sup> of non-vegetated wetlands, and 3,884 ft<sup>2</sup> of sub-aqueous bottom. The volume of riprap to be placed below the mean high-water mark is approximately 800 CY. Minimal excavation of the existing mudline will be required during the construction of the riprap revetment (110 CY).

2. What is the maximum encroachment channelward of mean high water? 15 feet.  
 Channelward of mean low water? 15 feet.  
 Channelward of the back edge of the dune or beach? NA feet.

3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 45 square feet
  - Non-vegetated wetlands 983 square feet
  - Subaqueous bottom 3,884 square feet
  - Dune and/or beach NA square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?      Yes   x   No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?      Yes      No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

Mooring dolphins will be constructed of poured concrete connected to plumb and batter piles (Figure S-4). Boat ramp will be constructed of poured concrete on top of AASHTO#57 stone, on top of a non-woven geotextile fabric (Figure S-10). The sump will be composed of pre-fabricated concrete. The shoreline riprap revetments will be constructed of NCSA R-7 stone as a top layer with NCSA R-3 stone as an inner layer and a non-woven geotextile fabric as a bottom liner (Figures S-8 and S-9). AASHTO#57 stone will also be used to fill in a small difference in grade where the revetment meets the existing west return bulkhead (Figure S-7).

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:
- |                              |            |                  |            |                       |
|------------------------------|------------|------------------|------------|-----------------------|
| Core (inner layer) material  | <u>2.6</u> | pounds per stone | Class size | <u>NCSA R-3 Stone</u> |
| Armor (outer layer) material | <u>557</u> | pounds per stone | Class size | <u>NCSA R-7 Stone</u> |
7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:
- Volume of material
 

<u>                    </u>	cubic yards channelward of mean low water
<u>                    </u>	cubic yards landward of mean low water
<u>                    </u>	cubic yards channelward of mean high water
<u>                    </u>	cubic yards landward of mean high water
  
  - Area to be covered
 

<u>                    </u>	square feet channelward of mean low water
<u>                    </u>	square feet landward of mean low water
<u>                    </u>	cubic yards channelward of mean high water
<u>                    </u>	cubic yards landward of mean high water
  
  - Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
  - Method of transportation and placement: \_\_\_\_\_
  
  - Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Vulcan Lands Inc., own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of NuStar Terminals Operations Partnership, L.P.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 1/25/21 & 3/15/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

Date: 1/29/2021 (Revised 3/17/2021)

Applicant: NuStar Terminals Operations Partnership, L.P. 19003 IH-10 West, San Antonio, Texas 78257

Project: Shoreline Stabilization Project at NuStar's Virginia Beach Facility

### **LIST OF ATTACHMENTS**

(Note – These attachments are bookmarked in this document)

**ATTACHMENT 1 – DESIGN DRAWINGS**

**ATTACHMENT 2 – EROSION AND SEDIMENT CONTROL PLAN**

**ATTACHMENT 3 – IMPACT FIGURE**

**ATTACHMENT 4 – PHOTOGRAPHIC LOG**

**ATTACHMENT 5 – PREVIOUS PERMIT FOR FACILITY**

**ATTACHMENT 6 – AGENCY RESPONSES (VDCR, VDHR, NOAA Fisheries, VaFWIS)**

**ATTACHMENT 7 – WETLAND DELINEATION REPORT**

## **ATTACHMENT 1 – DESIGN DRAWINGS**

# VIRGINIA BEACH - DOCK AREA SHORELINE PROTECTION

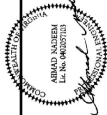
FOR

**NUSTAR ENERGY, L.P.**  
3924 NORTH LANDING ROAD, VIRGINIA BEACH, VA 23456

DWG. NO.	COVER SHEET	TITLE
CS-1	COVER SHEET	
S-1	SITE PLAN	
S-2	EXIST. PARTIAL SITE PLAN - DOCK AREA	
S-3	REHABILITATION PLAN - DOCK AREA	
S-4	BULKHEAD - SECTION	
S-5	NEW MOORING DOLPHIN PLAN & ELEVATION	
S-6	EAST SHORELINE - PLAN	
S-7	WEST SHORELINE - PLAN	
S-8	RIE-RAP - SECTION (NEAR INSHORE SHORELINE)	
S-9	RIE-RAP - SECTION (NEAR OUTSHORE SHORELINE)	
S-10	BOAT LAUNCH RAMP - SECTION	



LOCATION MAP



REFERENCES: DALLAS  
NO. 10000

1) CONSULTOR HAS TO VERIFY ALL MEASUREMENTS AND DATA FOR ACCURACY AND RELIABILITY.

NO.	DATE	BY	APP.
A <td>01-25-21 <td>AM</td> <td>AM</td> </td>	01-25-21 <td>AM</td> <td>AM</td>	AM	AM

**Mustar**  
Energy L.P.

19008 RE-10, WEST  
San Antonio, Texas 78257  
Tel: (210) 618-2000  
1-800-866-0000

PROJECT LOCATION:	DATE:
VIRGINIA BEACH	11-09-20
DRAWN BY: PM	DATE: 11-09-20
CHECKED: AM	DATE: 11-09-20
APPROVED: AM	DATE: 11-09-20
SCALE:	AS NOTED

**ANCHOR CONSULTANTS, LLC**  
1001 CHAMBERS FORD PA 10017  
TEL: (717) 465-5000 FAX: (717) 465-2001  
PROJECT NO.: 2000000000000000  
DESIGNED BY: APPROVED BY: PM  
DRAWN BY: PM DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA  
SHORELINE PROTECTION  
COVER SHEET**

GENERAL PROJECT NO. \_\_\_\_\_  
DRAWING NO. CS-1



**SITE PLAN**  
 SCALE: 1" = 100'-0"  
 0 50 100  
 SCALE IN FEET

- NOTES:**
- DRAWING ISSUED FOR INFORMATION ONLY.
  - SHOWN PROPERTY LINES ARE NOT BASED ON SURVEY AND ARE APPROXIMATE. THEY HAVE BEEN DERIVED FROM THE RECORDING HARD COPY OF A HISTORICAL DRAWING PROVIDED BY MUSTAR, TITLED "SITE PLAN", SHEET 2 OF 3, DATED 06-08-2002 BY COLLINS ENGINEERS, INC. ANCHOR HAS NOT VERIFIED THE ACCURACY OF PROPERTY LIMITS.
  - SHOWN SHORELINE LAYOUT IS NOT BASED ON SURVEY AND IS APPROXIMATE. SHORELINE IS BASED ON ROUGH FIELD MEASUREMENTS.

**ANCHOR CONSULTANTS, LLC**  
 1100 CHAMBERS FORD PA 19017  
 TEL: (610) 485-1588 FAX: (610) 485-2001  
 ANCHOR PROJECT NO.: 14838974890000  
 DESIGNED BY: APPROVED BY: RN  
 DRAWN BY: ENV DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA SHORELINE PROTECTION SITE PLAN**

PROJECT LOCATION: VIRGINIA BEACH  
 DRAWN BY: ENV DATE: 11-09-20  
 CHECKED: AN DATE: 11-09-20  
 APPROVER: AN  
 SCALE: AS NOTED

GENERAL PROJECT NO.:  
 DRAWING NO: S-1

**MUSTAR** Energy L.P.

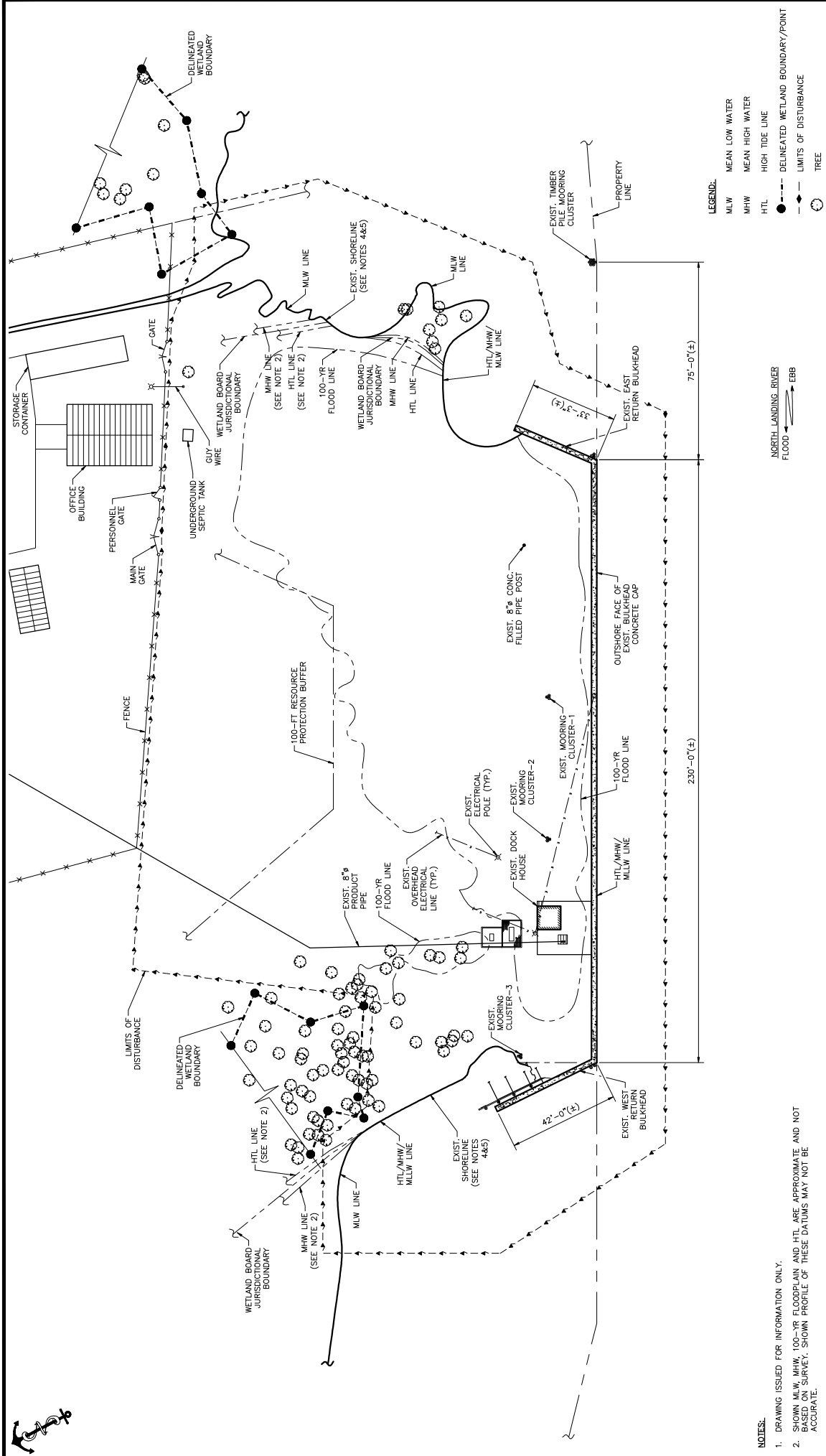
19003 IH-10, WEST  
 SAN ANTONIO, TEXAS 78257  
 Tel: (210) 618-2000  
 1-800-866-0000

NO.	DATE	BY	REV
A	01-25-21	AN	1

**REFERENCE DRAWINGS**

ANCHOR CONSULTANTS, LLC  
 1100 CHAMBERS FORD PA 19017  
 TEL: (610) 485-1588 FAX: (610) 485-2001

THIS DRAWING IS TO BE USED FOR INFORMATION ONLY. ANCHOR HAS NOT VERIFIED THE ACCURACY OF PROPERTY LIMITS.



**LEGEND:**  
 MLW MEAN LOW WATER  
 MHW MEAN HIGH WATER  
 HTL HIGH TIDE LINE  
 --- DELIMITED WETLAND BOUNDARY/POINT  
 - - - LIMITS OF DISTURBANCE  
 ○ TREE

NORTH LANDING RIVER  
 FLOOD EBB

**NOTES:**

- DRAWING ISSUED FOR INFORMATION ONLY.
- SHOWN MLW, MHW, 100-YR FLOODPLAIN AND HTL ARE APPROXIMATE AND NOT BASED ON SURVEY. SHOWN PROFILE OF THESE DATUMS MAY NOT BE ACCURATE.
- SHOWN SHORELINE LAYOUT IS NOT BASED ON SURVEY AND IS APPROXIMATE. SHOWN SHORELINE IS BASED ON ROUGH FIELD MEASUREMENTS.
- SHOWN WETLAND BOUNDARIES, 100-FT RESOURCE PROTECTION BUFFER LOCATIONS AND PROPERTY LINES ARE APPROXIMATE AND ARE BASED ON INFORMATION PROVIDED BY RAMBOLL AMERICA'S ENGINEERING SOLUTIONS, INC., FIELD OBSERVATIONS AND BEST FIT USING HISTORICAL DRAWINGS.

**REFERENCE MATERIALS:**

ANCHOR CONSULTANTS, LLC  
 10101 CHAMBERS FORD PA 19017  
 TEL: 717-485-1588 FAX: (610) 645-2001  
 DESIGNER: JEF  
 APPROVED: JEF  
 DRAWN BY: ENV  
 DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**SHORELINE PROTECTION**  
**EXIST. PARTIAL SITE PLAN - DOCK AREA**  
 GENERAL PROPERTY NO. APPROVED DATE: 11-09-20  
 DRAWING NO. 9-2

PROJECT LOCATION:	VIRGINIA BEACH
DRAWN BY: ENV	DATE: 11-09-20
CHECKED: AM	DATE: 11-09-20
APPROVED: JEF	DATE: 11-09-20
SCALE: AS NOTED	

19093 BE-10, WEST  
 San Antonio Texas 78257  
 Tel: (210) 818-2000  
 1-800-886-9000

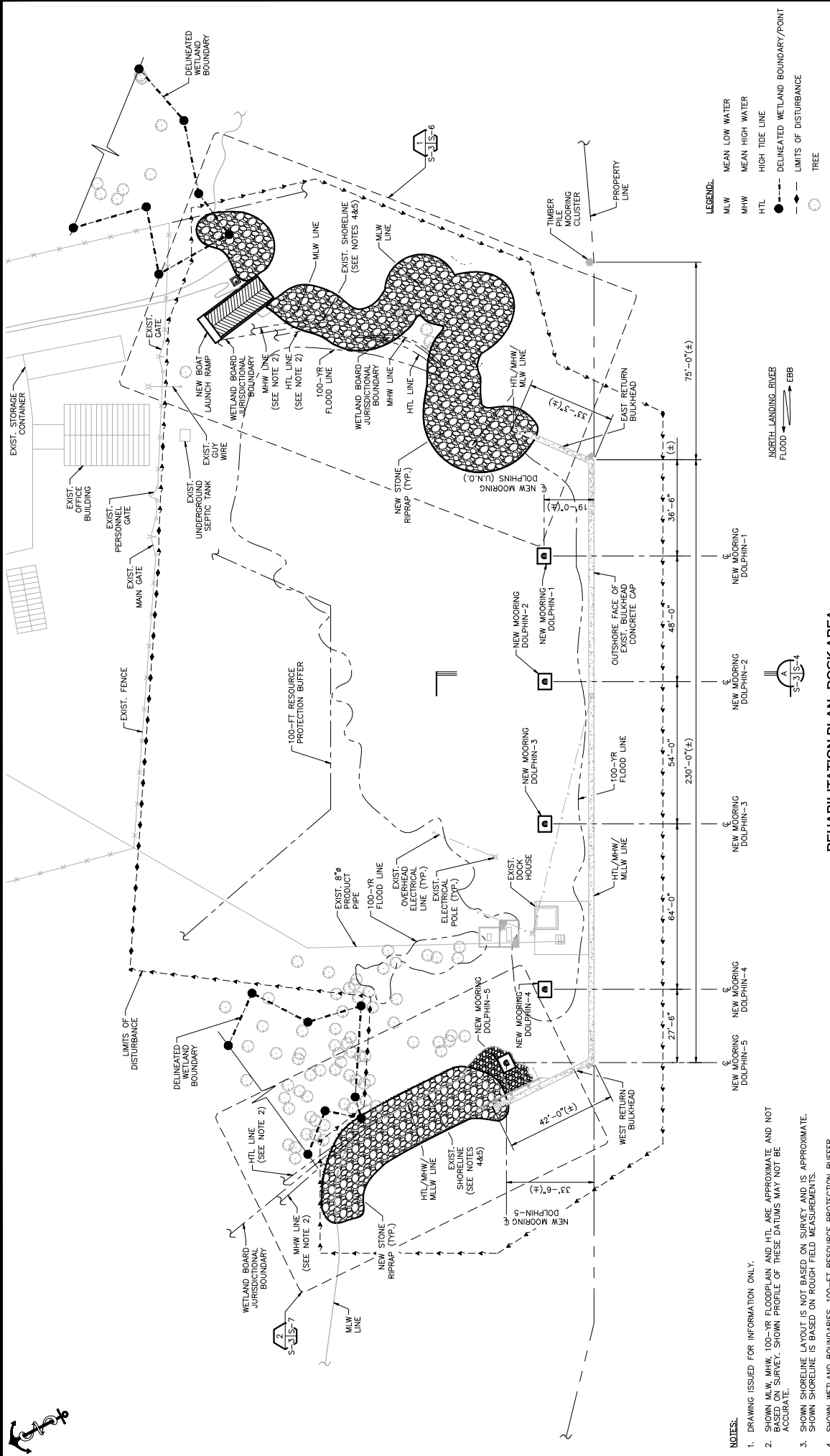
**Mustar**  
 Energy L.P.

NO.	REV.	DATE	BY	SCALE	APPROVED

SCALE: 1/16" = 1'-0"  
 SCALE IN FEET  
 20 10 0

EXIST. PARTIAL SITE PLAN - DOCK AREA





**LEGEND:**  
 MLW MEAN LOW WATER  
 MHW MEAN HIGH WATER  
 HTL HIGH TIDE LINE  
 --- DELINEATED WETLAND BOUNDARY/POINT  
 --- LIMITS OF DISTURBANCE  
 ○ TREE

**REHABILITATION PLAN - DOCK AREA**  
 SCALE: 1/16" = 1'-0"  
 0 10 20 SCALE IN FEET

**NOTES:**  
 1. DRAWING ISSUED FOR INFORMATION ONLY.  
 2. SHOWN MLW, MHW, 100-YR FLOODPLAIN AND HTL ARE APPROXIMATE AND NOT BASED ON SURVEY. SHOWN PROFILE OF THESE DATUMS MAY NOT BE ACCURATE.  
 3. SHOWN SHORELINE LAYOUT IS NOT BASED ON SURVEY AND IS APPROXIMATE. SHOWN SHORELINE IS BASED ON ROUGH FIELD MEASUREMENTS.  
 4. SHOWN WETLAND BOUNDARIES, 100-FT RESOURCE PROTECTION BUFFER, 100-YR FLOODPLAIN, WETLAND BOARD JURISDICTIONAL BOUNDARY, TREE LOCATIONS AND PROPERTY LINES ARE APPROXIMATE AND ARE BASED ON INFORMATION PROVIDED BY RAMBOLL AMERICAS ENGINEERING SOLUTIONS, INC., FIELD OBSERVATIONS AND BEST FIT USING HISTORICAL DRAWINGS.  
 5. PORTION OF PROPOSED SHORELINE PROTECTION ARE WITHIN THE 100-YEAR FLOODPLAIN.

**ANCHOR CONSULTANTS, LLC**  
 1100 CHAMBERS FORD PA 19017  
 (717) 465-1500 FAX (717) 465-2001  
 PROJECT NO.: APPROXIMATE  
 DRAWN BY: ENV DATE: 11-09-20

PROJECT LOCATION:	VIRGINIA BEACH
DRAWN BY:	ENV
DATE:	11-09-20
CHECKED BY:	AM
DATE:	11-09-20
APPROVED BY:	AM
DATE:	11-09-20
SCALE:	AS NOTED

1900S BE-10, WEST  
 San Antonio, Texas 78257  
 Tel: (210) 818-2000  
 1-800-868-9000

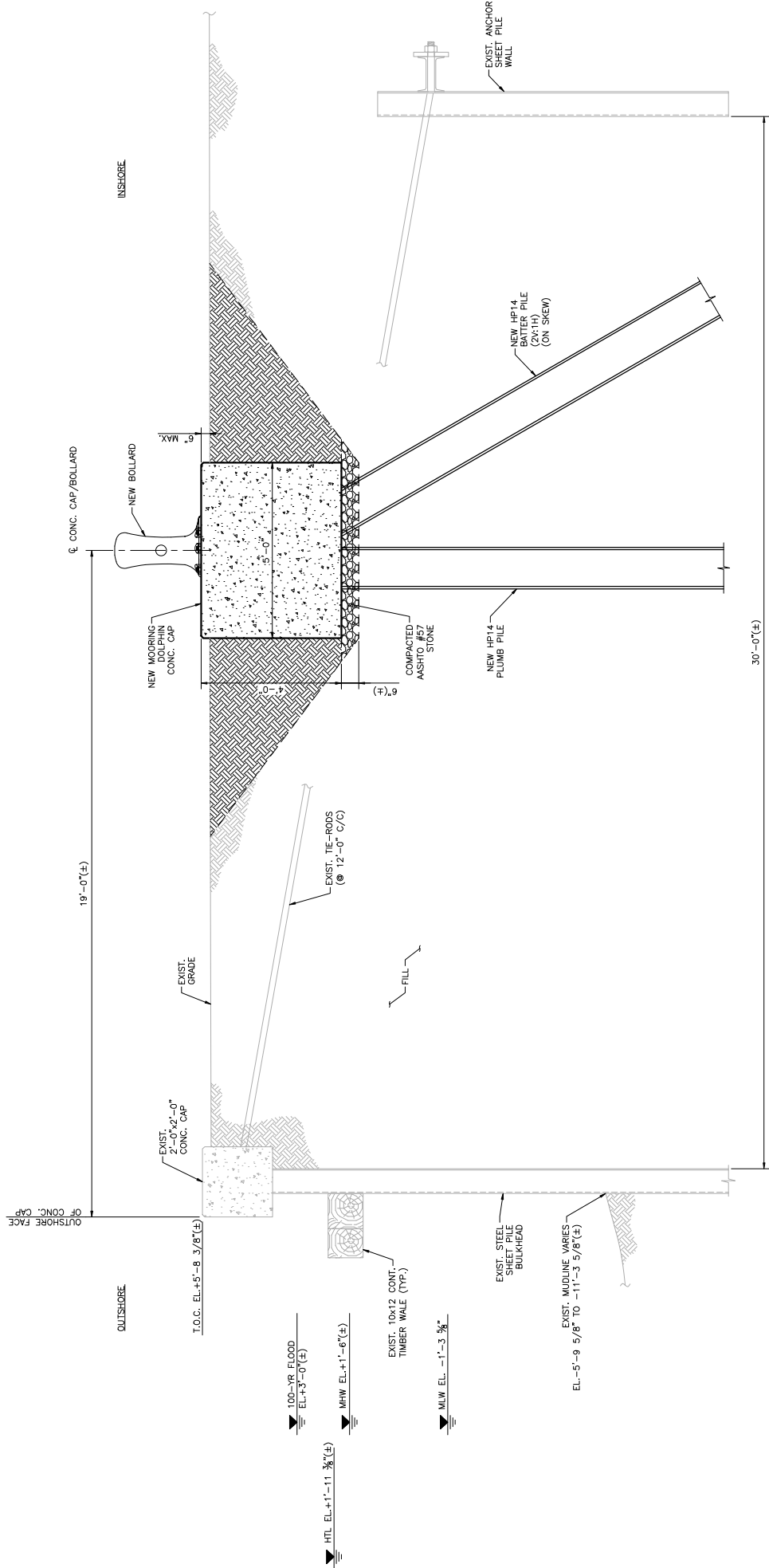
**Mustar**  
 Energy L.P.

NO.	DATE	BY	REVISION
A	01-25-21	AM	AS NOTED
B	3-15-21	AM	AS NOTED
C	11-09-20	AM	AS NOTED

**AMERICAN INDIAN ARCHITECTURE**  
 ARCHITECTS

REVISIONS TABLE

1. CONTRACT NO. 1900S BE-10, WEST SAN ANTONIO, TEXAS  
 2. CONTRACT NO. 1900S BE-10, WEST SAN ANTONIO, TEXAS



**A BULKHEAD - SECTION**  
 S-3|S-4 SCALE: 3/4" = 1'-0"

**LEGEND:**  
 ——— EXIST.  
 ——— PROPOSED

**NOTES:**

- DRAWING ISSUED FOR INFORMATION ONLY.
- SHOWN TIDAL RANGE IS BASED ON INFORMATION PROVIDED BY CITY OF VIRGINIA BEACH PLANNING & COMMUNITY DEVELOPMENT WATERFRONT OPERATIONS OFFICE.
- SHOWN GRADE AND MUDLINE ELEVATIONS ARE IN NAVD'88 DATUM. ELEVATIONS ARE NOT BASED ON SURVEY, AND ARE APPROXIMATE. SHOWN ELEVATIONS ARE BASED ON LIMITED FIELD MEASUREMENTS.

**REVISIONS:**

NO.	DATE	BY	REVISION
A	11-09-20	AM	ISSUED FOR PERMIT
B	11-09-20	AM	ISSUED FOR INFORMATION



**REFERENCES:**

1. **CONSTRUCTION OF MARSHES AND WETLANDS**

**ANCHOR CONSULTANTS, LLC**  
 10101 CHAMBERS FORD PA 10017  
 (717) 485-1000 FAX: (717) 485-0011  
 DESIGNER: B.B.B. APPROVED: B.B.B.  
 DRAWN BY: B.B.B. DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**SHORELINE PROTECTION**  
**BULKHEAD - SECTION**  
 GENERALLY PROJECT NO.  
 DRAWING NO. S-4

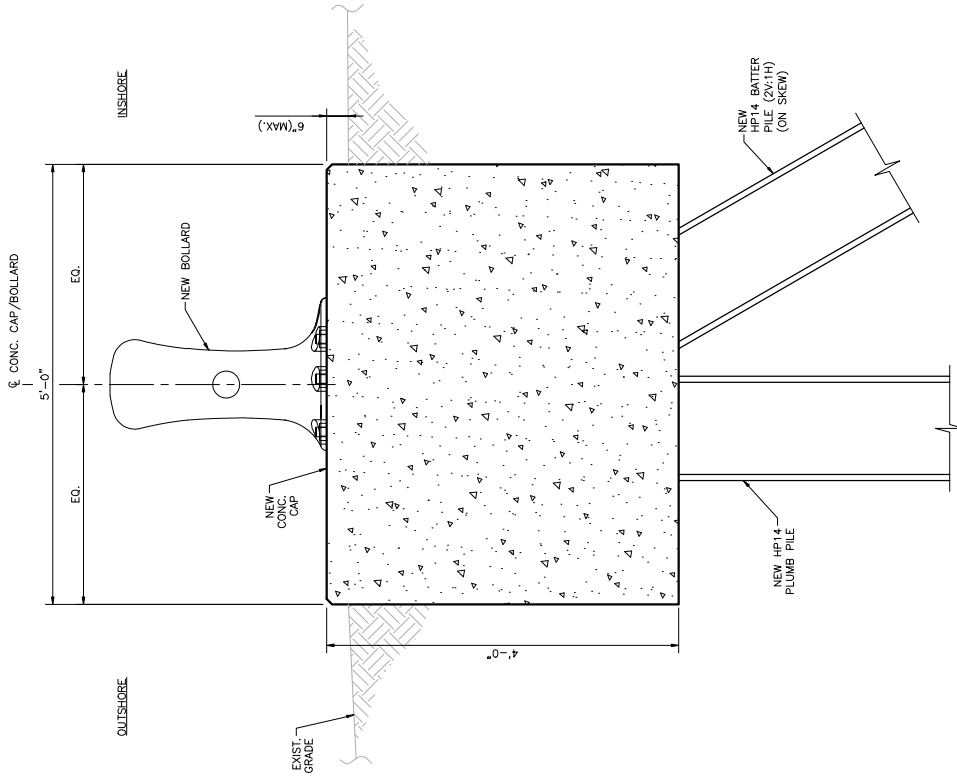
PROJECT LOCATION:	DATE:
VIRGINIA BEACH	11-09-20
DRAWN BY: B.B.B.	11-09-20
CHECKED BY: AM	11-09-20
APPROVED BY: AM	11-09-20
SCALE: AS NOTED	

**Mustar** Energy L.P.  
 19003 RE-10, WEST  
 Sea, Annapolis, Texas 78587  
 Tel: (210) 818-0000  
 1-800-866-0000

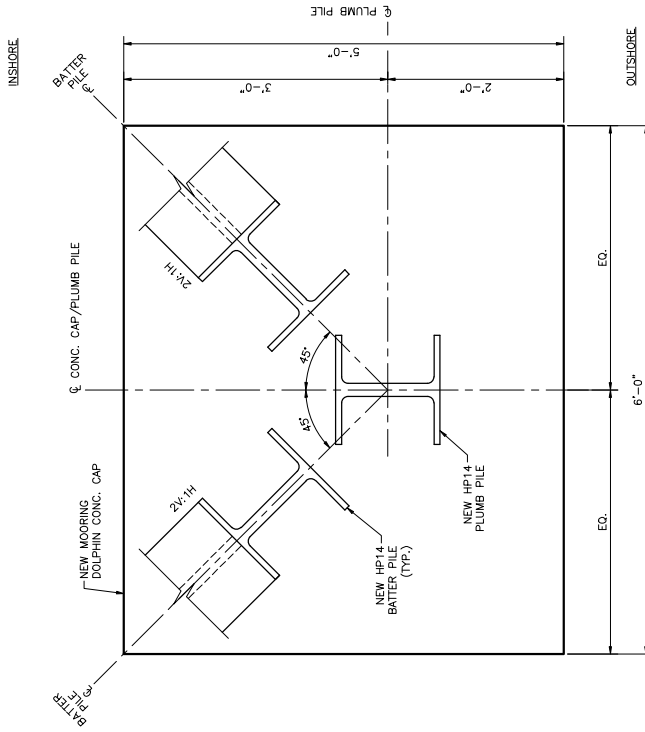
NO.	DATE	BY	REVISION
A	11-09-20	AM	ISSUED FOR PERMIT
B	11-09-20	AM	ISSUED FOR INFORMATION

**ANCHOR CONSULTANTS, LLC**  
 10101 CHAMBERS FORD PA 10017  
 (717) 485-1000 FAX: (717) 485-0011  
 DESIGNER: B.B.B. APPROVED: B.B.B.  
 DRAWN BY: B.B.B. DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**SHORELINE PROTECTION**  
**BULKHEAD - SECTION**  
 GENERALLY PROJECT NO.  
 DRAWING NO. S-4



**NEW MOORING DOLPHING - ELEVATION**  
SCALE: 1/4" = 1'-0"  
(5 PLACES)



**TYP. NEW MOORING DOLPHING - PILE PLAN**  
SCALE: 1-1/2" = 1'-0"  
(PILE LOCATION SHOWN AT BOTTOM OF CONC. CAP)  
(5 PLACES)

**LEGEND:**  
— EXIST.  
— PROPOSED

**NOTES:**

1. DRAWING ISSUED FOR INFORMATION ONLY.

FOR CONTRACTOR USE ONLY. THIS DRAWING IS TO BE USED FOR INFORMATION AND NOT FOR CONSTRUCTION.



**REFERENCES:**

NO.	DESCRIPTION FOR INFORMATION	DATE	BY	APP.
A	ISSUED FOR INFORMATION	11-09-20	AM	AM

**Mustar**  
Energy L.P.  
19008 BE-10, WEST  
Sea, Antonio, Texas 78507  
Tel: (210) 618-0000  
1-800-866-0000

PROJECT LOCATION:	ISSUED DATE:
VIRGINIA BEACH	11-09-20
DRAWN BY: PM	11-09-20
CHECKED: AM	11-09-20
APPROVED: AM	11-09-20
SCALE: AS NOTED	

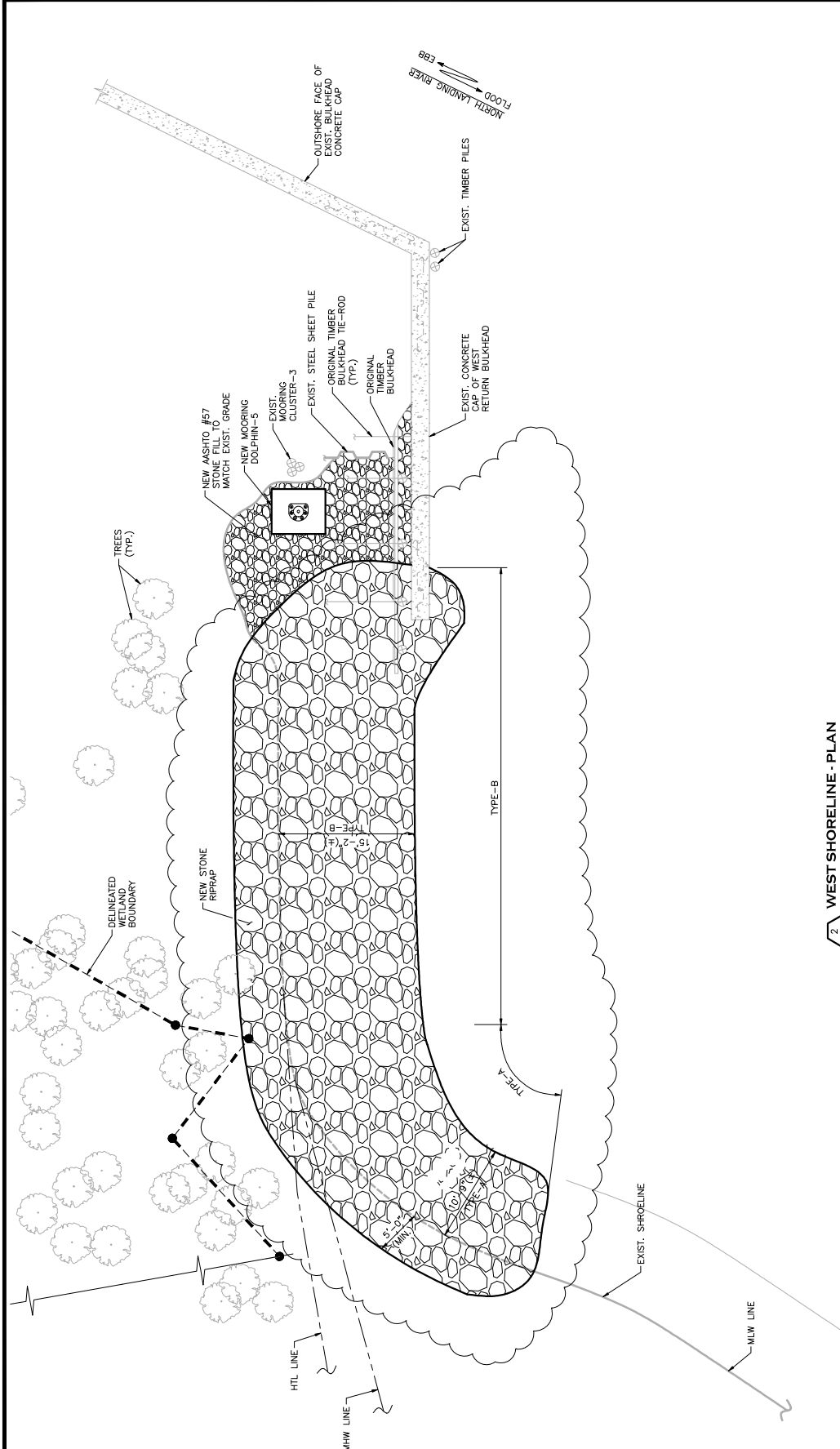


**ANCHOR CONSULTANTS, LLC**  
10010 WILSON ROAD, SUITE 200  
CHARLOTTE, NC 28226  
PHONE: (704) 546-1000 FAX: (704) 546-2001  
DESIGNED BY: APPROVED BY: RN  
DRAWN BY: ENV DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**SHORELINE PROTECTION**  
**NEW MOORING DOLPHIN PLAN & ELEVATION**  
GENERAL CONTRACT NO.  
DRAWING NO: S-5

REV. A



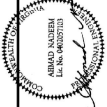


**WEST SHORELINE - PLAN**  
 SCALE: 3/16" = 1'-0"  
 (ROTATED 64± COUNTER-CLOCKWISE)  
 (ALL TOP SIDE FEATURES NOT SHOWN FOR CLARITY)

- LEGEND:**
- EXIST.
  - PROPOSED
  - MLW MEAN LOW WATER
  - MHW MEAN HIGH WATER
  - HTL HIGH TIDE LINE
  - DELINEATED WETLAND BOUNDARY/POINT
  - TREE

- NOTES:**
1. FOR GENERAL NOTES SEE DRAWING S-3.
  2. DRAWING ISSUED FOR INFORMATION ONLY.

FOR INFORMATION ONLY  
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION AND SHALL BE VOID WITHOUT THE SIGNATURE AND SEAL OF THE PROFESSIONAL ENGINEER.



DATE: 11-09-20  
 PROJECT LOCATION: VIRGINIA BEACH  
 DRAWN BY: PNY  
 CHECKED BY: AM  
 APPROVED BY: AM  
 SCALE: AS NOTED

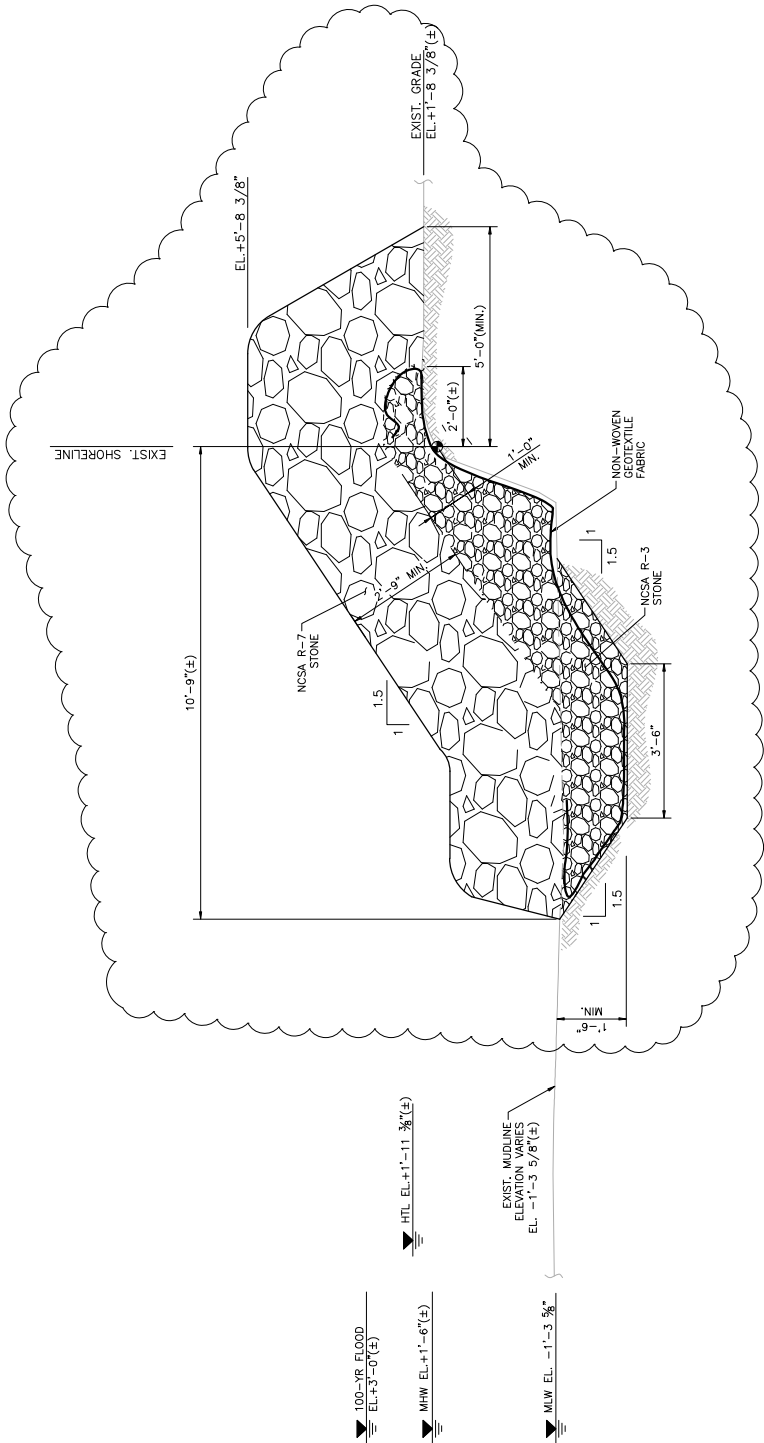
NO.	DATE	BY	REVISION
A	01-25-21	AM	ISSUED FOR INFORMATION
B	05-15-21	AM	ISSUED FOR PERMIT

**Mustar**  
 Energy L.P.  
 19005 RE-10, WEST  
 Sea Annapolis, Texas 78657  
 Tel: (210) 818-2000  
 1-800-866-0000

**ANCHOR CONSULTANTS, LLC**  
 1101 CHAMBERS FORD PA 10817  
 (703) 486-1000 FAX: (703) 486-2001  
 ANCHOR CONSULTANTS, LLC  
 DESIGNER: PNY  
 APPROVED: PNY  
 DRAWN BY: PNY  
 DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA  
 SHORELINE PROTECTION  
 WEST SHORELINE - PLAN**  
 ORIGINAL PROJECT NO.  
 DRAWING NO. S-7





**STONE RIP-RAP REVENTMENT (TYPE-A) - SECTION**  
 (NEAR INSHORE SHORELINE)

SCALE: N.T.S.

**LEGEND:**

- EXIST.
- PROPOSED

**NOTES:**

1. FOR GENERAL NOTES SEE DRAWING S-3 & S-4.
2. DRAWING ISSUED FOR INFORMATION ONLY.
3. SHOWN GRADE AND MIDDLELINE ELEVATIONS ARE IN NADY88 DATUM. ELEVATIONS ARE NOT BASED ON SURVEY, AND ARE APPROXIMATE. SHOWN ELEVATIONS ARE BASED ON LIMITED FIELD MEASUREMENTS.

**REFERENCES:**

1. **CONTRACT NO. 10-00-0000**



ISSUED FOR PERMIT  
 BY: DM  
 DATE: 03-15-21 AM  
 ISSUED FOR INFORMATION  
 BY: FMY  
 DATE: 01-25-21 AM  
 APPROVED  
 BY: [Signature]  
 DATE: 01-25-21 AM

NO.	BY	DATE	APP.
B	DM	03-15-21 AM	AM
A	FMY	01-25-21 AM	AM

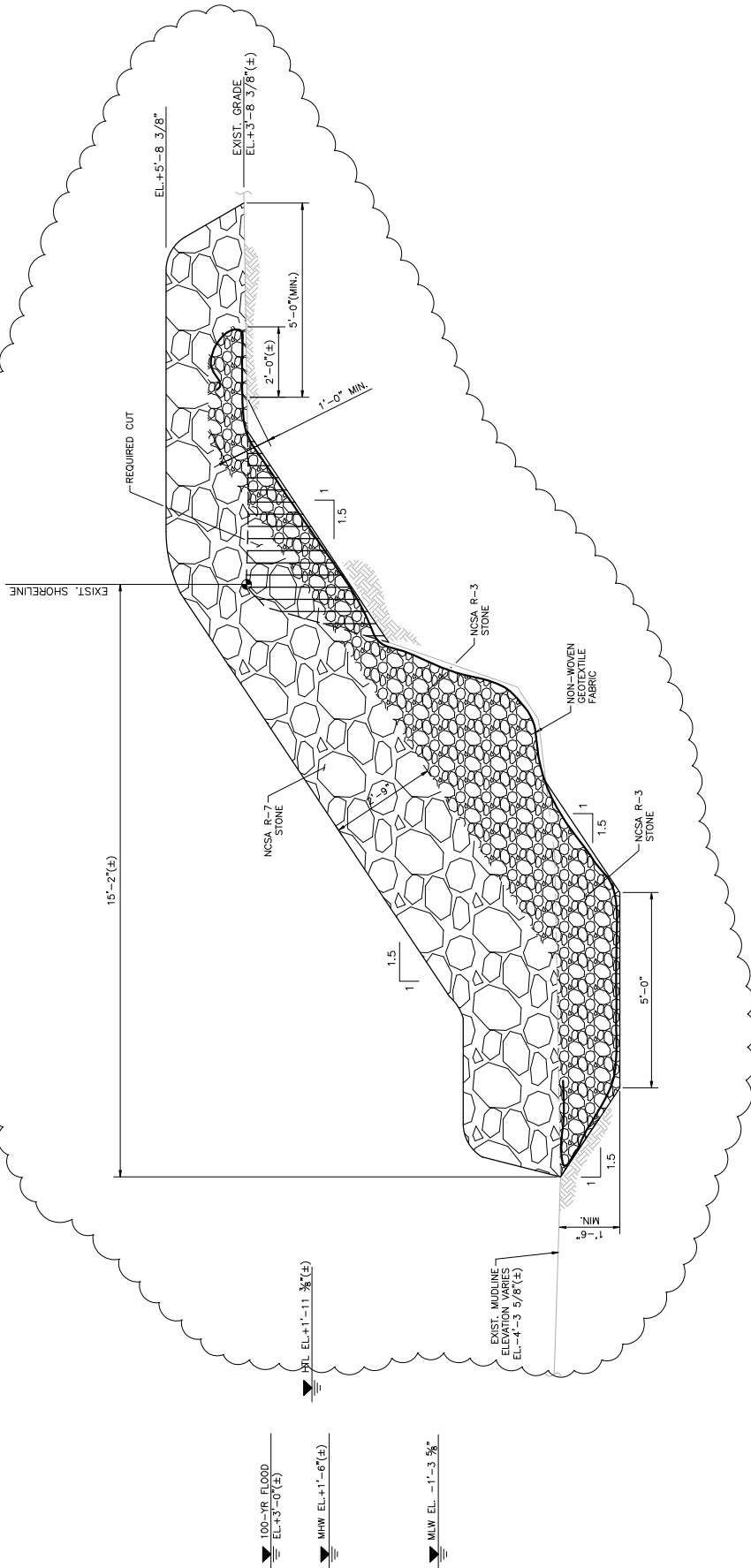
**MUSTAR**  
 Energy L.P.  
 19005 RE-10, WEST  
 San Antonio, Texas 78257  
 Tel: (210) 818-0000  
 1-800-866-0000

PROJECT LOCATION:	DATE:
VIRGINIA BEACH	11-09-20
DRAWN BY: FMY	DATE: 11-09-20
CHECKED: AM	DATE: 11-09-20
APPROVED: AM	DATE: 11-09-20
SCALE: AS NOTED	

**ANCHOR CONSULTANTS, LLC**  
 10000 CHAMBERS FORD PA 19017  
 (610) 486-1000 FAX: (610) 486-2001  
 PROJECT NUMBER: 10-00-0000  
 DESIGNED BY: APPROVED BY: FMY  
 DRAWN BY: FMY DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**RIP-RAP - SECTION (NEAR INSHORE SHORELINE)**  
 GENERAL PROJECT NO.  
 DRAWING NO. S-8





**STONE RIP-RAP REVENTMENT (TYPE-B) - SECTION**  
(NEAR OFFSHORE SHORELINE)

SCALE: N.T.S.

**LEGEND:**

- EXIST.
- PROPOSED

**NOTES:**

1. FOR GENERAL NOTES SEE DRAWING S-3 & S-4.
2. DRAWING ISSUED FOR INFORMATION ONLY.
3. SHOWN GRADE AND MUDLINE ELEVATIONS ARE IN NAVD'88 DATUM. ELEVATIONS ARE NOT BASED ON SURVEY, AND ARE APPROXIMATE. SHOWN ELEVATIONS ARE BASED ON LIMITED FIELD MEASUREMENTS.

**REFERENCES:**

1. **CONTRACT NO. 10-00-0000**



NO.	DATE	BY	REVISION
B	03-15-21	AM	ISSUED FOR PERMIT
A	01-25-21	AM/AN	ISSUED FOR INFORMATION

**19005 BE-10, WEST**  
San Antonio, Texas 78257  
Tel: (210) 616-0000  
1-800-866-0000



PROJECT LOCATION:	DATE:
VIRGINIA BEACH	11-09-20
DRAWN BY: PM	DATE: 11-09-20
CHECKED: AM	DATE: 11-09-20
APPROVED: AM	DATE: 11-09-20
SCALE: AS NOTED	

**ANCHOR CONSULTANTS, LLC**  
1100 CHAMBERS FORD PA 19017  
PH: 610-391-1000 FAX: (610) 645-0011  
ADDRESS: 1100 CHAMBERS FORD PA 19017  
DESIGNED BY: APPROVED BY: PM  
DRAWN BY: PM DATE: 11-09-20

**VIRGINIA BEACH - DOCK AREA**  
**REP-BAP - SECTION (NEAR OFFSHORE SHORELINE)**  
GENERAL PROJECT NO. 10-00-0000  
DRAWING NO. S-9

REV. A





**ATTACHMENT 2 – EROSION AND SEDIMENT CONTROL PLAN  
AND MS-19 NOTES**





Virginia Erosion and Sediment Control Plan Minimum Standards (MS) Checklist August 30, 2013		Describe how MS is addressed on plan
YES	N/A	4VAC50-30-40 Minimum Standards
X		<p><b>MS1:</b> Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.</p>
X		<p><b>MS2:</b> During construction of the project, soil stock piles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site.</p>
X		<p><b>MS3:</b> A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive and will inhibit erosion.</p>
X		<p><b>MS4:</b> Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-disturbing activity and shall be made functional before upslope land disturbance takes place.</p>
	X	<p><b>MS5:</b> Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.</p>
	X	<p><b>MS6:</b> Sediment traps and sediment basins shall be designed and constructed based upon the total drainage area to be served by the trap or basin. a. The minimum storage capacity of a sediment trap shall be 134 cubic yards per acre of drainage area and the trap shall only control drainage areas less than three acres. b. Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The minimum storage capacity of a sediment basin shall be 134 cubic yards per acre of drainage area. The outfall system shall, at a minimum, maintain the structural integrity of the basin during a 25-year storm of 24-hour duration. Runoff coefficients used in runoff calculations shall correspond to a bare earth condition or those conditions expected to exist while the sediment basin is utilized.</p>
		<p>Temporary and permanent stabilization measures will be applied to denuded areas as necessary and as prescribed.</p>
		<p>Any soil or sediment temporarily stockpiled within the project area will be surrounded by silt fence and/or stabilized with temporary measures.</p>
		<p>Permanent vegetative cover will be established in locations disturbed by construction activities that are to remain vegetated.</p>
		<p>Sediment barriers will be established as described in the ESC plan prior to the start of construction.</p>

Virginia Erosion and Sediment Control Plan Minimum Standards (MS) Checklist August 30, 2013			
YES	N/A	4VAC50-30-40 Minimum Standards	Describe how MS is addressed on plan
X		<b>MS7:</b> Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.	Cut banks will be covered in with a non-woven geotextile fabric and riprap as soon as practicable post excavation
X		<b>MS8:</b> Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.	The specified bypass pumping system will divert concentrated flow around the disturbed area until the area is stabilized.
	X	<b>MS9:</b> Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.	
	X	<b>MS10:</b> All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.	
	X	<b>MS11:</b> Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.	
X		<b>MS12:</b> When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodable material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodable cover materials.	Precautions will be taken for work in live water course. Required bank excavation will be minimized. Silt curtain will be placed between the North Landing River and the construction activity. The bypass pumping system will be used for boat ramp construction will be made of non-erodible material and the shoreline will be armored with riprap.
	X	<b>MS13:</b> When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular stream crossing constructed of nonerodable material shall be provided.	
	X	<b>MS14:</b> All applicable federal, state and local chapters pertaining to working in or crossing live watercourses shall be met.	

Virginia Erosion and Sediment Control Plan Minimum Standards (MS) Checklist August 30, 2013		Describe how MS is addressed on plan
YES	N/A	4VAC50-30-40 Minimum Standards
X		<p><b>MS15:</b> The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.</p> <p><b>MS16:</b> Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria: a. No more than 500 linear feet of trench may be opened at one time. b. Excavated material shall be placed on the uphill side of trenches. c. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property. d. Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization. e. Destabilization shall be accomplished in accordance with this chapter. f. Applicable safety chapters shall be complied with.</p>
	X	<p><b>MS17:</b> Where construction vehicle access routes intersect paved or public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking onto the paved surface. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual development lots as well as to larger land disturbing activities.</p>
	X	<p><b>MS18:</b> All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the VESCP authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.</p>
		<p>The primary goal of this bank stabilization project is to stabilize the banks of the North Landing River with riprap to minimize future erosion.</p> <p>The transport of soil/sediment by vehicular tracking will be minimized through installation of a stabilized construction entrance and through visual inspection/cleaning of construction vehicles. Any transported sediment will be removed by shoveling or sweeping prior to street washing.</p> <p>Temporary ESC measures and any accumulated soil/sediment will be removed within 30 days of final site stabilization.</p>

<b>Virginia Erosion and Sediment Control Plan Minimum Standards (MS) Checklist August 30, 2013</b>	
<b>YES</b>	<b>Describe how MS is addressed on plan</b>
<b>N/A</b>	<p style="text-align: center;"><b>4VAC50-30-40 Minimum Standards</b></p> <p><b>MS19:</b> Properties and waterways downstream from development sites shall be protected from sediment deposition, erosion and damage due to increases in volume, velocity and peak flow rate of stormwater runoff for the stated frequency storm of 24-hour duration in accordance with the following standards and criteria. Stream restoration and relocation projects that incorporate natural channel design concepts are not man-made channels and shall be exempt from any flow rate capacity and velocity requirements for natural or man-made channels: a. Concentrated stormwater runoff leaving a development site shall be discharged directly into an adequate natural or man-made receiving channel, pipe or storm sewer system. For those sites where runoff is discharged into a pipe or pipe system, downstream stability analyses at the outfall of the pipe or pipe system shall be performed. b. Adequacy of all channels and pipes shall be verified in the following manner: 1) The applicant shall demonstrate that the total drainage area to the point of analysis within the channel is one hundred times greater than the contributing drainage area of the project in question; or 2) (a) Natural channels shall be analyzed by the use of a two-year storm to verify that stormwater will not overtop channel banks nor cause erosion of channel bed or banks. (b) All previously constructed man-made channels shall be analyzed by the use of a ten-year storm to verify that stormwater will not overtop its banks and by the use of a two-year storm to demonstrate that stormwater will not cause erosion of channel bed or banks; and (c) Pipes and storm sewer systems shall be analyzed by the use of a ten-year storm to verify that stormwater will be contained within the pipe or system.</p> <p>c. If existing natural receiving channels or previously constructed man-made channels or pipes are not adequate, the applicant shall:</p> <ol style="list-style-type: none"> <li>1) Improve the channels to a condition where a ten-year storm will not overtop the banks and a two-year storm will not cause erosion to channel the bed or banks; or</li> <li>2) Improve the pipe or pipe system to a condition where the ten-year storm is contained</li> </ol>
<b>X</b>	

## **ATTACHMENT 3 – IMPACT SUMMARY PLATE**



C:\Users\kaufmadr\OneDrive - Ramboll\Desktop\1\Ramboll\GIS\Projects\NuStar\MXD\NuStar\_WetlandImpacts.mxd

PROJECT: 1690019476 | DATED: 3/17/2021 | DESIGNER: KAUFMADR



- TEMPORARY VEGETATED WETLAND IMPACTS = 165 SF
- PERMANENT VEGETATED WETLAND IMPACTS = 45 SF
- TEMPORARY NON-VEGETATED WETLAND IMPACTS = 714 SF
- PERMANENT NON-VEGETATED WETLAND IMPACTS = 983 SF
- TEMPORARY SUBAQUEOUS BOTTOM IMPACTS = 16,801 SF
- PERMANENT SUBAQUEOUS BOTTOM IMPACTS = 3,884 SF
- WETLAND BOUNDARY



## WETLAND IMPACT CALCULATIONS

RAMBOLL AMERICAS  
ENGINEERING SOLUTIONS, INC.  
A RAMBOLL COMPANY

**NuStar**  
VIRGINIA BEACH, VIRGINIA




## **ATTACHMENT 4 – PHOTOGRAPHIC LOG**

# PHOTO LOG

## Photographs Supporting the Joint Permit Application for Shoreline Stabilization at NuStar's Virginia Beach Facility

NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no. 1	Date January 11, 2021		
Unnamed, engineered drainage ditch of the east side of the project area. Note the erosion/widening of the mouth of this ditch. Photo facing north.			

NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no. 2	Date January 11, 2021		
Erosion on the eastern shoreline of the NuStar dock area. Photo facing southwest.			



**NuStar Shoreline Stabilization**      **Virginia Beach, VA**      **1690019476**

Photo no.      Date  
3      January 11, 2021

Shoreline erosion on the eastern shoreline of the NuStar dock area. Photo facing east.



**NuStar Shoreline Stabilization**      **Virginia Beach, VA**      **1690019476**


Photo no.      Date  
4      November 18, 2019

Shoreline erosion on the eastern shoreline of the NuStar dock area at low tide. Photo facing north.






NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no.	Date		
5	November 18, 2019		
<p>Closeup of bank erosion on the eastern shoreline of the NuStar dock area at low tide. Photo facing west.</p>			

NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no.	Date		
6	January 11, 2021		
<p>Shoreline erosion on the western shoreline of the NuStar dock area. Note the exposed bulkhead tie-rods and mooring cluster (see arrows). Photo facing west.</p>			



NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no.	Date		
7	January 11, 2021		
<p>Shoreline erosion on the western shoreline of the NuStar dock area. Note the exposed bulkhead tie-rods. Photo facing north.</p>			

NuStar Shoreline Stabilization		Virginia Beach, VA	1690019476
Photo no.	Date		
8	January 11, 2021		
<p>Shoreline erosion on the western shoreline of the NuStar dock area. Photo facing south.</p>			



**NuStar Shoreline Stabilization**      **Virginia Beach, VA**      **1690019476**

Photo no.      Date  
9      November 18, 2019

Shoreline erosion on the eastern shoreline of the NuStar dock area at low tide. Photo facing west.



**NuStar Shoreline Stabilization**      **Virginia Beach, VA**      **1690019476**

Photo no.      Date  
10      March 26, 2019

Erosion caused undermining and collapse and tree fall on the western shoreline of the NuStar dock area. Photo facing south.



## **ATTACHMENT 5 – PREVIOUS PERMIT FOR FACILITY**



Permit # 02-1278



## Commonwealth of Virginia Marine Resources Commission Authorization

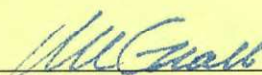
A Permit has been issued to: St Services  
c/o Mr. Ken Seals  
3924 North Landing Road  
Virginia Beach, Virginia 23456

The Permittee is hereby authorized to:

Construct and backfill 230 linear feet of steel, sheetpile bulkheading, aligned a maximum of two feet channelward of the deteriorating structure, at their property situated along the North Landing River in Virginia Beach.

Issuance Date: 8-27-2002

Expiration Date: 8-31-2005

  
\_\_\_\_\_  
Commissioner or Designee

*This Notice Must Be Conspicuously Displayed At Site Of Work*



U.S. Army Corps of Engineers  
Norfolk District, Eastern Virginia Regulatory Section  
803 Front Street  
Norfolk, VA 23510

Project Number: 02-V1278

Waterway: North Landing River

1. Participant:

Mr Ken Seals  
ST Services  
3924 North Landing Rd  
Va BEach, VA 2456

2. Authorized Agent:

Collins Engineers, Inc  
745 Bluecrab Rd, Suite B  
Newport News, Va 23606  
Attn: Mr James R Cavalet, P.E.

3. Address of Job Site:

3924 North Landing Road, Virginia Beach, VA 23456

4. Project Description:

To construct a 230 foot tied steel sheet pile bulkhead with two 44 -foot return walls. Construction to be placed in front of existing timber bulkhead which is deteriorating.

5. Findings

This is regarding your request to perform work in the waters of the United States, as described in part 4 above. This activity has been reviewed and found to satisfy the criteria contained in the Corps Nationwide Permit Number (3), attached. (The Corps Nationwide Permits were published in the Federal Register (67 FR 2020) on January 15, 2002 as corrected by Federal Register (67 FR 6692) on February 13, 2002 and Federal Register (67 FR 8579) on February 25, 2002 and the regulations governing their use can be found in 33 CFR 330 published in Volume 56, Number 226 of the Federal Register dated November 22, 1991.)

Provided the enclosed conditions are met, an individual Department of the Army Permit will not be required. In addition, the Virginia Department of Environmental Quality has provided 401 certification for Nationwide Permit Number (3). However, a permit may be required from the Virginia Marine Resources Commission and/or your local wetlands board, and this verification is not valid until you obtain their approval, if necessary. You may contact the Virginia Marine Resources Commission at (757) 247-2200 for further information concerning their permit requirements.

**This authorization does not relieve your responsibility to comply with local requirements pursuant to the Chesapeake Bay Preservation Act (CBPA), nor does it supersede local government authority and responsibilities pursuant to the Act. You should contact your local government before you begin work to find out how the CBPA applies to your project.**

Enclosed is a "compliance certification" form, which must be signed and returned within 30 days of completion of the project, including any required mitigation (see nationwide permit condition number 14). Your signature on this form certifies that you have completed the work in accordance with the nationwide permit terms and conditions.

This verification is valid for five years from the date of this letter, unless the Norfolk District Engineer uses discretionary authority to modify, suspend or revoke this verification. The Chief of Engineers will periodically review the nationwide permits and their conditions and will decide to either modify, reissue or revoke the permits. These nationwides are scheduled to expire on March 18, 2007. If the nationwide permit(s) verified in this letter are reissued without modification or if your activity complies with any subsequent nationwide permit, the expiration date of this verification will not change. However, if the nationwide permit(s) verified in the letter are modified or revoked so that the activity listed above would no longer be authorized and you have commenced or are under contract to commence the work, you will have twelve months from the date of that permit change to complete the activity. Activities completed under the authorization of a nationwide permit which was in effect at the time the activity was completed continue to be authorized by that nationwide permit. It is your responsibility to remain informed of changes to the nationwide permits. We will issue a special public notice announcing any changes to the nationwide permits when they occur.

6. Corps Contact: Regena Tharp (757) 441-7121

*Nicholas L. Konchuba*

Nicholas L. Konchuba  
Chief, Eastern Virginia Regulatory Section



U.S. Army Corps  
Of Engineers  
Norfolk District

**CERTIFICATE OF COMPLIANCE  
WITH  
ARMY CORPS OF ENGINEERS PERMIT**

Permit Number: 02-V1278  
Corps Contact: Regena Tharp

Name of Permittee: Mr. Ken Seals  
Date of Issuance: 7/15/2002  
Permit Type: NW-3

Within 30 days of completion of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to the following address:

c/o Regulatory Branch  
Norfolk District Corps of Engineers  
803 Front Street  
Norfolk, Va. 23510-1096

Please note that your permitted activity is subject to a compliance inspection by a U.S. Army Corps of Engineers representative. If you fail to comply with this permit you are subject to permit suspension, modification or revocation.

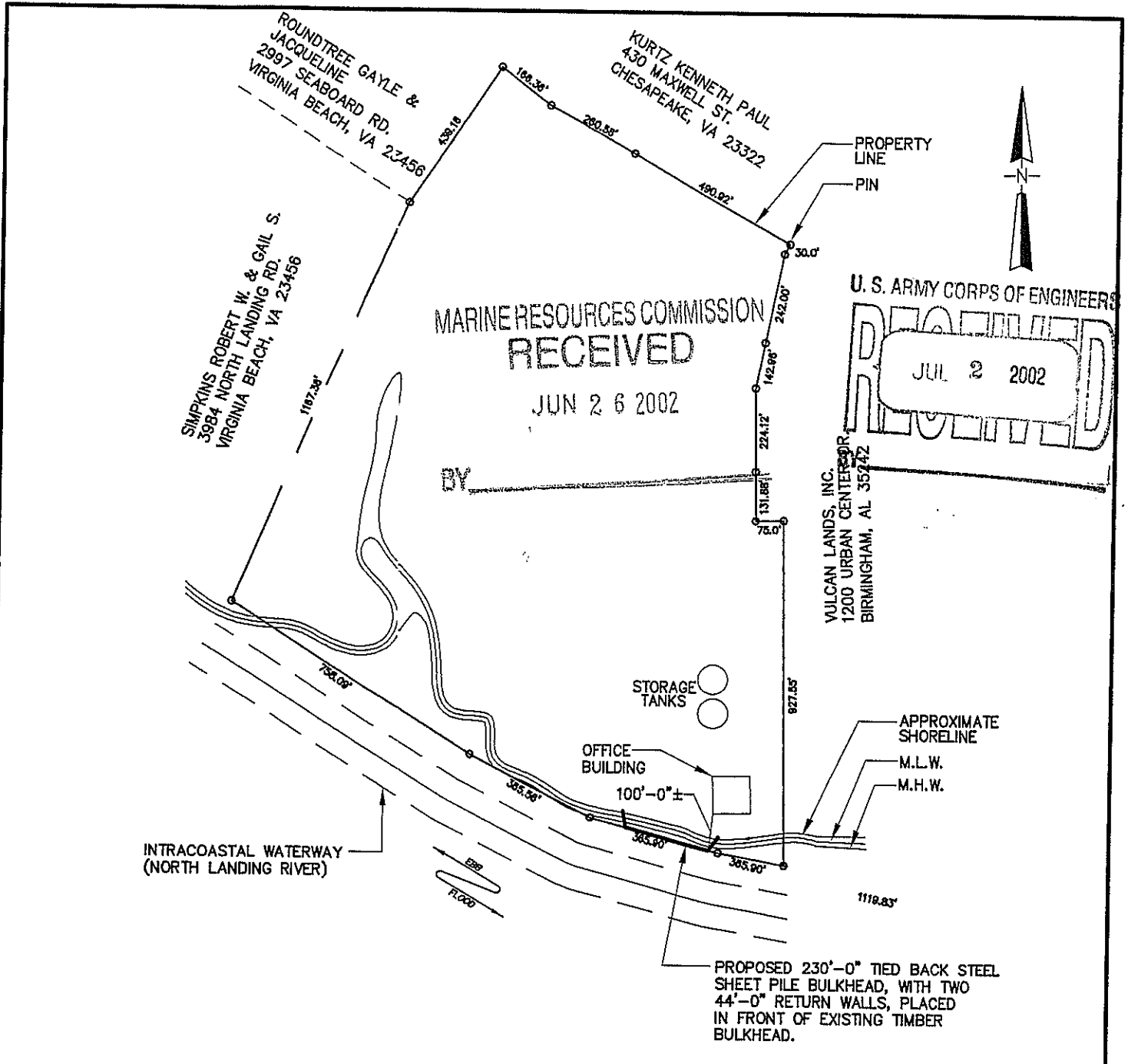
I hereby certify that the work authorized by the above referenced permit has been completed in accordance with the terms and conditions of the said permit, and required mitigation has been completed in accordance with the permit conditions.

---

Signature of Permittee

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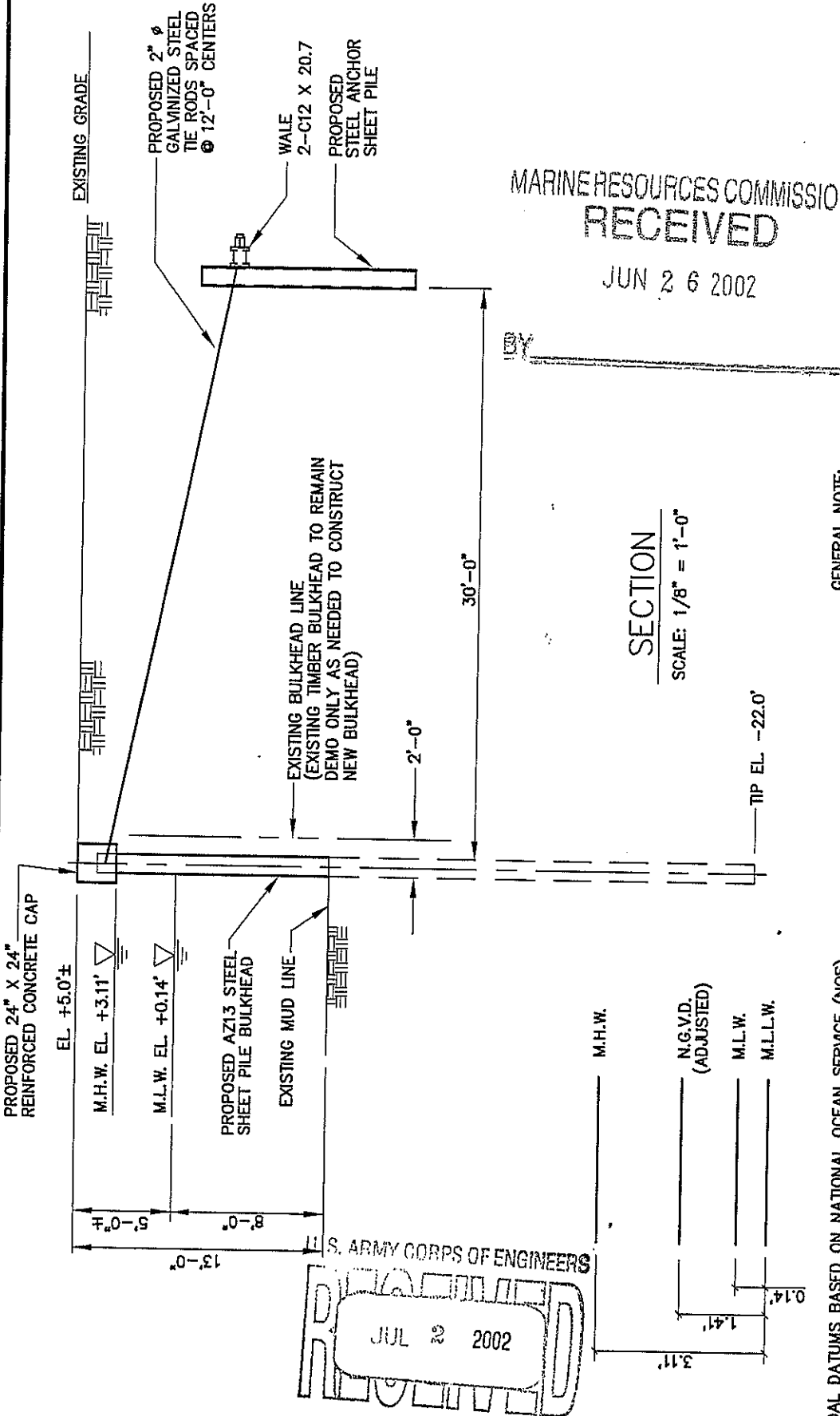
Date



**SITE PLAN**  
SCALE: 1" = 400'-0"

<p>ADJACENT PROPERTY OWNERS:</p> <ol style="list-style-type: none"> <li>1. VULCAN LANDS INC.</li> <li>2. KURTZ, KENNETH PAUL</li> <li>3. ROUNDTREE, GAYLE R. &amp; JACQUELINE</li> <li>4. SIMPKINS, ROBERT W. &amp; GAIL</li> </ol>	<p><b>SITE PLAN</b> <b>ST SERVICES BULKHEAD REPLACEMENT</b> SCALE: 1" = 400'-0" COLLINS ENGINEERS, INC.</p>	<p>PROPOSED BULKHEAD PROJECT IN NORTH LANDING RIVER (INTRACOASTAL WATERWAY) CITY OF VIRGINIA BEACH APPLICANT: ST SERVICES SHEET 2 OF 3     DATE: 6/6/02</p>
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MARINE RESOURCES COMMISSION  
**RECEIVED**  
 JUN 26 2002

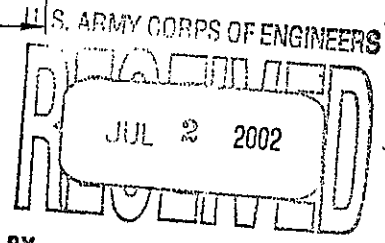


GENERAL NOTE:  
 1. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF THE NEW BULKHEAD PRIOR TO BACKFILLING AND UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.

SECTION  
 SCALE: 1/8" = 1'-0"

TIDAL DATUMS BASED ON NATIONAL OCEAN SERVICE (NOS) OBSERVATIONS AT DEEP CREEK ENTRANCE, SOUTH BRANCH ELIZABETH RIVER.

DIAGRAM OF DATUM PLANE  
 N.T.S.



PROPOSED BULKHEAD PROJECT IN NORTH LANDING RIVER (INTRACOASTAL WATERWAY) CITY OF VIRGINIA BEACH APPLICANT: ST SERVICES SHEET 3 OF 3 DATE: 6/6/02	SECTION ST SERVICES BULKHEAD REPLACEMENT SCALE: 1/8" = 1'-0" COLLINS ENGINEERS, INC.	ADJACENT PROPERTY OWNERS: 1. VULCAN LANDS INC. 2. KURTZ, KENNETH PAUL 3. ROUNDTREE, GAYLE R. & JAQUELINE 4. SIMPKINS, ROBERT W. & GAIL
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## ATTACHMENT 6 – AGENCY RESPONSES

### Partial Summary of Agency Responses

1. VDCR – “do not anticipate that this project will adversely impact these natural heritage resources.”
2. VDHR – “the proposed project will not adversely affect any known architectural or archaeological resource listed in or eligible for listing in the National Register of Historic Places or the Virginia Landmarks Register. No additional study is warranted at this time.”
3. NOAA Fisheries – “based on the activities associated with the project, the location and timing of the project, and information you provided in your email and letter, we believe that these species will not be exposed to any direct or indirect effects of the action.”
4. VaFWIS Database – 663 species within a 3-mile radius of the proposed project. No little brown and tricolored bats within one mile of the proposed project. Closest northern long-eared bat maternity roost is approximately 0.8 miles from the proposed project. Closest bald eagle nest is approximately 1.1 miles from the proposed project. Entire printout not included due to 10 MB size restriction.
5. USFW IPaC Results - The following species are potentially affected by activities in this location: northern long-eared bat and 11 migratory bird species. Printout not included due to 10 MB size restriction.

Matthew J. Strickler  
*Secretary of Natural Resources*

Clyde E. Cristman  
*Director*



**COMMONWEALTH of VIRGINIA**  
DEPARTMENT OF CONSERVATION AND RECREATION

Rochelle Altholz  
*Deputy Director of  
Administration and Finance*

Russell W. Baxter  
*Deputy Director of  
Dam Safety & Floodplain  
Management and Soil & Water  
Conservation*

Nathan Burrell  
*Deputy Director of  
Government and Community Relations*

Thomas L. Smith  
*Deputy Director of  
Operations*

December 11, 2020

Danielle Radomile  
Ramboll  
7 N Morgan Avenue  
Havertown, PA 19083

Re: Planned Waterside Infrastructure Improvements at NuStar's VA Beach Facility

Dear Ms. Radomile:

The Department of Conservation and Recreation's Division of Natural Heritage (DCR) has searched its Biotics Data System for occurrences of natural heritage resources from the area outlined on the submitted map. Natural heritage resources are defined as the habitat of rare, threatened, or endangered plant and animal species, unique or exemplary natural communities, and significant geologic formations.

Biotics documents the presence of natural heritage resources within the project boundary including a 100ft buffer. However, due to the scope of the activity we do not anticipate that this project will adversely impact these natural heritage resources. Please note, predictive models identifying potential habitat for natural heritage resources intersect the project boundary. However, based on DCR biologist's review of the proposed project a survey is not recommended for the resources.

Under a Memorandum of Agreement established between the Virginia Department of Agriculture and Consumer Services (VDACS) and the DCR, DCR represents VDACS in comments regarding potential impacts on state-listed threatened and endangered plant and insect species. The current activity will not affect any documented state-listed plants or insects.

There are no State Natural Area Preserves under DCR's jurisdiction in the project vicinity.

New and updated information is continually added to Biotics. Please re-submit a completed order form and project map for an update on this natural heritage information if the scope of the project changes and/or six months has passed before it is utilized.

A fee of \$90.00 has been assessed for the service of providing this information. Please find attached an invoice for that amount. Please return one copy of the invoice along with your remittance made payable to the Treasurer of Virginia, DCR Finance, 600 East Main Street, 24<sup>th</sup> Floor, Richmond, VA 23219. Payment is due within thirty days of the invoice date. Please note late payment may result in the suspension of project review service for future projects.

600 East Main Street, 24<sup>th</sup> Floor | Richmond, Virginia 23219 | 804-786-6124

*State Parks • Soil and Water Conservation • Outdoor Recreation Planning  
Natural Heritage • Dam Safety and Floodplain Management • Land Conservation*

The Virginia Department of Wildlife Resources (VDWR) maintains a database of wildlife locations, including threatened and endangered species, trout streams, and anadromous fish waters that may contain information not documented in this letter. Their database may be accessed from <https://vafwis.dgif.virginia.gov/fwis/> or contact Ernie Aschenbach at 804-367-2733 or [Ernie.Aschenbach@dwr.virginia.gov](mailto:Ernie.Aschenbach@dwr.virginia.gov).

Should you have any questions or concerns, please contact me at 804-225-2429. Thank you for the opportunity to comment on this project.

Sincerely,

A handwritten signature in cursive script that reads "Tyler Meader".

Tyler Meader  
Natural Heritage Locality Liaison



**From:** [Danielle M Radomile](#)  
**To:** [Lyle Trumbull](#)  
**Subject:** FW: Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility project (DHR File No. 2020-4824) | e-Mail #03834  
**Date:** Thursday, December 17, 2020 9:13:32 AM  
**Attachments:** [image001.png](#)

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This should be the last of the agency responses.

**Danielle Radomile**  
SCIENTIST-1

M 610-331-5194  
[danielle.radomile@ramboll.com](mailto:danielle.radomile@ramboll.com)



**From:** Samantha Henderson <Samantha.Henderson@dhr.virginia.gov>  
**Sent:** Wednesday, December 16, 2020 4:29 PM  
**To:** Danielle M Radomile <Danielle.Radomile@ramboll.com>  
**Subject:** Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility project (DHR File No. 2020-4824) | e-Mail #03834

Dear Ms. Radomile:

The Department of Historic Resources (DHR) has received through our ePIX system the Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility project (DHR File No. 2020-4824) for our review and comment. Our comments are provided as technical assistance in the assessment of potential impacts on historic resources and do not constitute formal State Historic Preservation Office comments under Section 106 of the National Historic Preservation Act, as amended, and its implementing regulations at 36 CFR Part 800. The ePIX application identifies the U.S. Army Corps of Engineers (Corps) as the lead federal agency; however, we have not been notified by the Corps or any other federal agency of their involvement with the project. If a federal agency is involved with this project, then that agency has a responsibility to consult directly with our office provided the project is not excluded from review under the terms of an agreement between DHR and the Corps. We reserve the right to provide additional comments under Section 106, if warranted.

Based on the information provided, it is DHR's opinion that the proposed project will not adversely affect any known architectural or archaeological resource listed in or eligible for listing in the National Register of Historic Places or the Virginia Landmarks Register. No additional study is warranted at this time.

Regards,  
Sam Henderson, Archaeologist  
Division of Review and Compliance  
Phone: (804) 482-6088

**From:** [Danielle M Radomile](#)  
**To:** [Lyle Trumbull](#)  
**Subject:** Fwd: Environmental/Section7 Review - Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility  
**Date:** Monday, November 30, 2020 12:09:29 PM  
**Attachments:** [image001.png](#)

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**From:** Brian D Hopper - NOAA Federal <brian.d.hopper@noaa.gov>  
**Sent:** Thursday, November 12, 2020 12:42:31 PM  
**To:** Danielle M Radomile <Danielle.Radomile@ramboll.com>  
**Cc:** David OBrien - NOAA Federal <david.l.obrien@noaa.gov>  
**Subject:** Re: Environmental/Section7 Review - Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility

Hi Danielle,

Your email and attached letter dated November 11, 2020, regarding the proposed waterside infrastructure improvements at NuStar's Virginia Beach Facility, requested information on the presence of ESA-listed species under our jurisdiction.

Although four species of sea turtles, shortnose sturgeon and Atlantic sturgeon originating from five Distinct Population Segments (DPS) are known to occur in the Chesapeake Bay and its rivers and tributaries, based on the activities associated with the project, the location and timing of the project, and information you provided in your email and letter, we believe that these species will not be exposed to any direct or indirect effects of the action. Therefore, we do not believe a consultation in accordance with section 7 of the Endangered Species Act (ESA) is necessary. As such, no further coordination on this activity with the NMFS Protected Resources Division is necessary at this time. Should there be additional changes to the project plans or new information becomes available that changes the basis for this determination, further coordination should be pursued. Please contact me ([brian.d.hopper@noaa.gov](mailto:brian.d.hopper@noaa.gov)), should you have any questions regarding these comments. If you have any questions about essential fish habitat, please feel free to contact David L. O'Brien in our Habitat Conservation Division's Virginia Field Office ([david.l.obrien@noaa.gov](mailto:david.l.obrien@noaa.gov), 804.684.7828).

Regards,  
-Brian

On Thu, Nov 12, 2020 at 9:09 AM NMFS.GAR ESA.Section7 - NOAA Service Account <[nmfs.gar.esa.section7@noaa.gov](mailto:nmfs.gar.esa.section7@noaa.gov)> wrote:

Incoming Technical Assistance request

----- Forwarded message -----

**From:** **Danielle M Radomile** <[Danielle.Radomile@ramboll.com](mailto:Danielle.Radomile@ramboll.com)>  
**Date:** Wed, Nov 11, 2020 at 8:07 PM  
**Subject:** Environmental/Section7 Review - Planned Waterside Infrastructure Improvements at NuStar's Virginia Beach Facility  
**To:** [nmfs.gar.esa.section7@noaa.gov](mailto:nmfs.gar.esa.section7@noaa.gov) <[nmfs.gar.esa.section7@noaa.gov](mailto:nmfs.gar.esa.section7@noaa.gov)>

Dear Section 7 Reviewer,

Attached for your review, please find a letter of inquiry regarding the planned waterside infrastructure improvements at NuStar's Virginia Beach Facility.

Thank you,

Danielle

**Danielle Radomile**

SCIENTIST-1

004-E&H APPLIED SCIENCE/NRR RES

M 610-331-5194

[danielle.radomile@ramboll.com](mailto:danielle.radomile@ramboll.com)

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Ramboll

751 Arbor Way  
Suite 200  
Blue Bell, PA 19422  
USA

<https://ramboll.com>

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Brian D. Hopper  
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# Virginia Department of Game and Inland Fisheries

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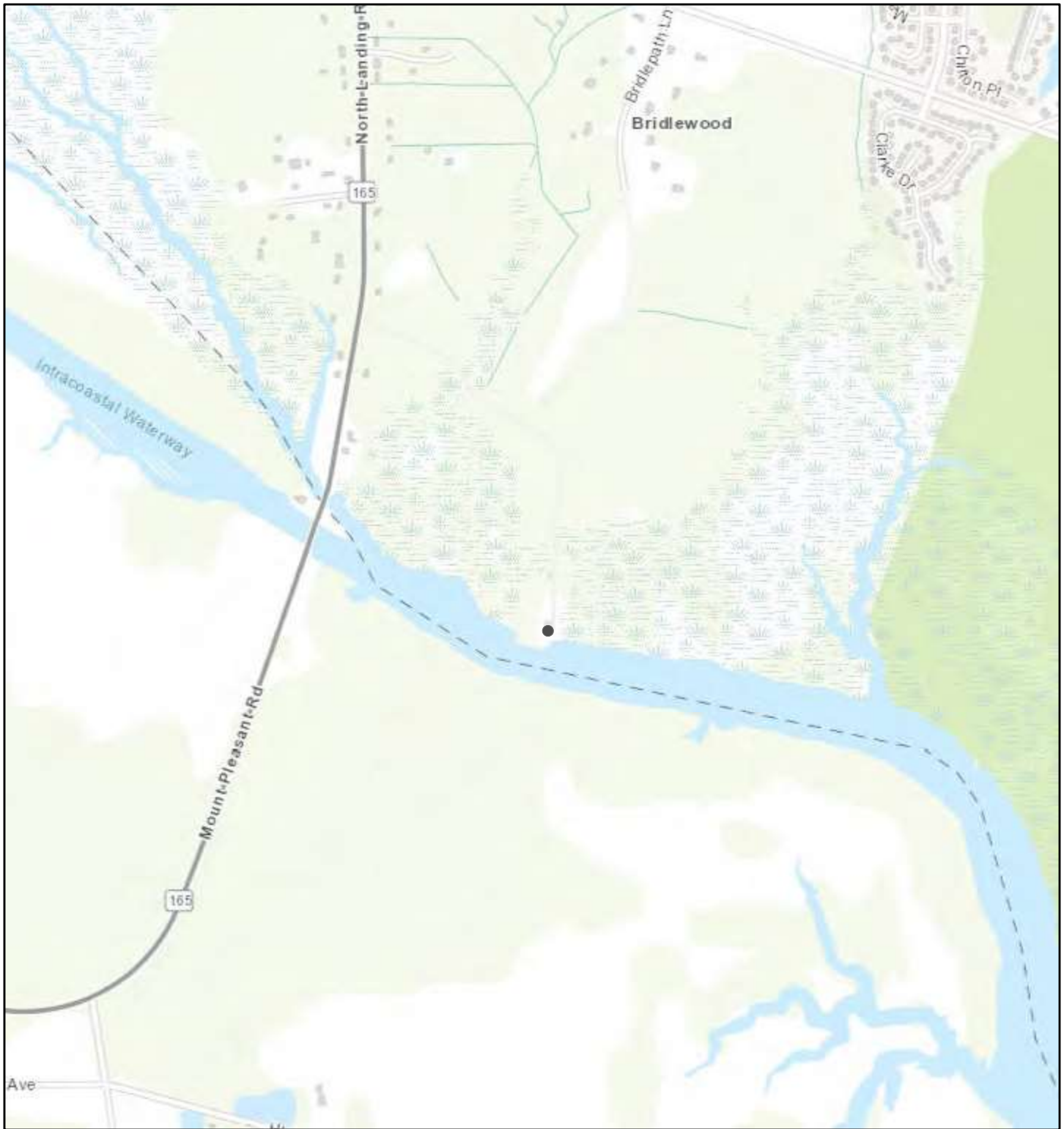
## VaFWIS Search Report Compiled on 11/9/2020, 4:31:50 PM

Known or likely to occur within a **3 mile radius around point 36.7153790 -76.0937525** in **550 Chesapeake City, 810 Virginia Beach City, VA** [View Map of Site Location](#)

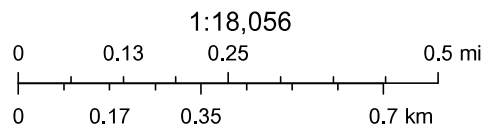
663 Known or Likely Species ordered by Status Concern for Conservation (displaying first 46) (46 species with Status\* or Tier I\*\* or Tier II\*\*)

BOVA Code	Status*	Tier**	Common Name	Scientific Name	Confirmed	Database(s)
010031	FESE	Ia	<a href="#">Sturgeon, shortnose</a>	Acipenser brevirostrum		BOVA
030074	FESE	Ia	<a href="#">Turtle, Kemp's ridley sea</a>	Lepidochelys kempii		BOVA
010032	FESE	Ib	<a href="#">Sturgeon, Atlantic</a>	Acipenser oxyrinchus		BOVA
030075	FESE	Ic	<a href="#">Turtle, leatherback sea</a>	Dermochelys coriacea		BOVA
030073	FESE		<a href="#">Turtle, hawksbill sea</a>	Eretmochelys imbricata		BOVA
040183	FESE		<a href="#">Tern, roseate</a>	Sterna dougallii dougallii		BOVA
030071	FTST	Ia	<a href="#">Turtle, loggerhead sea</a>	Caretta caretta		BOVA
040144	FTST	Ia	<a href="#">Knot, red</a>	Calidris canutus rufa		BOVA,HU6
050022	FTST	Ia	<a href="#">Bat, northern long-eared</a>	Myotis septentrionalis		BOVA
030072	FTST	Ib	<a href="#">Turtle, green sea</a>	Chelonia mydas		BOVA
040120	FTST	Ila	<a href="#">Plover, piping</a>	Charadrius melodus		BOVA
120030	FTSE	IVb	<a href="#">Manatee, West Indian</a>	Trichechus manatus		BOVA
030064	SE	Ia	<a href="#">Turtle, eastern chicken</a>	Deirochelys reticularia reticularia		BOVA
040118	SE	Ia	<a href="#">Plover, Wilson's</a>	Charadrius wilsonia		BOVA
040110	FPSE	Ia	<a href="#">Rail, eastern black</a>	Laterallus jamaicensis jamaicensis		BOVA,HU6
050034	SE	Ia	<a href="#">Bat, Rafinesque's eastern big-eared</a>	Corynorhinus rafinesquii macrotis	Yes	BOVA, SppObs,HU6
050027	SE	Ia	<a href="#">Bat, tri-colored</a>	Perimyotis subflavus		BOVA
030013	SE	Ila	<a href="#">Rattlesnake, canebrake</a>	Crotalus horridus	Yes	BOVA, Habitat, SppObs,HU6
040096	ST	Ia	<a href="#">Falcon, peregrine</a>	Falco peregrinus	Yes	BOVA, SppObs
040293	ST	Ia	<a href="#">Shrike, loggerhead</a>	Lanius ludovicianus		BOVA
040379	ST	Ia	<a href="#">Sparrow, Henslow's</a>	Centronyx henslowii		BOVA,HU6
040179	ST	Ia	<a href="#">Tern, gull-billed</a>	Gelochelidon nilotica		BOVA
020002	ST	Ila	<a href="#">Treefrog, barking</a>	Hyla gratiosa		BOVA
030010	ST	Ila	<a href="#">Lizard, eastern glass</a>	Ophisaurus ventralis		BOVA
040403	ST		<a href="#">Falcon, Arctic peregrine</a>	Falco peregrinus tundrius		BOVA
040292	ST		<a href="#">Shrike, migrant loggerhead</a>	Lanius ludovicianus migrans		BOVA
030067	CC	Ila	<a href="#">Terrapin, northern diamond-backed</a>	Malaclemys terrapin terrapin	Potential	BOVA, Habitat, HU6
030063	CC	IIla	<a href="#">Turtle, spotted</a>	Clemmys guttata		BOVA,HU6
030031	CC	IIlc	<a href="#">Kingsnake, scarlet</a>	Lampropeltis elapsoides		BOVA
040092		Ia	<a href="#">Eagle, golden</a>	Aquila chrysaetos		BOVA
040040		Ia	<a href="#">Ibis, glossy</a>	Plegadis falcinellus		BOVA,HU6
040213		Ic	<a href="#">Owl, northern saw-whet</a>	Aegolius acadicus		BOVA,HU6

# Little Brown Bats and Tricolored Bats

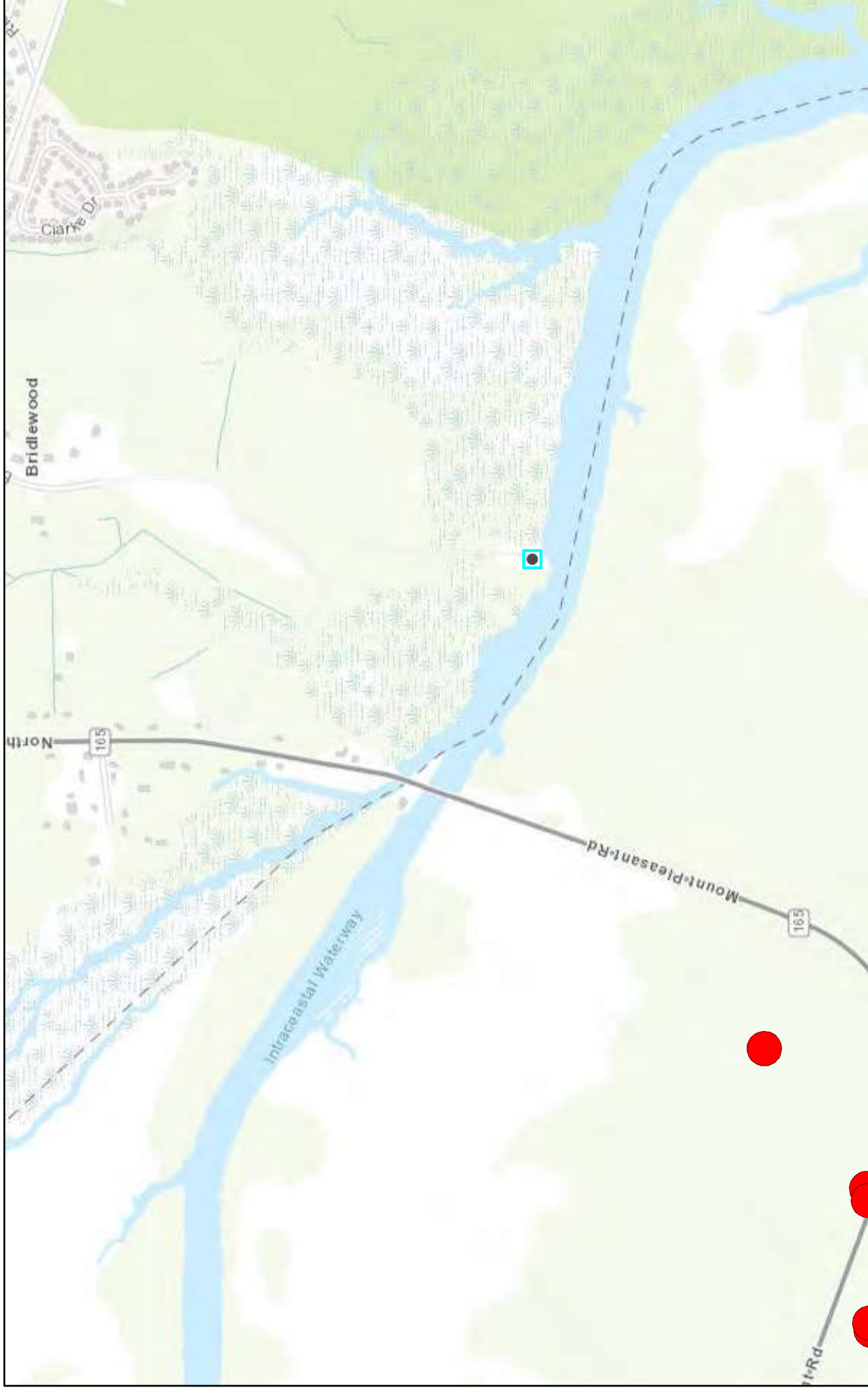


11/11/2020, 7:35:51 PM



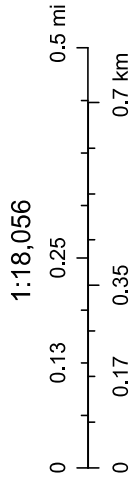
City of Chesapeake, City of Virginia Beach, VITA, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA, EPA, USDA

# NLEB Locations and Roost Trees



11/11/2020, 7:32:36 PM

■ NLEB Known Occupied Maternity Roost (Summer Habitat)





The CENTER for  
CONSERVATION  
BIOLOGY

# CCB Mapping Portal



**Layers:** VA Eagle Nest Locator, VA Eagle Nest Buffers, Eagle Roosts, Eagle Roost Polygons, Eagle Roost Buffers, Eagle Roosts by Topoquad

**Map Center [longitude, latitude]:** [-76.09148025512695, 36.70228331128992]

**Map Link:**

[https://ccbbirds.org/maps/#layer=VA+Eagle+Nest+Locator&layer=VA+Eagle+Nest+Buffers&layer=Eagle+Roosts&layer=Eagle+Roost+Polygons&layer=Eagle+Roost+Buffers&layer=Eagle+Roosts+by+Topoquad&zoom=13&lat=36.70228331128992&lng=-76.09148025512695&legend=legend\\_tab\\_ae5abd72-c07e-11e5-bfe6-0ecd1babdde5&base=World+Imagery+%28ESRI%29](https://ccbbirds.org/maps/#layer=VA+Eagle+Nest+Locator&layer=VA+Eagle+Nest+Buffers&layer=Eagle+Roosts&layer=Eagle+Roost+Polygons&layer=Eagle+Roost+Buffers&layer=Eagle+Roosts+by+Topoquad&zoom=13&lat=36.70228331128992&lng=-76.09148025512695&legend=legend_tab_ae5abd72-c07e-11e5-bfe6-0ecd1babdde5&base=World+Imagery+%28ESRI%29)

**Report Generated On:** 11/11/2020

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## ATTACHMENT 7 – WETLAND DELINEATION REPORT



# MEMO

Project name **NuStar: VA Beach Environmental Permitting Services**  
 Project no. **1690019476**  
 Client **NuStar Terminals Ops Partnership LP**  
 Memo no. **1**  
 Version **1**  
 To **File**  
 From **Danielle Radomile**  
 Copy to **Laura George , V. Lyle Trumbull, Christopher J. Kriegner**

Prepared by **Danielle M. Radomile**  
 Checked by **V. Lyle Trumbull**

## 1 Project Background and Purpose

January 11, 2021

This memorandum presents the findings of a wetland delineation completed by Ramboll in connection with planned waterside infrastructure improvements at the NuStar Virginia Beach Facility (Site) located at 3924 North Landing Road in Virginia Beach, Virginia (Figure 1). The Site receives shipments of petroleum products via tug-driven barge on a regular basis. Significant erosion has occurred along the shoreline at the Site and the surrounding area, which has begun to compromise the integrity of Site infrastructure (i.e., dock and associated appurtenances). The erosion and shoreline instability have caused large trees to fall which has further damaged the dock and transfer piping. The planned improvements are necessary due to the erosion at the dock and surrounding area.

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The project area (Figure 2) was field inspected by a Ramboll wetland scientist on November 17, 2020 for potential wetland features, as regulated by the U.S Army Corps of Engineers (USACE) and/or the Commonwealth of Virginia. The planned work is located along the existing waterside terminal and includes shoreline stabilization measures and the replacement of four land-side mooring dolphins. The goals of the project include eliminating further erosion of the shoreline and loss of land at the dock, minimizing the potential for windthrow, and avoiding further undermining of existing infrastructure (e.g., dock, sheet pile wall). The project area is bound to the south by the North Landing River and bound to the north, east, and west by forested areas.

## 2 Wetland Investigation and Delineation

### 2.1 Methodology

The wetland investigation and delineation was performed pursuant to policy set forth by Section 404 of the Clean Water Act and in accordance with the USACE Wetlands Delineation Manual (USACE 1987; Manual) and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (USACE 2010, Regional Supplement). The USACE and U.S. Environmental Protection Agency (US EPA) jointly define wetlands as those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal



circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions [33 Code of Federal Regulation (CFR) 328.3(b), 40 CFR 230.3(t)]. Environmental criteria for wetlands, as defined by the USACE, include:

- Vegetation: the dominant vegetation is hydrophytic (water tolerant).
- Soil: the soils present have been classified as hydric or possess reducing soil characteristics.
- Hydrology: the area is either permanently or periodically inundated at mean water depths less than or equal to 6.6 feet, or the soil is permanently or periodically saturated to the surface during the growing season.

To make a positive wetland determination, a minimum of one wetland indicator from each criterion (vegetation, soil, and hydrology) must be found. The Routine Determination Method outlined in the USACE Manual was used in conjunction with procedures outlined in the Regional Supplement to assess the presence/absence and bounds of wetlands in the proposed project area.

Routine determinations involve rapidly applied methods that result in sufficient qualitative data for identifying wetland and non-wetland areas. The Routine Determination Method consists of a combination of off-site data review and on-site investigation. Off-site review activities included an evaluation of available information regarding environmental conditions at the project area. On-site activities consist of collecting field data required to identify and delineate wetland boundaries, if present. Field data were gathered at sampling points chosen in lower lying areas to evaluate for the presence of wetland characteristics.

### **2.1.1 DESKTOP REVIEW**

As part of the desktop review the following data/information were reviewed:

- Custom Web Soil Survey obtained from USDA NRCS.  
<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx> (USDA-NRCS 2020).
- National Wetland Inventory (NWI) Maps, as presented in the NWI Wetland Mapper.  
<https://www.fws.gov/wetlands/Data/Mapper.html> (USFWS 2020).
- FEMA Flood Rate Insurance Map (FIRM) for Virginia Beach, VA.  
<https://msc.fema.gov/portal/search#searchresultsanchor> (FEMA 2020).

### **Soil Mapping**

According to the Web Soil Survey, there are two mapped soil types at the project area: 1) Nawney silt loam and 2) Udorthents, loamy (Figure 2). Based on information presented in the Web Soil Survey, mapped soils within the project area are assigned a positive hydric soil rating.

### **National Wetlands Inventory Maps**

The USFWS, through its NWI project, has produced a series of topical maps to show wetlands and deep water habitats. Although these maps are helpful in the preliminary identification of wetlands, they do not represent state or federally regulated wetlands. The presence of NWI habitats at the proposed project location was evaluated using data from the USFWS NWI Wetland Mapper. As shown in Figure 3, two NWI wetland habitats were identified within the project area, both classified as freshwater forested/shrub wetlands.

### **Floodplain Mapping**

Based on a review of FEMA floodplain mapping (figure not shown to minimize file size), the project area is within the following two mapped areas:

1. Zone AE: 1-percent annual chance flood, which indicates that portions of the project area are within the 100-year floodplain.



2. Zone X: 0.2-percent annual chance flood hazard, which indicates that portions of the project area are outside the floodplain.

#### **2.1.1.1 On-Site Investigation**

A Ramboll wetland scientist performed a wetland investigation and delineation of the project area on November 17, 2020. On-site activities included the evaluation of vegetative communities, soil substrate, and hydrologic characteristics to identify the presence and bounds of wetland features. Field data were gathered at sampling points chosen in low lying areas (potential wetland areas). Vegetative, soil, and hydrologic conditions were recorded on data forms (Attachment 1), as required for the USACE delineation methodology.

Two freshwater wetlands intersect the project area. The boundaries of both wetlands were delineated, flagged, and recorded using a sub-meter accurate global positioning system (GPS). As seen in Figure 4, Wetland One (SB1-W) is located in the western portion of the project area and Wetland Two (SB2-W) is located in the eastern portion of the project area. The northwest boundary of SB1-W and the northeast boundary of SB2-W both extend beyond the project area; however, the delineation focused solely on areas where these wetland features intersect the project area. Therefore, those portions of SB1-W and SB2-W that extend beyond the project area were not delineated.

#### **Soils**

Soil physical characteristics were evaluated during the investigation by excavating to a depth needed to evaluate potential hydric soil indicators below ground surface (generally 18-inches, unless refusal occurs). Soil color was evaluated using Munsell Soil Color Charts (Munsell 2000). Observed soils within SB1-W and SB2-W exhibited hydric soil characteristics consistent with the S7-Dark Surface soil indicator and, therefore, met the hydric soil criterion per the Manual and Regional Supplement. To demonstrate the bounds of wetland features, two neighboring upland soil borings (SB1-U and SB2-U) were also collected and analyzed for hydric soil characteristics. Neither SB1-U nor SB2-U exhibited hydric soil characteristics. Soil characteristics observed at SB1-W, SB1-U, SB2-W, and SB2-U are summarized on the data forms included as Attachment 1.

#### **Vegetation**

As outlined in the Manual and Regional Supplement, the criterion for wetland vegetation is a dominance of hydrophytic species. Hydrophytic vegetation is present when the plant community is dominated by species that require or can tolerate prolonged inundation or soil saturation during the growing season. A species is considered hydrophytic if it is classified, per the National Wetland Plant List (Lichvar et. al 2016), as obligate, facultative wet, or facultative.

In accordance with USACE guidance, observations of vegetation focused on dominant vegetative species in five categories: trees (greater than 20-feet tall and minimum 3-inch diameter at breast height [DBH]), saplings (less than 20-feet tall and minimum 3-inch DBH), shrubs (woody plants approximately 3- to 20-feet tall), herbs, and woody vines.

The plant communities observed within both SB1-W and SB2-W are dominated by hydrophytic species. Dominant hydrophytic plant species at SB1-W include sweetgum (*Liquidambar styraciflua*), willow oak (*Quercus phellos*), American holly (*Ilex opaca*), American hornbeam (*Carpinus caroliniana*), and trumpet vine (*Campsis radicans*). Dominant hydrophytic plant species at SB2-W include sweet gum (*Liquidambar styraciflua*), red maple (*Acer rubrum*), common reed (*Phragmites australis*), lizards tail (*Saururus cernuus*), Japanese honeysuckle (*Lonicera japonica*), creeping jenny (*Lysimachia nummularia*), and trumpet vine (*Campsis radicans*). Vegetative characteristics observed at SB1-W and SB2-W are summarized on the data forms included as Attachment 1.



## Hydrology

The project area was examined for field indicators of wetland hydrology. According to the Manual and Regional Supplement, wetland hydrology consists of permanent or periodic inundation, or soil saturation to the surface during the growing season. If these indicators are present within chosen sampling points, the hydrology criterion for wetlands is met. Four primary and one secondary wetland hydrology indicator was observed at both SB1-W and SB2-W; these include surface water, high water table, saturation, water-stained leaves, and drainage patterns. Therefore, the hydrologic criterion outlined by USACE was met. Hydrology characteristics observed at SB1-W and SB2-W are summarized on the data forms included as Attachment 1.

## 3 SUMMARY OF OBSERVED WETLAND AREAS

On November 17, 2020, two freshwater wetlands were delineated at the NuStar Virginia Beach Facility. This delineation effort was performed to determine the presence and boundary of freshwater wetlands within the project area. The northwest boundary of SB1-W and the northeast boundary of SB2-W both extend beyond the project area; therefore, the delineation focused solely on areas where these wetland features intersect the project area.

## 4 References

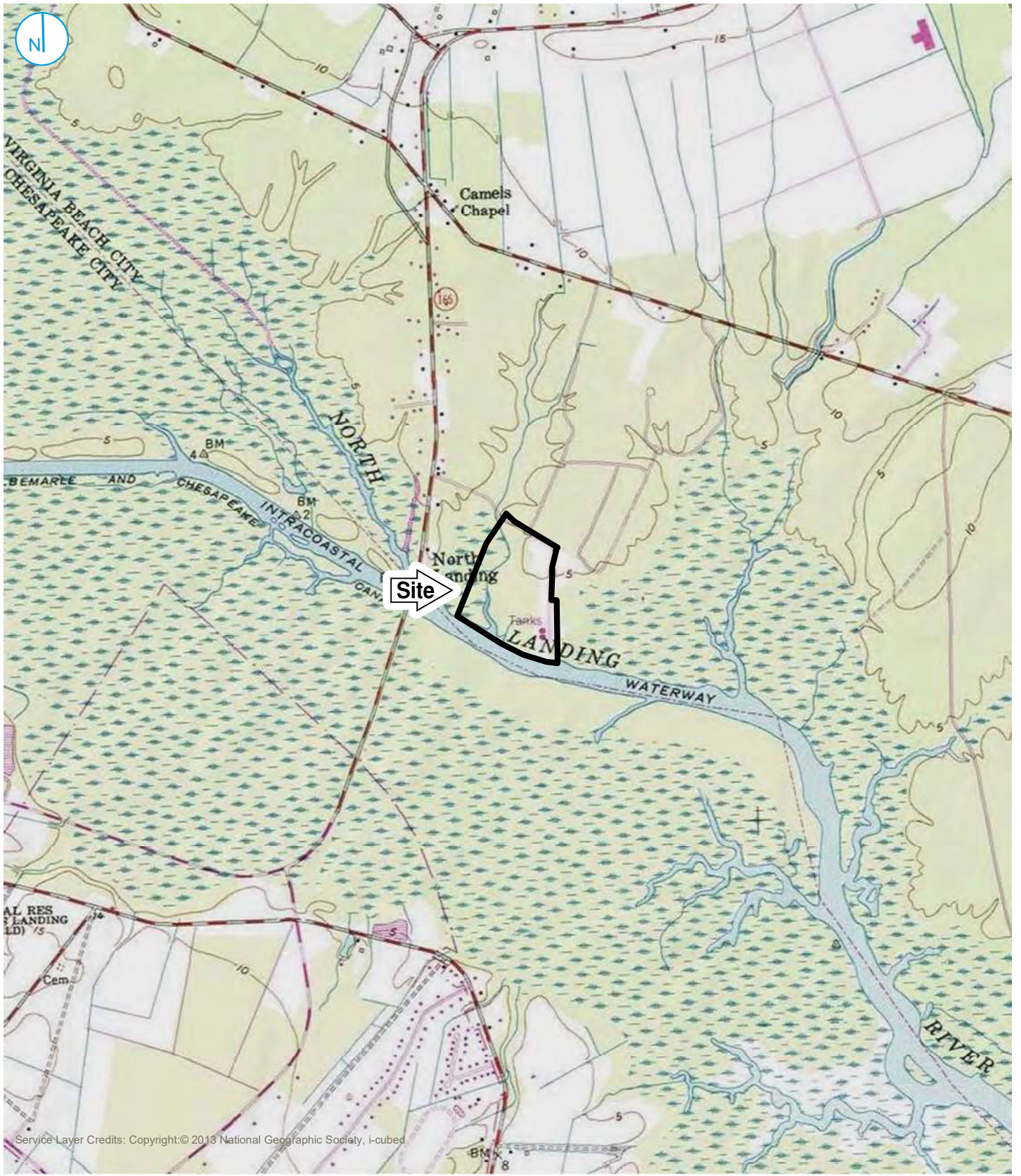
- Lichvar, R.W., M. Butterwick, N.C. Melvin, and W.N. Kirchner. 2016. The National Wetland Plant List: 2016 Wetland Ratings. *Phytoneuron* 2016-30: 1-17.
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- U.S. Fish and Wildlife Service (USFWS). 2020. National Wetlands Inventory. Wetlands Mapper. <http://www.fws.gov/wetlands/Data/Mapper.html>.
- Federal Emergency Management Agency (FEMA) Flood Rate Insurance Map (FIRM) for New Hartford, NY. (2020) <https://msc.fema.gov/portal/home>.



## FIGURES

C:\Users\kaufmadr\OneDrive - Ramboll\Desktop\Ramboll\GIS\Projects\VirginiaBeach\MXD\NuStar\_Figure1\_SiteLocation.mxd

PROJECT: 1690019476 | DATED: 1/10/2021 | DESIGNER: KAUFMADR



Service Layer Credits: Copyright:© 2013 National Geographic Society, i-cubed

Map Scale: 1:24,000 | Map Center: 76°5'43"W 36°43'5"N

### SITE LOCATION WETLAND DELINEATION REPORT

### FIGURE 01



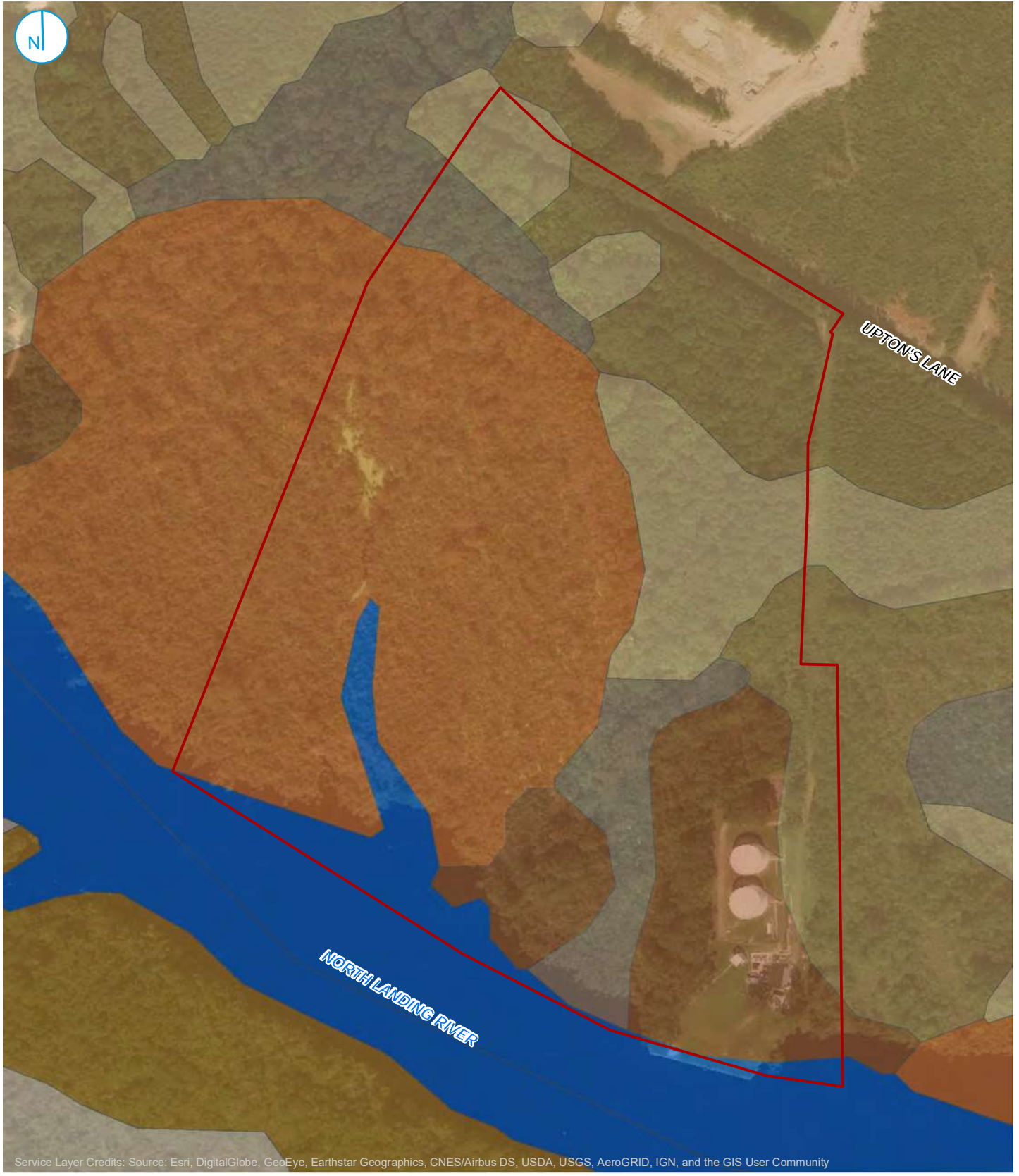
KEY MAP

0 1,000 2,000 Feet

NuStar  
VIRGINIA BEACH, VIRGINIA

RAMBOLL AMERICAS  
ENGINEERING SOLUTIONS, INC.  
A RAMBOLL COMPANY





Service Layer Credits: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

- SITE BOUNDARY
- ACREDALE SILT LOAM
- DOROVAN MUCKY PEAT
- DOROVAN-BELHAVEN COMPLEX,  
0-1% SLOPES, FREQUENTLY FLOODED
- NAWNEY SILT LOAM
- PSAMMENTS, 0-10% SLOPES
- UDORTHENTS, LOAMY
- CHAPANOKE SILT LOAM
- WATER

### SOIL SURVEY (NRCS) WETLAND DELINEATION REPORT

### FIGURE 02



NuStar  
VIRGINIA BEACH, VIRGINIA

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PROJECT: 1690019476 | DATED: 1/10/2021 | DESIGNER: KAUFMADR



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- SITE BOUNDARY
- FRESHWATER FORESTED/  
SHRUB WETLAND
- RIVERINE

## NATIONAL WETLANDS INVENTORY (USFWS) WETLAND DELINEATION REPORT

**FIGURE 03**

RAMBOLL AMERICAS  
ENGINEERING SOLUTIONS, INC.  
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**NuStar**  
VIRGINIA BEACH, VIRGINIA





- SITE BOUNDARY
- WETLAND FLAG
- ▲ SOIL BORING
- WETLAND BOUNDARY (CLOSED)
- - - WETLAND BOUNDARY (OPEN)

0 15 30 Feet

### DELINEATED WETLANDS WETLAND DELINEATION REPORT

NuStar  
VIRGINIA BEACH, VIRGINIA

FIGURE 04

RAMBOLL AMERICAS  
ENGINEERING SOLUTIONS, INC.  
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**ATTACHMENT 1:**

**WETLAND DATA FORMS**

**WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region**

Project/Site: NuStar Virginia Beach City/County: Virginia Beach Sampling Date: 11/17/20  
 Applicant/Owner: NuStar State: VA Sampling Point: SB1-W  
 Investigator(s): Danielle Radomile Section, Township, Range: Virginia Beach County  
 Landform (hillslope, terrace, etc.): Adjacent to river Local relief (concave, convex, none): Concave Slope (%): 0%  
 Subregion (LRR or MLRA): LLR T Lat: 36.715532 Long: -76.094160 Datum: NAD 1983  
 Soil Map Unit Name: 40—Udorthents, loamy NWI classification: PFO4/1R

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain in Remarks.)  
 Are Vegetation  Soil  or Hydrology  significantly disturbed?  Are "Normal Circumstances" present? Yes  No   
 Are Vegetation  Soil  or Hydrology  naturally problematic?  (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

**HYDROLOGY**

<p><b>Wetland Hydrology Indicators:</b></p> <p>Primary Indicators (minimum of one is required; check all that apply)</p> <input checked="" type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Aquatic Fauna (B13) <input checked="" type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Marl Deposits (B15) (LRR U) <input checked="" type="checkbox"/> Saturation (A3) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input checked="" type="checkbox"/> Water-Stained Leaves (B9)	<p>Secondary Indicators (minimum of two required)</p> <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) <input checked="" type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Sphagnum moss (D8) (LRR T, U)
<p><b>Field Observations:</b></p> Surface Water Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>3"</u> Water Table Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>1"</u> Saturation Present? (includes capillary fringe) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>0"</u>	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks: Adjacent to North Landing River	

**VEGETATION (Five Strata) – Use scientific names of plants.**

Sampling Point: SB1-W

	Absolute % Cover	Dominant Species?	Indicator Status	
<u>Tree Stratum</u> (Plot size: _____ )				
1. Willow oak ( <i>Quercus phellos</i> )	12	N	FACW	
2. Sweet gum ( <i>Liquidambar styraciflua</i> )	70	Y	FAC	
3. Loblolly pine ( <i>Pinus taeda</i> )	15	N	FAC	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
	97 = Total Cover			
	50% of total cover: 48.5		20% of total cover: 19.4	
<u>Sapling Stratum</u> (Plot size: _____ )				
1. Willow oak ( <i>Quercus phellos</i> )	50	Y	FACW	
2. Eastern Red Cedar ( <i>Juniperus virginiana</i> )	4	N	FACU	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
	54 = Total Cover			
	50% of total cover: 27		20% of total cover: 10.8	
<u>Shrub Stratum</u> (Plot size: _____ )				
1. American Holly ( <i>Ilex opaca</i> )	2	Y	FAC	
2. American Hornbeam ( <i>Carpinus caroliniana</i> )	4	Y	FAC	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
	6 = Total Cover			
	50% of total cover: 3		20% of total cover: 1.2	
<u>Herb Stratum</u> (Plot size: _____ )				
1. Sedge spp. ( <i>Carex</i> spp.)	80	Y	FAC	
2. Japanese Honeysuckle ( <i>Lonicera japonica</i> )	8	N	FACU	
3. Greenbriar ( <i>Smilax rotundifolia</i> )	4	N	FAC	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
	92 = Total Cover			
	50% of total cover: 46		20% of total cover: 18.4	
<u>Woody Vine Stratum</u> (Plot size: _____ )				
1. Trumpet Vine ( <i>Campsis radicans</i> )	12	Y	FAC	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
	12 = Total Cover			
	50% of total cover: _____		20% of total cover: _____	
<b>Dominance Test worksheet:</b>				
Number of Dominant Species That Are OBL, FACW, or FAC:		6	(A)	
Total Number of Dominant Species Across All Strata:		6	(B)	
Percent of Dominant Species That Are OBL, FACW, or FAC:		100%	(A/B)	
<b>Prevalence Index worksheet:</b>				
Total % Cover of:		Multiply by:		
OBL species	_____	x 1 =	_____	
FACW species	_____	x 2 =	_____	
FAC species	_____	x 3 =	_____	
FACU species	_____	x 4 =	_____	
UPL species	_____	x 5 =	_____	
Column Totals:	_____ (A)	_____ (B)		
Prevalence Index = B/A = _____				
<b>Hydrophytic Vegetation Indicators:</b>				
<input type="checkbox"/>	1 - Rapid Test for Hydrophytic Vegetation			
<input checked="" type="checkbox"/>	2 - Dominance Test is >50%			
<input type="checkbox"/>	3 - Prevalence Index is ≤3.0 <sup>1</sup>			
<input type="checkbox"/>	Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)			
<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
<b>Definitions of Five Vegetation Strata:</b>				
<b>Tree</b> – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH).				
<b>Sapling</b> – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH.				
<b>Shrub</b> – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height.				
<b>Herb</b> – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size, and woody plants, except woody vines, less than approximately 3 ft (1 m) in height.				
<b>Woody vine</b> – All woody vines, regardless of height.				
<b>Hydrophytic Vegetation Present?</b>				
Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	
Remarks: (If observed, list morphological adaptations below).				

**SOIL**

Sampling Point: SB1-W

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0 - 4	7.5 YR 2.5/1	95	10 YR 4/3	5	C	M		Sandy clay loam
4 - 26	10 YR 3/2	100						Silt loam; mucky

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

<sup>2</sup>Location: PL=Pore Lining, M=Matrix.

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

**Indicators for Problematic Hydric Soils<sup>3</sup>:**

- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Organic Bodies (A6) (LRR P, T, U)
- 5 cm Mucky Mineral (A7) (LRR P, T, U)
- Muck Presence (A8) (LRR U)
- 1 cm Muck (A9) (LRR P, T)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Coast Prairie Redox (A16) (MLRA 150A)
- Sandy Mucky Mineral (S1) (LRR O, S)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR P, S, T, U)

- Polyvalue Below Surface (S8) (LRR S, T, U)
- Thin Dark Surface (S9) (LRR S, T, U)
- Loamy Mucky Mineral (F1) (LRR O)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- Marl (F10) (LRR U)
- Depleted Ochric (F11) (MLRA 151)
- Iron-Manganese Masses (F12) (LRR O, P, T)
- Umbric Surface (F13) (LRR P, T, U)
- Delta Ochric (F17) (MLRA 151)
- Reduced Vertic (F18) (MLRA 150A, 150B)
- Piedmont Floodplain Soils (F19) (MLRA 149A)
- Anomalous Bright Loamy Soils (F20) (MLRA 149A, 153C, 153D)

- 1 cm Muck (A9) (LRR O)
- 2 cm Muck (A10) (LRR S)
- Reduced Vertic (F18) (outside MLRA 150A,B)
- Piedmont Floodplain Soils (F19) (LRR P, S, T)
- Anomalous Bright Loamy Soils (F20) (MLRA 153B)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: None  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region**

Project/Site: NuStar Virginia Beach City/County: Virginia Beach Sampling Date: 11/17/20  
 Applicant/Owner: NuStar State: VA Sampling Point: SB2-W  
 Investigator(s): Danielle Radomile Section, Township, Range: Virginia Beach County  
 Landform (hillslope, terrace, etc.): Adjacent to river Local relief (concave, convex, none): Concave Slope (%): 0%  
 Subregion (LRR or MLRA): LLR T Lat: 36.715393 Long: -76.092962 Datum: NAD 1983  
 Soil Map Unit Name: 40—Udorthents, loamy NWI classification: PFO4/SS1R

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain in Remarks.)  
 Are Vegetation  Soil  or Hydrology  significantly disturbed?  Are "Normal Circumstances" present? Yes  No   
 Are Vegetation  Soil  or Hydrology  naturally problematic?  (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

**HYDROLOGY**

<p><b>Wetland Hydrology Indicators:</b></p> <p>Primary Indicators (minimum of one is required; check all that apply)</p> <input checked="" type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Aquatic Fauna (B13) <input checked="" type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Marl Deposits (B15) (LRR U) <input checked="" type="checkbox"/> Saturation (A3) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input checked="" type="checkbox"/> Water-Stained Leaves (B9)	<p>Secondary Indicators (minimum of two required)</p> <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) <input checked="" type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Sphagnum moss (D8) (LRR T, U)
<p><b>Field Observations:</b></p> Surface Water Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>2" - 5"</u> Water Table Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>5"</u> Saturation Present? (includes capillary fringe) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>0"</u>	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks: Adjacent to North Landing River	

**VEGETATION (Five Strata) – Use scientific names of plants.**

Sampling Point: SB2-W

	Absolute % Cover	Dominant Species?	Indicator Status	
<u>Tree Stratum</u> (Plot size: _____)				
1. Sweet gum ( <i>Liquidambar styraciflua</i> )	12	Y	FAC	<b>Dominance Test worksheet:</b> Number of Dominant Species That Are OBL, FACW, or FAC: <u>7</u> (A)  Total Number of Dominant Species Across All Strata: <u>9</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>77.8%</u> (A/B)
2. Red maple ( <i>Acer rubrum</i> )	12	Y	FAC	
3. _____				
4. _____				
5. _____				
6. _____				
24 = Total Cover				
50% of total cover: <u>12</u> 20% of total cover: <u>4.8</u>				
<u>Sapling Stratum</u> (Plot size: _____)				
1. Sweet gum ( <i>Liquidambar styraciflua</i> )	10	Y	FAC	<b>Prevalence Index worksheet:</b> _____ Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A)    _____ (B)  Prevalence Index = B/A = _____
2. _____				
3. _____				
4. _____				
5. _____				
6. _____				
10 = Total Cover				
50% of total cover: _____    20% of total cover: _____				
<u>Shrub Stratum</u> (Plot size: _____)				
1. Common reed ( <i>Phragmites australis</i> )	30	Y	FACW	<b>Hydrophytic Vegetation Indicators:</b> <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
2. _____				
3. _____				
4. _____				
5. _____				
6. _____				
30 = Total Cover				
50% of total cover: _____    20% of total cover: _____				
<u>Herb Stratum</u> (Plot size: _____)				
1. Lizards tail ( <i>Saururus cernuus</i> )	10	Y	OBL	<b>Definitions of Five Vegetation Strata:</b>  <b>Tree</b> – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH).  <b>Sapling</b> – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH.  <b>Shrub</b> – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height.  <b>Herb</b> – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size, and woody plants, except woody vines, less than approximately 3 ft (1 m) in height.  <b>Woody vine</b> – All woody vines, regardless of height.
2. Japanese Honeysuckle ( <i>Lonicera japonica</i> )	7	Y	FACU	
3. Creeping jenny ( <i>Lysimachia nummularia</i> )	12	Y	FACW	
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
11. _____				
29 = Total Cover				
50% of total cover: <u>14.5</u> 20% of total cover: <u>5.8</u>				
<u>Woody Vine Stratum</u> (Plot size: _____)				
1. Trumpet Vine ( <i>Campsis radicans</i> )	10	Y	FAC	<b>Hydrophytic Vegetation Present?</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. Japanese Honeysuckle ( <i>Lonicera japonica</i> )	7	Y	FACU	
3. _____				
4. _____				
5. _____				
17 = Total Cover				
50% of total cover: <u>8.5</u> 20% of total cover: <u>3.4</u>				

Remarks: (If observed, list morphological adaptations below).



**SOIL**

Sampling Point: SB2-W

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0 - 4	7.5 YR 2.5/1	95	10 YR 4/3	5	C	M		Sandy clay loam
4 - 26	10 YR 3/2	100						Silt loam; mucky

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

<sup>2</sup>Location: PL=Pore Lining, M=Matrix.

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

**Indicators for Problematic Hydric Soils<sup>3</sup>:**

- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Organic Bodies (A6) (LRR P, T, U)
- 5 cm Mucky Mineral (A7) (LRR P, T, U)
- Muck Presence (A8) (LRR U)
- 1 cm Muck (A9) (LRR P, T)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Coast Prairie Redox (A16) (MLRA 150A)
- Sandy Mucky Mineral (S1) (LRR O, S)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR P, S, T, U)

- Polyvalue Below Surface (S8) (LRR S, T, U)
- Thin Dark Surface (S9) (LRR S, T, U)
- Loamy Mucky Mineral (F1) (LRR O)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- Marl (F10) (LRR U)
- Depleted Ochric (F11) (MLRA 151)
- Iron-Manganese Masses (F12) (LRR O, P, T)
- Umbric Surface (F13) (LRR P, T, U)
- Delta Ochric (F17) (MLRA 151)
- Reduced Vertic (F18) (MLRA 150A, 150B)
- Piedmont Floodplain Soils (F19) (MLRA 149A)
- Anomalous Bright Loamy Soils (F20) (MLRA 149A, 153C, 153D)

- 1 cm Muck (A9) (LRR O)
- 2 cm Muck (A10) (LRR S)
- Reduced Vertic (F18) (outside MLRA 150A,B)
- Piedmont Floodplain Soils (F19) (LRR P, S, T)
- Anomalous Bright Loamy Soils (F20) (MLRA 153B)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: None  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region**

Project/Site: NuStar Virginia Beach City/County: Virginia Beach Sampling Date: 11/17  
 Applicant/Owner: NuStar State: VA Sampling Point: SB1-U  
 Investigator(s): Danielle Radomile Section, Township, Range: Virginia Beach County  
 Landform (hillslope, terrace, etc.): \_\_\_\_\_ Local relief (concave, convex, none): None Slope (%): 0%  
 Subregion (LRR or MLRA): LLR T Lat: 36.715302 Long: -76.094017 Datum: NAD 1983  
 Soil Map Unit Name: 40—Udorthents, loamy NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain in Remarks.)  
 Are Vegetation  Soil  or Hydrology  significantly disturbed?  Are "Normal Circumstances" present? Yes  No   
 Are Vegetation  Soil  or Hydrology  naturally problematic?  (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks:	

**HYDROLOGY**

<b>Wetland Hydrology Indicators:</b> Primary Indicators (minimum of one is required; check all that apply) <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Marl Deposits (B15) (LRR U) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Water-Stained Leaves (B9)	Secondary Indicators (minimum of two required) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Sphagnum moss (D8) (LRR T, U)
<b>Field Observations:</b> Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Saturation Present? (includes capillary fringe) Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks: Potential historic hydric soil.	

**VEGETATION (Five Strata) – Use scientific names of plants.**

Sampling Point: SB1-U

	Absolute % Cover	Dominant Species?	Indicator Status	
<b>Tree Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Sapling Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Shrub Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Herb Stratum</b> (Plot size: _____ )				
1. <u>Common dandelion (Taraxacum officinale)</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
2. <u>Bedstraw spp. (Galium spp.)</u>	<u>15</u>	<u>N</u>	<u>FAC</u>	
3. <u>Bahiagrass (Paspalum notatum)</u>	<u>90</u>	<u>Y</u>	<u>FACU</u>	
4. <u>Japanese clover (Kummerowia striata)</u>	<u>15</u>	<u>N</u>	<u>FACU</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
				<u>130</u> = Total Cover
				50% of total cover: <u>65</u> 20% of total cover: <u>26</u>
<b>Woody Vine Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
Remarks: (If observed, list morphological adaptations below).				

**Dominance Test worksheet:**

Number of Dominant Species That Are OBL, FACW, or FAC: 0 (A)

Total Number of Dominant Species Across All Strata: 1 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 0% (A/B)

---

**Prevalence Index worksheet:**

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>0</u>	x 2 = <u>0</u>
FAC species <u>15</u>	x 3 = <u>45</u>
FACU species <u>115</u>	x 4 = <u>460</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>130</u> (A)	<u>505</u> (B)

Prevalence Index = B/A = 3.88

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**Hydrophytic Vegetation Indicators:**

1 - Rapid Test for Hydrophytic Vegetation

2 - Dominance Test is >50%

3 - Prevalence Index is ≤3.0<sup>1</sup>

Problematic Hydrophytic Vegetation<sup>1</sup> (Explain)

<sup>1</sup>Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

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**Definitions of Five Vegetation Strata:**

**Tree** – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH).

**Sapling** – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH.

**Shrub** – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height.

**Herb** – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size, and woody plants, except woody vines, less than approximately 3 ft (1 m) in height.

**Woody vine** – All woody vines, regardless of height.

---

**Hydrophytic Vegetation Present?** Yes  No

**SOIL**

Sampling Point: SB1-U

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0 - 12	10 YR 2/2	100						Sandy clay loam
12 - 18	2.5 Y 7/1	90	10 YR 5/6	10	RM	M		Sandy clay loam

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

<sup>2</sup>Location: PL=Pore Lining, M=Matrix.

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

**Indicators for Problematic Hydric Soils<sup>3</sup>:**

- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Organic Bodies (A6) (LRR P, T, U)
- 5 cm Mucky Mineral (A7) (LRR P, T, U)
- Muck Presence (A8) (LRR U)
- 1 cm Muck (A9) (LRR P, T)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Coast Prairie Redox (A16) (MLRA 150A)
- Sandy Mucky Mineral (S1) (LRR O, S)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR P, S, T, U)

- Polyvalue Below Surface (S8) (LRR S, T, U)
- Thin Dark Surface (S9) (LRR S, T, U)
- Loamy Mucky Mineral (F1) (LRR O)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- Marl (F10) (LRR U)
- Depleted Ochric (F11) (MLRA 151)
- Iron-Manganese Masses (F12) (LRR O, P, T)
- Umbric Surface (F13) (LRR P, T, U)
- Delta Ochric (F17) (MLRA 151)
- Reduced Vertic (F18) (MLRA 150A, 150B)
- Piedmont Floodplain Soils (F19) (MLRA 149A)
- Anomalous Bright Loamy Soils (F20) (MLRA 149A, 153C, 153D)

- 1 cm Muck (A9) (LRR O)
- 2 cm Muck (A10) (LRR S)
- Reduced Vertic (F18) (outside MLRA 150A,B)
- Piedmont Floodplain Soils (F19) (LRR P, S, T)
- Anomalous Bright Loamy Soils (F20) (MLRA 153B)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

**WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region**

Project/Site: NuStar Virginia Beach City/County: Virginia Beach Sampling Date: 11/17  
 Applicant/Owner: NuStar State: VA Sampling Point: SB2-U  
 Investigator(s): Danielle Radomile Section, Township, Range: Virginia Beach County  
 Landform (hillslope, terrace, etc.): \_\_\_\_\_ Local relief (concave, convex, none): Convex Slope (%): 0%  
 Subregion (LRR or MLRA): LLR T Lat: 36.715313 Long: -76.093356 Datum: NAD 1983  
 Soil Map Unit Name: 40—Udorthents, loamy NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No  (If no, explain in Remarks.)  
 Are Vegetation  Soil  or Hydrology  significantly disturbed?  Are "Normal Circumstances" present? Yes  No   
 Are Vegetation  Soil  or Hydrology  naturally problematic?  (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks:	

**HYDROLOGY**

<b>Wetland Hydrology Indicators:</b> Primary Indicators (minimum of one is required; check all that apply) <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Marl Deposits (B15) (LRR U) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Water-Stained Leaves (B9)	Secondary Indicators (minimum of two required) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> FAC-Neutral Test (D5) <input type="checkbox"/> Sphagnum moss (D8) (LRR T, U)
<b>Field Observations:</b> Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Saturation Present? (includes capillary fringe) Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks: Potential historic hydric soil.	

**VEGETATION (Five Strata) – Use scientific names of plants.**

Sampling Point: SB2-U

	Absolute % Cover	Dominant Species?	Indicator Status	
<b>Tree Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Sapling Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Shrub Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
<b>Herb Stratum</b> (Plot size: _____ )				
1. <u>Common dandelion (Taraxacum officinale)</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
2. <u>Ground clover (Trifolium repens)</u>	<u>20</u>	<u>N</u>	<u>FACU</u>	
3. <u>Bahiagrass (Paspalum notatum)</u>	<u>80</u>	<u>Y</u>	<u>FACU</u>	
4. <u>Japanese clover (Kummerowia striata)</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
				<u>115</u> = Total Cover
				50% of total cover: <u>57.5</u> 20% of total cover: <u>23</u>
<b>Woody Vine Stratum</b> (Plot size: _____ )				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
				_____ = Total Cover
				50% of total cover: _____ 20% of total cover: _____
Remarks: (If observed, list morphological adaptations below).				

**Dominance Test worksheet:**

Number of Dominant Species That Are OBL, FACW, or FAC: 0 (A)

Total Number of Dominant Species Across All Strata: 1 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 0% (A/B)

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**Prevalence Index worksheet:**

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>0</u>	x 2 = <u>0</u>
FAC species <u>0</u>	x 3 = <u>0</u>
FACU species <u>115</u>	x 4 = <u>460</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>115</u> (A)	<u>460</u> (B)

Prevalence Index = B/A = 4

---

**Hydrophytic Vegetation Indicators:**

1 - Rapid Test for Hydrophytic Vegetation

2 - Dominance Test is >50%

3 - Prevalence Index is ≤3.0<sup>1</sup>

Problematic Hydrophytic Vegetation<sup>1</sup> (Explain)

<sup>1</sup>Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

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**Woody vine** – All woody vines, regardless of height.

---

**Hydrophytic Vegetation Present?** Yes  No

**SOIL**

Sampling Point: SB2-U

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
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<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

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- Black Histic (A3)
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- 5 cm Mucky Mineral (A7) (LRR P, T, U)
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- Thick Dark Surface (A12)
- Coast Prairie Redox (A16) (MLRA 150A)
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- Sandy Redox (S5)
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- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- Marl (F10) (LRR U)
- Depleted Ochric (F11) (MLRA 151)
- Iron-Manganese Masses (F12) (LRR O, P, T)
- Umbric Surface (F13) (LRR P, T, U)
- Delta Ochric (F17) (MLRA 151)
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- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks:

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), GOWDA HOLDINGS LLC, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of NuStar Terminals Operations Partnership, L.P.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 1/25/21 & 3/17/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Gayle R. Roundtree JR Revocable Trust, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of NuStar Terminals Operations Partnership, L.P.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 1/25/21 & 3/15/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM

I (we), Island Marina Properties LLC, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of NuStar Terminals Operations Partnership, L.P.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 1/25/21 & 3/15/21  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

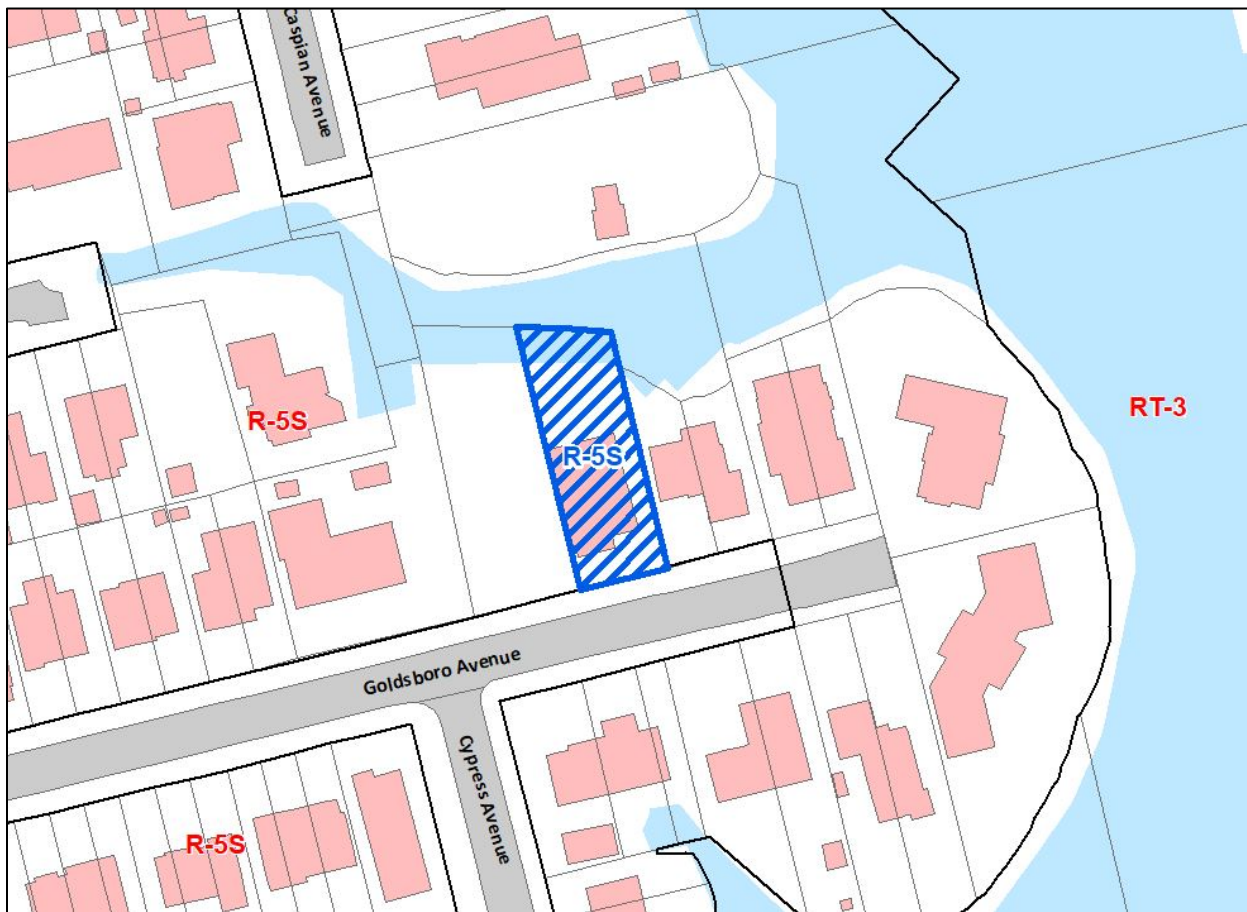
6. 2021-WTRA-00056

Luke Kinser [Applicant/Owner]

**To construct a bulkhead involving wetlands**

617 Goldsboro Ave  
(GPIN 2427-01-6768)

Waterway – Lake Rudee  
Subdivision – Shadowlawn Heights  
Council District – Beach



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## **Applicant Disclosure**

**Applicant Name** LUKE KINSER

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

Calvert Marine

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- If **yes**, list the businesses that have a parent-sub subsidiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> "Parent-sub subsidiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-sub subsidiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If **yes**, identify the financial institutions.

*Wells Fargo - Mortgage*

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

Yes  No

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

McGee Contracting

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

Calvert Marine

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Luke Kinser

Print Name and Title

2-16-21

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

<b>FOR AGENCY USE ONLY</b>	
	Notes:
	JPA # <b>21-0387</b>

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<b><i>Check all that apply</i></b>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> VIRGINIA BEACH				
<b>Waterway at project site:</b> RUDEE INLET				
<b><i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i></b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

Luke Kinser  
617 Goldsboro Avenue  
Virginia Beach, VA 23451

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell (757 ) 636-9936  
e-mail luke@virginiabuilders.com

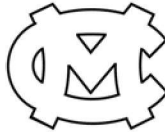
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable):



**CALVERT MARINE**

3132 Riveredge Drive  
Portsmouth 23703-4308

Contact Information:

Home ( ) \_\_\_\_\_  
Work (757 ) 777-6960  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail Rich@CalvertMarine.net

State Corporation Commission Name and ID Number (if applicable) S7252713

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Construct a new vinyl replacement bulkhead 24" in front of the existing bulkhead for a total of 32 LF. Construct 18 LF of replacement bulkhead in the same alignment as the existing bulkhead. Tie into the existing bulkhead at the western property line and install a 18.5 LF return wall on the eastern property line. The new wall shall be a pile supported vinyl bulkhead with timber wales and helical anchor system. Sand Fill from an upland source shall be placed between the two walls in 12" uniform lifts. The Sand fill will be placed on Non-Vegetated Wetlands. There will be 17 CY of Sand Fill total with 12 CY below MHW. No tree removal or grading. Provide a concrete seal at each end of the new wall. There is an approved permit to dredge the canal under separate JPA. The sand placement shall be accessed by land using a designated single access route. All other work to be completed by barge. All denuded and or damaged vegetation shall be replaced in kind. The existing pier shall be removed as required for the construction of the new bulkhead.

All fourteen 10" Bulkhead timber piles shall be driven with a vibratory hammer of suitable size and capacity, as well as the vinyl sheet pilings.



## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project?  Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

McGee Contracting LLC  
5167 Fallsmead Downs  
Virginia Beach, VA 23464

Contact Information:

Home ( ) \_\_\_\_\_  
Work (7575) 636-1663 \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
email steve@mcgeecontracting.com

State Corporation Commission Name and ID Number (if applicable) S3094150

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

Telephone number

(757) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 617 Goldsboro Avenue

Lot/Block/Parcel# SHADOW LAWN HEIGHTS BLK 29 LOT 2A 0.163 AC

Subdivision SHADOW LAWN HEIGHTS

City / County Virginia Beach ZIP Code 23451

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
\_\_\_\_\_ / - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

Primary purpose is to replace the aging, deteriorated bulkhead in preparation for the proposed dredging in the canal, under separate JPA.

## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*  
  
See the enclosed Shoreline Narrative in regards to the design and impacts to the project  
  
There is a loss of 62 SF of Non-Vegetated Wetlands as a result of the project. The compensation for this loss will be through a contribution to an approved fund for the creation of new Wetlands.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 22K \_\_\_\_\_  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 100 \_\_\_\_\_
13. Completion date of the proposed work: MAY \_\_\_\_\_ - 2021
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Jack Stallings Jr.  
611 Goldsboro Avenue  
Virginia Beach, VA 23451

D. R. Bushey  
621 Goldsboro Avenue  
Virginia Beach, VA 23451  
Mailing Address:  
500 N Birdneck Road  
Suite 200  
Virginia Beach, VA 23451

JOSEPH LAMONTAGNE  
203 Caspian Ave.  
Virginia Beach, VA 23451

APO's sent out on 19 FEB 2021 via USPS

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.


**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Luke Kinser

\_\_\_\_\_  
Applicant's Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

  
\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

2-11-21

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Luke Kinser, hereby certify that I (we) have authorized Calvert Marine  
(Applicant's name(s)) (Agent's name(s))  
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and  
any and all standard and special conditions attached.  
We hereby certify that the information submitted in this application is true and accurate to the best of our  
knowledge.



(Agent's Signature)

(Use if more than one agent)

2/10/2021

(Date)



(Applicant's Signature)

(Use if more than one applicant)

2-11-21

(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Luke Kinser, have contracted McGee Contracting  
(Applicant's Name(s)) (Contractor's Name(s))  
to perform the work described in this Joint Permit Application, signed and dated 11 JAN 21.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

McGee Contracting

Contractor's name or name of firm

5167 FALLSMEAD DOWNS


Virginia Beach, VA 23464

Contractor's or firms address

2705 133143

Contractor's signature and title

Contractor's License Number

  
(Applicant's signature)  
2-11-21

(use if more than one applicant)

Date

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Construct a new vinyl replacement bulkhead 24" in front of the existing bulkhead for a total of 32 LF. Construct 18 LF of replacement bulkhead in the same alignment as the existing bulkhead. Tie into the existing bulkhead at the western property line and install a 18.5 LF return wall on the eastern property line. The new wall shall be a pile supported vinyl bulkhead with timber wales and helical anchor system. Sand Fill from an upland source shall be placed between the two walls in 12" uniform lifts. The Sand fill will be placed on Non-Vegetated Wetlands. There will be 17 CY of Sand Fill total with 12 CY below MHW.

No tree removal or grading. Provide a concrete seal at each end of the new wall. There is an approved permit to dredge the canal under separate JPA. The sand placement shall be accessed by land using a designated single access route. All other work to be completed by barge. All denuded and or damaged vegetation shall be replaced in kind.

2. What is the maximum encroachment channelward of mean high water? 2 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach?      feet.

3. Please calculate the square footage of encroachment over:

- Vegetated wetlands 0 square feet
- Non-vegetated wetlands 62 square feet
- Subaqueous bottom 0 square feet
- Dune and/or beach 0 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.



LUKE KINSER  
617 Goldsboro Avenue  
Virginia Beach, VA 23451

#### PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing timber bulkhead 6.0 ft. tall. The Property is on a man-made canal as well as all of the APO's. This is a narrow canal and lacks the room to implement rip rap, grading and or planting. There is an approved JPA for dredging the canal. The existing bulkhead is 25 ft. from the steps to the house. Helical anchors are being used for the new bulkhead anchorage system. Non-Vegetative Wetlands are present in front of the wall.

After review of the property a new replacement bulkhead was found to be a better solution based on the site-specific conditions. Listed below are the reasons that this method was implemented:

1. The removal of the entire bulkhead would greatly impact the property and the canal. It would also be difficult to excavate behind the new wall as required for wall removal.
2. A living shoreline or rip rap would be difficult to transition to the adjacent property that also have existing bulkheads. Return walls would be required at each property line to avoid impacting the APO.
4. Rip Rap would create a navigation hazard for the Owner's recreational boating and rip rap may be subject to undercutting when the proposed dredging occurs. The edge of the new channel is approximately 22 feet from the existing bulkhead.
5. Planting would be subject to boat traffic which has been shown to heavily impact Living Shorelines.

The Owner has also chosen to use a vinyl wall with helical anchors for a longer life span.

**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 617 Goldsboro Avenue

APPLICANT'S NAME: Luke Kinser

APPLICANT'S ADDRESS: 617 Goldsboro Avenue

Virginia Beach, VA 23451

ENGINEER OF RECORD: Walter T. McKenna II P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

*Walter McKenna*

2/9/2021

SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

DATE

Walter T. McKenna II P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

*[Signature]*

2-11-21

SIGNATURE OF APPLICANT'S

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)





**PROPERTY MAP**

**STREET MAP**

**NEW REPLACEMENT BULKHEAD**

617 Goldsboro Avenue  
 Virginia Beach, VA 23451

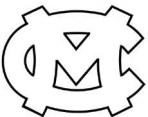
LEGAL: SHADOW LAWN HEIGHTS BLK 29 LOT 2A 0.163 AC

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.



REV: 3/11/21

NO SCALE ⚙️ DATUM: MLW = -0.15' MHW = +3.39'

 <p><b>CALVERT MARINE</b>        Marine and Environmental Permits</p>	<p align="center"><b>VICINITY MAP</b></p> <p>Adjacent Property Owners:        1. D.R. BUSHEY        2. JACK STALLINGS JR.        3. J. LAMONTAGUE</p>	<p><i>Proposed: Replacement Bulkhead in: Lake Rudee at: 617 GOLDSBORO AVE County of: Virginia Beach Applicant: LUKE KINSER Sheet: 1 of 6 Date: 11 JAN 21</i></p>
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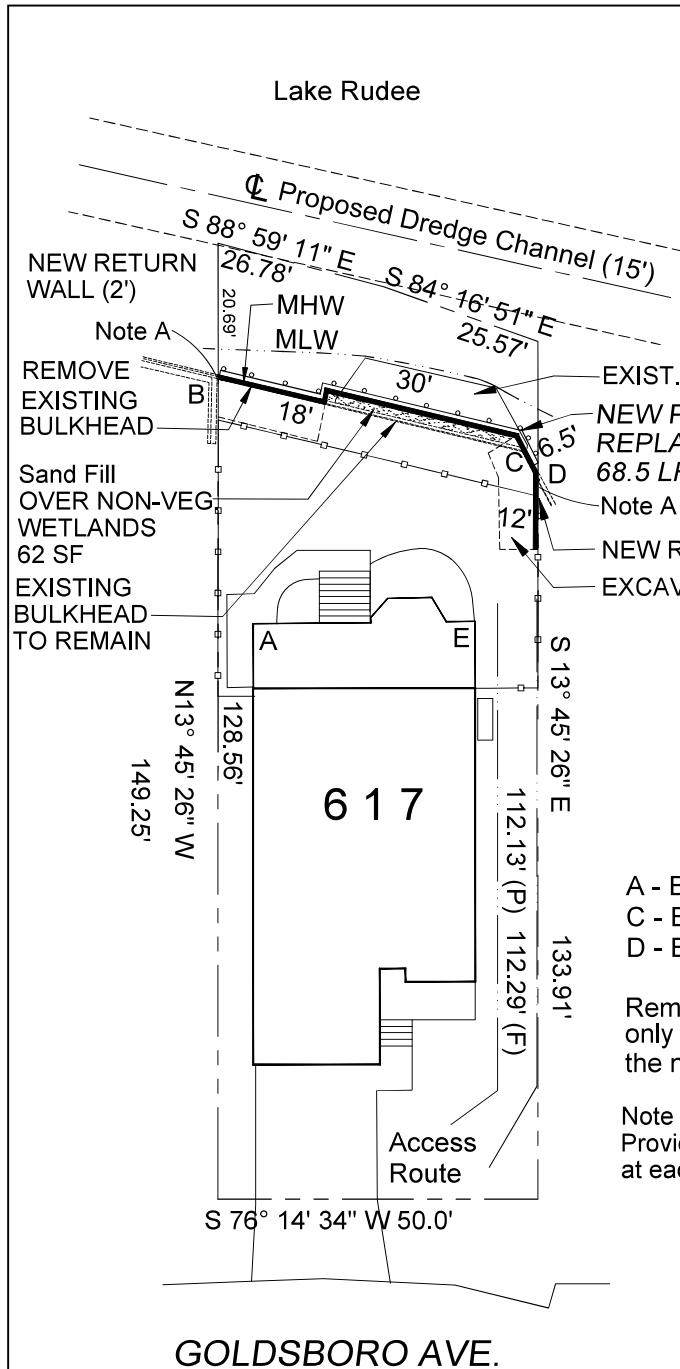
62 SF OF NON-VEGETATED WETLANDS WILL BE LOST AS A RESULT OF THE CONSTRUCTION OF THE NEW BULKHEAD. THERE IS NO AREA SUITABLE FOR THE CREATION OF NEW WETLANDS ON SITE. THE LOSS SHALL BE COMPENSATED BY PAYMENT INTO AN IN-LIEU FUND FOR THE CREATION OF NEW WETLANDS.

**CONSTRUCTION SEQUENCE:**

1. Meet with City Inspector to review project 1D
2. Demo and remove section of pier as required. 1D
3. Install Helical Anchors 3D
4. Install new sheet-piles. Remove and replace bulkhead consecutively at 18 LF bulkhead to be aligned with existing. 4D
5. Install connecting tie rod and secure 1D
6. Install sand fill in 12" uniform layers. 1D
7. Backfill as required at return walls and 18 LF in same alignment. Place topsoil, seed, fertilizer and cover with EC2. 2D



REV: 3-11-21



A - B = 39.1'  
 C - E = 27.7'  
 D - E = 24.2'

Remove the existing pier only as required to install the new Bulkhead & Repair

Note A : Provide concrete seal at each return wall

SCALE: 1" = 30'-0" ⚙ DATUM: MLW = -0.15' MHW = +3.39'

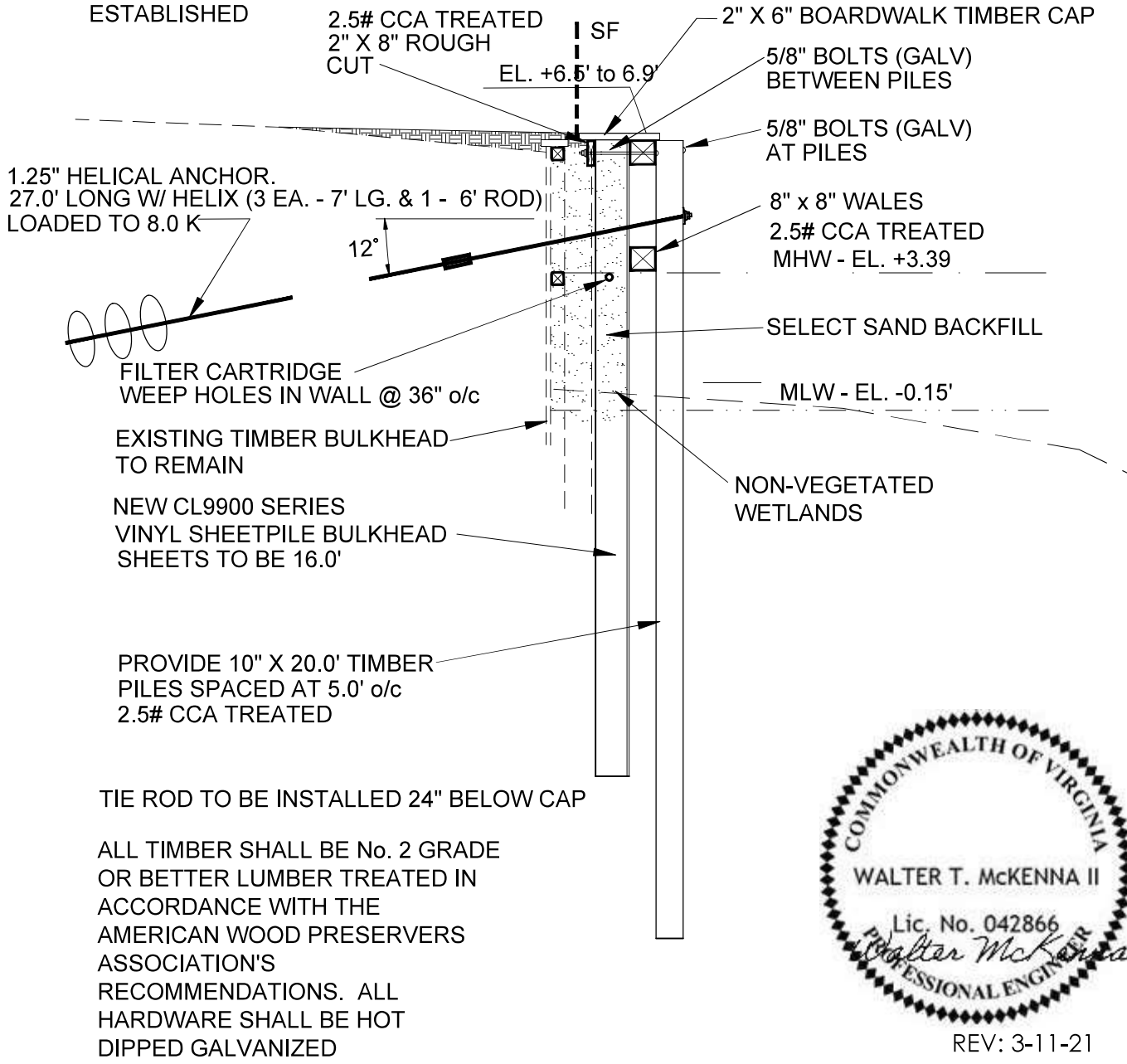


**PLAN**

Adjacent Property Owners:  
 1. D.R. BUSHEY  
 2. JACK STALLINGS JR.  
 3. J. LAMONTAGUE

Proposed: **Replacement Bulkhead**  
 in: **Lake Rudee**  
 at: **617 GOLDSBORO AVE**  
 County of: **Virginia Beach**  
 Applicant: **LUKE KINSER**  
 Sheet: **2** of **6** Date: **11 JAN 21**

A 36" WIRE REINFORCED SILT FENCE SHALL BE PROPERLY INSTALLED AS SHOWN. IT SHALL BE INSTALLED PRIOR TO BACKFILLING AND SHALL BE MAINTAINED DAILY UNTIL A PERM. VEGETATIVE COVER IS ESTABLISHED



REV: 3-11-21

SCALE: 1/4" = 1'-0" \* DATUM: MLW = -0.15' MHW = +3.39'



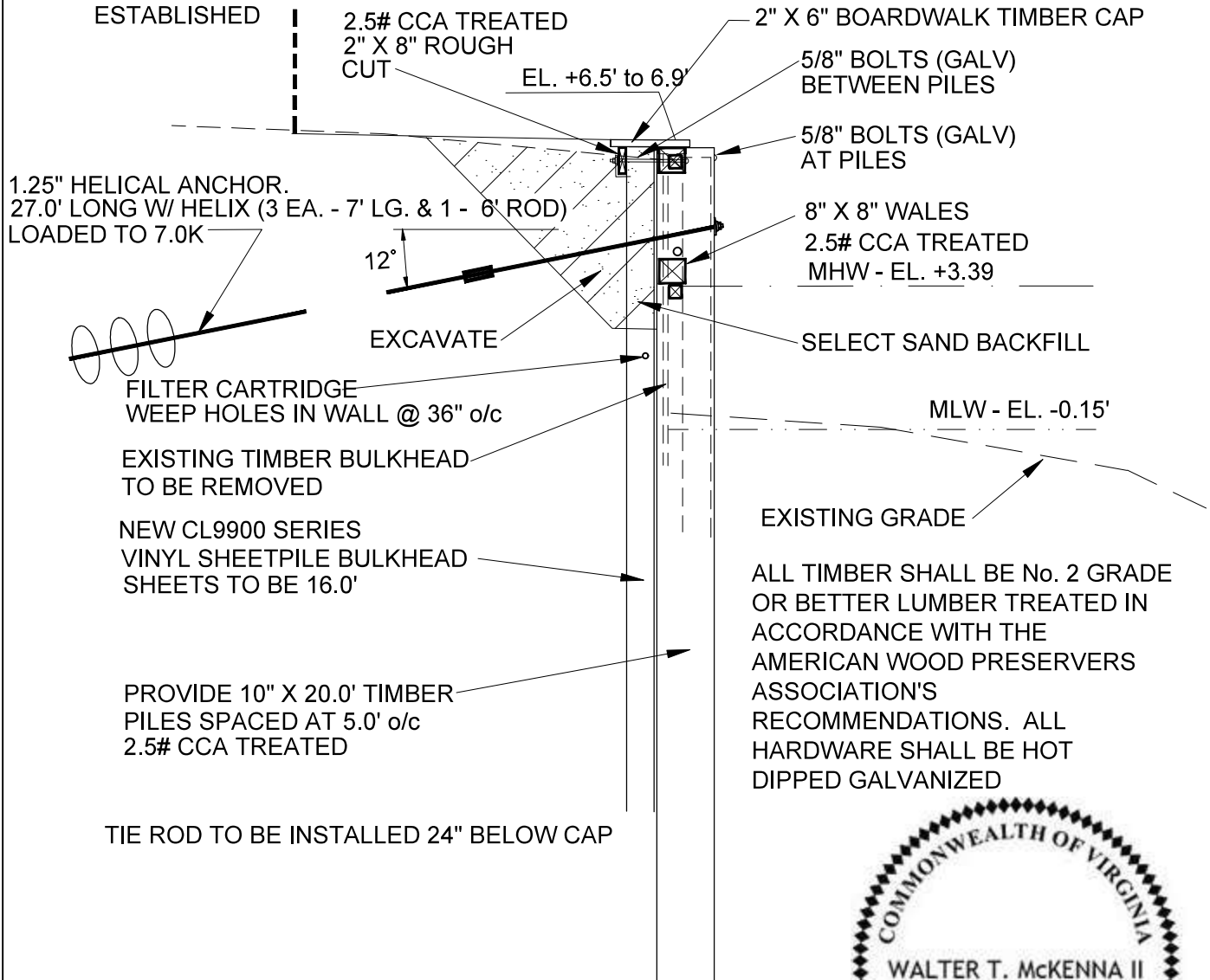
**WALL SECTION**

Adjacent Property Owners:  
 1. D.R. BUSHEY  
 2. JACK STALLINGS JR.  
 3. J. LAMONTAGUE

**WTM**  
 MARINE LLC  
 Engineering  
 1 GORDON DRIVE  
 POQUOSON, VA

**Proposed: Replacement Bulkhead in: Lake Rudee at: 617 GOLDSBORO AVE County of: Virginia Beach Applicant: LUKE KINSER Sheet: 3 of 6 Date: 11 JAN 21**

A 36" WIRE REINFORCED SILT FENCE SHALL BE PROPERLY INSTALLED AS SHOWN. IT SHALL BE INSTALLED PRIOR TO BACKFILLING AND SHALL BE MAINTAINED DAILY UNTIL A PERM. VEGETATIVE COVER IS ESTABLISHED



ALL TIMBER SHALL BE No. 2 GRADE OR BETTER LUMBER TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION'S RECOMMENDATIONS. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED



REV: 3-11-21

SCALE: 1/4" = 1'-0" ⚙ DATUM: MLW = -0.15' MHW = +3.39'



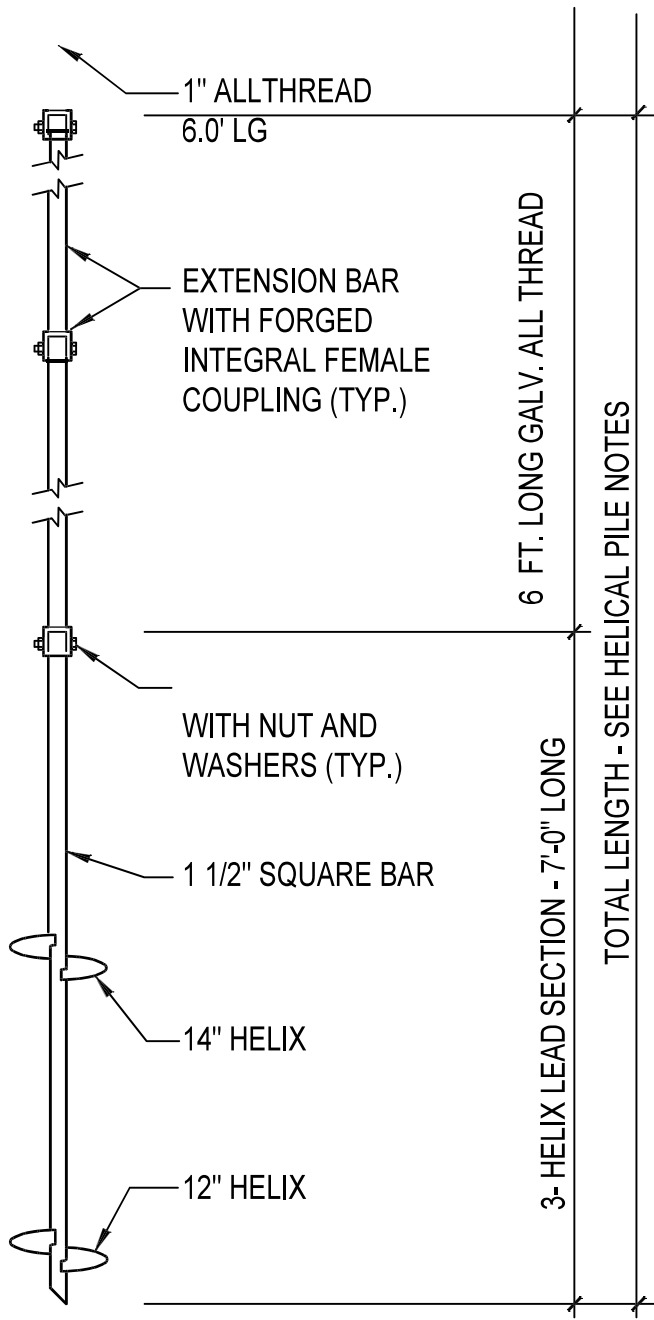
**IN- LINE SECTION**

Adjacent Property Owners:

1. D.R. BUSHEY
2. JACK STALLINGS JR.
3. J. LAMONTAGUE

**WTM**  
MARINE LLC  
Engineering  
1 GORDON DRIVE  
POQUOSON, VA

**Proposed: Replacement Bulkhead in: Lake Rudee at: 617 GOLDSBORO AVE County of: Virginia Beach Applicant: LUKE KINSER Sheet: 4 of 6 Date: 11 JAN 21**



THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, AND SHALL REPAIR ANY DAMAGE CAUSED DUE TO THE INSTALLATION OF THE WORK.

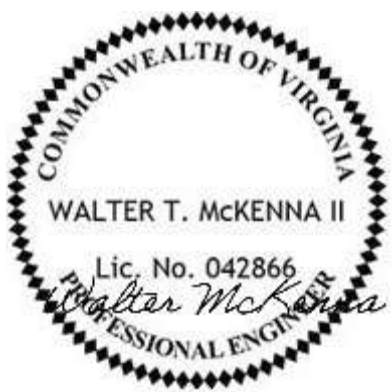
THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS AS NECESSARY TO PERFORM THE WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.

ALL HELICAL (SCREW) PILES, BRACKETS AND OTHER STEEL PARTS SHALL BE HOT-DIPPED GALVANIZED.

ALLOWABLE SCREW CAPACITY SHALL BE AS FOLLOWS:

- A. COMPRESSION 0.5 TONS
- B. TENSION 7.5 TONS

THE CONTRACTOR SHALL RECORD THE RESULTS OF ALL PILES INSTALLED, GIVING PILE LENGTH, TORQUE RESISTANCE AND TYPE OF EQUIPMENT USED TO INSTALL THE PILES. CONTRACTOR SHALL SUBMIT THIS DATA TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL.



REV: 3-11-21

SCALE: 1/4" = 1'-0" \* DATUM: MLW = -0.15' MHW = +3.39'

**CALVERT MARINE**  
Marine and Environmental Permits

**ANCHOR DETAIL**

Adjacent Property Owners:  
 1. D.R. BUSHEY  
 2. JACK STALLINGS JR.  
 3. J. LAMONTAGUE

**Proposed: Replacement Bulkhead**  
**in: Lake Rudee**  
**at: 617 GOLDSBORO AVE**  
**County of: Virginia Beach**  
**Applicant: LUKE KINSER**  
**Sheet: 5 of 6 Date: 11 JAN 21**

**WTM**  
MARINE LLC  
Engineering  
1 GORDON DRIVE  
POQUOSON, VA

**NOTES:**

1. THE PROPERTY OWNERS ARE IDENTIFIED ON THE PROPERTY MAP, SHEET 1.
2. MLW IS SHOW THUS: **— — — — -** ON THE DRAWINGS.  
MHW IS SHOWN THUS: **- - - - -** ON THE DRAWINGS.

**LUMBER SPECIFICATIONS:**

1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
2. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 10" UNLESS OTHERWISE NOTED.
3. ALL VINYL SHEETING SHALL BE NEW MATERIAL AS SPECIFIED. EACH VINYL SHEET SHALL BE ATTACHED TO THE TOP WALE WITH A GALVANIZED LAG BOLT (3/8" X 5" Long).
4. ALL WALES SHALL BE 8" x 8", No. 2 GRADE, 2.5# CCA TREATED UNLESS OTHERWISE NOTED.
5. ALL OTHER FRAMING LUMBER SHALL BE No. 2 GRADE, 1.0# CCA TREATED
6. ALL BOARDWALK / CAP DECKING SHALL MATCH THE COMPOSITE DECKING.
7. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.

**FASTENER SCHEDULE:**

1. DECKING SHALL BE ATTACHED WITH STAINLESS STEEL SCREWS.
2. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM, A153.

**GENERAL CONSTRUCTION NOTES:**

1. ALL PILINGS AND VINYL SHEET PILES SHALL BE EMBEDDED 50% OF THE LENGTH BELOW GRADE OR THE MUD LINE.
2. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
3. THE VINYL SHEET PILES AND TIMBER PILES SHALL BE INSTALLED WITH A VIBRATORY HAMMER OF SUITABLE CAPACITY FOR THE MATERIALS SPECIFIED.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER IN THE EVENT THAT THE SOIL CONDITIONS ARE FOUND TO BE UNSATISFACTORY DURING THE CONSTRUCTION PROCESS.
5. THE BACKFILLING OF THE NEW WALL SHALL BE COMPLETED IN 12" VERTICAL UNIFORM LIFTS AND SELECT SAND SHALL BE USED.



REV: 3/11/21

**NO SCALE** \* **DATUM: MLW = -0.15' MHW = +3.39'**



**NOTES**

- Adjacent Property Owners:
1. D.R. BUSHEY
  2. JACK STALLINGS JR.
  3. J. LAMONTAGUE

**Proposed: Replacement Bulkhead**  
**in: Lake Rudee**  
**at: 617 GOLDSBORO AVE**  
**County of: Virginia Beach**  
**Applicant: LUKE KINSER**  
**Sheet: 6 of 6 Date: 11 JAN 21**

**Part 2 - Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

D. R. Bushey  
621 Goldsboro Avenue  
Virginia Beach, VA 23451

Mailing Address:  
500 N Birdneck Road  
Suite 200  
Virginia Beach, VA 23451

I, \_\_\_\_\_, own land next to (across (Print adjacent/nearby property owner's name) \_\_\_\_\_ the water from/on the same cove as) the land of \_\_\_\_\_ (Print applicant's name)

Luke Kinser  
617 Goldsboro Ave. VB 23451

I have reviewed the applicant's project drawings dated 01 FEB 2021 \_\_\_\_\_ (Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process. VMRC•2400 Washington Avenue•3<sup>rd</sup> Floor•Newport News, VA 23607**

Richard Calvert, Agent

**CALVERT MARINE**

3132 Riveredge Drive ♦ Portsmouth, VA 23703

Rich@CalvertMarine.net

Received by VMRC February 18, 2021 /blh

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), JOE LAMONTAGNE 203 Caspian Ave. 23451, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Luke Kinser 617 Goldsboro Ave VB 23451.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 11 JAN 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), Jack Stallings Jr. 611 Goldsboro Ave. 23451, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Luke Kinser 617 Goldsboro Ave VB 23451.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated 11 JAN 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

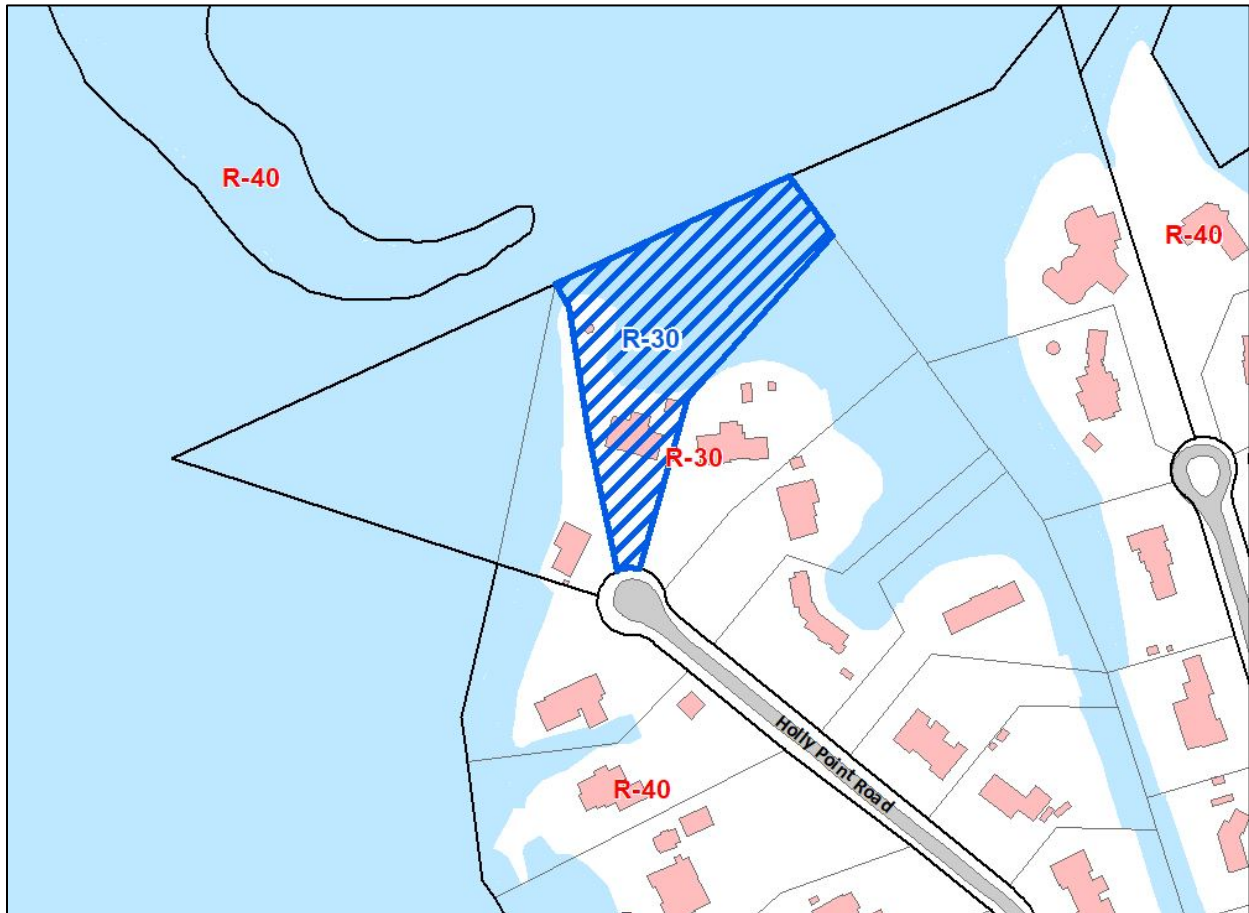
7. 2021-WTRA-00073

John & Tama Profilet [Applicant/Owner]

**To construct a bulkhead and rip rap involving wetlands**

1336 Holly Point Road  
(GPIN 1498-67-3201)

Waterway – Eastern Branch Lynnhaven River  
Subdivision – Trant Berkshire Area  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name JOHN PROFILET , TAMA PROFILET

Does the applicant have a representative?  Yes  No

- If yes, list the name of the representative.

CALVERT MARINE

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If yes, list the businesses that have a parent-sub subsidiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-sub subsidiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-sub subsidiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have any **existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or are they considering any **financing** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?  Yes  No

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  Yes  No

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

McGee Contracting LC

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

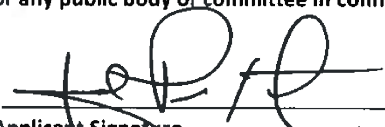
CALVERT MARINE

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

 Tama Profilet  
Applicant Signature

John Profilet, TAMA PROFILET  
Print Name and Title

2-26-21  
Date

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # <b>21-0472</b>

## APPLICANTS

### Part 1 – General Information


**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<u>Check all that apply</u>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)		Regional Permit 17 (RP-17) <input type="checkbox"/>	
<b>County or City in which the project is located:</b> VIRGINIA BEACH				
<b>Waterway at project site:</b> LYNNHAVEN RIVER				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
 JOHN & TAMA PROFILET Home ( ) \_\_\_\_\_  
 1336 Holly Point Road Work ( ) \_\_\_\_\_  
 Virginia Beach, VA 23454 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail jprofilet@slnusbaum.com \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
 Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
 CALVERT MARINE Home ( ) \_\_\_\_\_  
 3132 Riveredge Dr Work (757) 777-6960 \_\_\_\_\_  
 Portsmouth, VA 23703-4308 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail Rich@CalvertMarine.net \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) S7252713 \_\_\_\_\_

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Remove the existing piers and legally dispose. Construct 94 LF of new Bulkhead (Pt E-K) at the existing northern bulkhead 24" in front of the existing bulkhead. Construct 23 LF on new Bulkhead in the same alignment as the existing bulkhead (Pt Q-R). Construct a new Rip Rap revetment for the area between each new bulkhead. The new Rip Rap shall be placed in front of the existing bulkhead and extend into the yard. A timber curb shall be placed atop the new revetment. Filter Cloth shall be placed under the new Class 1 and A1 granite. A new toe shall be excavated at the end of the revetment as shown. A new access pier, 5' x 37' and 5' x 36', shall be installed as well as an 8' x 31' Tee. The existing roof structure (752 SF) shall remain as well as the existing boat lift. The land work shall be accessed by the access route shown and noted on the Plan. All denuded and or damaged vegetation shall be replaced in kind.

There will be Rip Rap placed on non-vegetated wetlands, Rip Rap placed on subaqueous bottom and Sand Fill placed on subaqueous bottom at one bulkhead.

All 22 - Class B, 22 - 8" butt and 5 - 10" butt timber piles shall be driven with a vibratory hammer of suitable capacity.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

McGee Contracting LLC  
5167 Fallsmead Downs  
Virginia Beach, VA 23464

Contact Information:

Home ( ) \_\_\_\_\_

Work (757 ) 636-0330 \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email colin@mcgecontracting.com

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot  
150 Brambleton Avenue  
Norfolk, VA 23510

Telephone number

(757 ) 622-1455 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 1336 Holly Point Road

Lot/Block/Parcel# ROSE HALL SHORES LOT 22A

Subdivision ROSE HALL SHORES

City / County VIRGINIA BEACH ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
\_\_\_\_\_/ - \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

**The primary purpose is to replace the failing bulkhead to avoid further settlement and deterioration. The secondary purpose is for access to the lift and pier area**



## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- The existing bulkhead is failing and deteriorating. The peninsula is a high energy area with heavy waves and a large fetch condition. Planting would require heavy grading that would cause issues at the peninsula adjacent to the western property and there is deep water at this existing bulkhead. The Engineer specifically noted this area to be stabilized with a new wall. The remaining shoreline will be converted from an existing bulkhead to a new rip rap revetment. There is a small bulkhead at the south end to avoid vegetated wetland impacts and transition to the APO bulkhead only. There are non-vegetated wetlands for most of the area to receive rip rap and the cove is more protected from the high energy waves and fetch.  
No loss of wetlands.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? \_\_\_ Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 70K  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 250
13. Completion date of the proposed work: JUL - 2021
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Jason Byrum  
1340 Holy Point Road  
Virginia Beach, VA 23454

Joanne C. McClellan RT  
1332 Holy Point Road  
Virginia Beach, VA 23454

APO forms were sent out on 3/3/21 via USPS

John and Tama Profilet  
1336 Holly Point Road  
Virginia Beach, VA 23454

## PROJECT NARRATIVE FOR ALTERNATE SHORELINE

The property has an existing timber bulkhead 7.0 ft. tall at the northern point that has heavy wave energy and harsh conditions. After review with the Agent, the structural Engineer recommended a new bulkhead for this area. The existing timber wall is failing and a new vinyl wall is required at this location. The impacts would be subaqueous. The channel is very close and boat traffic is common. The adjacent property would be impacted with any other design.

The remaining property has an existing bulkhead that is deteriorated and failing. The height of wall is lower and the conditions are more protected in the "Cove". The Owner agreed to use rip rap in this area since the bulkhead has non-vegetated wetlands in front. The existing bulkhead will be cut down as required. It would be non-vegetated wetlands converted to another type of non-vegetated wetlands. A small portion of bulkhead is required at the eastern property line due to the existing vegetated wetlands and the APO bulkhead.

Listed below are factors that led to the Engineer's and Owner's decision for the shoreline stabilization method selected for this project. These are Site specific conditions for this property and this project.

1. The removal of the entire bulkhead and implementation of rip rap would greatly impact the property and the neighbor at the western property line. Grading the peninsula down for a planting or rip rap option would undercut the neighbor's property. There is only 10 feet from the property line to MHW at the property terminus.
2. A living shoreline or rip rap option would be difficult to transition to the adjacent property that also have existing bulkheads. Return walls would be required at each property line to avoid impacting the APO. The Owner at the western property would be forced to begin stabilization work as well. Please refer to the enclosed picture.
3. The Fetch at the point is .75 miles from the NW and .33 miles from the NE.
4. Planting would be difficult in the remaining area of the yard due to the close proximity of the sheds, structures and concrete deck area that have been in place for years.
5. The existing grade is steep behind the existing area where rip rap is to be placed. The stone will actually help support grade where planting would require more excavation, loss of yard and impacts. Please refer to the enclosed picture
6. The prevailing winds at this location are strong and consistent based on our numerous Site visits and the Owner's information.
7. Other than the point area where the bulkhead is to remain there is very little room in the rear yard.

The Point

APO owns a 10 ft. strip of land in front of the Property Line



Area where rip rap is to be installed



## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**John Profilet**

Applicant's Legal Name (printed/typed)

Applicant's Signature

2.26.21

Date

**TAMA PROFILET**

(Use if more than one applicant)

Tama Profilet

(Use if more than one applicant)

**JOHN PROFILET**

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

Property Owner's Signature

2-26-21

Date

**TAMA PROFILET**

(Use if more than one owner)

Tama Profilet

(Use if more than one owner)

**Part 2 – Signatures (continued)**

**2. Applicants having agents (if applicable)**

**CERTIFICATION OF AUTHORIZATION**

I (we), John Profilet, hereby certify that I (we) have authorized CALVERT MARINE  
(Applicant's legal name(s)) (Agent's name(s))

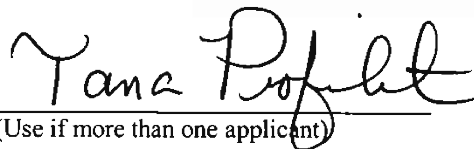
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

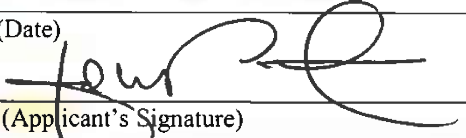
We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

2/22/21  
(Date)

  
(Use if more than one applicant)

  
(Applicant's Signature)

2.26.21  
(Date)

**3. Applicant's having contractors (if applicable)**

**CONTRACTOR ACKNOWLEDGEMENT**

I (we), John Profilet, have contracted McGee Contracting  
(Applicant's legal name(s)) (Contractor's name(s))


to perform the work described in this Joint Permit Application, signed and dated 26 OCT 2021.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

**McGee Contracting LC**

Contractor's name or name of firm

5167 Fallsmead Downs, Virginia Beach, VA 23464

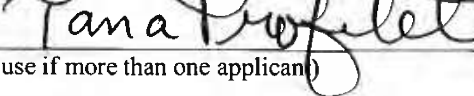


Contractor's or firms address

2705 133143

Contractor's signature and title

Contractor's License Number

  
(use if more than one applicant)

  
Applicant's signature

2.26.21  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

A new access pier, 5' x 37' and 5' x 36', shall be installed as well as an 8' x 31' Tee. The existing roof structure (752 SF) shall remain as well as the existing boat lift. This work to be completed by barge.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? \_\_\_\_\_ feet.

Channelward of Mean High Water? 37 feet.

Channelward of Mean Low Water? 37 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 621 square feet.

What is the total size of any and all L- or T-head platforms? 256 sq. ft.

For boathouses, what is the overall size of the roof structure? 752 sq. ft. **EXISTING ROOF TO**

Will your boathouse have sides?  Yes  No. **REMAIN**

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

### Part 3 – Appendices (continued)

3. For **USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #
Center Console	24 ft			

5. For **Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.
- From Mean High Water? \_\_\_\_\_ feet.
- From Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Construct 94 LF, including return walls, of new Bulkhead (Pt E-K) at the existing northern bulkhead 24" in front of the existing bulkhead. 45 CY of Sand Back Fill on Sub. Bottom below MLW/MHW.

Construct 23 LF, including return walls, on new Bulkhead in the same alignment as the existing bulkhead(Pt Q-R). No impacts.

Construct a new Rip Rap revetment (198 LF) for the area between each new bulkhead. The new Rip Rap shall be placed in front of the existing bulkhead and extend into the yard. A timber curb shall be placed atop the new revetment. Filter Cloth shall be placed under the new Class 1 and A1 granite. A new toe shall be excavated at the end of the revetment as shown. No Back Fill. See Plan for impacts.

2. What is the maximum encroachment channelward of mean high water? 6.0 feet.  
Channelward of mean low water? 6.0 feet.  
Channelward of the back edge of the dune or beach?        feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 590 square feet
  - Subaqueous bottom 588 square feet
  - Dune and/or beach            square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

The Rip Rap extends 6.0 beyond MLW only at the existing and new 8' wide pier. All other locations the toe of rip rap is behind MLW.





**ENGINEERS/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE  
PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1336 Holly Point Road

APPLICANT'S NAME: John Profilet , TAMA PROFILET

APPLICANT'S ADDRESS: 1336 Holly Point Road  
Virginia Beach, VA 23452

ENGINEER OF RECORD: Walter T. McKenna II P. E.

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER /SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

*Walter McKenna*

\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION      2/26/21  
DATE  
Walter T. McKenna II P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

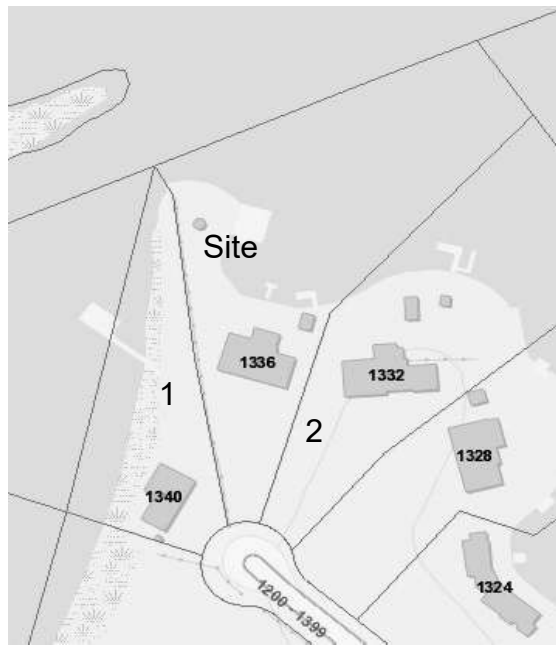
*John Profilet, Tama Profilet*

\_\_\_\_\_  
SIGNATURE OF APPLICANTS      2.26.21  
DATE

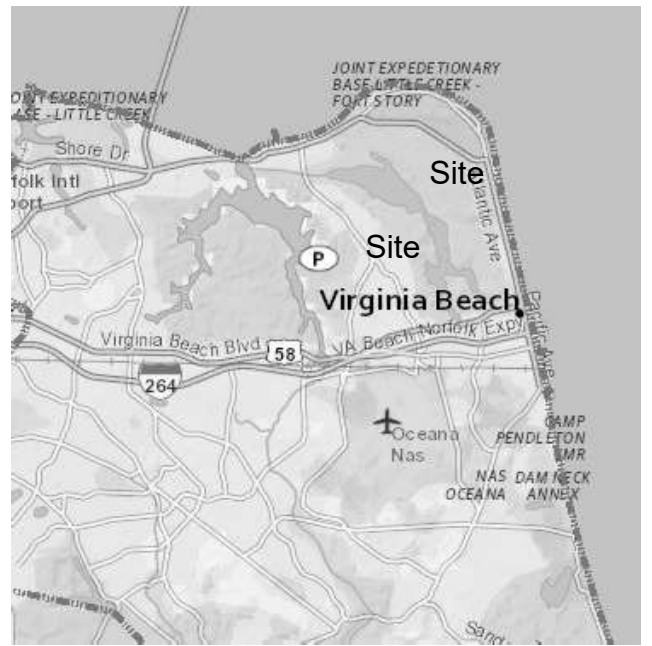
\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR      \_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_  
(TO BE COMPLETED BY STAFF)



**PROPERTY MAP**



**STREET MAP**

**REPLACEMENT PIER, RIP RAP AND REPLACEMENT BULKHEAD**

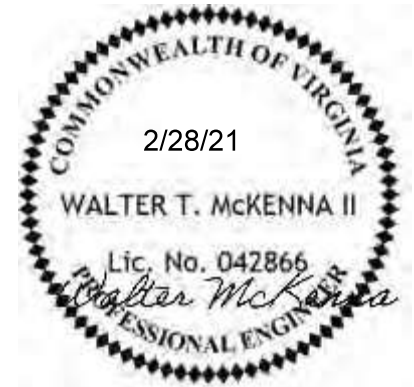
1336 HOLLY POINT ROAD  
Virginia Beach, VA 23454

LEGAL DESCRIPTION: **ROSE HALL SHORES LOT 22A**

THE COMPLETE PROVISIONS FOR A STORMWATER MANAGEMENT PLAN AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE ARE NOT SHOWN ON THIS PLAN. THE PERMITTEE HAS CHOSEN TO UTILIZE THE "AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN". THE LOCATION, TYPES AND SIZES OF PROPOSED PERMANENT STORMWATER MANAGEMENT CONTROLS ARE SHOWN ON THIS PLAN FOR INSPECTION PURPOSES ONLY.

NO SCALE

DATUM: MLW = 0.00' MHW = 1.6'



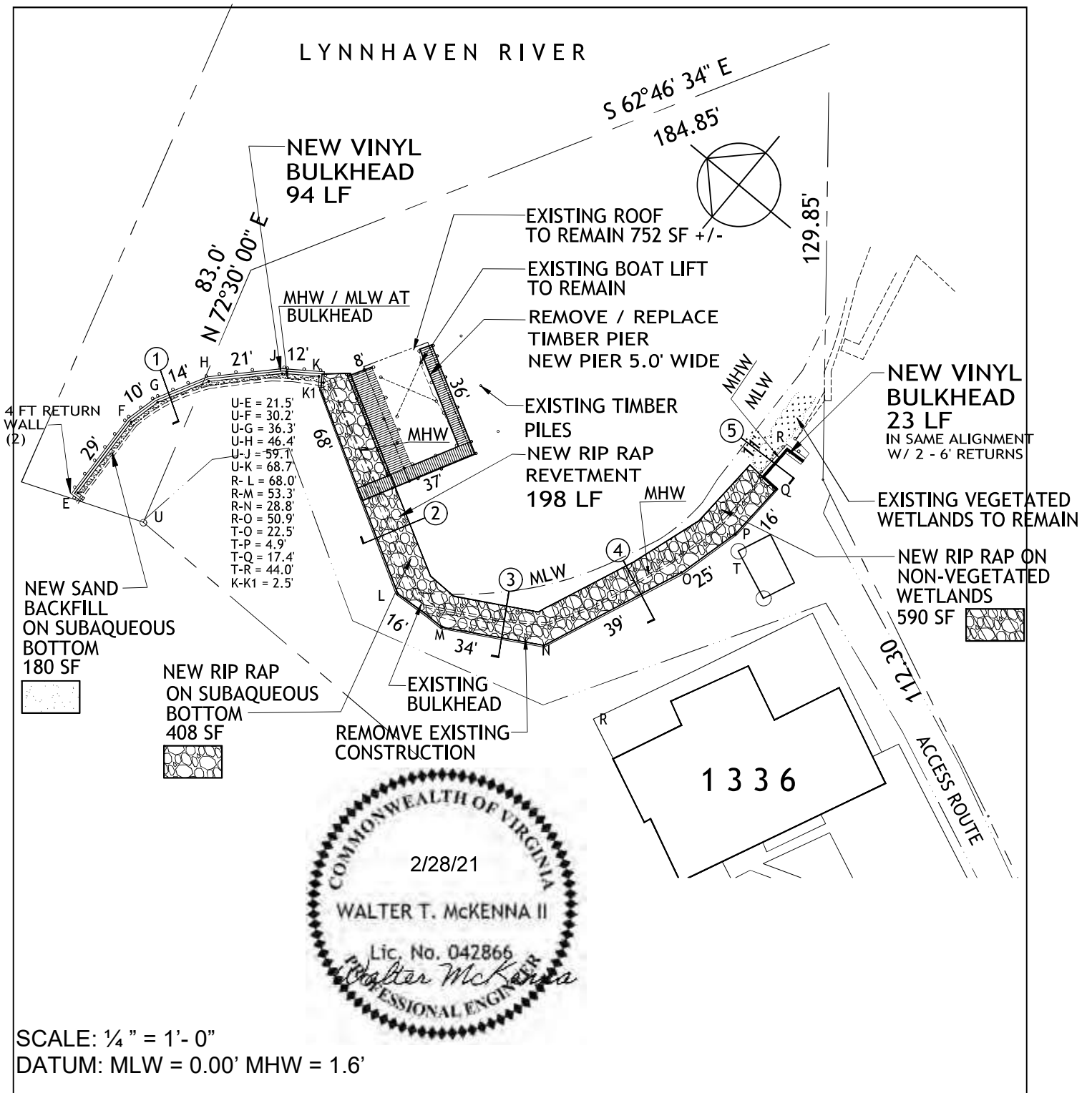
**VICINITY MAP**

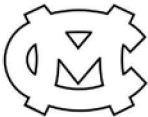



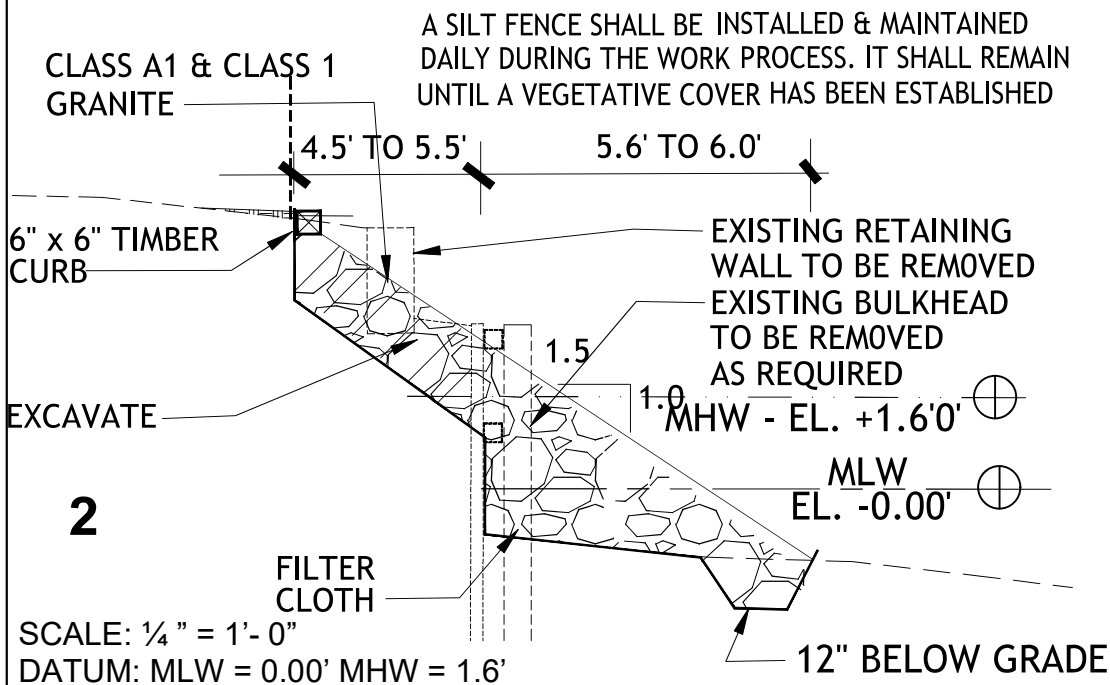
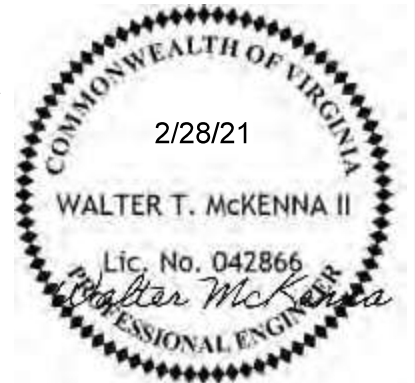
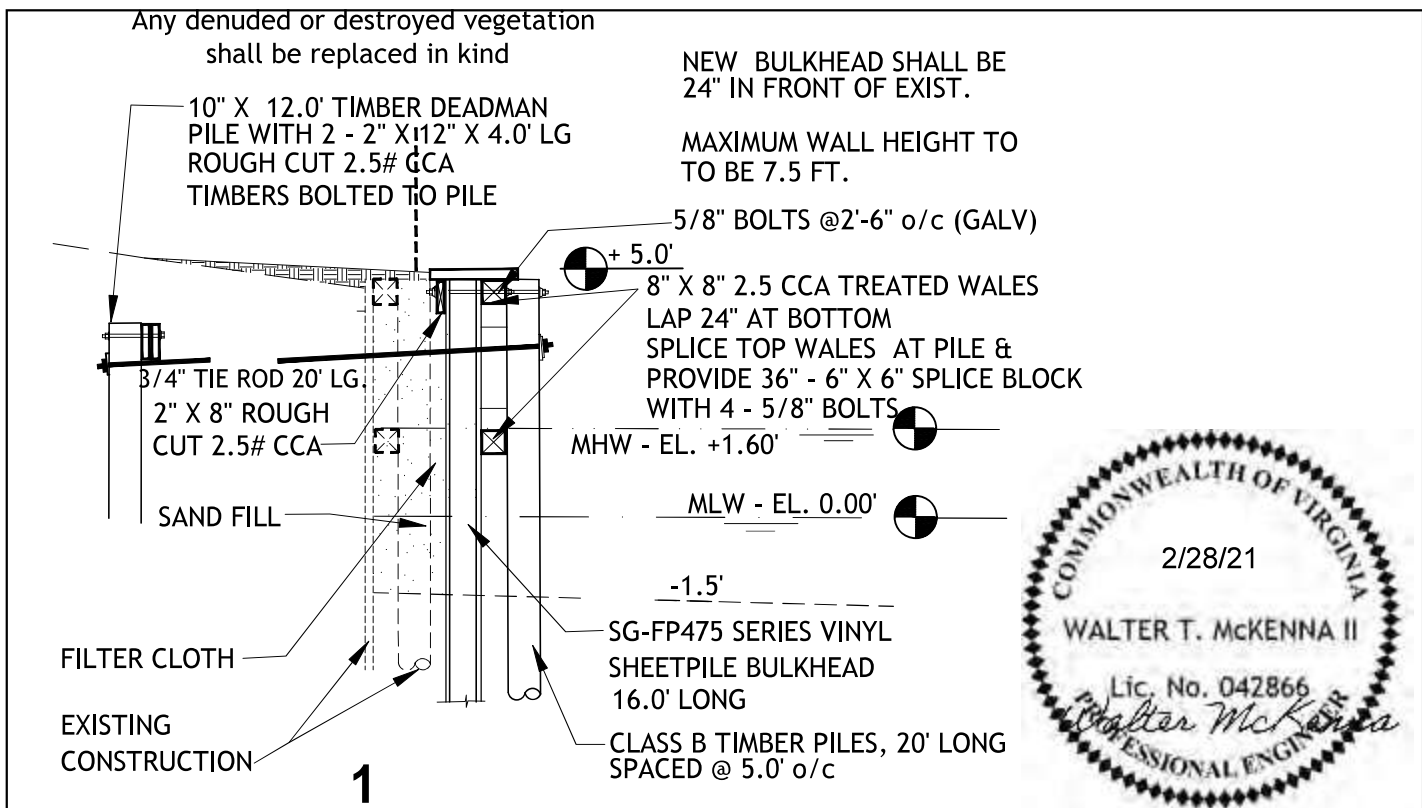
Adjacent Property Owners:  
1. Jason Byrum  
2. Joanne McClellan RT

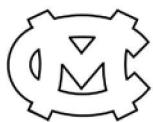
Proposed: **Replacement Pier, Rip Rap and Replacement Bulkhead**  
in: **Lynnhaven River**  
at: **1336 Holly Point Road**  
County of: **Virginia Beach**  
Applicant: **John / Tama Profilet**  
Sheet: **1** of **8** Date: **26 OCT 2020**

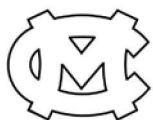
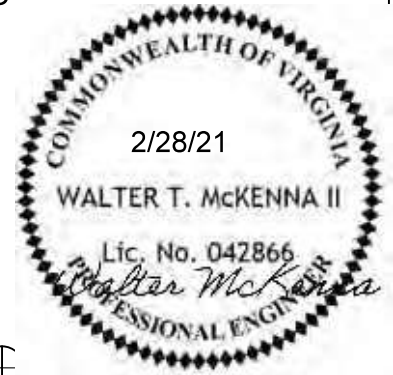
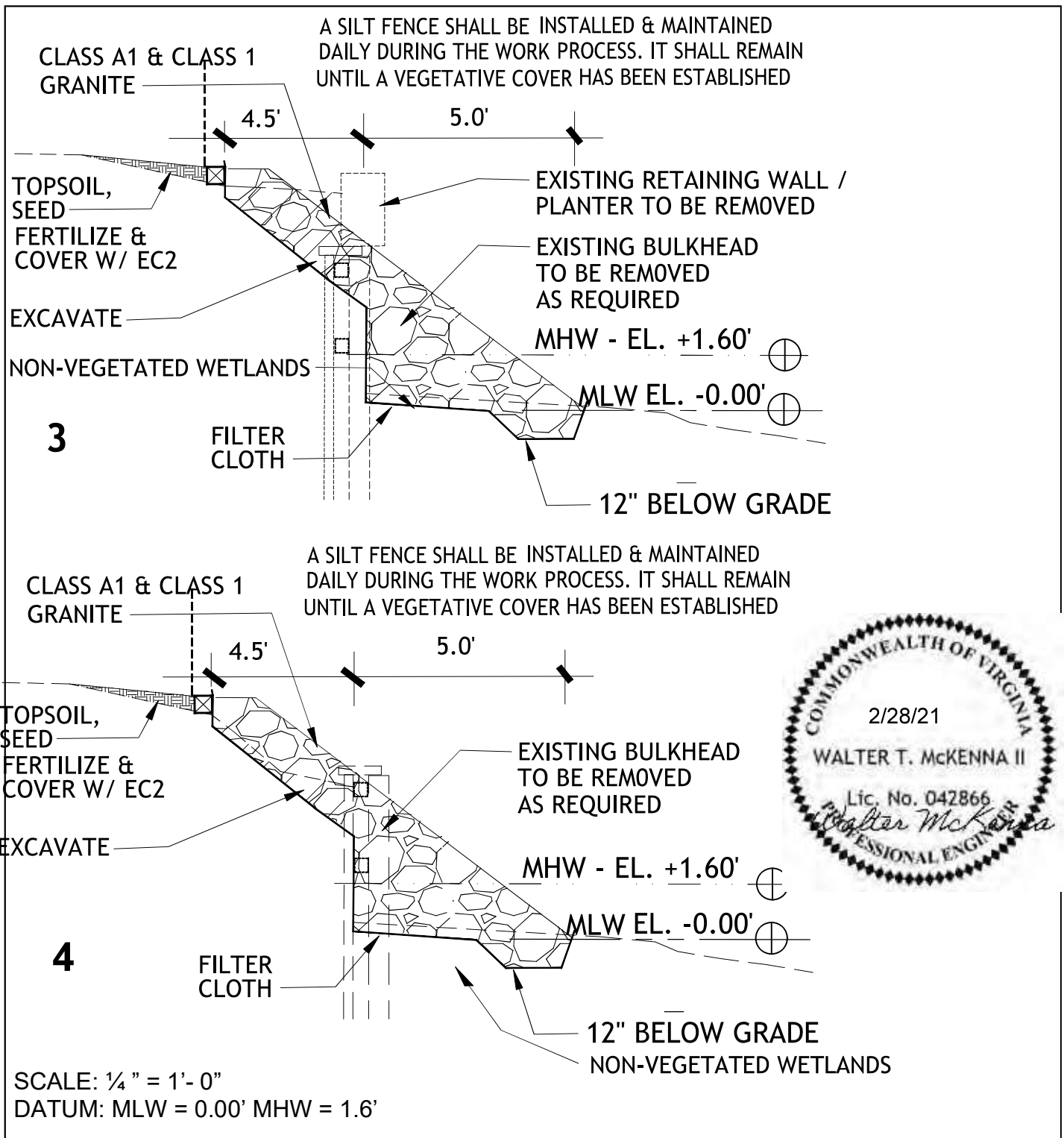




 <b>CALVERT MARINE</b> <small>Marine and Environmental Permits</small>	<h2 style="margin: 0;">NEW WORK PLAN</h2>	Proposed: <b>Replacement Pier, Rip Rap and Replacement Bulkhead</b> in: <b>Lynnhaven River</b> at: <b>1336 Holly Point Road</b> County of: <b>Virginia Beach</b> Applicant: <b>John / Tama Profilet</b> Sheet: <b>3</b> of <b>8</b> Date: <b>02 FEB 2021</b>
 <b>WTM</b> <small>MARINE LLC Engineering 1 GORDON DRIVE POQUOSON, VA</small>	Adjacent Property Owners: 1. <b>Jason Byrum</b> 2. <b>Joanne McClellan RT</b>	



 <p><b>CALVERT MARINE</b> Marine and Environmental Permits</p>	<p align="center"><b>SECTION 1 and 2</b></p> <p><b>WTM</b> MARINE LLC Engineering 1 GORDON DRIVE POQUOSON, VA</p> <p>Adjacent Property Owners: 1. Jason Byrum 2. Joanne McClellan RT</p>	<p>Proposed: <i>Replacement Pier, Rip Rap and Replacement Bulkhead</i> in: <i>Lynnhaven River</i> at: <i>1336 Holly Point Road</i> County of: <i>Virginia Beach</i> Applicant: <i>John / Tama Profilet</i> Sheet: <b>4</b> of <b>8</b> Date: <b>02 FEB 2021</b></p>
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**CALVERT MARINE**

Marine and Environmental Permits

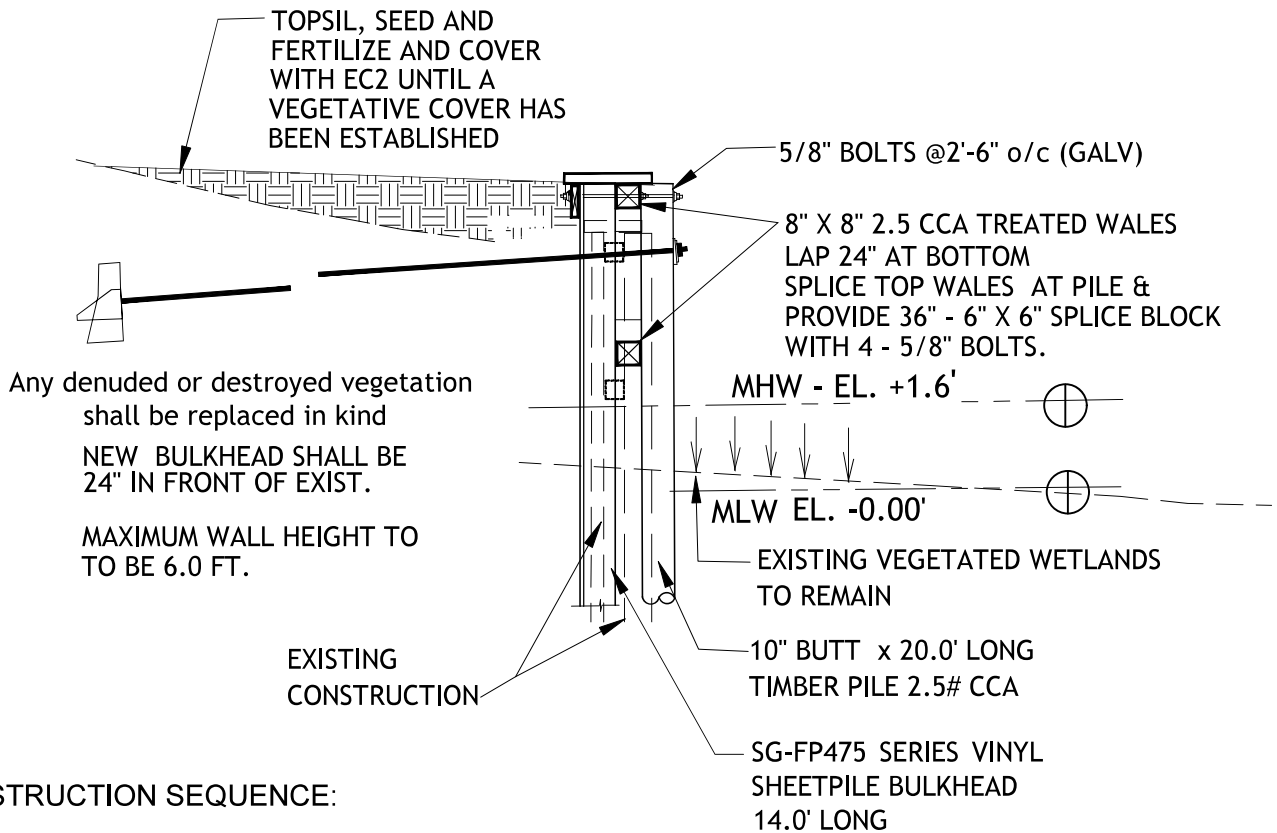
**SECTION 3 and 4**

**WTM**  
MARINE LLC  
Engineering  
1 GORDON DRIVE  
POQUOSON, VA

Adjacent Property Owners:

1. Jason Byrum
2. Joanne McClellan RT

Proposed: *Replacement Pier, Rip Rap and Replacement Bulkhead*  
in: *Lynnhaven River*  
at: *1336 Holly Point Road*  
County of: *Virginia Beach*  
Applicant: *John / Tama Profilet*  
Sheet: **5** of **8** Date: **02 FEB 2021**

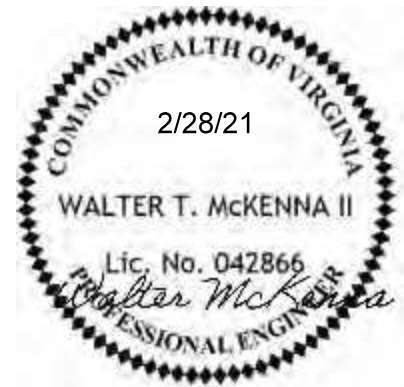


Any denuded or destroyed vegetation shall be replaced in kind  
 NEW BULKHEAD SHALL BE 24" IN FRONT OF EXIST.  
 MAXIMUM WALL HEIGHT TO BE 6.0 FT.

**CONSTRUCTION SEQUENCE:**

1. PROCURE PERMIT AND MEET WITH COASTAL ZONE INSPECTOR 1D
2. REMOVE EXISTING RETAINING WALLS AND BULKHEAD AS REQUIRED 3D.
3. INSTALL NEW TIMBER BULKHEAD PILES & PILES IN NEW ROCK 2D
4. INSTALL NEW VINYL SHEETS 7D
5. INSTALL NEW RIP RAP 10D
6. INSTALL ANCHORS FOR NEW BULKHEAD. 4D
7. BACKFILL BULKHEAD WITH SAND IN LAYERS 1D
8. REMOVE / REPLACE PIER FRAMING IN NEW DESIGN 4D
9. INSTALL NEW DECKING, CURBS AND CAPS 3D
10. REPAIR OR REPLACE ALL DENUDED AND OR DAMAGED VEGTATION AND DEMOBILIZE. 1D

SCALE: 1/4" = 1'-0"  
 DATUM: MLW = 0.00' MHW = 1.6'



**SECTION 5**



Adjacent Property Owners:  
 1. Jason Byrum  
 2. Joanne McClellan RT

Proposed: **Replacement Pier, Rip Rap and Replacement Bulkhead**  
 in: **Lynnhaven River**  
 at: **1336 Holly Point Road**  
 County of: **Virginia Beach**  
 Applicant: **John / Tama Profilet**  
 Sheet: **6 of 8** Date: **02 FEB 2021**



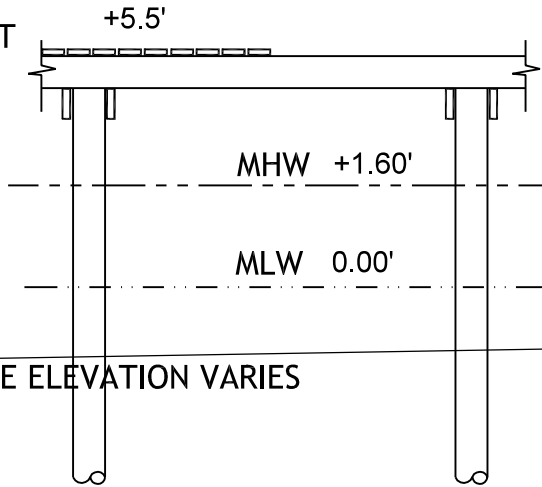
DECKING SHALL BE 2" X 6" TREATED TIMBER DECKING AND SHALL BE ATTACHED WITH S.S. SCREWS

PILES SHALL BE 8" BUTT AND SHALL BE EMBEDDED 60% OF THEIR LENGTH BELOW THE MUDLINE

HEADERS SHALL BE 2" x 8" 2.5# CCA TREATED TIMBERS

STRINGERS SHALL BE 2" x 8" 1.0# CCA

MUDLINE ELEVATION VARIES



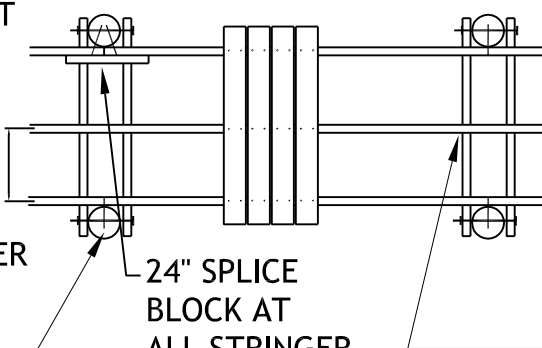
MAINTAIN VERTICAL CLEARANCE ABOVE ALL WETLANDS EQUAL TO THE PIER WIDTH (4' WIDE 5' WIDE = 5' VERT. CLEARANCE)

PILE SPACING NOT TO EXCEED 8'

24" MAX.

ATTACH STRINGER TO EACH PILE WITH 1/4" BOAT SPIKE

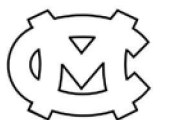
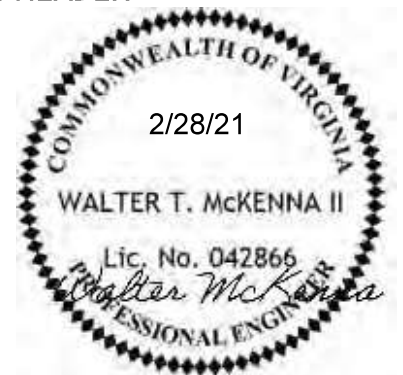
24" SPLICE BLOCK AT ALL STRINGER SPLICES NAIL TO EACH



5/8" GALV. Ogee WASHERS & GALV. WEATHERTUFF BOLTS SHALL BE PROVIDED AT ALL PILE TO HEADER CONNECTIONS

TOE NAIL INTERIOR STRINGERS TO EACH HEADER

SCALE: 1/4" = 1'-0"  
DATUM: MLW = 0.00' MHW = 1.6'



**CALVERT MARINE**  
Marine and Environmental Permits

**PIER DETAILS**

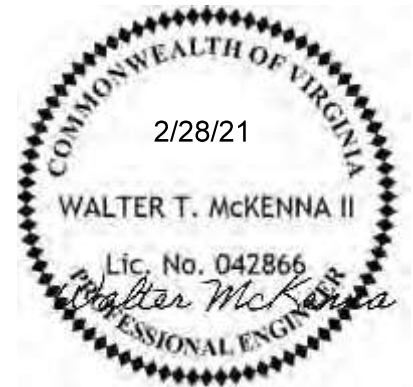
**WTM**  
MARINE LLC  
Engineering  
1 GORDON DRIVE  
POQUOSON, VA

Adjacent Property Owners:  
1. Jason Byrum  
2. Joanne McClellan RT

Proposed: *Replacement Pier, Rip Rap and Replacement Bulkhead* in: *Lynnhaven River*  
at: *1336 Holly Point Road* County of: *Virginia Beach*  
Applicant: *John / Tama Proilet*  
Sheet: **7** of **8** Date: **02 FEB 2021**

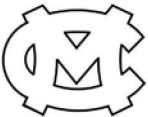

**NOTES:**

1. ALL PILINGS AND VINYL SHEET PILES SHALL BE EMBEDDED 50% OF THE LENGTH BELOW GRADE OR THE MUD LINE.
2. CONTRACTOR SHALL LOCATE ALL PROPERTY LINES PRIOR TO THE START OF CONSTRUCTION. SEE SHEET 2 OF 4. NO WORK SHOWN ON THIS PERMIT SHALL ENCROACH UPON ANY OTHER PROPERTY OWNERS OTHER THAN THE AREA NOTED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND GRADES PRIOR TO STARTING WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER & AGENT.
4. CONTRACTOR AND OWNER TO VERIFY ALL UTILITY LINES LOCATED IN THE WORK AREA. MISS UTILITY SHALL MARK ALL LINES PRIOR TO THE START OF WORK.
5. CONTRACTOR SHALL NOTIFY THE OWNER AND AGENT IN THE EVENT THAT THE PILINGS AND SHEETS ENCOUNTER UNSUITABLE SOILS DURING INSTALLATION. NO BORINGS HAVE BEEN PROVIDED AND THE DESIGN IS BASED ON NORMAL CONDITIONS.
6. THE PILES AND VINYL SHEET PILES SHALL BE DRIVEN WITH A VIBRATORY HAMMER OF SUITABLE SIZE AND CAPACITY FOR THE MATERIAL.
7. BACKFILLING SHALL BE PLACED IN 12" UNIFORM LAYERS.
- 8 ALL LUMBER SHALL BE SOUTHERN YELLOW PINE.
9. ALL TIMBER PILES SHALL BE 2.5# CCA TREATED. PILE DIAMETER SHALL BE 8" UNLESS OTHERWISE NOTED.
10. ALL VINYL SHEETING SHALL BE NEW MATERIAL AND SHALL BE LAGGED TO EACH WALE.
11. ALL WALES SHALL BE No. 2 GRADE, 2.5# CCA TREATED.
12. ALL BACKER BDS. AND CAP SHALL BE No. 2 GRADE, 1.0# CCA TREATED
13. ALL DECKING SHALL BE 2" x 6", No. 1 GRADE,
14. ALL TREATMENT SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS AND PROCEDURES OF THE AMERICAN WOOD PRESERVER'S ASSOCIATION.
15. ALL HARDWARE SHALL BE HOT-DIPPED GALVANIZED AS PER ASTM A153.



SCALE: 1/4" = 1'-0"

DATUM: MLW = 0.00' MHW = 1.6'

 <b>CALVERT MARINE</b> Marine and Environmental Permits	<b>NOTES</b>	Proposed: <i>Replacement Pier, Rip Rap and Replacement Bulkhead</i> in: <i>Lynnhaven River</i> at: <i>1336 Holly Point Road</i> County of: <i>Virginia Beach</i> Applicant: <i>John / Tama Profilet</i> Sheet: <b>8</b> of <b>8</b> Date: <b>02 FEB 2021</b>
	 Adjacent Property Owners: 1. <i>Jason Byrum</i> 2. <i>Joanne McClellan RT</i>	

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

Jason Byrum

I (we), 1340 Holy Point Road Virginia Beach, VA 23454, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of John / Tama Profilet 1336 Holly Point Rd 23454.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 26 OCT 20  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Joanne C. McClellan RT 1332 Holly Point Rd 23452, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of John / Tama Profilet 1336 Holly Point Rd 23454.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated 26 OCT 20  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

8. 2021-WTRA-00082

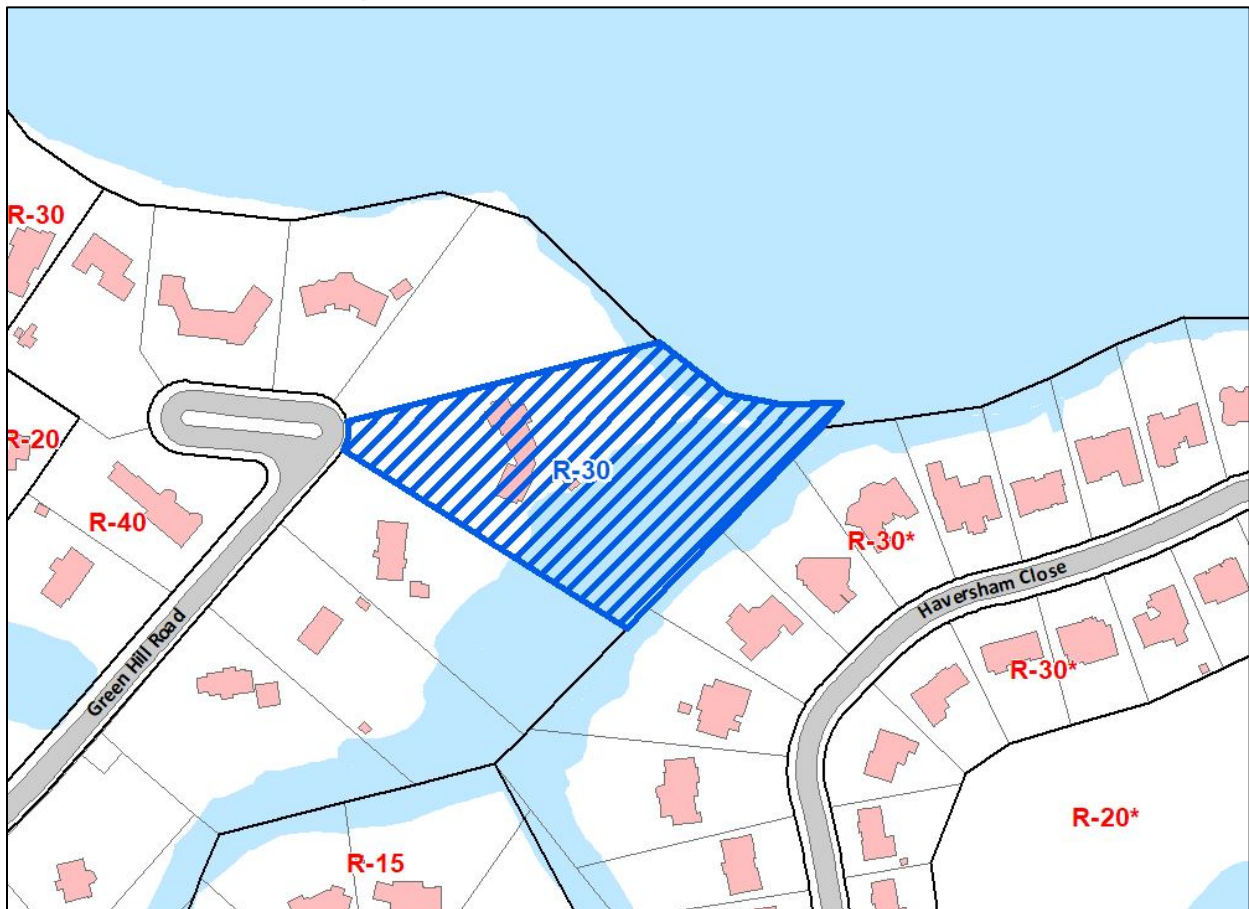
Chelsea Waterway Associates, Inc. [Applicant]

Marlyn Fabrizio Trust [Owner]

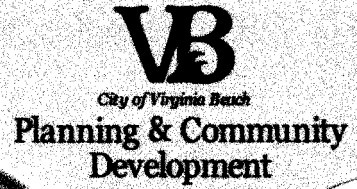
**To maintenance dredge involving wetlands**

1825 Green Hill Road  
(GPIN 1499-86-9178)

Waterway – Broad Bay  
Subdivision – Green Hill Farm  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** CHELSEA WATERWAY ASSOCIATES INC

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.

DAVID KLEDZIK

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Grover H. Baxley - President

Larry E. Torrence - Vice President

Charles Phillips - Treasurer

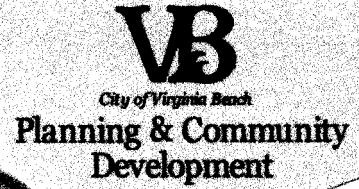
- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

None

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

# Disclosure Statement



## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc)** or **are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions providing the service.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the company and individual providing the service.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.
- 

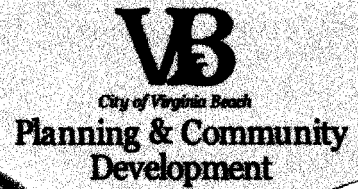
4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the company and individual providing the service.

Dredging by Hodges and Hodges Enterprises, LTD., Portsmouth, VA (Scott Hodges)

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.

MARINE ENGINEERING LLC DAVID KLEDZIK

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm and individual providing the service.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.**

*Larry E. Torrence*  
 Applicant Signature

LARRY E. TORRENCE, VICE PRESIDENT  
 CHELSEA WATERWAY ASSOC., INC  
 Print Name and Title

JAN. 30, 2021  
 Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

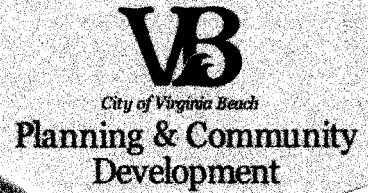
- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	



# Disclosure Statement



## Owner Disclosure

Owner Name MARLYN FABRIZIO TRUST

Applicant Name CHELSEA WATERWAY ASSOCIATES INC

Is the Owner a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If yes, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

Marlyn Fabrizio

- If yes, list the businesses that have a parent-subsiary<sup>3</sup> or affiliated business entity<sup>4</sup> relationship with the Owner. (Attach a list if necessary)

## Known Interest by Public Official or Employee

Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?  Yes  No

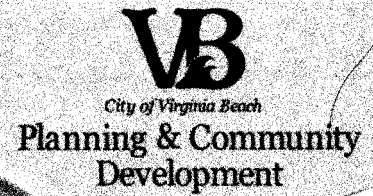
- If yes, what is the name of the official or employee and what is the nature of the interest?

<sup>3</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>4</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

Received by VMRC March 2, 2021 /blh

# Disclosure Statement



## Owner Services Disclosure

1. Does the Owner have any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing in connection with the subject of the application or any business operating or to be operated on the property?

Yes  No

- If yes, identify the financial institutions providing the service.
- 

2. Does the Owner have a real estate broker/agent/realtor for current and anticipated future sales of the subject property?

Yes  No

- If yes, identify the company and individual providing the service.
- 

3. Does the Owner have services for accounting and/or preparation of tax returns provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the firm and individual providing the service.
- 

4. Does the Owner have services from an architect/landscape architect/land planner provided in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the firm and individual providing the service.
- 

5. Is there any other pending or proposed purchaser of the subject property?  Yes  No

- If yes, identify the purchaser and purchaser's service providers.
- 

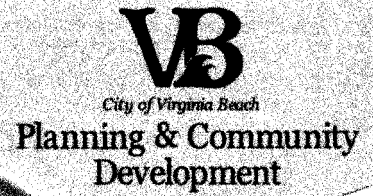
6. Does the Owner have a construction contractor in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the company and individual providing the service.
- 

7. Does the Owner have an engineer/surveyor/agent in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If yes, identify the firm and individual providing the service.
-

# Disclosure Statement



8. Is the Owner receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the firm and individual providing legal the service.

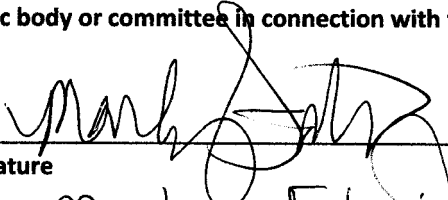
## Owner Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Owner Signature

Print Name and Title

Date

  
Marlyn Fabrizio  
2/5/21



**2. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION**

The applicant(s) is/are the legal entity to which the permit may be issued. The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please use the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Applicant(s) (For a company, use SCC-registered name) <b>CHELSEA WATERWAY ASSOCIATES INC</b>			Agent (if applicable) (For a company, use SCC-registered name) <b>MARINE ENGINEERING LLC</b>		
Mailing address <b>2504 QUEENS ELM PLACE</b>			Mailing address <b>4212 DOUGHERTY CT</b>		
City <b>VIRGINIA BEACH</b>	State <b>VA</b>	Zip Code <b>23454</b>	City <b>VIRGINIA BEACH</b>	State <b>VA</b>	Zip Code <b>23455</b>
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile/pager <b>757 615-5114</b>	E-mail <b>CHELSEACANALPROJECT@GMAIL.COM</b>		Mobile/pager <b>757 477-4787</b>	E-mail <b>DAVID@MARINEENGINEERINGLLC.COM</b>	
State Corporation Commission ID number (if applicable)			State Corporation Commission ID number (if applicable)		

*Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: [DAVID@MARINEENGINEERINGLLC.COM](mailto:DAVID@MARINEENGINEERINGLLC.COM)*

Property owner(s), if different from applicant (For a company, use SCC-registered name) <b>MARLYN FABRIZIO TRUST</b>			Contractor, if known (For a company, use SCC-registered name) <b>NA</b>		
Mailing address <b>1825 GREEN HILL ROAD</b>			Mailing address		
City <b>VIRGINIA BEACH</b>	State <b>VA</b>	Zip code <b>23454</b>	City	State	Zip code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile/pager <b>757 375-0650</b>	E-mail <b>MDFABRIZ@GMAIL.COM</b>		Mobile/pager	E-mail	
State Corporation Commission ID number (if applicable)			State Corporation Commission ID number (if applicable)		

**3. PROVIDE A DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE, AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)**

- The purpose must include any new development or expansion of an existing land use and/or proposed future use of residual land
- Describe the physical alteration of surface waters
- Include a description of alternatives considered to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For major surface water withdrawals, public surface water supply withdrawals, or projects that will alter in-stream flows, include the water supply issues that form the basis of the proposed project.

MAINTENANCE DREDGE OF CANAL & INLET TO BROAD BAY TO REMOVE ACCUMULATIONS OF SAND SHOALS FROM LITTORAL DRIFT AT MOUTH OF INLET. ALSO TO MAINTENANCE DREDGE CERTAIN PRIVATE DRIVEWAY BASINS WITHIN CANAL SYSTEM.

### 3. PROVIDE A DESCRIPTION OF THE PROJECT (Continued)

Date of proposed commencement of work (MM/DD/YYYY)

5/1/2021

Date of proposed completion of work (MM/DD/YYYY)

7/1/2021

Are you submitting this application at the direction of any State, local, or Federal agency?  Yes  No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?  Yes  No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

NA

Are you aware of any unresolved violations of environmental law or litigation involving the property?  Yes  No  
(If yes, please explain)

### 4. PREVIOUS SITE VISITS AND/OR PERMITS RELATED TO THE PROPOSED WORK (Include all Federal, State, and Local pre-application coordination or previous permits)

Agency	Activity	Permit/Project number, and explanation of non-reporting Nationwide permits previously used	Action taken ** and Date of Action	If denied, give reason for denial
USACE	DREDGE	96-0029-08 08-3318	APPROVED	
VMRC VB LWB	DREDGE DREDGE	08-2123 16-0838 08-222 16-00092	APPROVED APPROVED	

\*\* Issued, denied, site visit

### 5. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ 100,000.00

Approximate cost of only the portion of the project affecting State waters (below mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ 0

**6. PUBLIC NOTIFICATION** (Attach additional sheets if necessary)

- Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove.
- If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.

Property owner's name	Mailing address	City	State	Zip code
ELISE M BALCOM REV TRUST	2257 HAVERSHAM CLOSE	VIRGINIA BEACH	VA	23454
ERIC M & JOAN JOFFE REVOC	2261 HAVERSHAM CLOSE	VIRGINIA BEACH	VA	23454
BETSY H HARRIS LIVING TRUST	2265 HAVERSHAM CLOSE	VIRGINIA BEACH	VA	23454
MATHEW & MARIE ELLMER  (APOS AT INLET - PLEASE SEE ATTACHMENT FOR OTHERS IN CANAL)	4908 ATHENS BLVD (1829 GREEN HILL ROAD)	VIRGINIA BEACH	VA	23455

Name of newspaper having general circulation in the area of the project: VIRGINIAN PILOT  
 Address and phone number (including area code) of newspaper 150 W BRAMBLETON AVE NORFOLK, VA 23509 (757) 222-5346

Have adjacent property owners been notified with forms in Appendix A?  Yes  No (attach copies of distributed forms)

**7. THREATENED AND ENDANGERED SPECIES INFORMATION**

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or your Corps' waters and wetlands delineation confirmation. Contact information for the Virginia Department of Game and Inland Fisheries and the Virginia Department of Conservation and Recreation, Division of Natural Heritage can be found on page 4 of this package.

NONE

**8. HISTORIC RESOURCES INFORMATION**

*Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the Corps from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the Corps, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.*

Are any historic properties located within or adjacent to the project site?  Yes  No  Uncertain  
 If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site?  Yes  No  Uncertain  
 If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district?  Yes  No  Uncertain  
 If Yes, please indicate which district: \_\_\_\_\_

## 8. HISTORIC RESOURCES INFORMATION (Continued)

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes  No  Uncertain

If Yes, please provide the following information: Date of Survey: \_\_\_\_\_

Name of firm: \_\_\_\_\_

Is there a report on file with the Virginia Department of Historic Resources?  Yes  No  Uncertain

Title of Cultural Resources Management (CRM) report: \_\_\_\_\_

Was any historic property located?  Yes  No  Uncertain

## 9. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION

Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 18.

	Impact site number 1	Impact site number 2	Impact site number 3
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	EX T PE SB NV		
Wetland/waters impact area (square feet)	21116		
Dune/beach impact area (square feet)			
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)			
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)	0		
Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO;</i> <i>Example stream: wide; bank eroding;</i> <i>braided channel;</i> <i>Example stream: 'C' channel</i>	UB- 2,3,4 US - 2 EM - 1		
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second)	TIDAL		
Contributing drainage area (acres or square miles)	0.24 SQUARE MILES		



**9. WETLANDS/WATERS IMPACT INFORMATION (Continued)**

DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII	ESTUARINE CLASS II		
--	--------------------	--	--

**For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map<sup>(4)</sup> – see the Footnotes section in the form instructions.**

**For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.**

**10. APPLICANT, AGENT, OWNER, AND CONTRACTOR CERTIFICATIONS**

If the Applicant(s), Agent(s), Owner(s), or Contractor(s) is/are a company, please use the company name(s) that is/are registered with the State Corporation Commission (SCC).

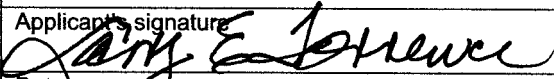
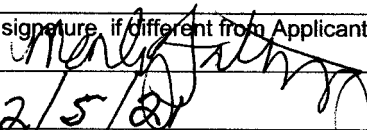
**READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Is/Are the Applicant(s) and Owner(s) the same? \_\_\_ Yes  No

Applicant's name & title (printed or typed) CHELSEA WATERWAY ASSOCIATES INC	Second applicant's name & title, if applicable (printed or typed)
Applicant's signature 	Second applicant's signature
Date JAN. 30, 2021	Date
(Required for VMRC permit actions only) Property owner's name, if different from Applicant MARLYN FABRIZIO TRUST	(Required for VMRC permit actions only) Second property owner's name, if applicable
Owner's signature, if different from Applicant 	Second owner's signature
Date 2/5/21	Date

**10. APPLICANT, AGENT, OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)**

If the Applicant(s), Agent(s), Owner(s), or Contractor(s) is/are a company, please use the company name(s) that is/are registered with the State Corporation Commission (SCC).

**CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT(S)'S BEHALF (IF APPLICABLE)**

I (we), CHELSEA WATERWAY ASSOCIATES INC (and) \_\_\_\_\_,  
 APPLICANT'S NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized MARINE ENGINEERING LLC (and) \_\_\_\_\_  
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature <i>[Signature]</i>	Second applicant's s
Date <u>JAN 30, 2021</u>	Date
Agent's signature and title <i>[Signature]</i>	Second agent's signi
Date <u>2/12/2020</u>	Date

AGENTS PROVIDE LIMITED SUPPORT TO THE PRINCIPAL AND DO NOT CONSENT OR ENTER INTO AGREEMENTS WITH OTHERS TO ACCEPT THE PRINCIPAL'S LIABILITY FOR ANY COST OR PERFORMANCE REQUIREMENT RELATED TO THE ACTIVITIES OF THIS PERMIT REQUEST.

**CONTRACTOR ACKNOWLEDGEMENT (IF APPLI**

I (we), \_\_\_\_\_ (and) \_\_\_\_\_  
 APPLICANT'S NAME(S) – complete the second blank if more than one Applicant

have contracted \_\_\_\_\_ (and) \_\_\_\_\_  
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

I (we) will read and abide by all conditions as set forth in all Federal, State, and Local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, State, and Local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes.

In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)		Contractor's or firm's mailing address	
Contractor's signature and title		Contractor's license number	Date
Applicant's signature		Second applicant's signature, if applicable	
Date		Date	



**END OF GENERAL INFORMATION**

The following sections are activity-specific. Fill out only the sections that apply to your particular project.

## 18. DREDGING, MINING, AND EXCAVATING

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands							-	-
Nonvegetated wetlands							150	385
Subaqueous land							961	16327
Totals							1111	20777
Is this a one-time dredging event? <input checked="" type="checkbox"/> Yes _____ No _____ If "no", how many dredging cycles are anticipated: _____ (____ initial cycle in cu. yds.) (____ subsequent cycles in cu. yds.)								
Composition of material (percentage sand, silt, clay, rock): Provide documentation (i.e. laboratory results or analytical reports) that <i>dredged</i> material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e. bill of lading from commercial supplier or disposal site).  15% SAND & 85% SILT AND ORGANICS								
Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross section drawings of the dewatering area and associated outfall. ALL DREDGE MATERIALS WILL BE REMOVED BY A LICENSED MARINE CONTRACTOR, LOADED INTO BARGE CONTAINERS AND TRANSPORTED TO THE CONTRACTOR'S APPROVED SITE TO BE OFFLOADED ONTO TRUCKS THEN HAULED TO THE PAXTON DISPOSAL FACILITY OR OTHER APPROVED LOCATION.								
Will the dredged material be used for any commercial purpose or beneficial use? _____ Yes <input checked="" type="checkbox"/> No If yes, please explain:								
If this is a maintenance dredging project, what was the date that the dredging was last performed? _____ 9/2019 Permit number of original permit: _____ 2008-3328 (It is important that you attach a copy of the original permit.)								
For mining projects: On separate sheets of paper, explain the operation plans, including: 1) the frequency (i.e., every six weeks, for example), duration (i.e., April through September), and volume (in cubic yards) to be removed per operation; 2) the temporary storage and handling methods of mined material, including the dimensions of the containment berm used for upland disposal of dredged material and the need (or no need) for a liner or impermeable material to prevent the leaching of any identified contaminants into ground water; 3) how equipment will access the mine site; and 4) verification that dredging: a) will not occur in water body segments that are currently on the effective Section 303(d) Total Maximum Daily Load (TMDL) priority list or that have an approved TMDL; b) will not exacerbate any impairment; and c) will be consistent with any waste load allocation/limit/conditions imposed by an approved TMDL. Have you applied for a permit from the Virginia Department of Mines, Minerals and Energy? _____ Yes _____ No								
Contributing drainage area: _____ square miles					Average stream flow at site (flow rate under normal rainfall conditions): _____ cfs			

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: CHELSEA SUBDIVISION CANAL INLET TO BROAD BAY

APPLICANT'S NAME: CHELSEA WATERWAY ASSOCIATION INC

APPLICANT'S ADDRESS: 2504 QUEENS ELM PL

VIRGINIA BEACH, VA 23454

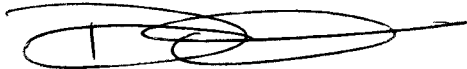
ENGINEER OF RECORD: DAVID KLEDZIK

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT

CONSTRUCTION: DAVID KLEDZIK

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

2/12/2021

DATE

DAVID KLEDZIK

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

JAN. 30, 2021

DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

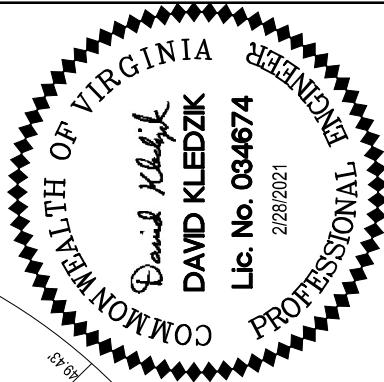
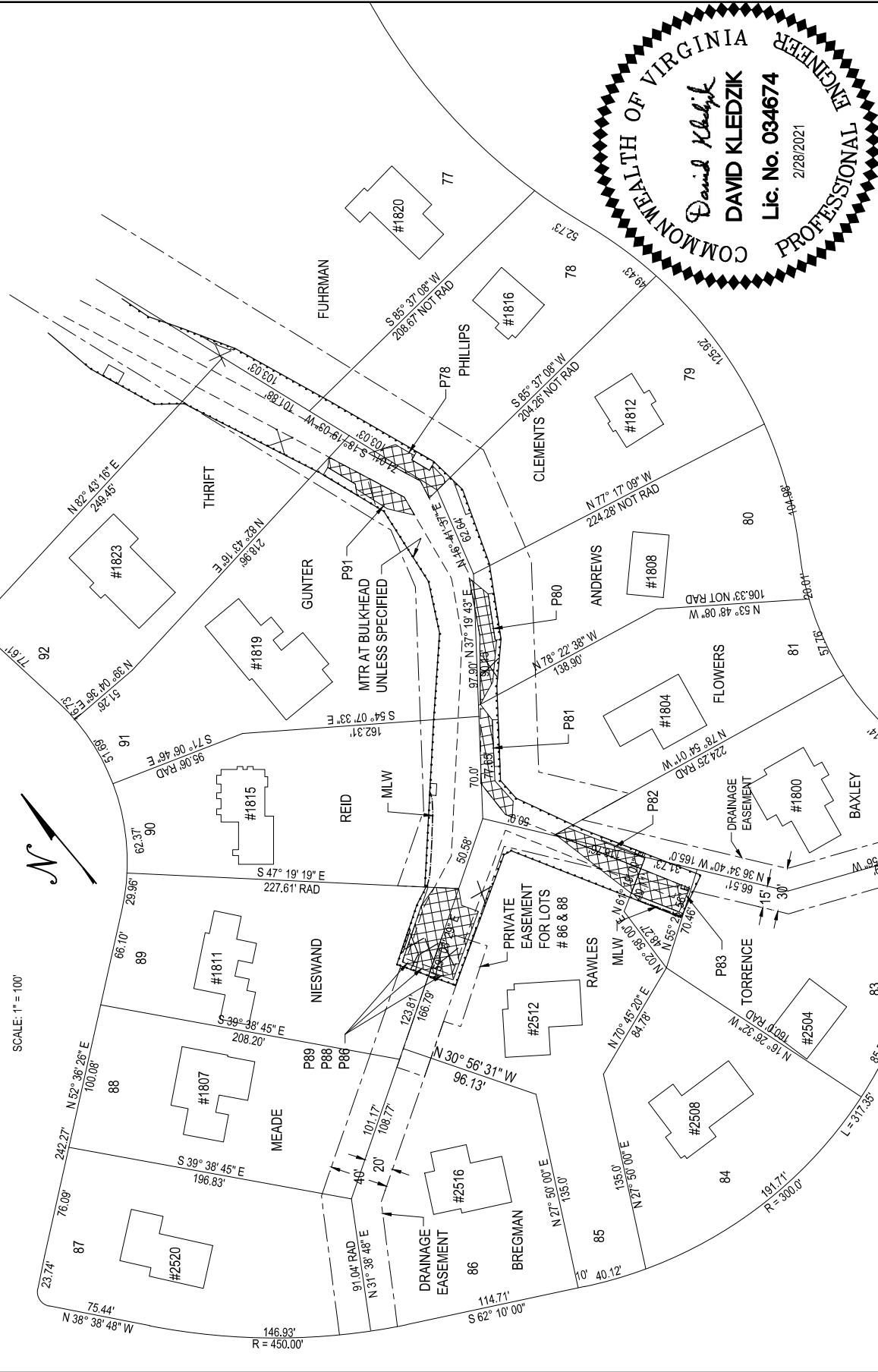
ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



# PROPOSED DRIVEWAYS - WEST END CANAL

SCALE: 1" = 100'



PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS

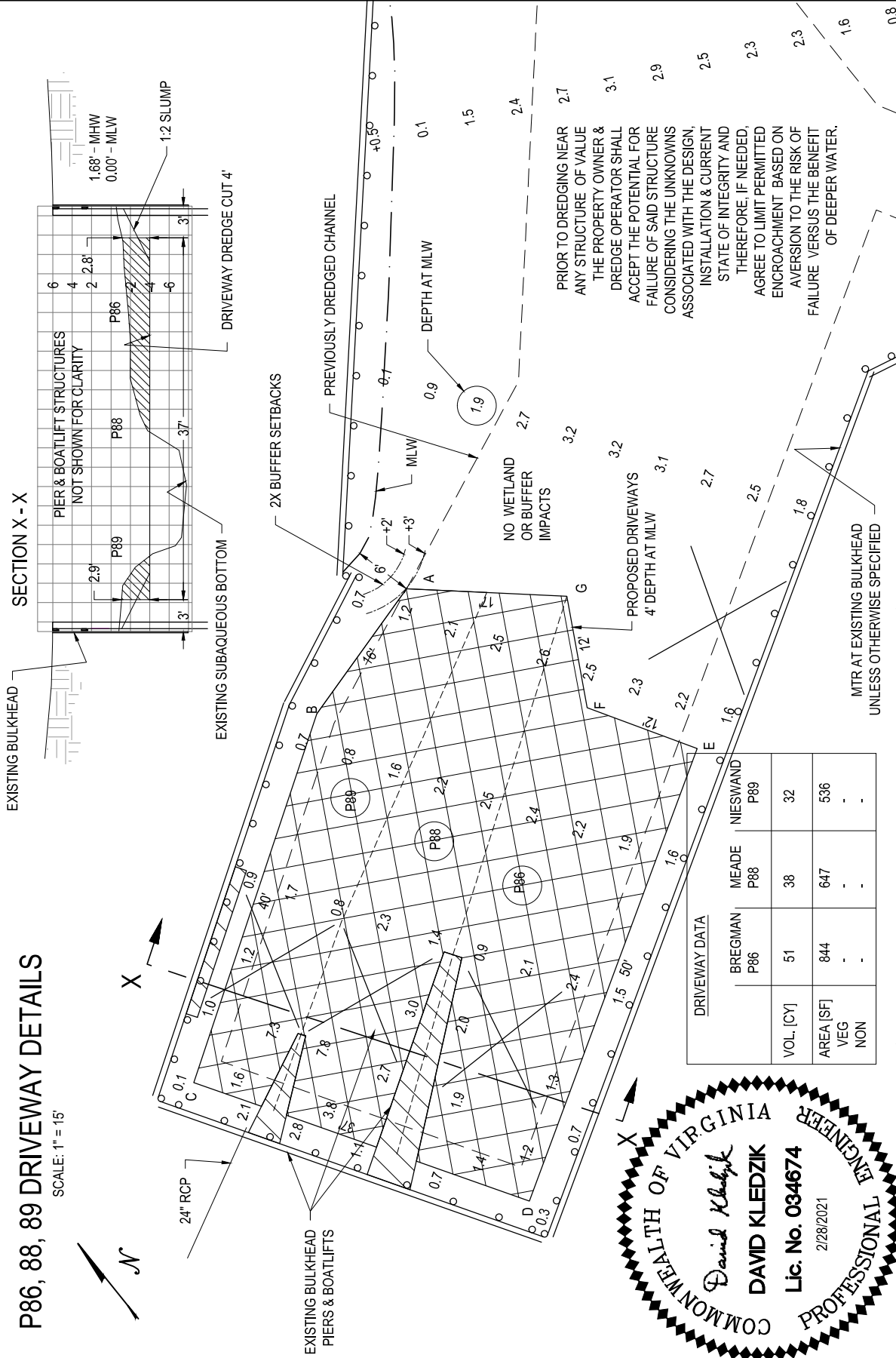
DATUM: MLW = 0.00'  
SHEET 2 OF 22  
DATE: DECEMBER 18, 2020  
REV—

**MARINE ENGINEERING LLC**  
142 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

# P86, 88, 89 DRIVEWAY DETAILS

SCALE: 1" = 15'



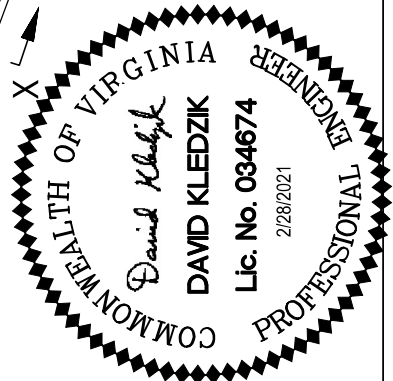
PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS

DATUM: MLW = 0.00'  
SHEET 3 OF 22  
DATE: DECEMBER 18, 2020  
REV-

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454



Received by VMRC March 2, 2021 /blh

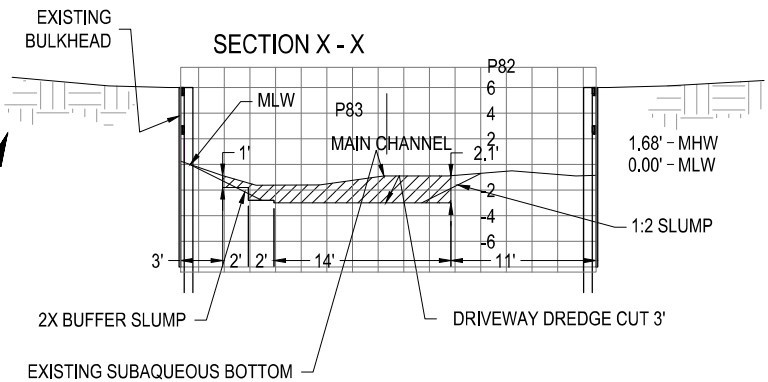
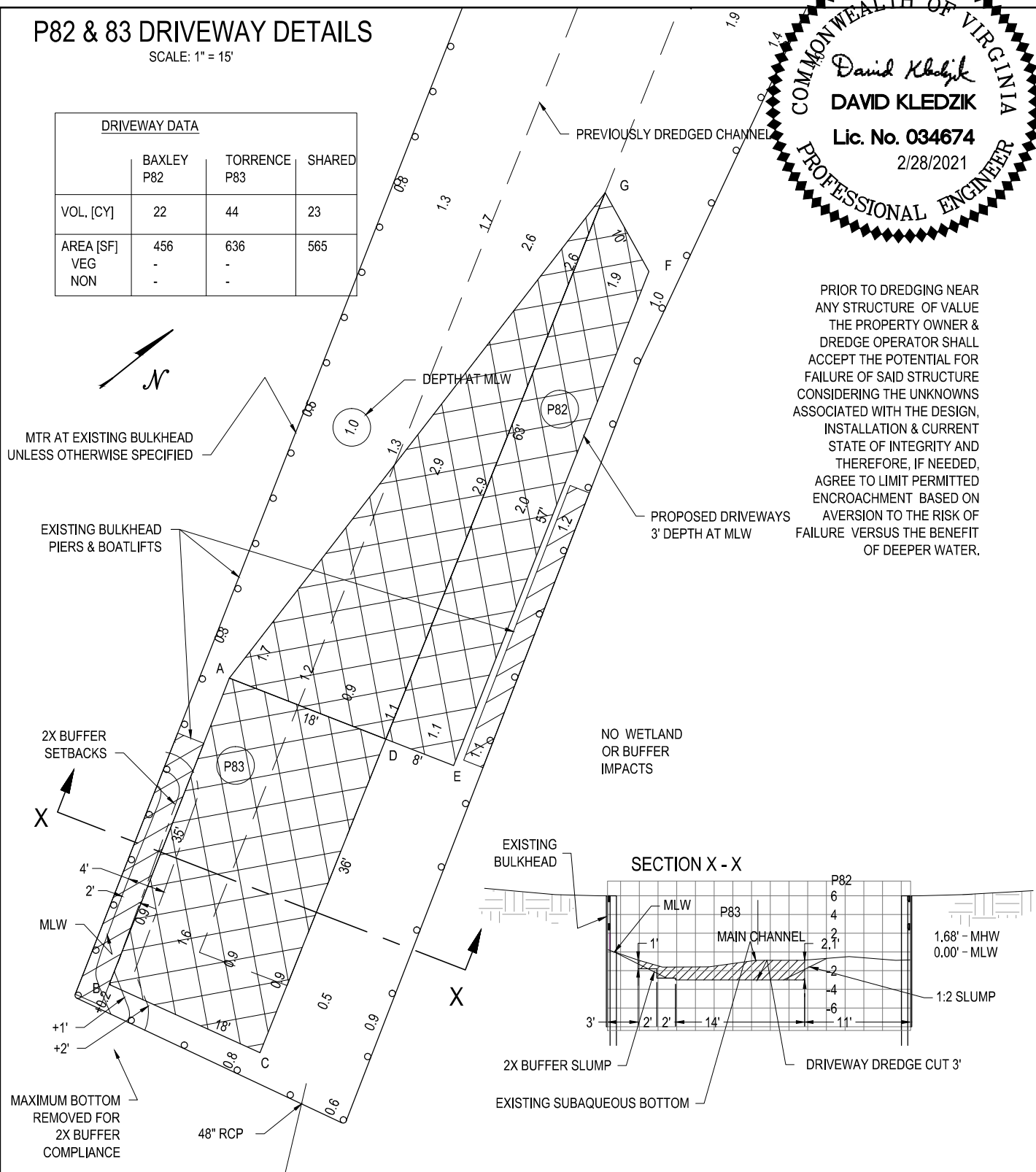
# P82 & 83 DRIVEWAY DETAILS

SCALE: 1" = 15'

DRIVEWAY DATA			
	BAXLEY P82	TORRENCE P83	SHARED
VOL. [CY]	22	44	23
AREA [SF]	456	636	565
VEG	-	-	-
NON	-	-	-



PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWNNS ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.



APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS

DATUM: MLW = 0.00'  
 SHEET 4 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-

Received by VMRC March 2, 2021 /blh

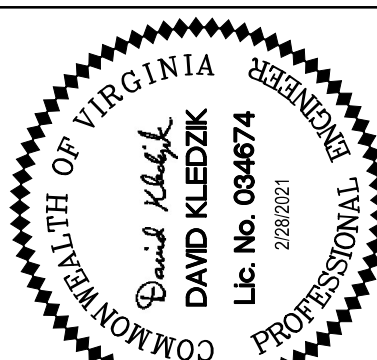
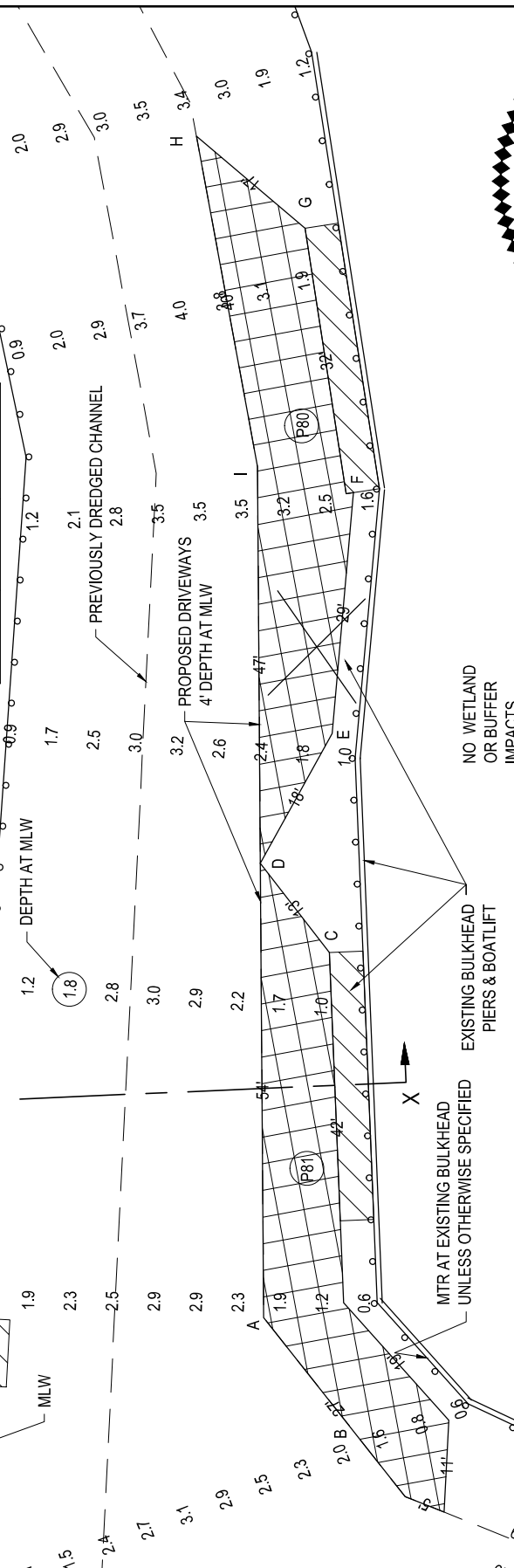


# P80 & 81 DRIVEWAY DETAILS

SCALE: 1" = 20'

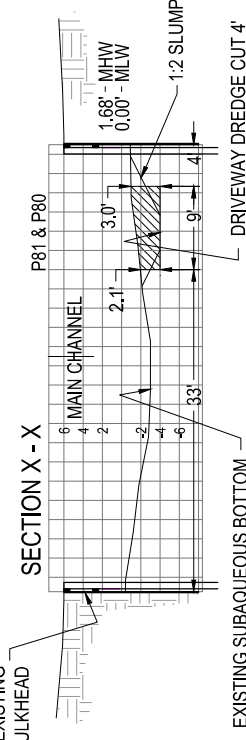


DRIVEWAY DATA		
ANDREWS P80	FLOWERS P81	
VOL. [CY]	42	60
AREA [SF]	755	656
VEG	-	-
NON	-	-



PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

NO WETLAND OR BUFFER IMPACTS



PIER & BOATLIFT STRUCTURES NOT SHOWN FOR CLARITY

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
 DATUM: MLW = 0.00'  
 SHEET 5 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-

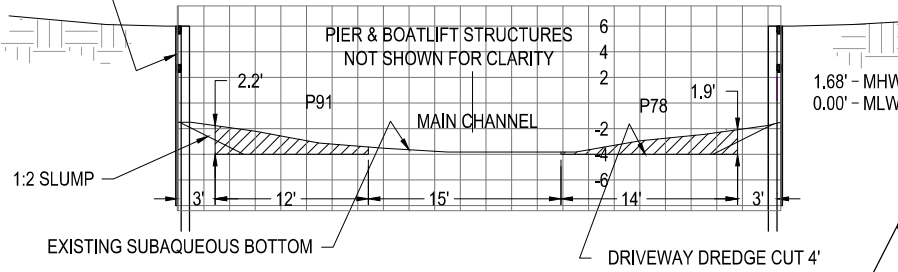
**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

Received by VMRC March 2, 2021 /blh

EXISTING BULKHEAD

SECTION X - X



1.68' - MHW  
0.00' - MLW

P78 & 91 DRIVEWAY DETAILS

SCALE: 1" = 15'

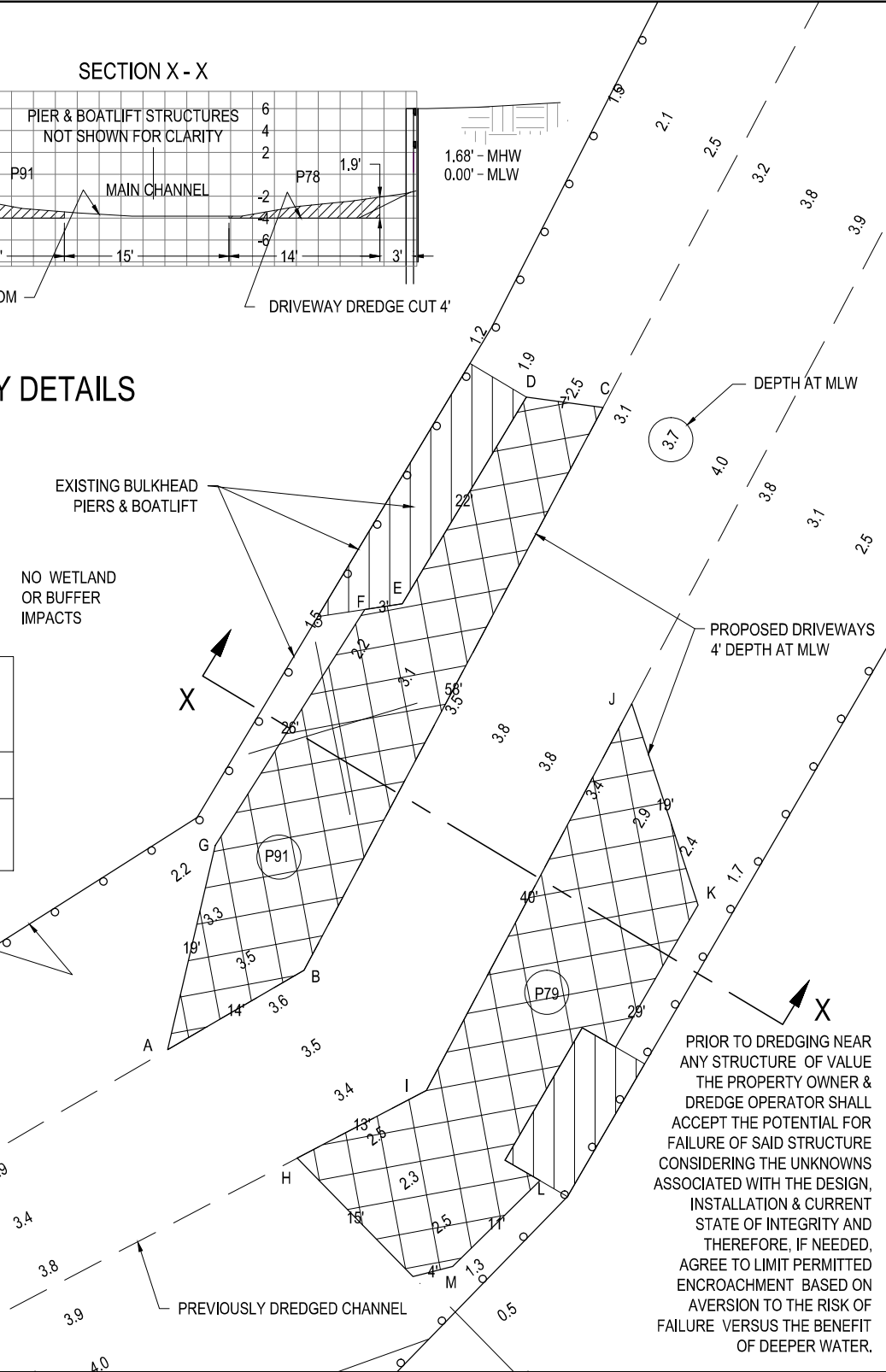
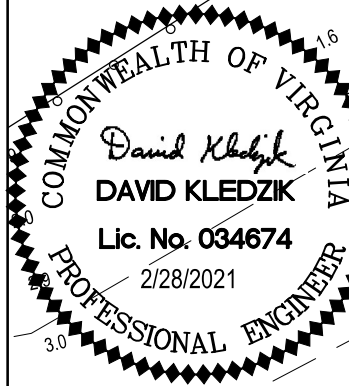


EXISTING BULKHEAD  
PIERS & BOATLIFT

NO WETLAND  
OR BUFFER  
IMPACTS

DRIVEWAY DATA		
	PHILLIPS P78	GUNTER P91
VOL. [CY]	30	27
AREA [SF]	618	618
VEG	-	-
NON	-	-

MTR AT EXISTING BULKHEAD  
UNLESS OTHERWISE SPECIFIED



DEPTH AT MLW

PROPOSED DRIVEWAYS  
4' DEPTH AT MLW

PREVIOUSLY DREDGED CHANNEL

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWNNS ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

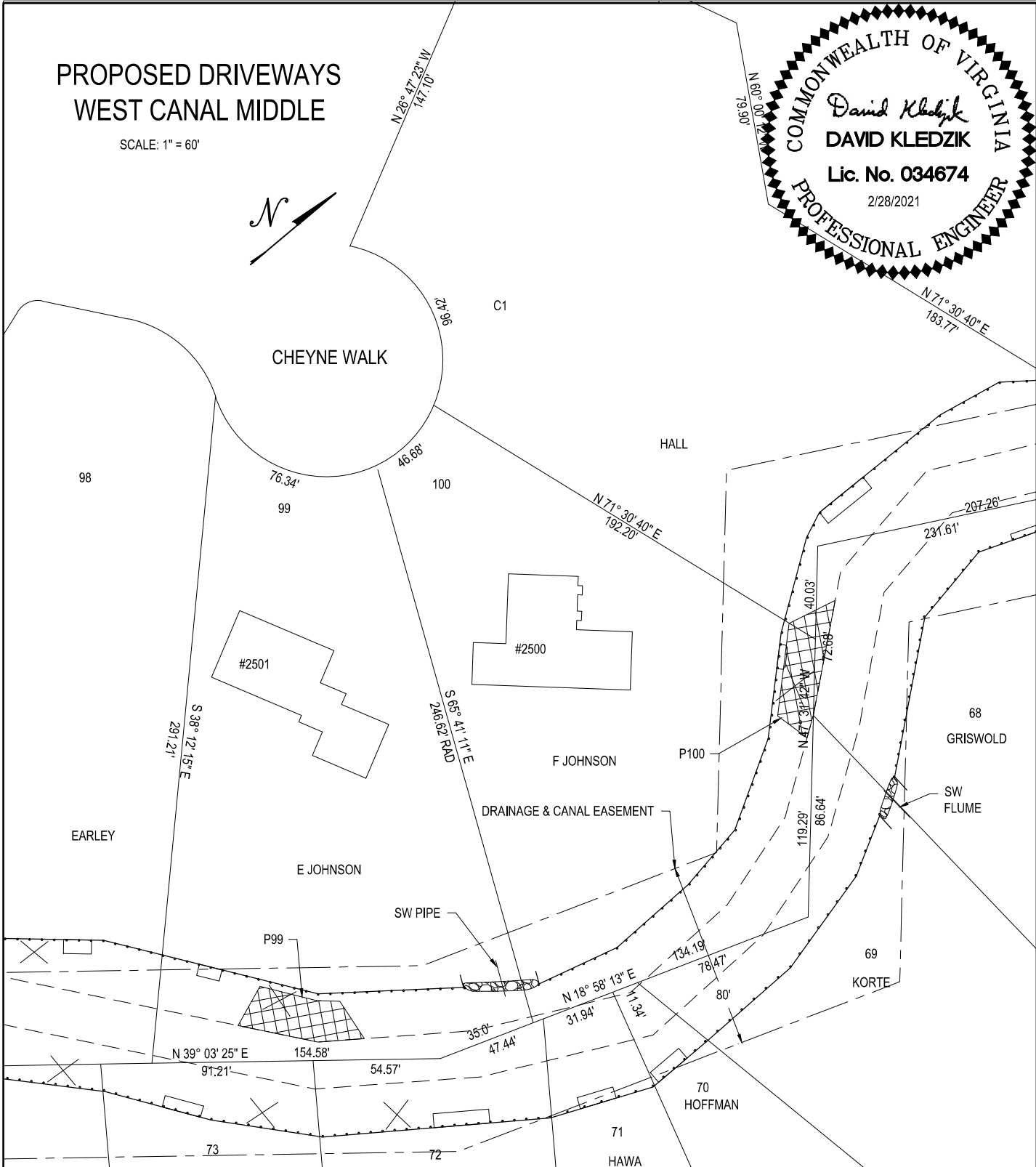
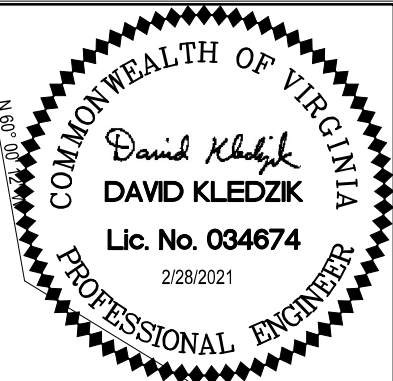
APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 6 OF 22  
DATE: DECEMBER 18, 2020  
REV-

**PROPOSED DRIVEWAYS  
WEST CANAL MIDDLE**

SCALE: 1" = 60'



APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

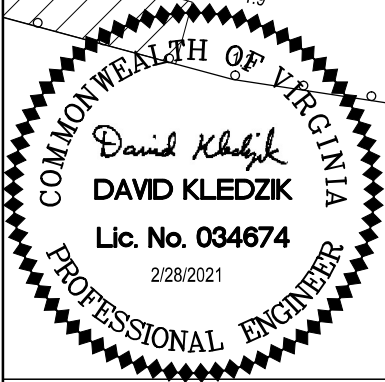
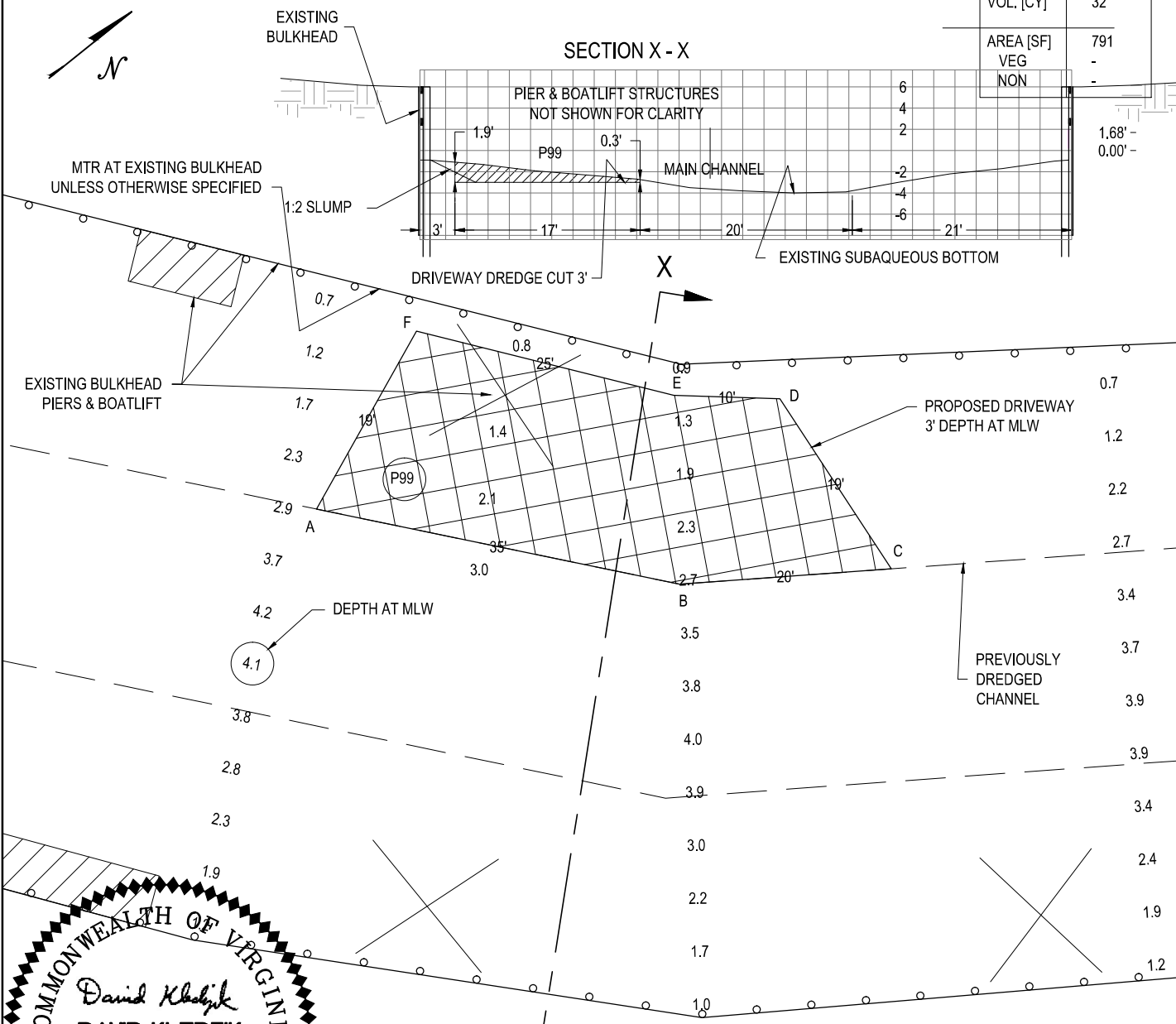
PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 7 OF 22  
DATE: DECEMBER 18, 2020  
REV-

# P99 DRIVEWAY DETAILS

SCALE: 1" = 15'

NO WETLAND  
OR BUFFER  
IMPACTS

DRIVEWAY DATA	
	JOHNSON P99
VOL. [CY]	32
AREA [SF]	791
VEG	-
NON	-

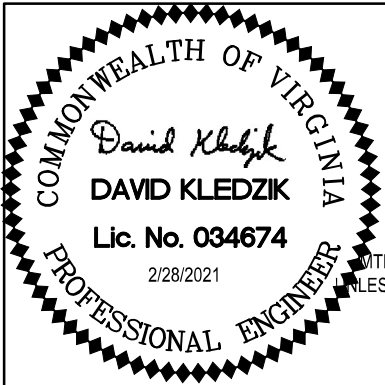


**X** PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 8 OF 22  
DATE: DECEMBER 18, 2020  
REV-



1 MTR AT EXISTING BULKHEAD  
UNLESS OTHERWISE SPECIFIED

### P100 DRIVEWAY DETAILS

SCALE: 1" = 15'

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

EXISTING BULKHEAD  
PIER & BOATLIFT

PROPOSED DRIVEWAY  
3' DEPTH AT MLW

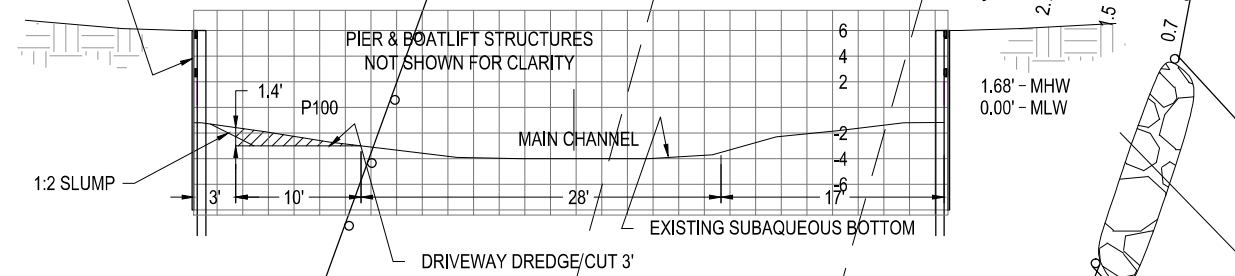
DEPTH AT MLW

DRIVEWAY DATA	
	JOHNSON P100
VOL. [CY]	12
AREA [SF]	478
VEG	-
NON	-

NO WETLAND  
OR BUFFER  
IMPACTS

EXISTING BULKHEAD

#### SECTION X - X



1.68' - MHW  
0.00' - MLW

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

### MARINE ENGINEERING LLC

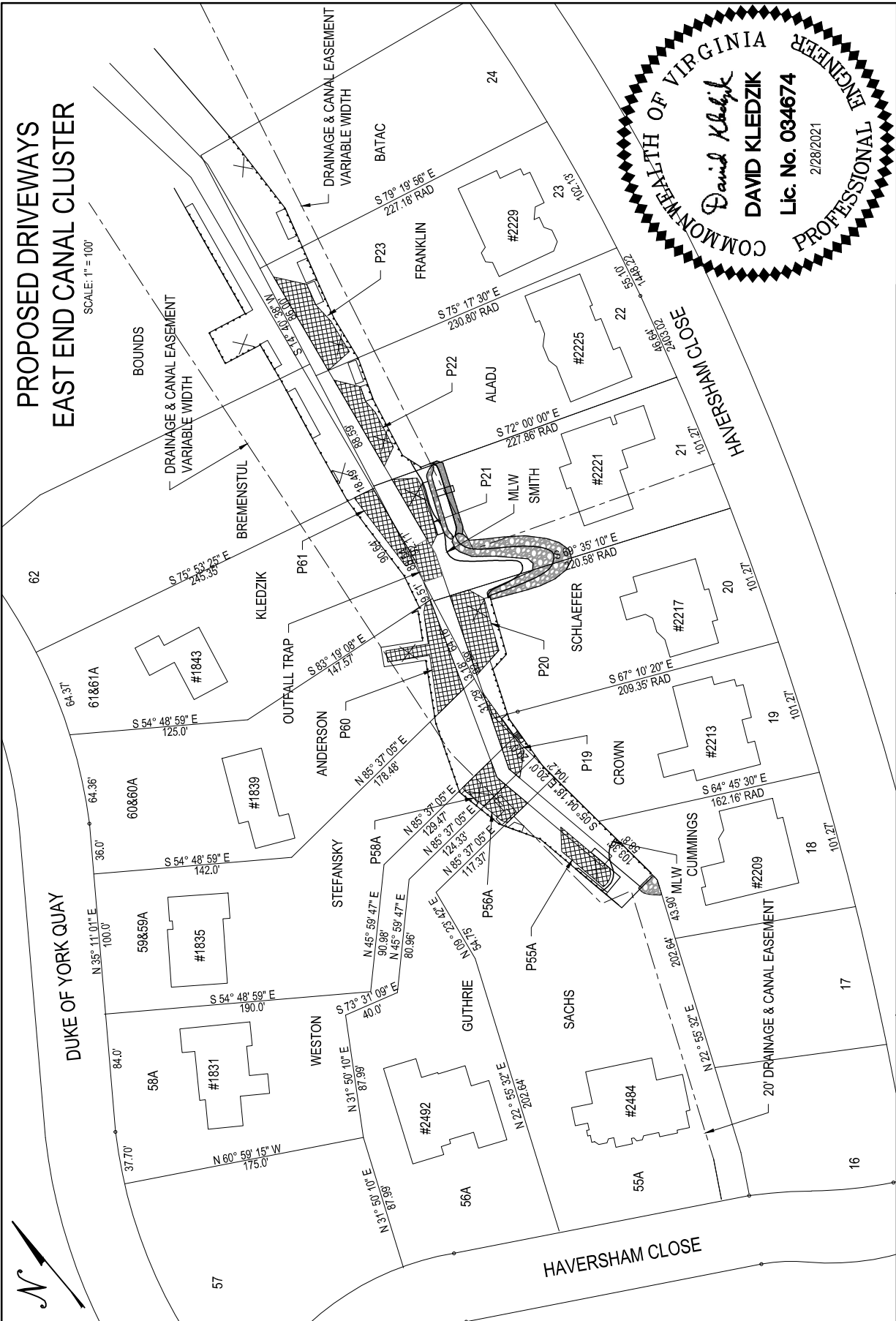
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS

DATUM: MLW = 0.00'  
SHEET 9 OF 22  
DATE: DECEMBER 18, 2020  
REV-

# PROPOSED DRIVEWAYS EAST END CANAL CLUSTER

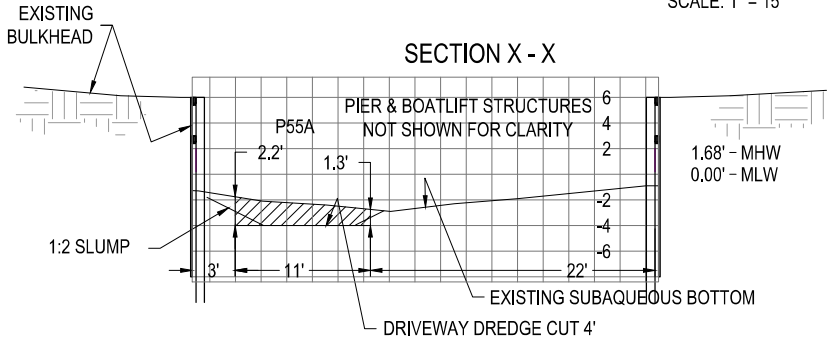
SCALE: 1" = 100'



<p>APPLICATION BY CHELSEA WATERWAY ASSOCIATION INC 1825 QUEENS ELM PLACE VIRGINIA BEACH, VA 23454</p>	<p>PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS</p> <p>DATUM: MLW = 0.00' SHEET 10 OF 22 DATE: DECEMBER 18, 2020 REV -</p>
<p><b>MARINE ENGINEERING LLC</b> 4212 DOUGHERTY CT VIRGINIA BEACH, VA 23455 (757) 477-4787</p>	<p>Received by VMRC March 2, 2021 /blh</p>

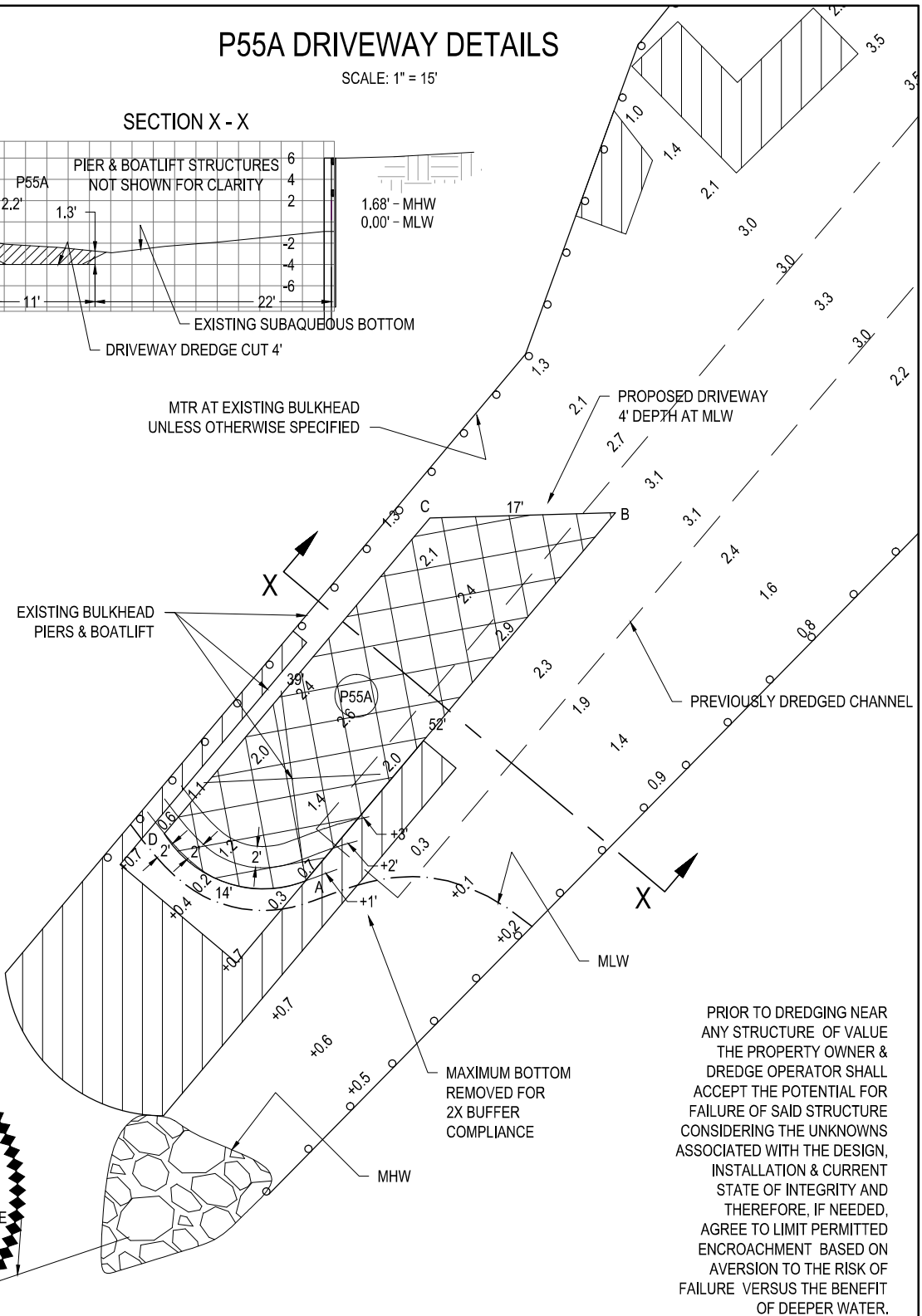
# P55A DRIVEWAY DETAILS

SCALE: 1" = 15'

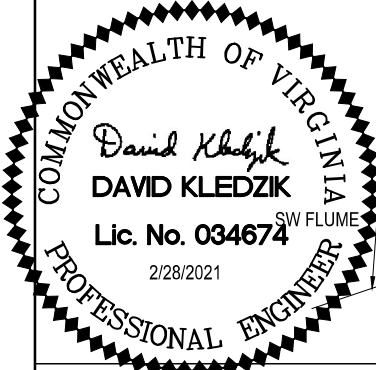


NO WETLAND OR BUFFER IMPACTS

DRIVEWAY DATA	
	SACHS P55A
VOL. [CY]	43
AREA [SF]	564
VEG	-
NON	-



PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWNNS ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.



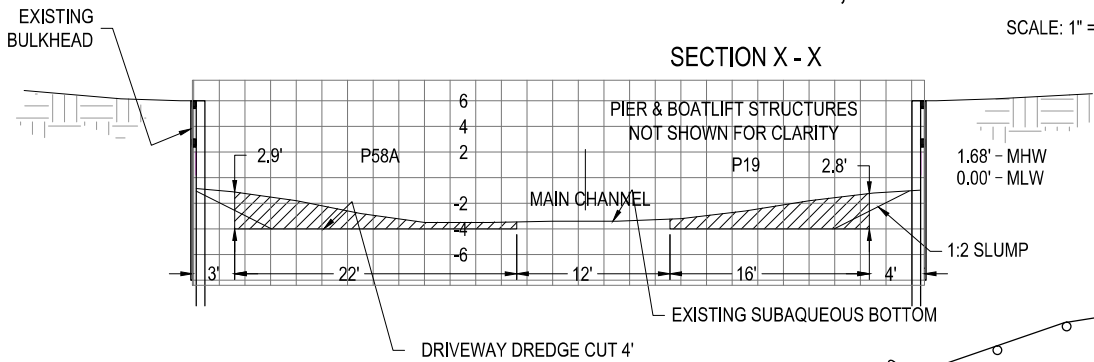
APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

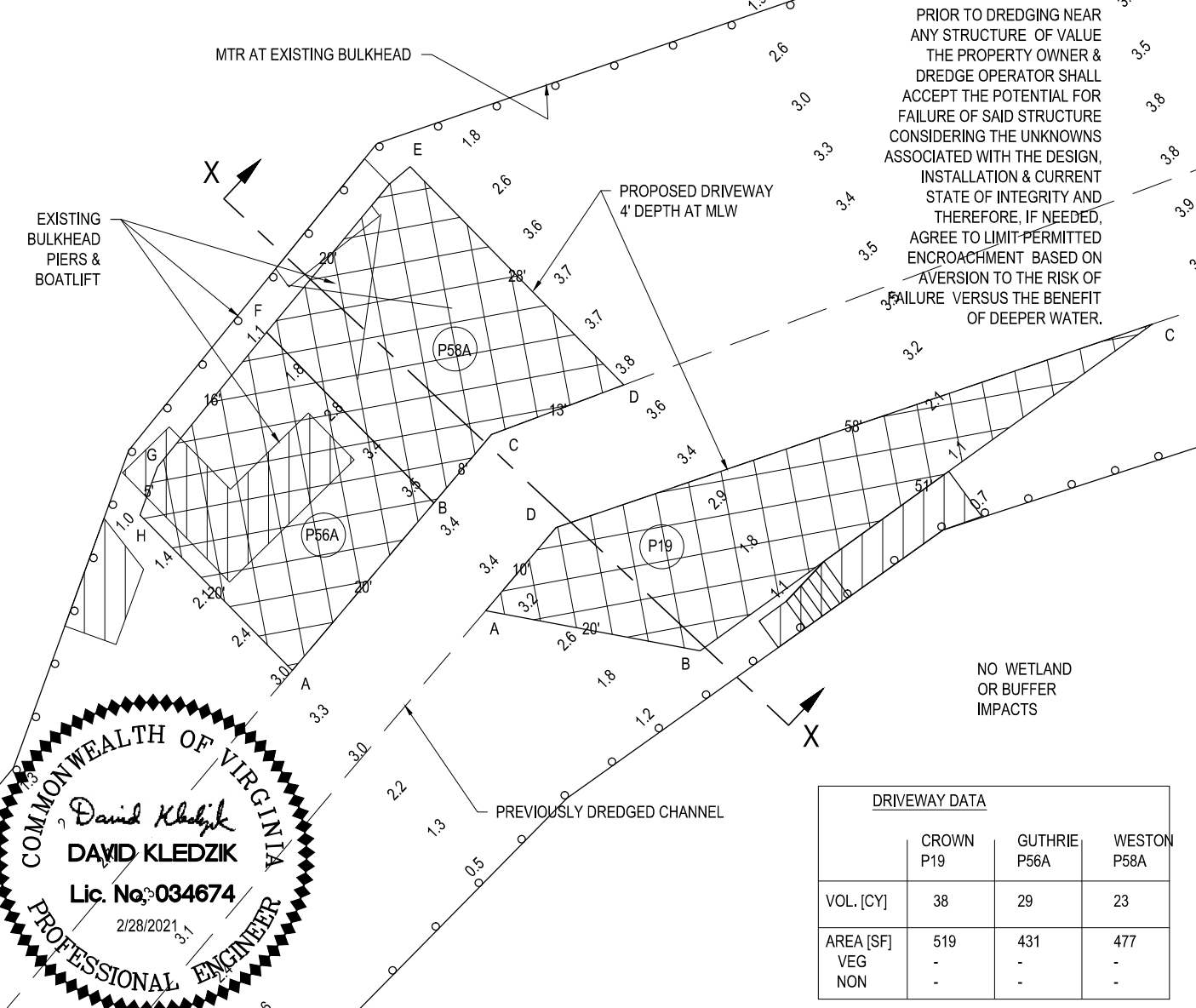
PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 11 OF 22  
DATE: DECEMBER 18, 2020  
REV-

# P19, 56A & 58A DRIVEWAY DETAILS

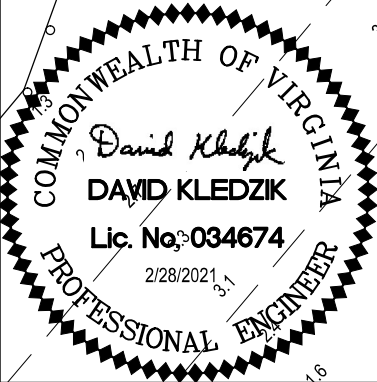
SCALE: 1" = 15'



PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.



NO WETLAND OR BUFFER IMPACTS



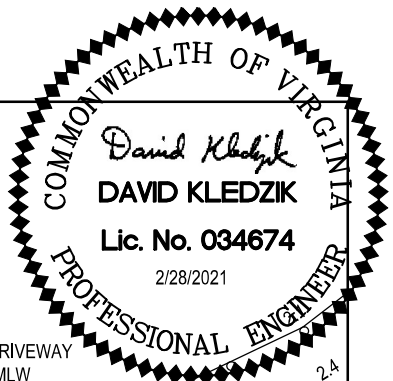
DRIVEWAY DATA			
	CROWN P19	GUTHRIE P56A	WESTON P58A
VOL. [CY]	38	29	23
AREA [SF]	519	431	477
VEG	-	-	-
NON	-	-	-

APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
 DATUM: MLW = 0.00'  
 SHEET 12 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-





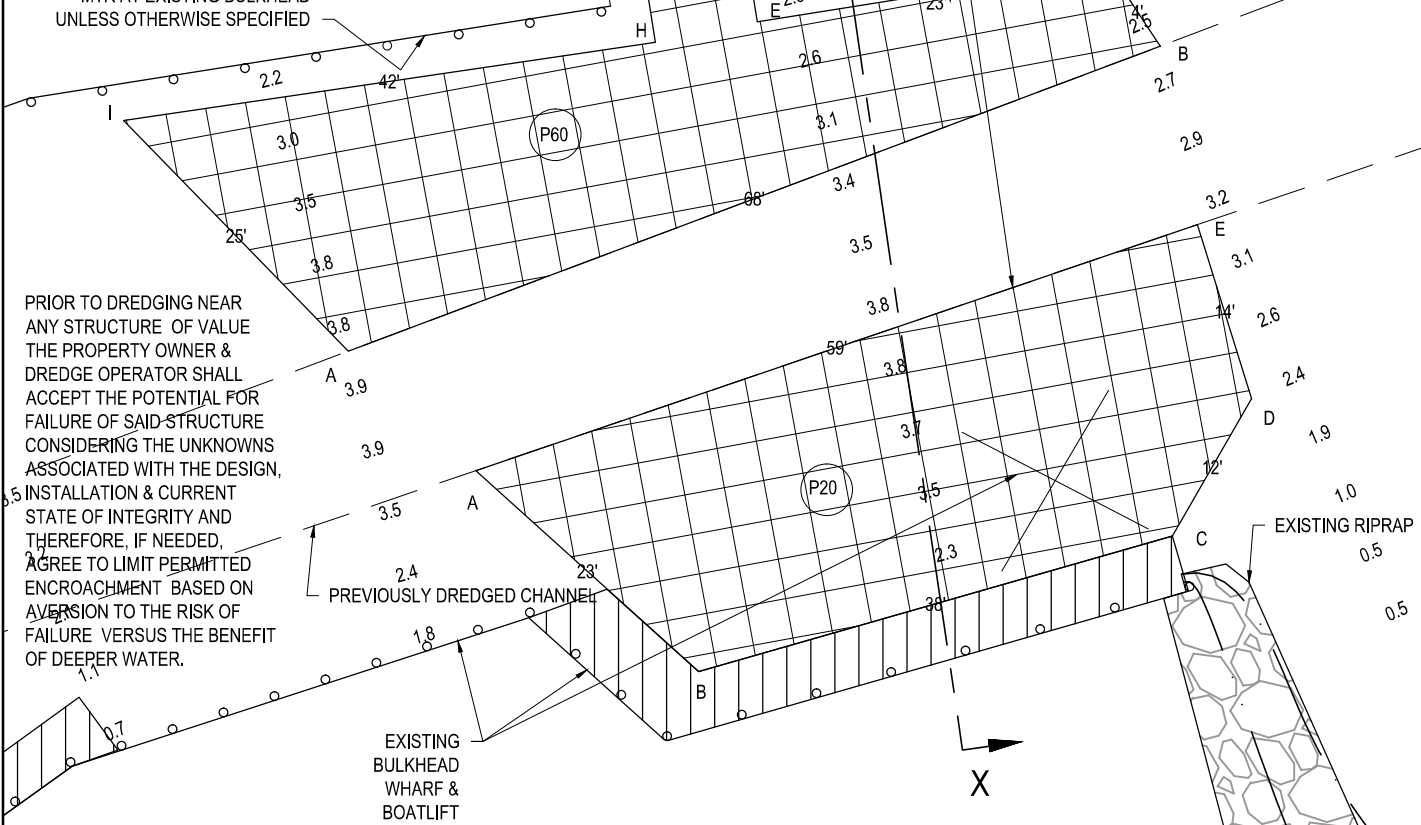
# P20 & 60 DRIVEWAY DETAILS

SCALE: 1" = 15'

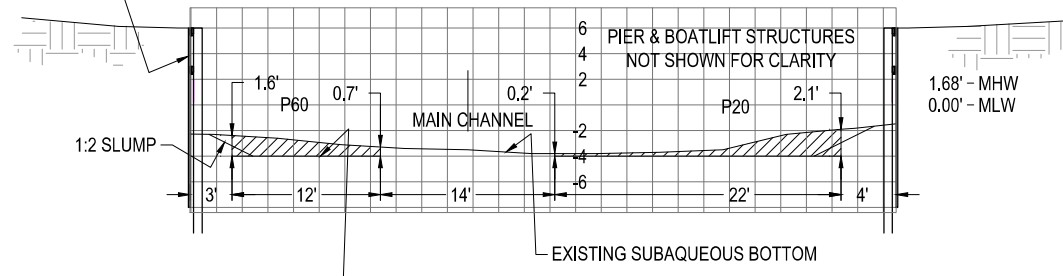
DRIVEWAY DATA		
	SCHLAEFER P20	ANDERSON P60
VOL. [CY]	45	49
AREA [SF]	1111	1268
VEG	-	-
NON	-	-

NO WETLAND OR BUFFER IMPACTS

MTR AT EXISTING BULKHEAD UNLESS OTHERWISE SPECIFIED



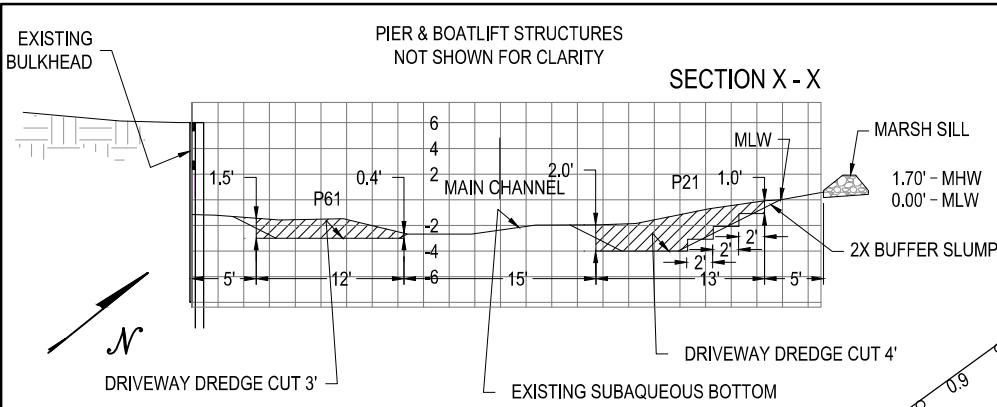
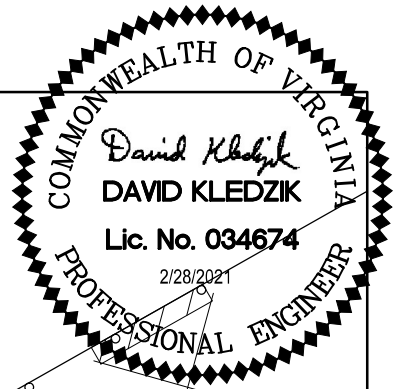
## SECTION X - X



APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

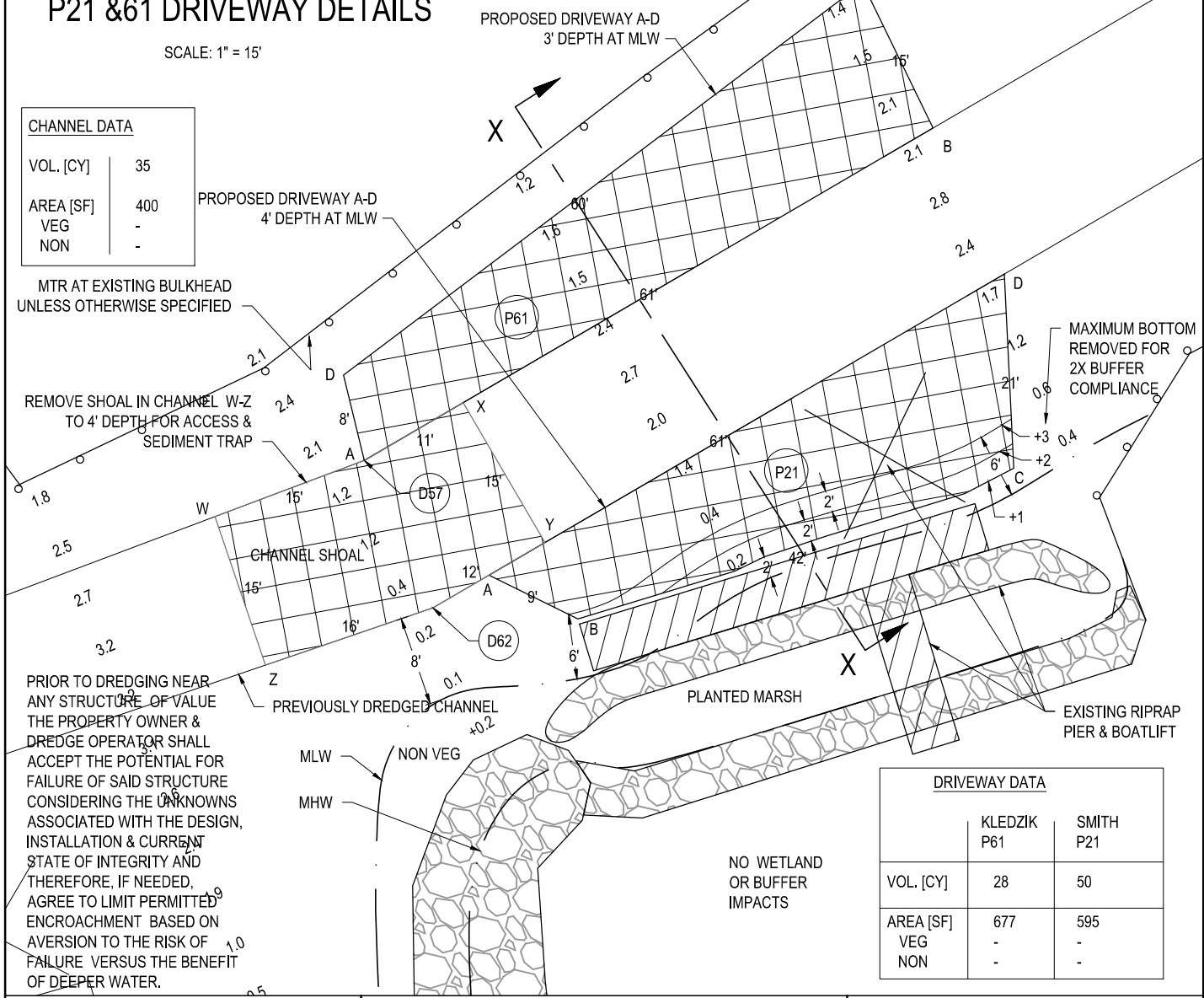
PROPOSED PROJECT TO IMPROVE  
 WATERCRAFT ACCESS  
 DATUM: MLW = 0.00'  
 SHEET 13 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-



### P21 & 61 DRIVEWAY DETAILS

SCALE: 1" = 15'

CHANNEL DATA	
VOL. [CY]	35
AREA [SF]	400
VEG	-
NON	-



DRIVEWAY DATA		
	KLEDZIK P61	SMITH P21
VOL. [CY]	28	50
AREA [SF]	677	595
VEG	-	-
NON	-	-

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

NO WETLAND OR BUFFER IMPACTS

APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

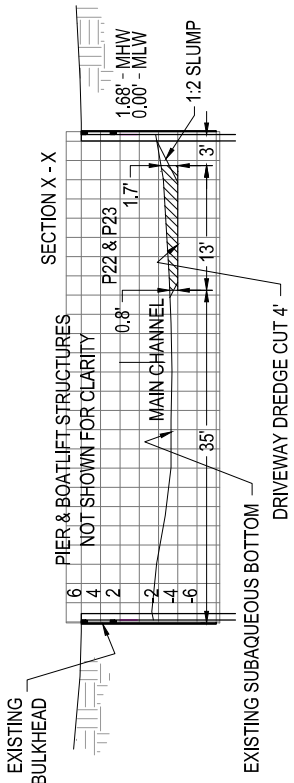
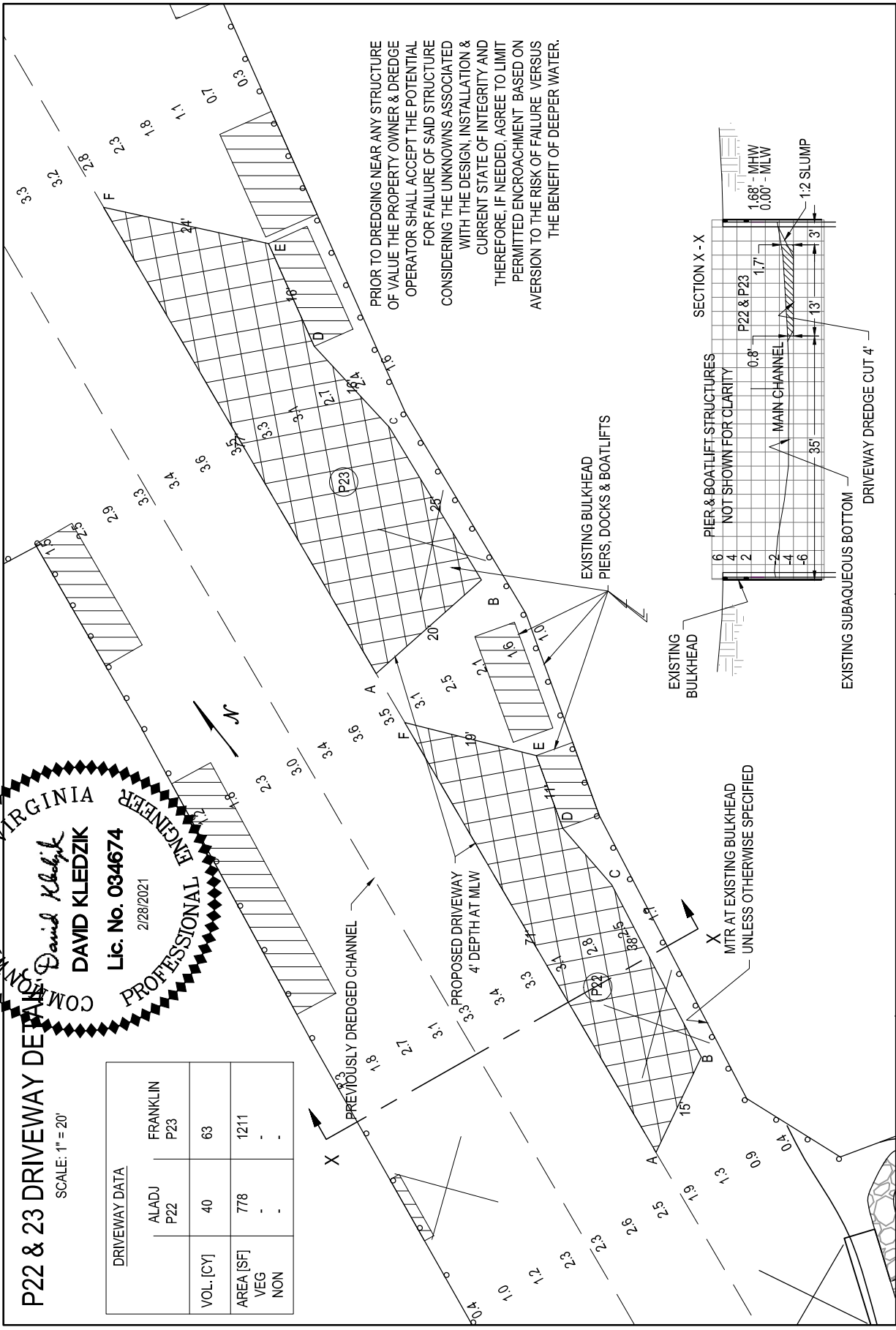
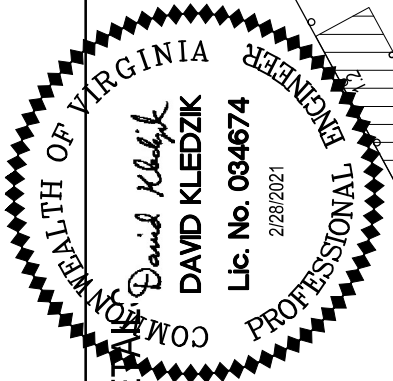
**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
 DATUM: MLW = 0.00'  
 SHEET 14 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-

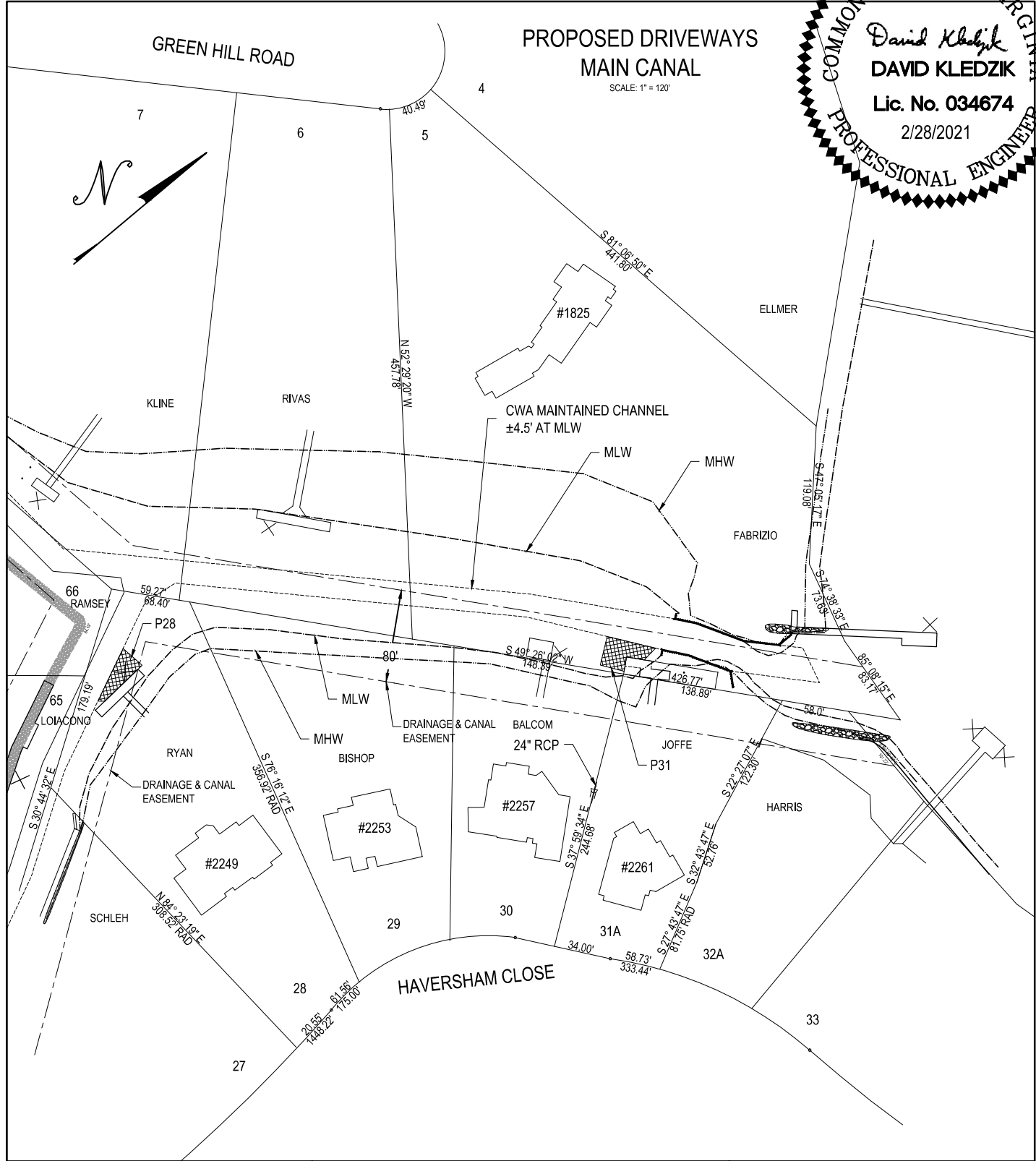
# P22 & 23 DRIVEWAY DETAILS

SCALE: 1" = 20'

DRIVEWAY DATA	
ALADJ P22	FRANKLIN P23
VOL. [CY]	63
AREA [SF]	1211
VEG	-
NON	-



<p>APPLICATION BY CHELSEA WATERWAY ASSOCIATION INC 1825 QUEENS ELM PLACE VIRGINIA BEACH, VA 23454</p>	<p><b>MARINE ENGINEERING LLC</b> 4212 DOUGHERTY CT VIRGINIA BEACH, VA 23455 (757) 477-4787</p>	<p>PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS</p> <p>DATUM: MLW = 0.00' SHEET 15 OF 22 DATE: DECEMBER 18, 2020 REV—</p>
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APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

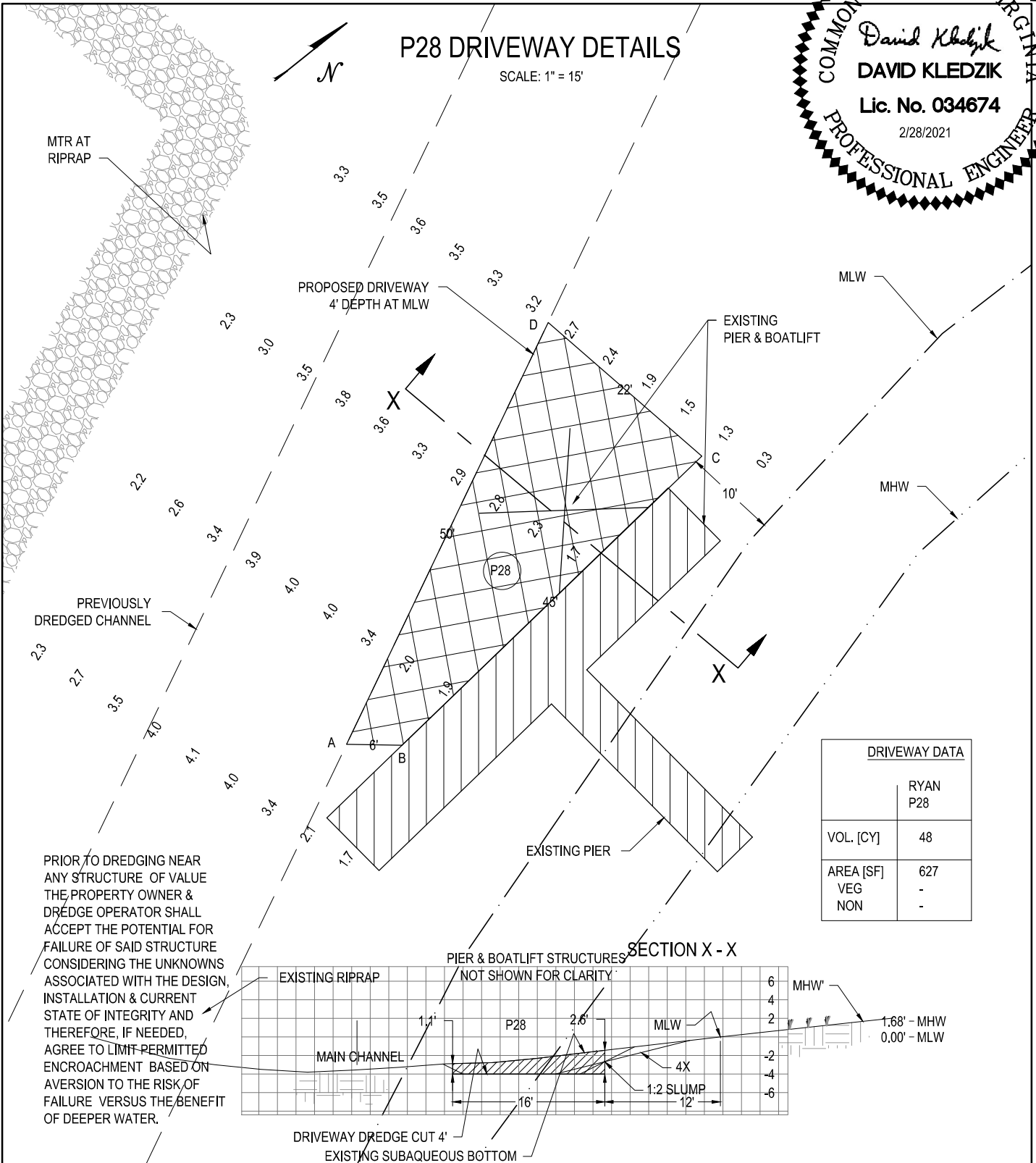
PROPOSED PROJECT TO IMPROVE  
 WATERCRAFT ACCESS

DATUM: MLW = 0.00'  
 SHEET 16 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-



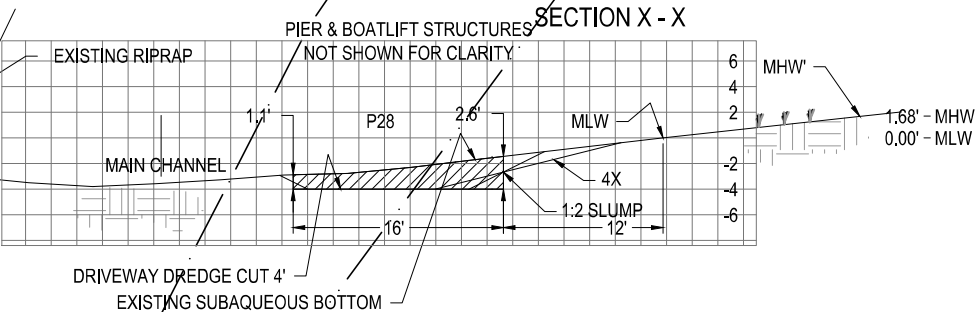
# P28 DRIVEWAY DETAILS

SCALE: 1" = 15'



DRIVEWAY DATA	
	RYAN P28
VOL. [CY]	48
AREA [SF]	627
VEG	-
NON	-

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWNNS ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.



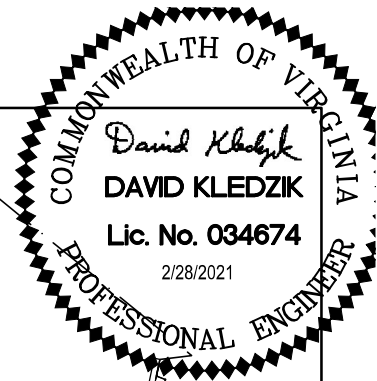
APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

## MARINE ENGINEERING LLC

4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS

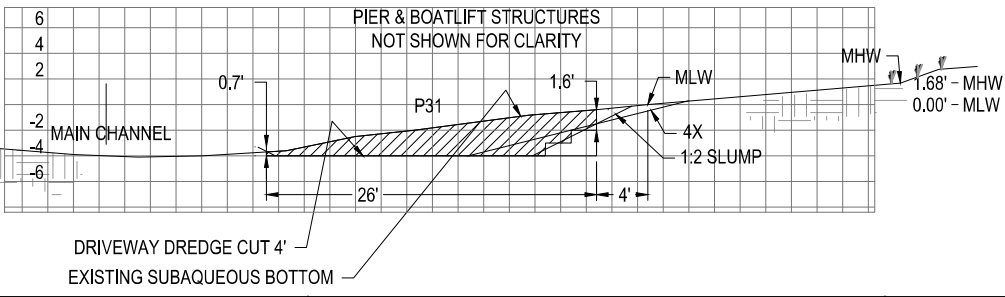
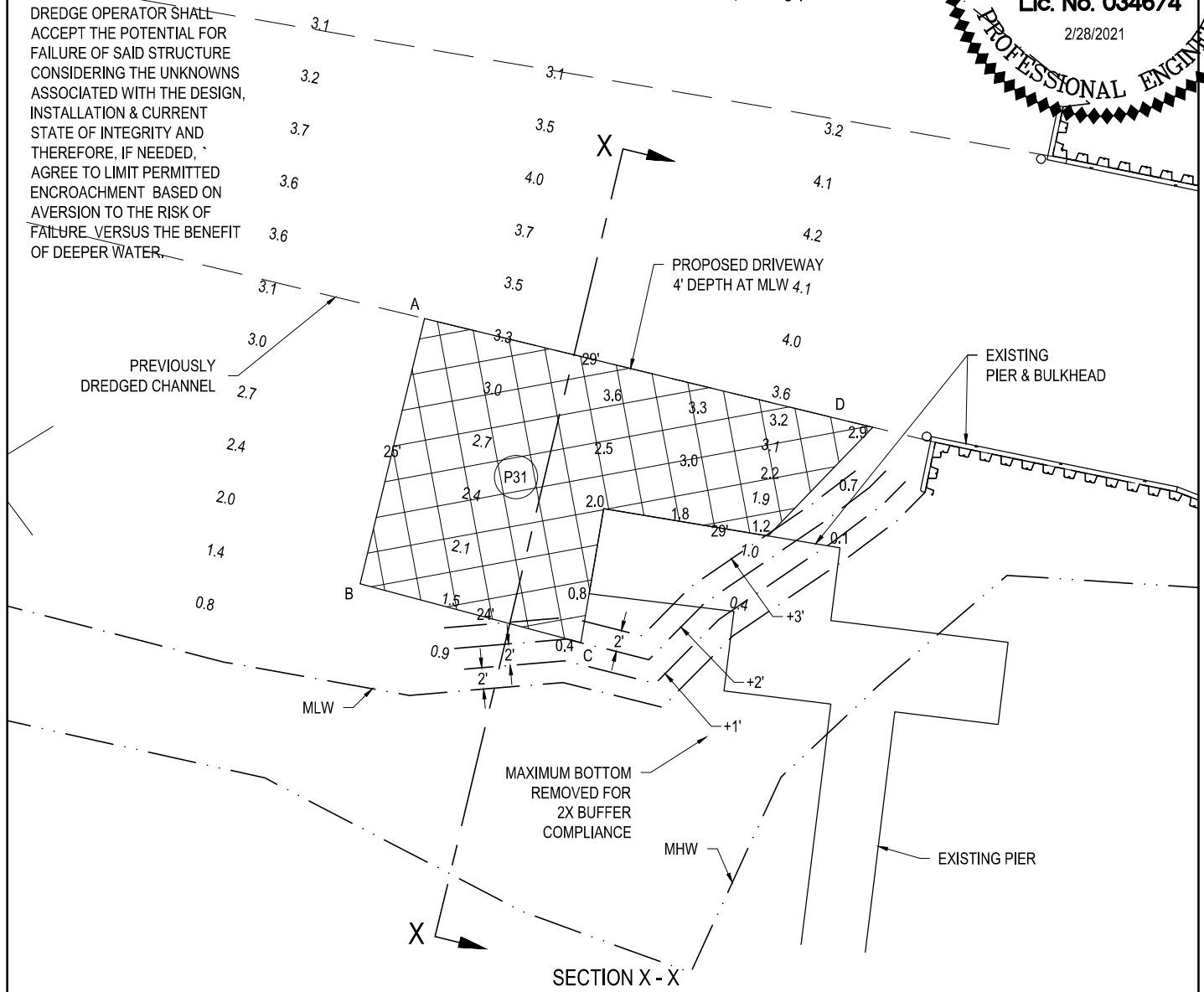
DATUM: MLW = 0.00'  
 SHEET 17 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-



# P28 DRIVEWAY DETAILS

SCALE: 1" = 15'

PRIOR TO DREDGING NEAR ANY STRUCTURE OF VALUE THE PROPERTY OWNER & DREDGE OPERATOR SHALL ACCEPT THE POTENTIAL FOR FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THE DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND THEREFORE, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON AVERSION TO THE RISK OF FAILURE VERSUS THE BENEFIT OF DEEPER WATER.

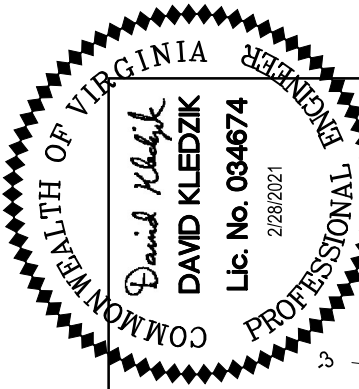


DRIVEWAY DATA	
	JOFFE P31
VOL. [CY]	22 - 47
AREA [SF]	768
VEG	-
NON	-

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

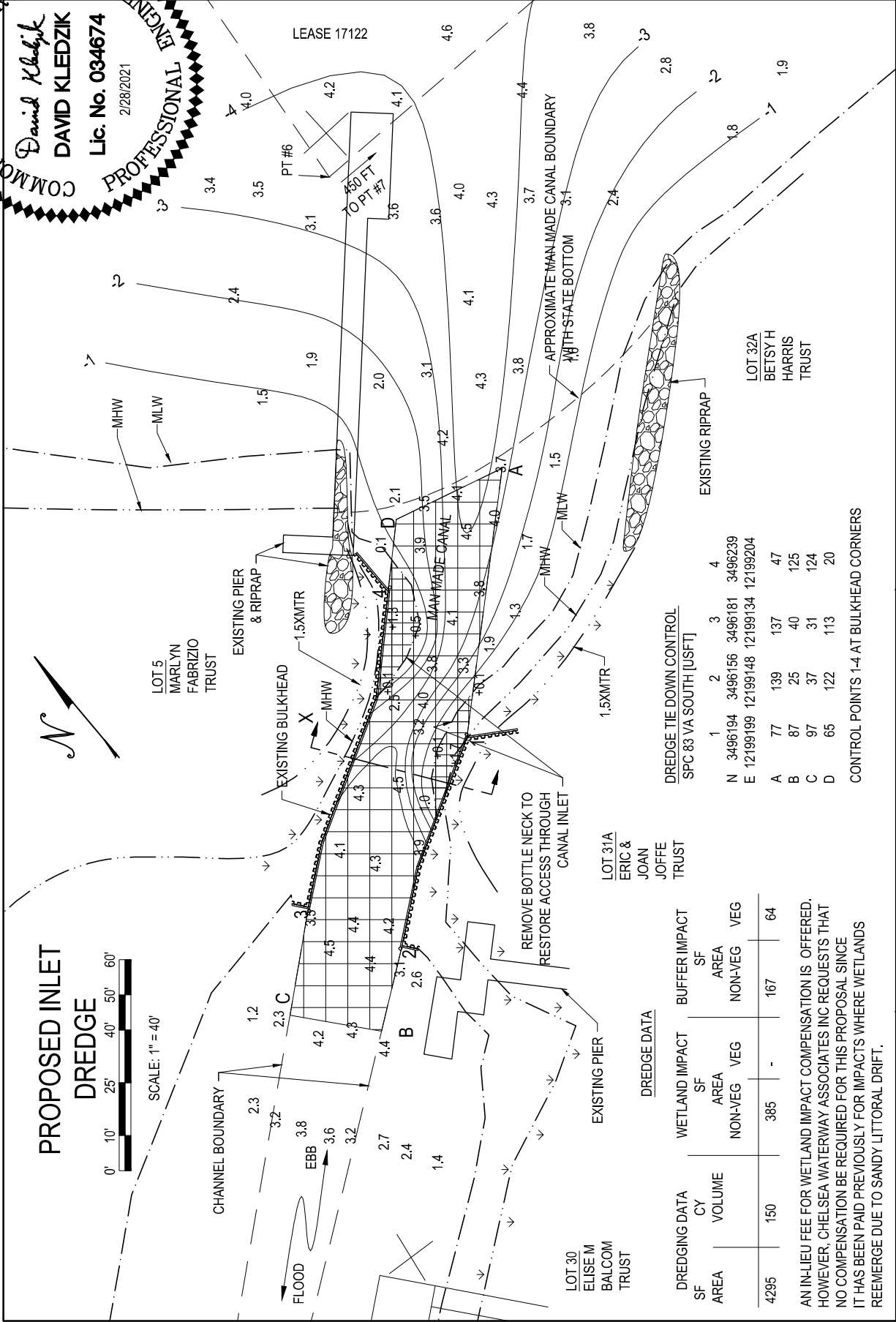
PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 18 OF 22  
DATE: DECEMBER 18, 2020  
REV-



**PROPOSED INLET  
DREDGE**



SCALE: 1" = 40'



**DREDGE DATA**

DREDGING DATA	CY	WETLAND IMPACT SF	BUFFER IMPACT SF	
			NON-VEG	VEG
4295	150	385	167	64

AN IN-LIEU FEE FOR WETLAND IMPACT COMPENSATION IS OFFERED. HOWEVER, CHELSEA WATERWAY ASSOCIATES INC REQUESTS THAT NO COMPENSATION BE REQUIRED FOR THIS PROPOSAL SINCE IT HAS BEEN PAID PREVIOUSLY FOR IMPACTS WHERE WETLANDS REEMERGE DUE TO SANDY LITTORAL DRIFT.

**DREDGE TIE DOWN CONTROL  
SPC 83 VA SOUTH [USFT]**

	1	2	3	4
N	3496194	3496166	3496181	3496239
E	12199199	12199148	12199134	12199204
A	77	139	137	47
B	87	25	40	125
C	97	37	31	124
D	65	122	113	20

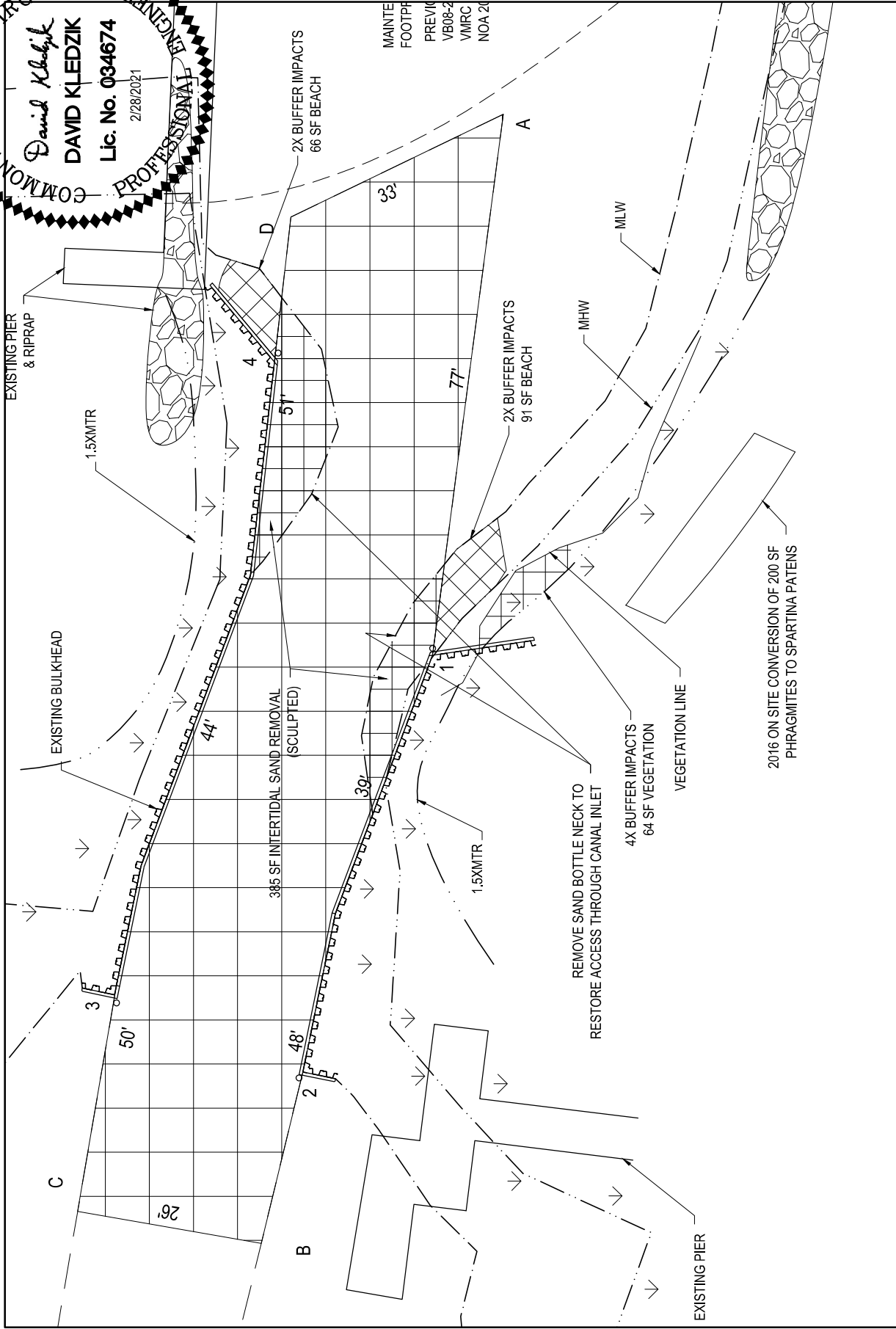
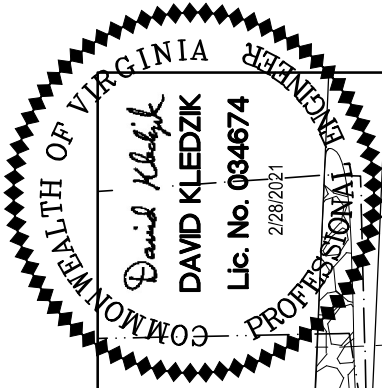
CONTROL POINTS 1-4 AT BULKHEAD CORNERS

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**  
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS  
DATUM: MLW = 0.00'  
SHEET 19 OF 22  
DATE: DECEMBER 18, 2020  
REV-

Received by VMRC March 2, 2021 /blh



PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS  
 DATUM: MLW = 0.00'  
 SHEET 20 OF 22  
 DATE: DECEMBER 18, 2020  
 REV-

**MARINE ENGINEERING LLC**  
 4212 DOUGHERTY CT  
 VIRGINIA BEACH, VA 23455  
 (757) 477-4787

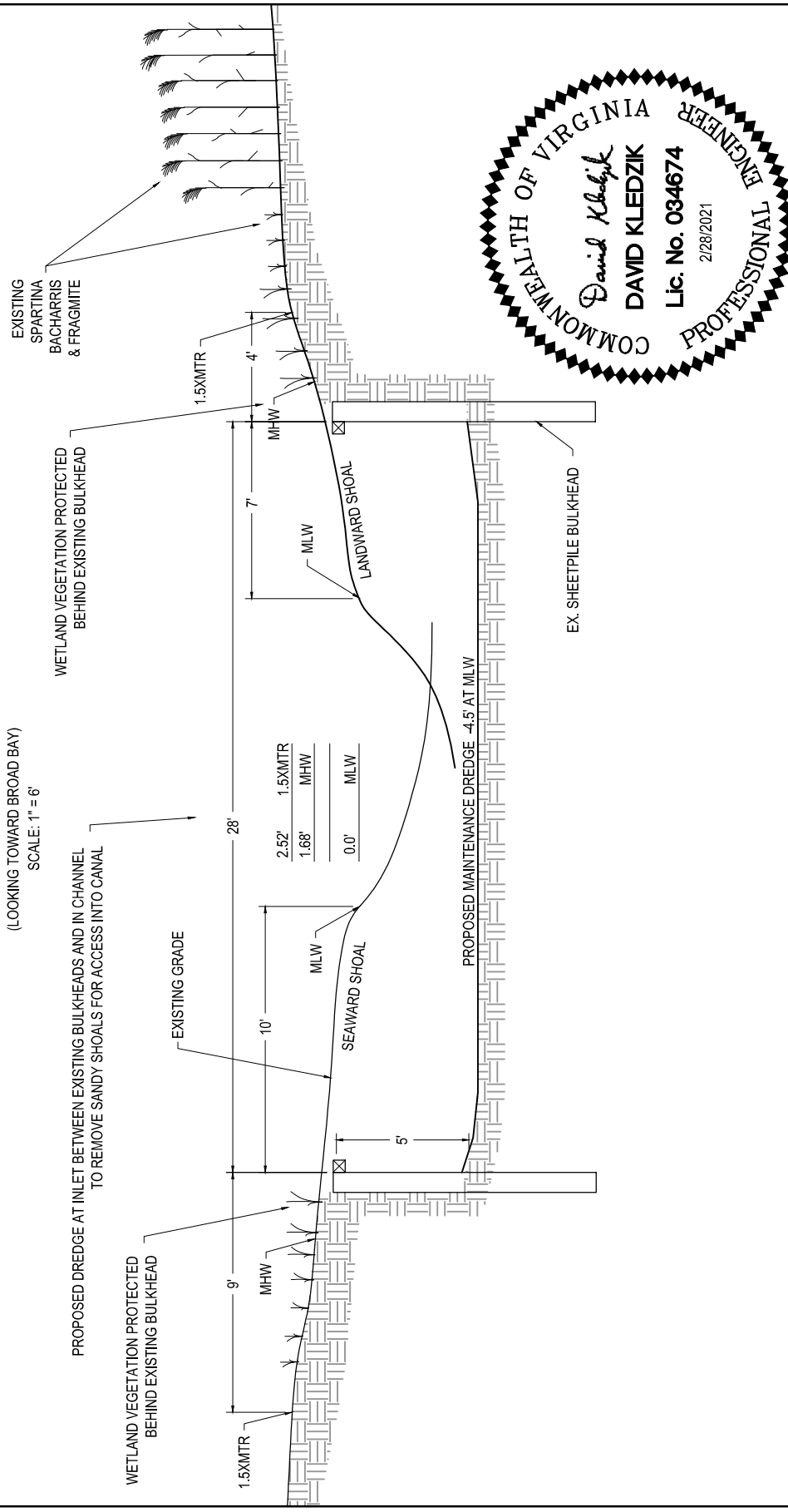
APPLICATION BY  
 CHELSEA WATERWAY ASSOCIATION INC  
 1825 QUEENS ELM PLACE  
 VIRGINIA BEACH, VA 23454

Received by VMRC March 2, 2021 /bth



# SECTION X PROPOSED DREDGE DETAILS INLET BETWEEN BULKHEADS

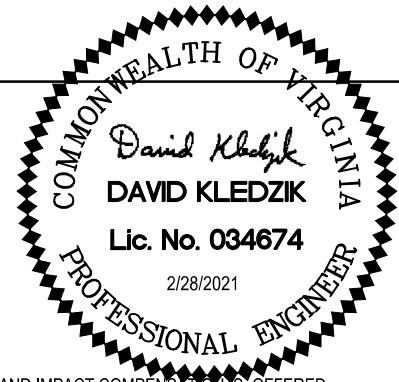
(LOOKING TOWARD BROAD BAY)  
SCALE: 1" = 6'



APPLICATION BY CHELSEA WATERWAY ASSOCIATION INC 1825 QUEENS ELM PLACE VIRGINIA BEACH, VA 23454	<b>MARINE ENGINEERING LLC</b> 4212 DOUGHERTY CT VIRGINIA BEACH, VA 23455 (757) 477-4787	PROPOSED PROJECT TO IMPROVE WATERCRAFT ACCESS DATUM: MLW = 0.00' SHEET 21 OF 22 DATE: DECEMBER 18, 2020 REV--
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**DREDGE DATA**

DESCRIPTION	SPOILS		WETLAND AREA [SF]		BUFFER AREA [SF]	
	AREA [SF]	VOL. [CY]	VEG	NON	VEG	NON
INLET @ 4.5'	4450	150	0	385	64	167
DRIVEWAYS@ 3' - 4'	16327	961	0	0	0	0
<b>TOTALS</b>	<b>20777</b>	<b>1111</b>	<b>0</b>	<b>385</b>	<b>64</b>	<b>167</b>
LOT 100	478	12	-	-	-	-
LOT 99	791	32	-	-	-	-
LOT 91	618	27	-	-	-	-
LOT 89	536	32	-	-	-	-
LOT 88	647	38	-	-	-	-
LOT 86	844	51	-	-	-	-
LOT 83	636	77	-	-	-	-
LOT 82	456	22	-	-	-	-
LOT 81	490	60	-	-	-	-
LOT 80	755	42	-	-	-	-
LOT 78	618	30	-	-	-	-
LOT 61	854	28	-	-	-	-
LOT 60	1057	49	-	-	-	-
LOT 58A	477	23	-	-	-	-
LOT 56A	431	29	-	-	-	-
LOT 55A	564	43	-	-	-	-
LOT 19	519	38	-	-	-	-
LOT 20	1111	45	-	-	-	-
LOT 21	661	50	-	-	-	-
LOT 22	778	40	-	-	-	-
LOT23	1211	63	-	-	-	-
LOT 28	627	48	-	-	-	-
LOT 31	768	47	-	-	-	-
CHANNEL SHOAL	400	35	-	-	-	-



AN IN-LIEU FEE FOR WETLAND IMPACT COMPENSATION IS OFFERED

385 SF X \$5.5 (=\$2117.5) + 64 SF x \$25 (=\$1600) = \$3717.5 TOTAL

HOWEVER, CHELSEA WATERWAY ASSOCIATES INC REQUESTS THAT NO COMPENSATION BE REQUIRED FOR THIS PROPOSAL SINCE IT HAS BEEN PAID PREVIOUSLY FOR IMPACTS WHERE WETLANDS REEMERGE DUE TO SANDY LITTORAL DRIFT.

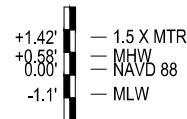
\$4537.50 PAID FOR VB08-222

\$2618.00 PAID FOR 2016 WTRA -00092

**SEQUENCE OF DREDGING & DISPOSAL**

1. OBTAIN ALL NECESSARY PERMITS
2. HOLD PRECONSTRUCTION MEETING
3. DREDGE BOTTOM FROM WATERSIDE BARGE
4. TRANSFER SPOIL TO CONTRACTOR'S TRANSPORT BARGE
5. MOVE BARGE TO CONTRACTOR'S APPROVED TRANSFER FACILITY IN PORTSMOUTH VA
6. TRANSFER SPOILS TO TRUCK FOR DISPOSAL AT APPROVED FACILITY

**VERTICAL DATUM**



NOTE: BOTTOM SOUNDING DEPTHS SHOWN ON SITE PLAN ARE REFERENCED FROM MLW.

**GENERAL NOTES:**

1. BOTTOM SOUNDING DEPTHS IN FEET SHOWN ON SITE PLAN ARE REFERENCED FROM MLW & BASED ON THE 1983-2001 NTDE
2. HORIZONTAL COORDINATES ARE IN FEET REFERENCED TO NAD83 & VIRGINIA STATE PLANE, SOUTH ZONE
3. SOUNDINGS TAKEN BY RTK WITH SOUNDER & HAND STAFF ON OCTOBER 8, 2020 TO INCLUDE PRECEDING & FOLLOWING WEEK.
4. MAXIMUM APPROVED DEPTH OF DREDGE REQUESTED IS 5 FEET WHEREAS CONTRACTED DEPTH AT INLET IS 4.5 FEET AND ALL DRIVEWAYS WILL BE 4 FEET OR LESS.
5. UNLESS OTHERWISE SPECIFIED MLW AND MHW SPAN THE WIDTH OF THE CANAL.
6. ALL OPERATIONS ACCESS WILL BE FROM WATERSIDE BARGE
7. DWELLINGS & SOME FEATURES SCALED FROM GIS IMAGERY.
8. PRIOR TO DREDGING NEAR ANY VALUABLE STRUCTURE THE PROPERTY OWNER & DREDGE OPERATOR SHALL RECOGNIZE THE POTENTIAL FAILURE OF SAID STRUCTURE CONSIDERING THE UNKNOWN ASSOCIATED WITH THEIR DESIGN, INSTALLATION & CURRENT STATE OF INTEGRITY AND, IF NEEDED, AGREE TO LIMIT PERMITTED ENCROACHMENT BASED ON RISK TOLERANCE VERSUS THE BENEFIT OF DEEPER WATER.
9. BOX CUT PROCEDURE WITH SLUMPED EDGE TYPICAL UNLESS DETAIL SPECIFICALLY INCLUDES "SCULPTED" TERM IN CALL OUT.
10. 2X AND 4X BUFFERS BASED ON TYPE OF DREDGE CUT. BOX CUT IS TYPICAL WITH LITTLE TO NO TOE CLEAN OUT, WHEREAS SCULPTED EDGE AT INLET IS USED TO REMOVE ALL OVERHANGING SPOIL MATERIAL. WHERE BOX CUT IS NOT SCULPTED OR TOE NOT CLEANED OUT, THE EFFECTIVE SLUMP DOES NOT REACH FULL BUFFER POTENTIAL THEREBY BECOMING CONSERVATIVE IN EFFECT.

APPLICATION BY  
CHELSEA WATERWAY ASSOCIATION INC  
1825 QUEENS ELM PLACE  
VIRGINIA BEACH, VA 23454

**MARINE ENGINEERING LLC**

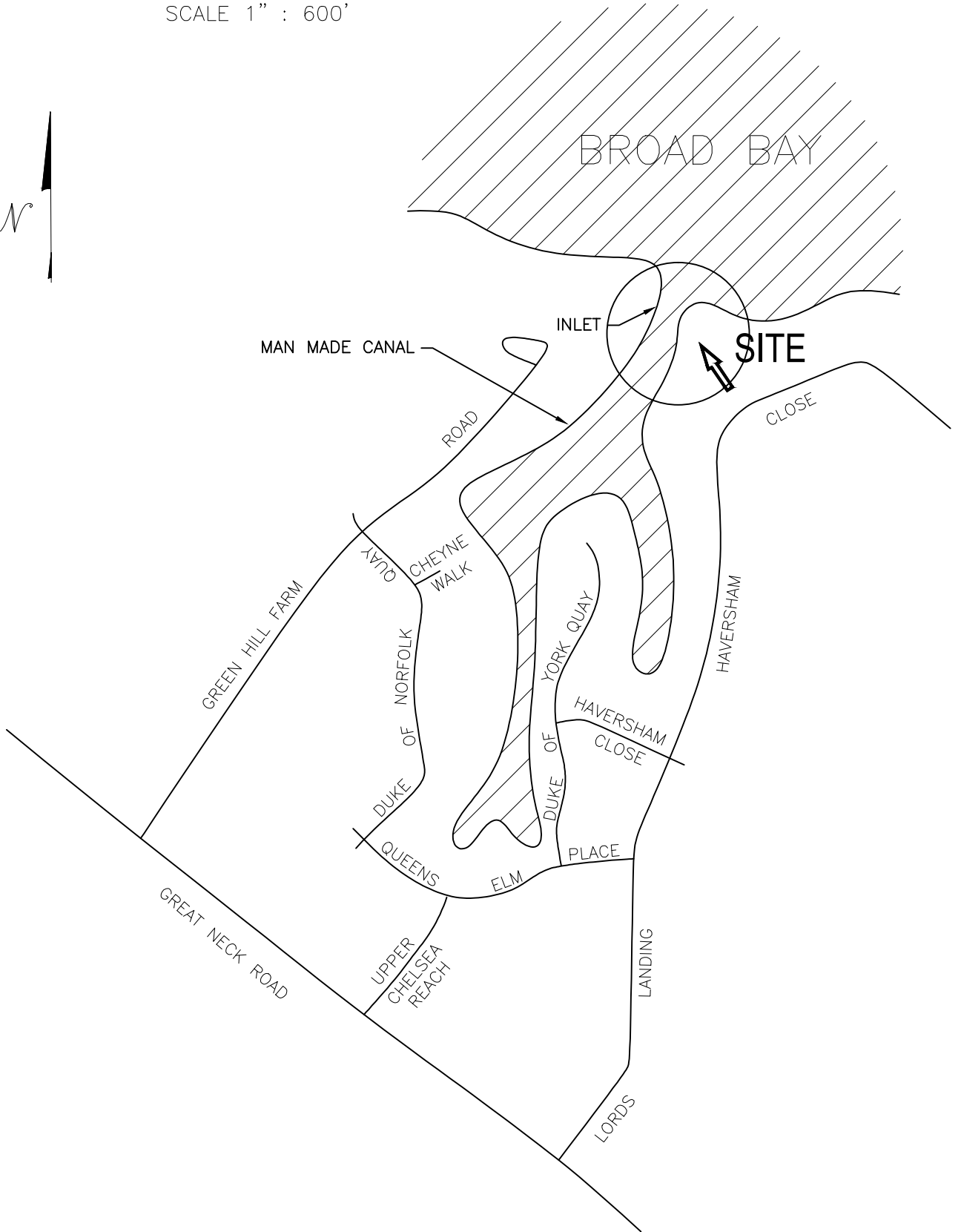
4212 DOUGHERTY CT  
VIRGINIA BEACH, VA 23455  
(757) 477-4787

PROPOSED PROJECT TO IMPROVE  
WATERCRAFT ACCESS

DATUM: MLW = 0.00'  
SHEET 22 OF 22  
DATE: DECEMBER 18, 2020  
REV-

AREA MAP OF CHELSEA WATERWAY ASSOCIATES INC.  
AT 1825 GREEN HILL ROAD VIRGINIA BEACH VA 23454

SCALE 1" : 600'



9. 2021-WTRA-00086

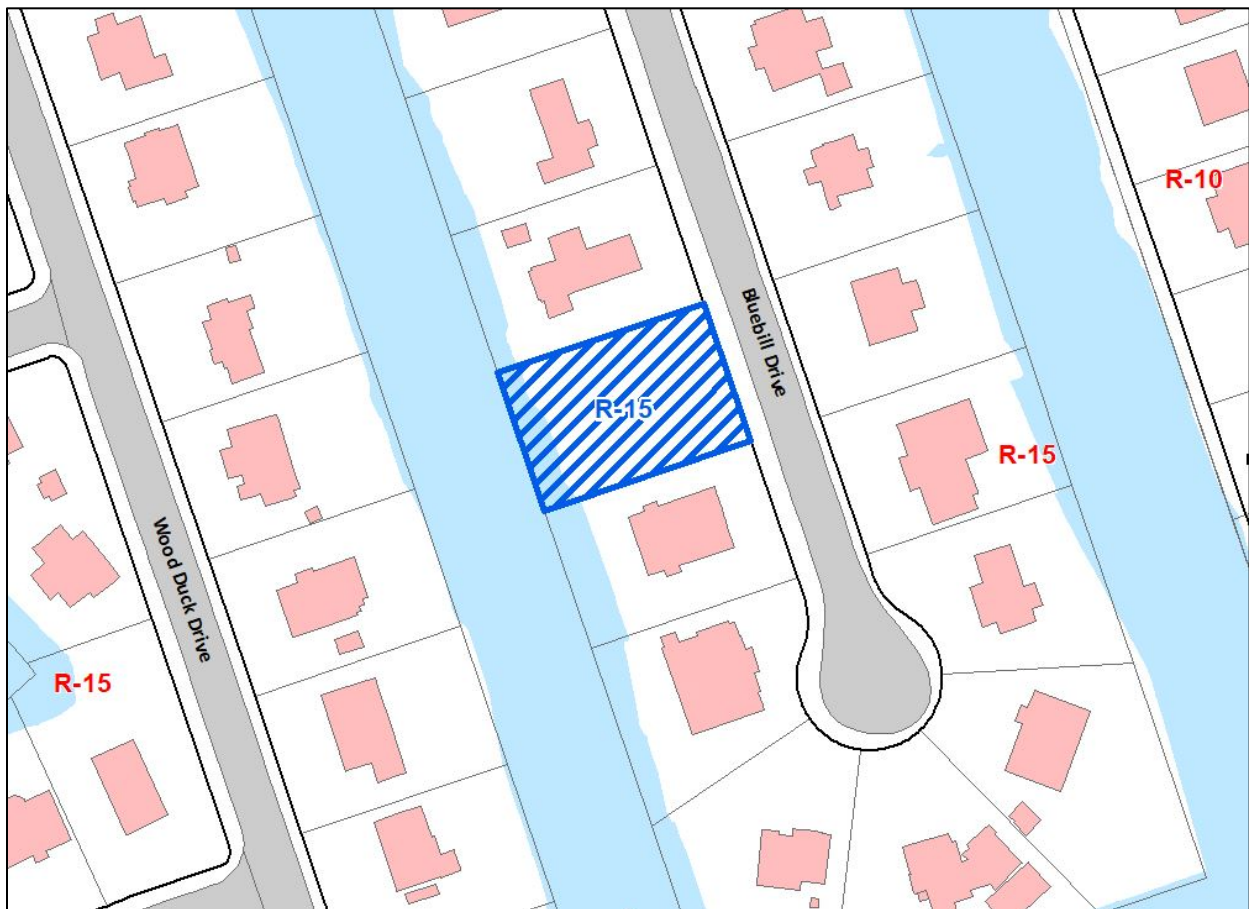
Robert T. Collins [Applicant/Owner]

**WITHDRAWN**

**To construct a bulkhead involving wetlands**

2873 Bluebill Drive  
(GPIN 2433-34-0646)

Waterway – Bass Inlet  
Subdivision – Sandbridge Shores  
Council District – Princess Anne





**APPLICANT'S NAME** Robert T. Collins

**DISCLOSURE STATEMENT FORM**

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

Acquisition of Property by City	Disposition of City Property	Modification of Conditions or Proffers
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.

**SECTION 1 / APPLICANT DISCLOSURE**

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).

<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:	
<input type="checkbox"/>	NO CHANGES AS OF	DATE:	
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	

- Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.
- (A) List the Applicant's name: Robert T. Collins  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes<sup>1</sup> and <sup>2</sup>

---

## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

- Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.
- (A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

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### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY



## APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	PB Mares, LLP 150 Boush St, #400 Norfolk, VA 23510
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construction Contractors	Project out for bid
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	WCI, Chesapeake Bay Site Solutions
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	Lot paid in full. Owner to provide funds for construction, no financing.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

YES	NO	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?

If yes, what is the name of the official or employee and what is the nature of the interest?

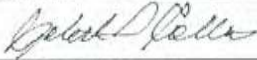




**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

	Robert T. Collins	04/01/2019
APPLICANT'S SIGNATURE	PRINT NAME	DATE

- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 19-0967

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Bass Inlet</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

- Applicant's legal name\* and complete mailing address: **Contact Information:**  
 Robert T. Collins  
 3868 Chimney Creek Drive  
 Virginia Beach, VA 23462  
 Home (757 ) 486-2767  
 Work (757 ) 572-5810  
 Fax (757 ) 486-2767  
 Cell (757 ) 572-5810  
 e-mail Robert.T.Collins@verizon.net  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
- Property owner(s) legal name\* and complete address, if different from applicant: **Contact Information:**  
 Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail \_\_\_\_\_  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

## Part 1 - General Information (continued)

- |  |  |
|--|--|
| <p>3. Authorized agent name* and complete mailing address (if applicable):</p> <p>Waterfront Consulting, Inc.<br/>2589 Quality Court, Ste. 323<br/>Virginia Beach, VA 23454</p> <p>State Corporation Commission Name and ID Number (if applicable) <u>047-4381-1</u></p> | <p>Contact Information:</p> <p>Home ( ) _____</p> <p>Work ( 757 ) <u>425-8244</u></p> <p>Fax ( ) _____</p> <p>Cell ( 757 ) <u>619-7302</u></p> <p>e-mail <u>bob@waterfrontconsulting.net</u></p> |
|--|--|

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to construct approximately 100 LF of vinyl bulkhead along the toe of slope and construct a 9'x32' wharf along the proposed bulkhead.

The bulkhead will use (21) 8" timber piles and the pier will use (10) 8" diameter timber piles. The piles will be driven via a vibratory hammer mounted to an excavator on land.

5. Have you obtained a contractor for the project?  Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

( 757 ) 622-1455

Virginian Pilot  
150 W Brambleton Avenue  
Norfolk, VA 23510

## Part 1 - General Information (continued)

7. Give the following project location information:

Street Address (911 address if available) 2873 Bluebill Drive

Lot/Block/Parcel# Lot 28, Section 1-A, South Area, Sandbridge Shores

Subdivision Sandbridge

City / County Virginia Beach ZIP Code 23456

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.728 / - 75.940 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is shoreline stabilization.

The secondary purpose of the project is recreational boating access.

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The proposed bulkhead has been proposed to be installed at the toe of the existing bank in order to minimize impacts. A living shoreline and riprap were not considered due to both adjacent properties having existing timber bulkheads. There will be an in-lieu fee of \$962.50 paid in order to compensate for 25 SF of NVW impacts and 26 SF of VW impacts.

**Part 1 - General Information (continued)**

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 29,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 2,700.00

13. Completion date of the proposed work: Within one year of Permit Issue - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

John D. Fraim	2877 Bluebill Drive	Virginia Beach, VA 23456
City of Virginia Beach	2401 Courthouse Drive	Virginia Beach, VA 23456
Lynnette J. Gawrys	2869 Bluebill Drive	Virginia Beach, VA 23456

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.


**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Robert T. Collins

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

04/01/2019

Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

04/01/2019

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Robert T. Collins, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

December 10, 2018

(Date)

[Signature]

(Applicant's Signature)

(Use if more than one applicant)

04/01/2019

(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Robert T. Collins, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

(use if more than one applicant)

\_\_\_\_\_  
Date

Application Revised: April 2017

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write "N/A" in the space provided.

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

**1. Briefly describe your proposed project.**

The project is to construct a 9'x32' wharf as shown in the permit drawings.

**2. For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 9 feet.

Channelward of Mean High Water? 9 feet.

Channelward of Mean Low Water? 4 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 198 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 90 square feet.

What is the total size of any and all L- or T-head platforms? 288 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.



### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to construct approximately 100 LF of vinyl bulkhead. Approximately 0.01 acres of aquatic resources will be impacted. Approximately 5 CY's of fill material will be placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 4 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? 0 feet.

3. Please calculate the square footage of encroachment over:
- Vegetated wetlands 26 square feet
  - Non-vegetated wetlands 25 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach 0 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and all materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The bulkhead will consist of timber piles and wales, a concrete cap, vinyl sheet pile, H.D. galvanized hardware and backfill from an upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:
- |                              |                        |            |       |
|------------------------------|------------------------|------------|-------|
| Core (inner layer) material  | _____ pounds per stone | Class size | _____ |
| Armor (outer layer) material | _____ pounds per stone | Class size | _____ |

7. For beach nourishment, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material  
\_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Area to be covered  
\_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Source of material, composition (e.g. 90% sand, 10% clay): 90% sand, 10% clay
- Method of transportation and placement: \_\_\_\_\_
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2873 Bluebill Drive

APPLICANT'S NAME: Robert T. Collins

APPLICANT'S ADDRESS: 3868 Chimney Creek Drive

Virginia Beach, VA 23462

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT

CONSTRUCTION: Bulkhead and Wharf

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

7/19/19  
DATE

Gregory O. Milstead, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
SIGNATURE OF APPLICANT

04/01/2019  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

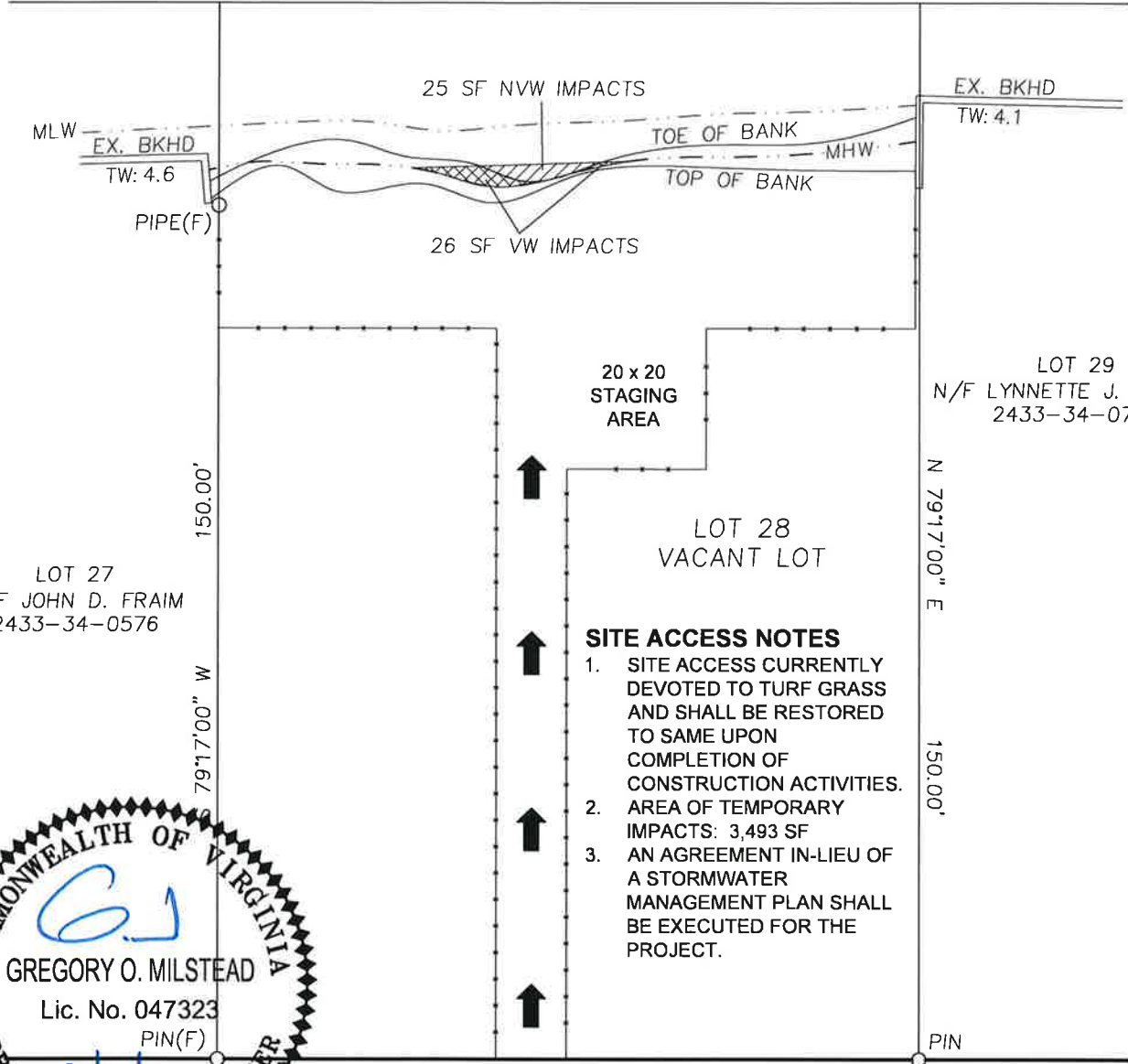
REF: M.B. 72, PG. 02

BASS INLET  
N/F CITY OF VIRGINIA BEACH  
2433-33-0267

**BASS INLET**  
← EBB →  
← FLOOD →

THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.

N 10°43'00" E 100.00'



LOT 27  
N/F JOHN D. FRAIM  
2433-34-0576

LOT 29  
N/F LYNNETTE J. GAWRYS  
2433-34-0705

**SITE ACCESS NOTES**

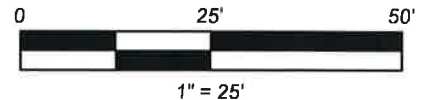
1. SITE ACCESS CURRENTLY DEVOTED TO TURF GRASS AND SHALL BE RESTORED TO SAME UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
2. AREA OF TEMPORARY IMPACTS: 3,493 SF
3. AN AGREEMENT IN-LIEU OF A STORMWATER MANAGEMENT PLAN SHALL BE EXECUTED FOR THE PROJECT.



S 10°43'00" W 100.00'

**BLUEBILL DRIVE**  
(50' R/W)

**EXISTING SITE AND SITE ACCESS**



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**PURPOSE: EROSION CONTROL**  
DATUM: NAVD 88  
A.P.O.  
1. JOHN D. FRAIM  
2. CITY OF VIRGINIA BEACH  
3. LYNNETTE J. GAWRYS



**WATERFRONT CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

**PROPOSED: BULKHEAD AND PIER**  
IN: BASS INLET  
AT: 2873 BLUEBILL DRIVE  
VIRGINIA BEACH, VA 23456  
APPLICATION BY:  
ROBERT T. COLLINS

**SHEET 1 OF 9**  
DATE: DEC. 8, 2018

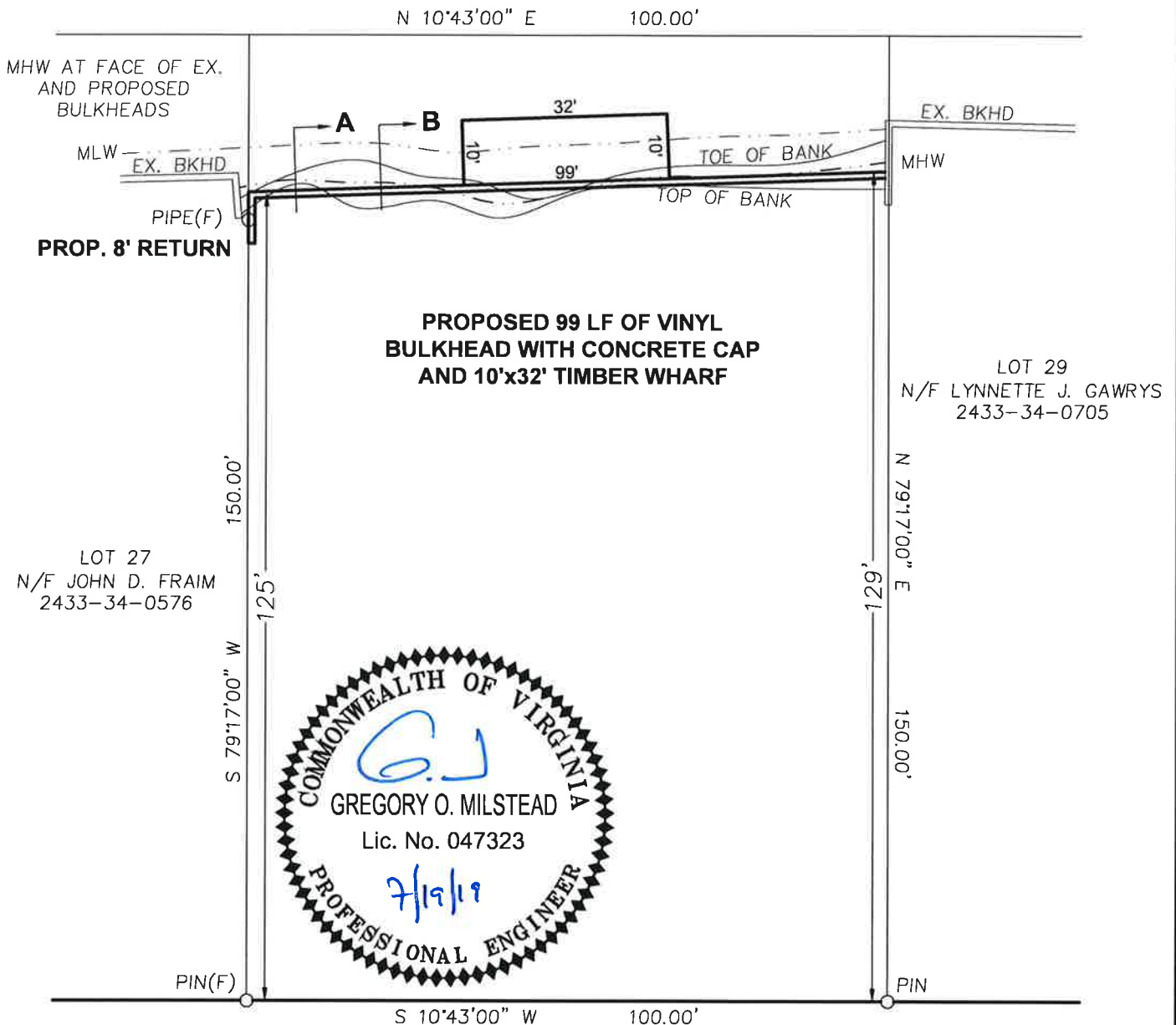
REV: 07/18/2019

REF: M.B. 72, PG. 02

BASS INLET  
N/F CITY OF VIRGINIA BEACH  
2433-33-0267

**BASS INLET**  
← EBB →  
← FLOOD →

THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.



**PROPOSED 99 LF OF VINYL  
BULKHEAD WITH CONCRETE CAP  
AND 10'x32' TIMBER WHARF**

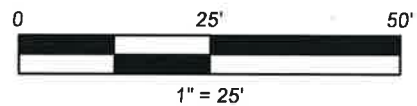
LOT 29  
N/F LYNNETTE J. GAWRYS  
2433-34-0705

LOT 27  
N/F JOHN D. FRAM  
2433-34-0576



**BLUEBILL DRIVE**  
(50' R/W)

**PROPOSED  
IMPROVEMENTS**



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**PURPOSE: EROSION CONTROL**  
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IN: BASS INLET  
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REV: 07/18/2019

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P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

SHEET 2 OF 9  
DATE: DEC. 8, 2018

## SITE DATA

LEGAL DESCRIPTION: LOT 28, SECTION 1-A, SOUTH AREA, SANDBRIDGE SHORES  
REF: MAP BOOK 72, PAGE 02, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
GPIN: 2433-34-0646  
ZONING: R-15 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)  
PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

<u>Minimum Care Lawn (Commercial or Residential)</u>	
Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre
<u>High Maintenance Lawn</u>	
Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre



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DATUM: NAVD 88  
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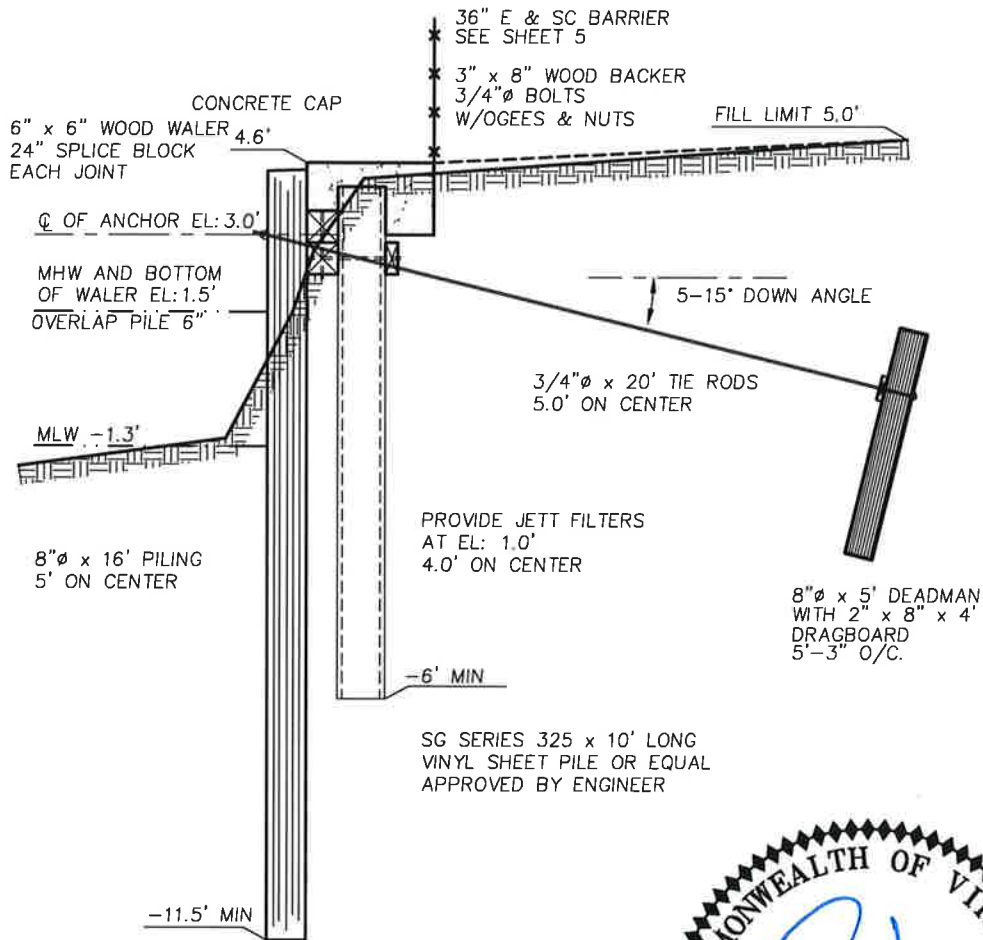
ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

PROPOSED: BULKHEAD AND PIER  
IN: BASS INLET  
AT: 2873 BLUEBILL DRIVE  
VIRGINIA BEACH, VA 23456  
APPLICATION BY:  
ROBERT T. COLLINS

SHEET 3 OF 9  
DATE: DEC. 8, 2018

# CROSS SECTION A-A PROPOSED BULKHEAD

SC: 1" = 4'



**MATERIALS SPECIFICATIONS:**

CAP BOARD CCA 0.4 PCF  
ALL OTHER TIMBER CCA 2.5 PCF  
ALL WOOD GRADE 2 OR BETTER  
ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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**PURPOSE: EROSION CONTROL**  
**DATUM: NAVD 88**  
**A.P.O.**

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2. CITY OF VIRGINIA BEACH
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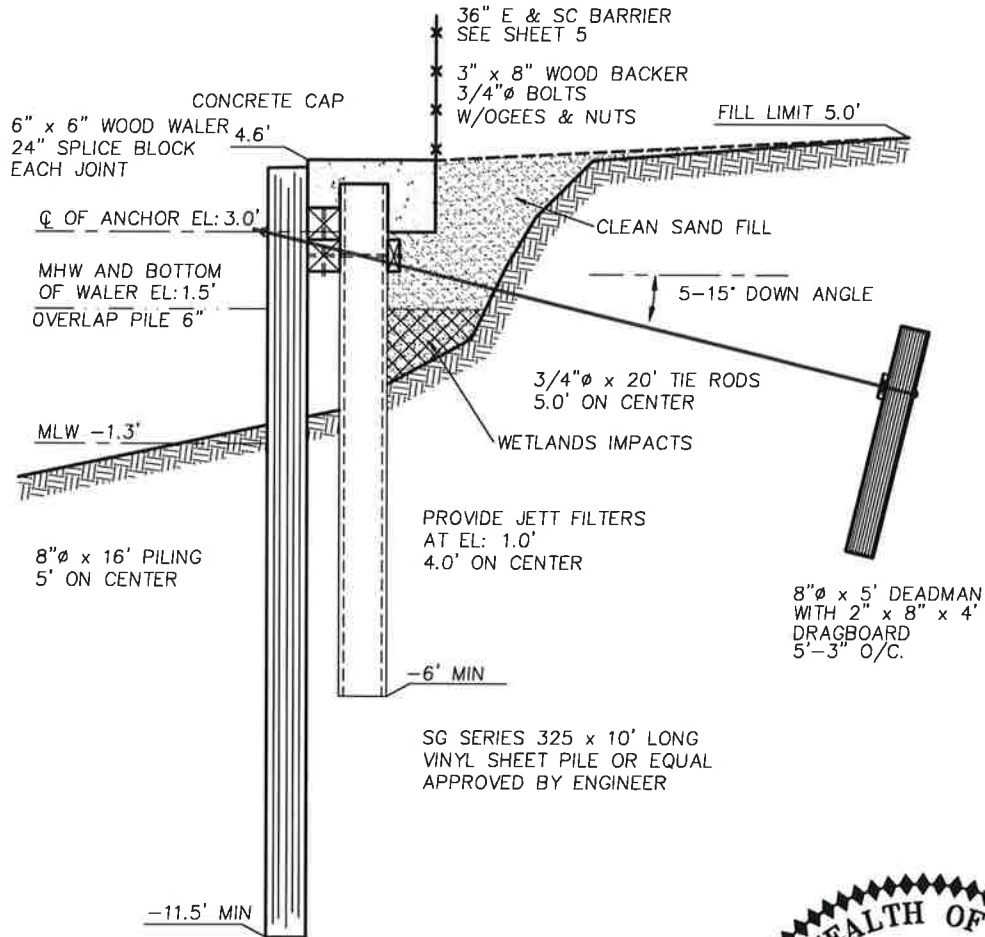
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PHONE: (757) 575-3715

**PROPOSED: BULKHEAD AND PIER**  
**IN: BASS INLET**  
**AT: 2873 BLUEBILL DRIVE**  
**VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**ROBERT T. COLLINS**

**SHEET 4 OF 9**  
**DATE: DEC. 8, 2018**

# CROSS SECTION B-B PROPOSED BULKHEAD

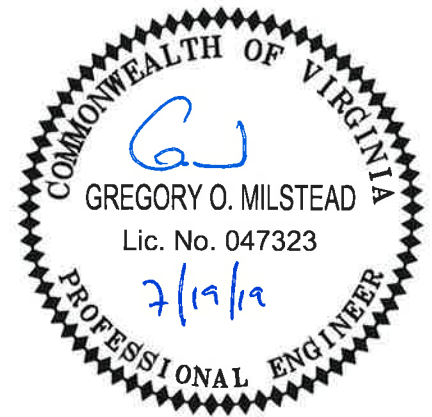
SC: 1" = 4'



**MATERIALS SPECIFICATIONS:**

CAP BOARD CCA 0.4 PCF  
 ALL OTHER TIMBER CCA 2.5 PCF  
 ALL WOOD GRADE 2 OR BETTER  
 ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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**PURPOSE: EROSION CONTROL**  
**DATUM: NAVD 88**  
**A.P.O.**  
**1. JOHN D. FRAIM**  
**2. CITY OF VIRGINIA BEACH**  
**3. LYNNETTE J. GAWRYS**

**REV: 07/18/2019**

**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: BULKHEAD AND PIER**  
**IN: BASS INLET**  
**AT: 2873 BLUEBILL DRIVE**  
**VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**ROBERT T. COLLINS**

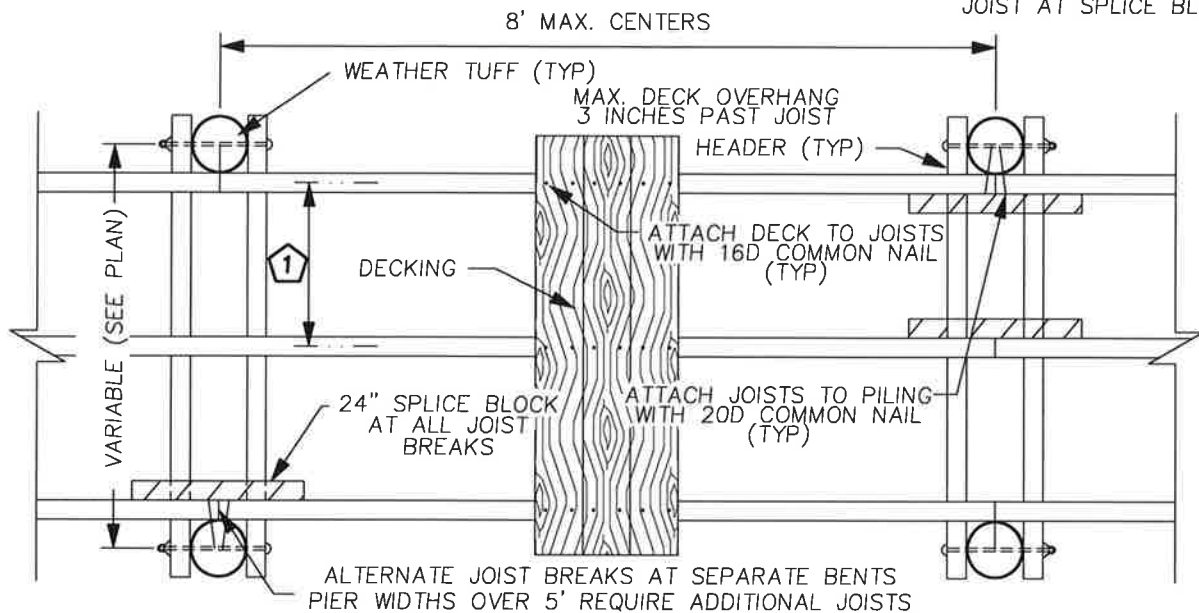
**SHEET 5 OF 9**  
**DATE: DEC. 8, 2018**



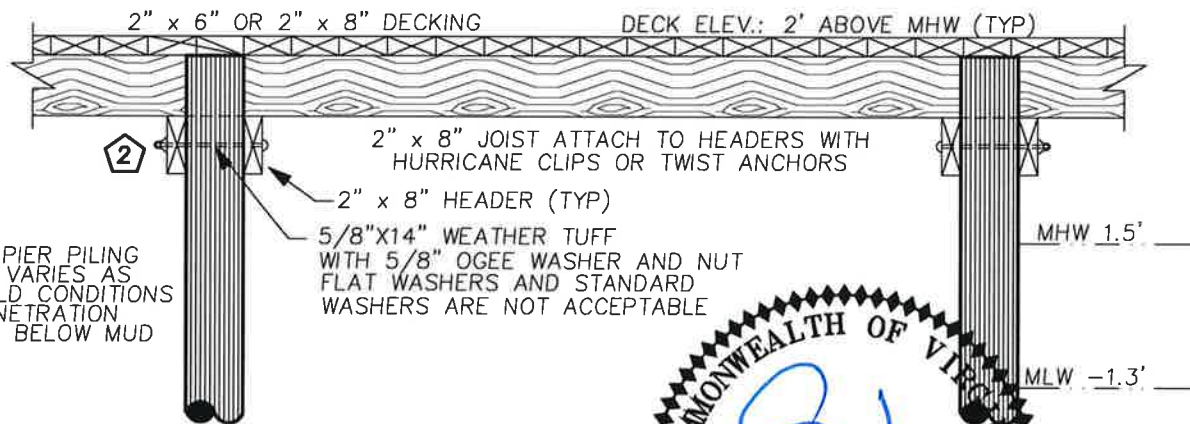
# PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!

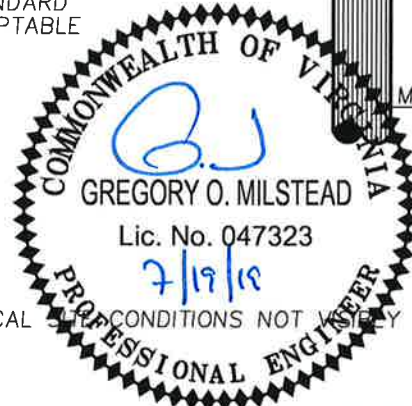


## MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF  
 HEADERS AND JOISTS: C.C.A. 0.6 PCF  
 DECKING: CCA 0.4 PCF  
 ALL WOOD TO BE GRADE 2 OR BETTER.  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL CONDITIONS NOT VISIBLE APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.

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PURPOSE: EROSION CONTROL

DATUM: NAVD 88

A.P.O.

1. JOHN D. FRAIM

2. CITY OF VIRGINIA BEACH

3. LYNNETTE J. GAWRYS

REV: 07/18/2019



WATERFRONT  
CONSULTING, INC.

2599 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

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PROPOSED: BULKHEAD AND PIER

IN: BASS INLET

AT: 2873 BLUEBILL DRIVE  
 VIRGINIA BEACH, VA 23456

APPLICATION BY:  
 ROBERT T. COLLINS

SHEET 6 OF 9

DATE: DEC. 8, 2018

NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
BULKHEAD	21					
PIER	10					

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.  
 BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.



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**PURPOSE: EROSION CONTROL**  
**DATUM: NAVD 88**  
**A.P.O.**  
 1. JOHN D. FRAIM  
 2. CITY OF VIRGINIA BEACH  
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**WATERFRONT CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
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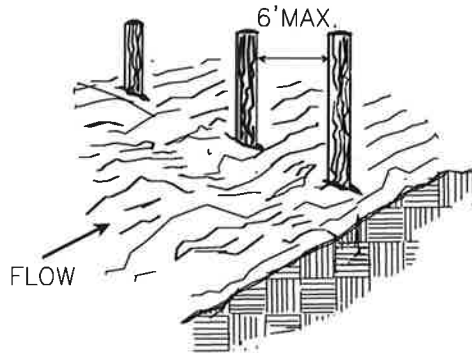
**PROPOSED: BULKHEAD AND PIER**  
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**AT: 2873 BLUEBILL DRIVE**  
**VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**ROBERT T. COLLINS**

REV: 07/18/2019

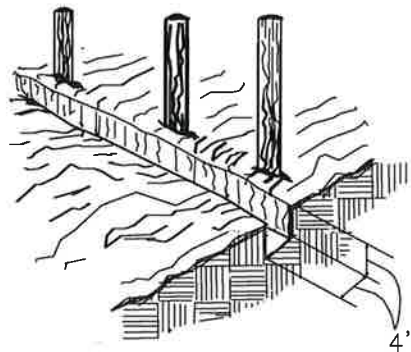
**SHEET 7 OF 9**  
**DATE: DEC. 8, 2018**

# CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

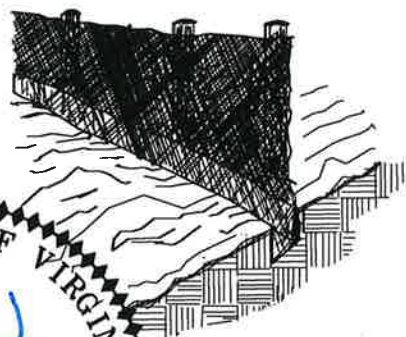
1. SET THE STAKES.



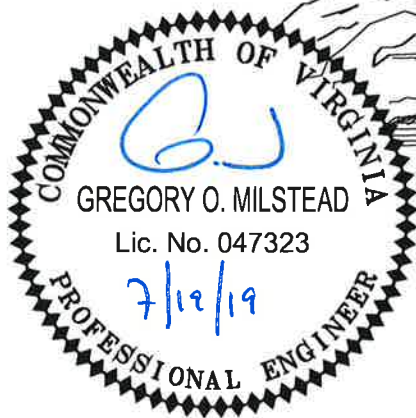
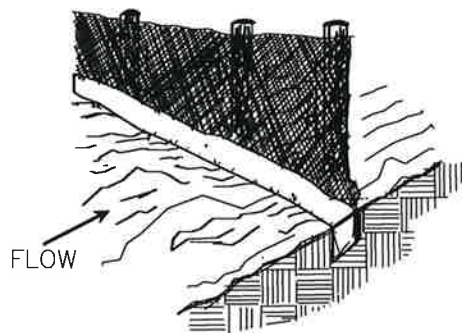
2. EXCAVATE A 4"X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE. 3.05-2

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

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**PURPOSE: EROSION CONTROL**  
**DATUM: NAVD 88**  
**A.P.O.**  
**1. JOHN D. FRAM**  
**2. CITY OF VIRGINIA BEACH**  
**3. LYNNETTE J. GAWRYS**



**WATERFRONT  
CONSULTING, INC.**

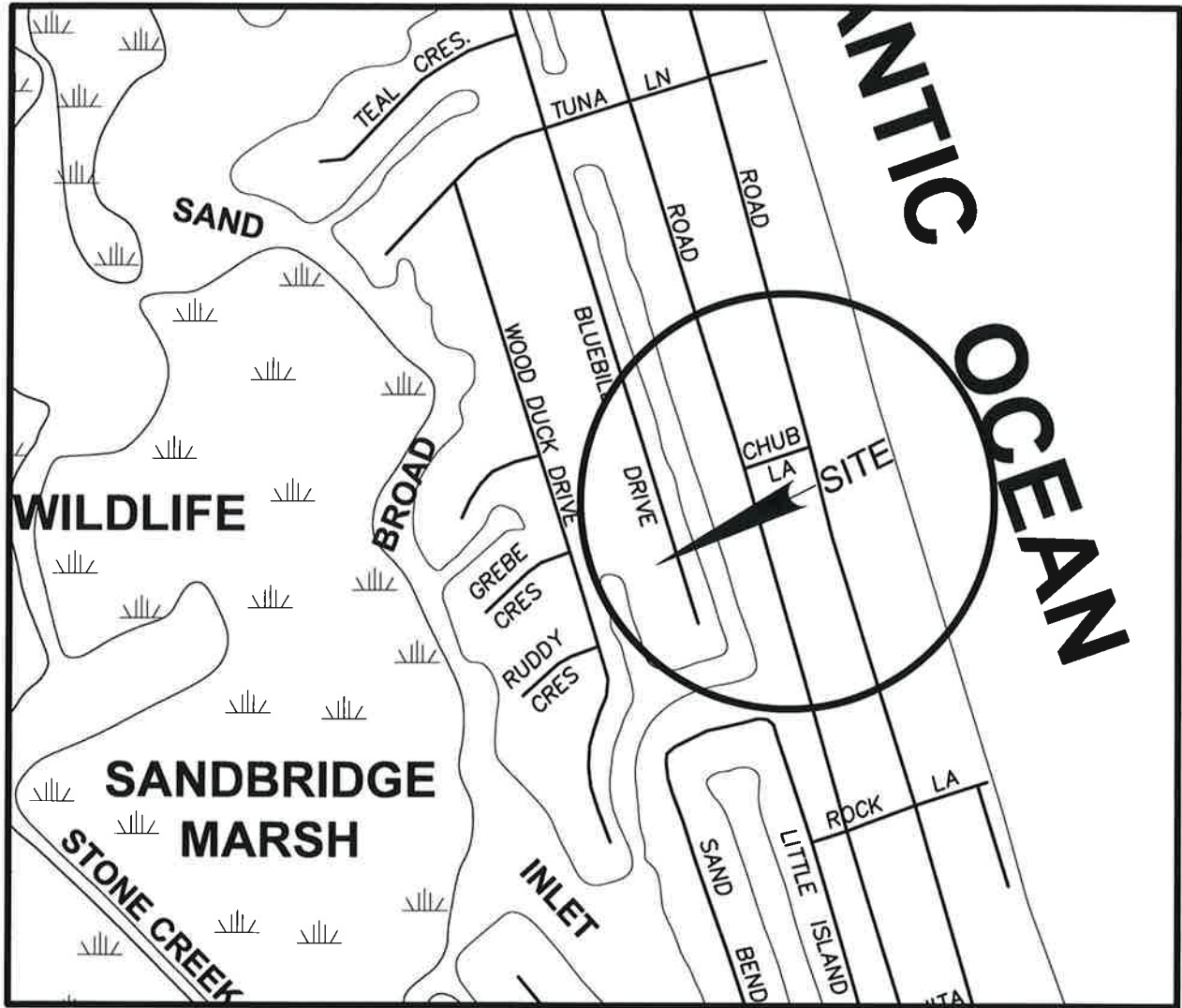
2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

**ENGINEERING SERVICES PROVIDED BY:**  
**CHESAPEAKE BAY SITE SOLUTIONS, INC.**  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: BULKHEAD AND PIER**  
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**AT: 2873 BLUEBILL DRIVE**  
**VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**ROBERT T. COLLINS**

REV: 07/18/2019

**SHEET 8 OF 9**  
**DATE: DEC. 8, 2018**



## LOCATION MAP

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PURPOSE: EROSION CONTROL  
 DATUM: NAVD 88  
 A.P.O.

1. JOHN D. FRAIM
2. CITY OF VIRGINIA BEACH
3. LYNNETTE J. GAWRYS

REV: 07/18/2019



**WATERFRONT CONSULTING, INC.**

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 AT: 2873 BLUEBILL DRIVE  
 VIRGINIA BEACH, VA 23456  
 APPLICATION BY:  
 ROBERT T. COLLINS

SHEET 9 OF 9  
 DATE: DEC. 8, 2018

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan #: \_\_\_\_\_

Location: 2873 Bluebill Drive GPIN: 2433-34-0646-0000

Watershed: Lynnhaven-Poquoson HUC: 02080108

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:


Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) <b>Restore impacted buffer to preconstruction condition or enhance per plan.</b>		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: Robert T. Collins

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_



**WATERFRONT CONSULTING, INC.**  
"Specializing in Permit Processing"

December 10, 2018

John D. Fraim  
2877 Bluebill Drive  
Virginia Beach, VA 23456

**Re: Proposed Bulkhead and Wharf**  
**Located at 2873 Bluebill Drive, Virginia Beach, VA 23456**

Dear John D. Fraim

This letter is to notify you that your neighbors, Robert T. Collins@verizon.net, have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
2600 Washington Ave. 3<sup>rd</sup> Floor  
Newport News, VA 23607

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

Office: (757) 425-8244  
2589 Quality Court, Ste. 323

Mobile: (757) 619-7302

bob@waterfrontconsulting.net  
Virginia Beach, VA 23454

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), John D. Frain, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Robert T. Collins.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated Dec. 8, 2018  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**





**WATERFRONT CONSULTING, INC.**  
"Specializing in Permit Processing"

December 10, 2018

Lynnette J. Gawrys  
2869 Bluebill Drive  
Virginia Beach, VA 23456

**Re: Proposed Bulkhead and Wharf**  
**Located at 2873 Bluebill Drive, Virginia Beach, VA 23456**

Dear Lynnette J. Gawrys

This letter is to notify you that your neighbors, Robert T. Collins have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
2600 Washington Ave. 3<sup>rd</sup> Floor  
Newport News, VA 23607

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

Office: (757) 425-8244  
2589 Quality Court, Ste. 323

Mobile: (757) 619-7302

bob@waterfrontconsulting.net  
Virginia Beach, VA 23454

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Lynnette J. Gawrys, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Robert T. Collins  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated Dec. 8, 2018  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

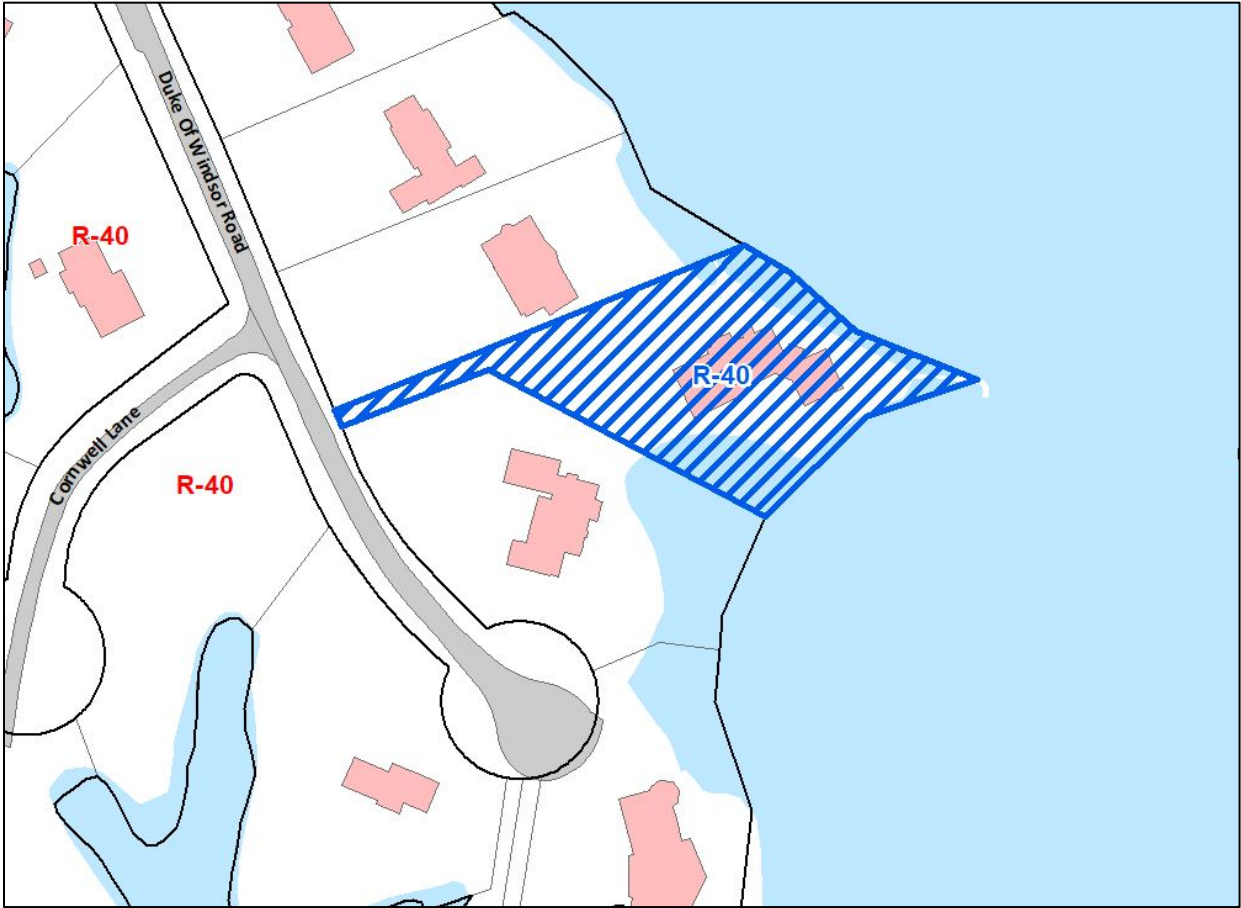
10. 2021-WTRA-00093

James J. Jamison [Applicant/Owner]

**To rework rip rap revetment, create oyster reef, and plant vegetation involving wetlands**

1508 Duke of Windsor  
(GPIN 2418-07-3353)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Shores  
Council District – Lynnhaven



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** James J. Jamison

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

Waterfront Consulting, Inc. Robert E. Simon

---

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)
- 
- 
- 

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)
- 
- 

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.

Towne Bank

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

Bryan Cowling

---

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the construction contractor.

YNOT Build, LLC

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the engineer/surveyor/agent.

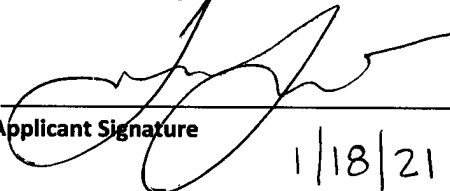
Waterfront Consulting, Inc. and Chesapeake Bay Site Solutions

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.



Applicant Signature

1/18/21

Print Name and Title

James J. Jamison, Owner

Date

Is the applicant also the owner of the subject property?  **Yes**  **No**

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # <b>21-0590</b>

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input type="checkbox"/>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
NWP # _____ (For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)				
<b>County or City in which the project is located:</b> <u>Virginia Beach, VA 23454</u>				
<b>Waterway at project site:</b> <u>Linkhorn Bay</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
cvb	riprap and sprigging	NAO-2020-02362/2020-WTRA-00281	01/2021	approved

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
James J. Jamison Home ( ) \_\_\_\_\_  
1508 Duke of Windsor Road Work ( ) \_\_\_\_\_  
Virginias Beach, VA 23454 Fax ( ) \_\_\_\_\_  
Cell ( 757 ) 692-5858  
e-mail jjamison2@cox.net  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Waterfront Consulting, Inc. Home ( ) \_\_\_\_\_  
2589 Quality Court, Ste. 323 Work ( 757 ) 425-8244  
Virginia Beach, VA 23454 Fax ( 757 ) 425-8244  
Cell ( 757 ) 619-7302  
e-mail bob@waterfrontconsulting.net  
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to place approximately 174' of riprap overlay layer on the riprap revetment on the north side of the property, rework approximately 170' of riprap marsh sill on the eastern point, harvest all existing unconsolidated riprap covered with oyster strike and place at the the eastern point between points S2 and S8 to create an oyster reef, rework approximately 102' of existing riprap revetment on the south side of the property and modify the existing pier to include a covered boat slip. The pedestrian construction site will be accessed via water and all materials will be delivered and installed via barge.

Approximately (56) of timber piles will be driven for the pier replacement/modification. All riprap will be VDOT Class 1 and A1 quarry stone.

No trees will be impacted for the project. Wetlands impacts will be limited to NV riprap and marsh restoration.



## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project?  Yes\* \_\_\_ No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

YNOT Build, LLC  
1340 N Great Neck, Road  
Suite 1272-#348  
Virginia Beach, VA 23454

Contact Information:

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell (757) 334-6383  
email ynotbuild@gmail.com

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginian Pilot  
150 W. Brambleton Avenue  
Norfolk, VA 23510

Telephone number

(757) 622-1455

7. Give the following project location information:

Street Address (911 address if available) 1508 Duke of Windsor Road

Lot/Block/Parcel# Lot 20C

Subdivision Linkhorn Shores

City / County Virginia Beach ZIP Code 23454

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
36.87 / -76.01 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is maintenance/restoration of the riprap revetment and oyster reef with protective riprap sills.

The secondary purpose of the project is recreational boating access.

## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*  
The project is primarily maintenance of the existing riprap revetments on the north and south side of the property. Due to the steep slopes that extend to the edges of the improvements, a living shore line is not feasible along these portions of the project.  
The riprap sill at the eastern point is to be reworked and augmented
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 175,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 75,000.00
13. Completion date of the proposed work: Approximately 1 year from permit date - \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Larry J. Quate,	1512 Duke of Windsor Road	Virginia Beach, VA 23454
Garret J. Alcaraz,	1504 Duke of Windsor Road	Virginia Beach, VA 23454

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

James J. Jamison

Applicant's Legal Name (printed/typed)

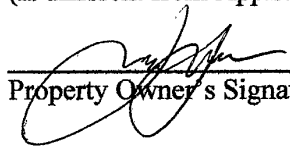
(Use if more than one applicant)



(Use if more than one applicant)

JAMES JAY JAMISON  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)



Property Owner's Signature

(Use if more than one owner)

12/6/20  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), James J. Jamison, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

12/7/2020

(Date)

[Signature]  
12/6/20

(Use if more than one applicant)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), James J. Jamison, have contracted YNOT Build, LLC  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated [Redacted]

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

YNOT Build, LLC  
Contractor's name or name of firm

1340 N Great Neck Road  
Suite 1272 -#348  
Virginia Beach, VA 23454  
Contractor's or firms address

[Signature]  
[Signature]  
12/7/20

(use if more than one applicant)

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

### 1. Briefly describe your proposed project.

The project is to replace the existing pier 5' x 133' pier, remove 122 SF of existing L-Head on the south side and replace with a 5' x 55' finger pier to create a covered boat slip, construct a 16' x 16' L-Head on the north side of the pier and a 19' x 34' open-sided roof over a boat lift.

### 2. For private, noncommercial piers:

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 133' feet.

Channelward of Mean High Water? 115' feet.

Channelward of Mean Low Water? 100' feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 50 square feet.

Tidal vegetated wetlands 50 square feet.

Submerged lands 972 square feet.

What is the total size of any and all L- or T-head platforms? 456 sq. ft.

For boathouses, what is the overall size of the roof structure? 646 sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project involves placing a veneer layer of VDOT Class I & AI quarry stone over the existing 174' riprap revetment on the north side, reworking the 170' riprap sill, backfilling and sprigging 115+/-SF of area behind sill, rework the existing 102' riprap revetment on the south side of the property.

The project will impact:

Subaqueous riprap maintenance: 777± SF

Subaqueous converted to oyster reef : 316± SF

NVW converted to oyster reef landward side of sills : 144± SF

NVW Riprap over NVW Riprap: 2,320± SF

NVW Restored to VW: 115± SF

2. What is the maximum encroachment channelward of mean high water? 10 feet.  
Channelward of mean low water? 2 feet.  
Channelward of the back edge of the dune or beach? n/a feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 2,528 square feet
  - Subaqueous bottom 1,011 square feet
  - Dune and/or beach n/a square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The project will use VDOT Class 1 & A1 quarry stone and UV protected filter fabric. The project will impact less than 0.1 acres of wetlands.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material 25 pounds per stone    Class size A1  
Armor (outer layer) material 75 pounds per stone    Class size One

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                    \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Area to be covered                    \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_

- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1508 Duke of Windsor Road

APPLICANT'S NAME: James J. Jamison

APPLICANT'S ADDRESS: 1508 Duke of Windsor Road

Virginias Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION:

Riprap, Pier and Boathouse

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

12/15/2020  
DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
SIGNATURE OF APPLICANT

12/6/20  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.

**LINKHORN  
BAY**



EXISTING PIER  
SANDY BEACH  
MLW  
MHW

EXISTING  
RIPRAP

EXISTING  
RIPRAP  
SILL

BANK  
OF

EXISTING  
RIPRAP

EXISTING PIER, JET  
DOCK (200 SF) AND  
MOORING PILES



2-STY-BRICK  
# 1508

TIDAL  
POOL

EXISTING PIER  
MLW  
MHW



LOT 20B  
N/F LARRY J. QUATE  
D.B. 2702, PG. 742

20C

LOT 20D  
N/F GARRET A. ALCARAZ  
IN: 20171120001001700

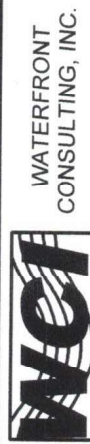
**DUKE OF  
WINDSOR ROAD  
(.50')**

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
A.P.O.

- LARRY J. QUATE
- GARRET A. ALCARAZ
- 
- 

REV: 03/16/2021



WATERFRONT  
CONSULTING, INC.

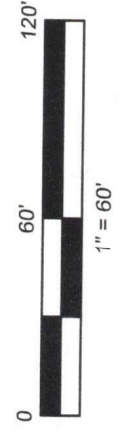
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

PROPOSED: RIPRAP, PIER  
IN: LINKHORN BAY  
AT: 1508 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JAMES J. JAMISON

SHEET 1 OF 11  
DATE: FEB. 24, 2021

**EXISTING SITE  
CONDITIONS**



THIS PLAN IS BASED ON THE NAVD 1988. THE SITE ELEVATIONS WERE ESTABLISHED VIA RTK GPS ON THE CARON NET REFERENCE NETWORK.

NOTE: DUE TO SITE CONSTRAINTS, ALL MATERIALS DELIVERED AND INSTALLED VIA BARGE. ONLY CONTRACTOR PARKING AND PEDESTRIAN ACCESS SHALL BE VIA EXISTING PAVEMENT DRIVEWAY.

REF: M.B. 162, PG. 12

LINKHORN BAY



EXISTING PIER



LOT 20B  
N/F LARRY J. QUATE  
D.B. 2702, PG. 742

20C

LOT 20D  
N/F GARRET A. ALCARAZ  
IN: 20171120001001700

DUKE OF WINDSOR ROAD  
(.50')

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
A.P.O.

1. LARRY J. QUATE
2. GARRET A. ALCARAZ
- 3.
- 4.

REV: 03/16/2021

WATERFRONT CONSULTING, INC.



2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

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PROPOSED: RIPRAP, PIER  
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JAMES J. JAMISON

SHEET 2 OF 11  
DATE: FEB. 24, 2021

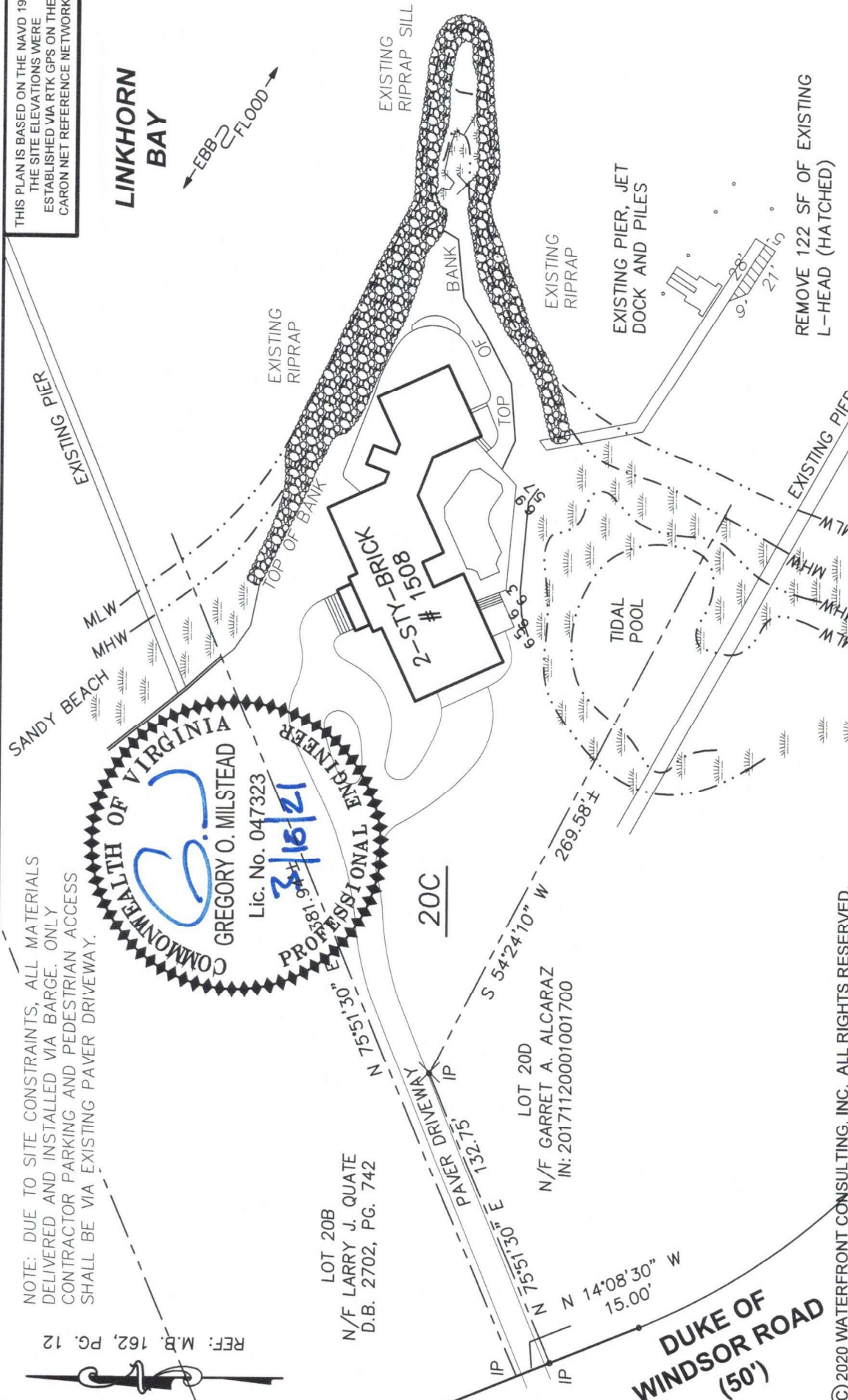
**SITE ACCESS AND DEMOLITION**

0 60' 120'



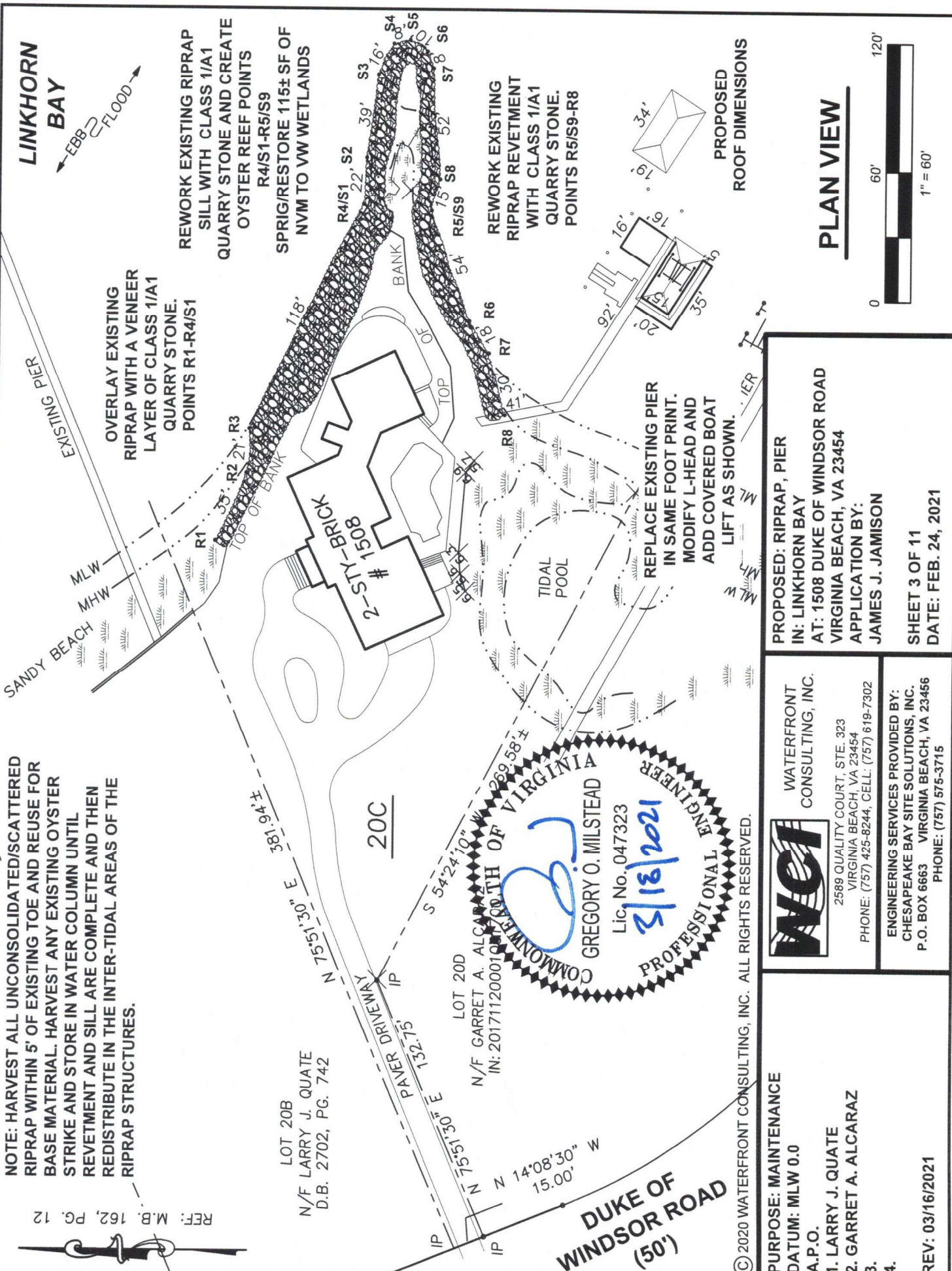
1" = 60'

REMOVE 122 SF OF EXISTING L-HEAD (HATCHED)



NOTE: HARVEST ALL UNCONSOLIDATED/SCATTERED RIPRAP WITHIN 5' OF EXISTING TOE AND REUSE FOR BASE MATERIAL. HARVEST ANY EXISTING OYSTER STRIKE AND STORE IN WATER COLUMN UNTIL REVETMENT AND SILL ARE COMPLETE AND THEN REDISTRIBUTE IN THE INTER-TIDAL AREAS OF THE RIPRAP STRUCTURES.

REF: M.B. 162, PG. 12



PROPOSED ROOF DIMENSIONS

**PLAN VIEW**



PROPOSED: RIPRAP, PIER  
 IN: LINKHORN BAY  
 AT: 1508 DUKE OF WINDSOR ROAD  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 JAMES J. JAMISON

SHEET 3 OF 11  
 DATE: FEB. 24, 2021

**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

PURPOSE: MAINTENANCE  
 DATUM: MLW 0.0  
 A.P.O.  
 1. LARRY J. QUATE  
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 3.  
 4.

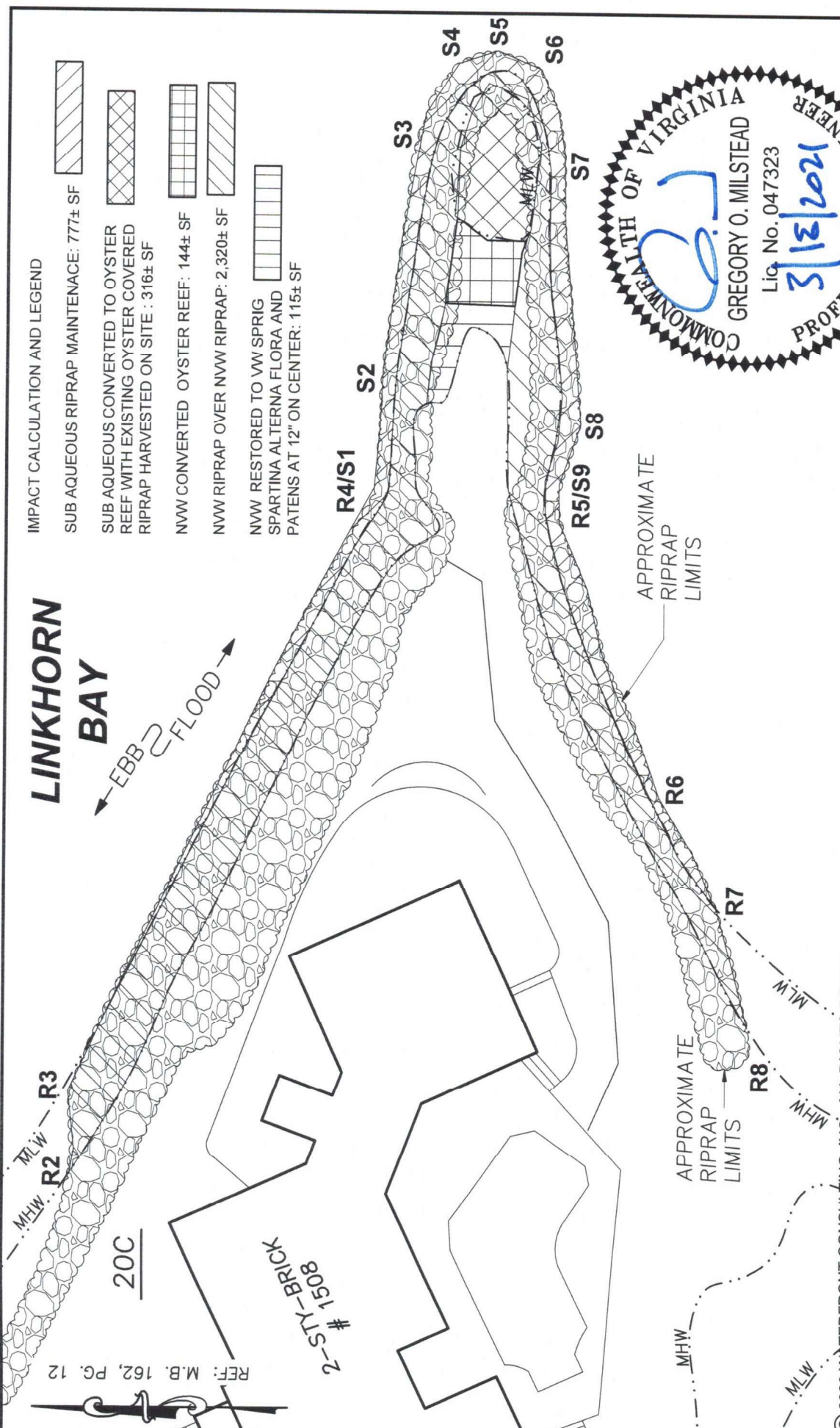
REV: 03/16/2021

COMMONWEALTH OF VIRGINIA  
 GREGORY O. MILSTEAD  
 Lic No. 047323  
 3/16/2021  
 PROFESSIONAL ENGINEER

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# LINKHORN BAY

← EBB FLOOD →



## IMPACT CALCULATION AND LEGEND

SUB AQUEOUS RIPRAP MAINTENANCE: 777± SF

SUB AQUEOUS CONVERTED TO OYSTER REEF WITH EXISTING OYSTER COVERED RIPRAP HARVESTED ON SITE: 316± SF

NW CONVERTED OYSTER REEF: 144± SF

NW RIPRAP OVER NW RIPRAP: 2,320± SF

NW RESTORED TO VW SPRIG SPARTINA ALTRNA FLORA AND PATENS AT 12" ON CENTER: 115± SF



## AREA DETAILS



PROPOSED: RIPRAP, PIER  
 IN: LINKHORN BAY  
 AT: 1508 DUKE OF WINDSOR ROAD  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 JAMES J. JAMISON

SHEET 4 OF 11  
 DATE: FEB. 24, 2021

**WFCI**  
 WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

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 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

PURPOSE: MAINTENANCE  
 DATUM: MLW 0.0  
 A.P.O.  
 1. LARRY J. QUATE  
 2. GARRET A. ALCARAZ  
 3.  
 4.

REV: 03/16/2021

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## SITE DATA

LEGAL DESCRIPTION: LOT 20C, SUBDIVISION OF SITE 20, LINKHORN SHORES  
 REF: MAP BOOK 162, PAGE 12, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 2418-07-3353  
 ZONING: R-40 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION


1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

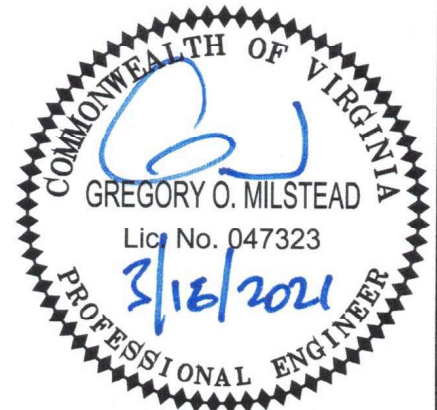
## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## WETLANDS PLANTING GUIDE LINES

- White sand for mitigation area to meet ASTM: C-33
- Wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote 18-6-12 slow release fertilizer or equivalent.
- Plant mortality will be addressed by replacing plants during the next available growing season. Photographic reports shall be submitted to Wetlands staff for 2 full growing seasons.
- Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.

<p><b>NOTICE</b></p> <p>BEFORE YOU DIG, CALL MISS UTILITY 1-800-552-7001 or 811 FOR LOCATIONS OF EXISTING UTILITIES.</p>	<p style="text-align: center;">WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.</p> <div style="text-align: center;">  </div>
--	--



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PURPOSE: MAINTENANCE  
 DATUM: MLW 0.0  
 A.P.O.

1. LARRY J. QUATE
2. GARRET A. ALCARAZ
- 3.
- 4.

REV: 03/16/2021



WATERFRONT  
CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

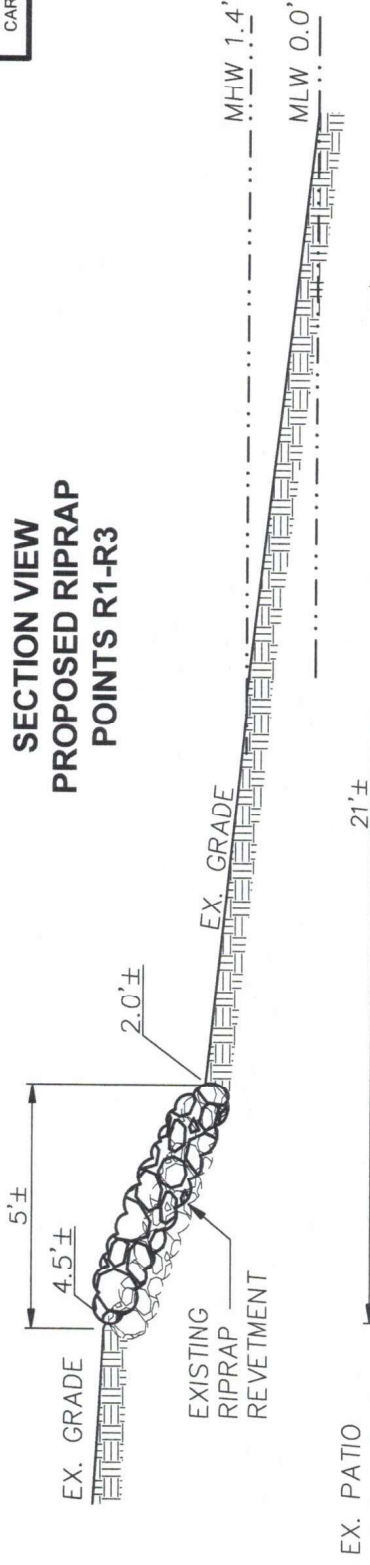
ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

PROPOSED: RIPRAP, PIER  
 IN: LINKHORN BAY  
 AT: 1508 DUKE OF WINDSOR ROAD  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 JAMES J. JAMISON

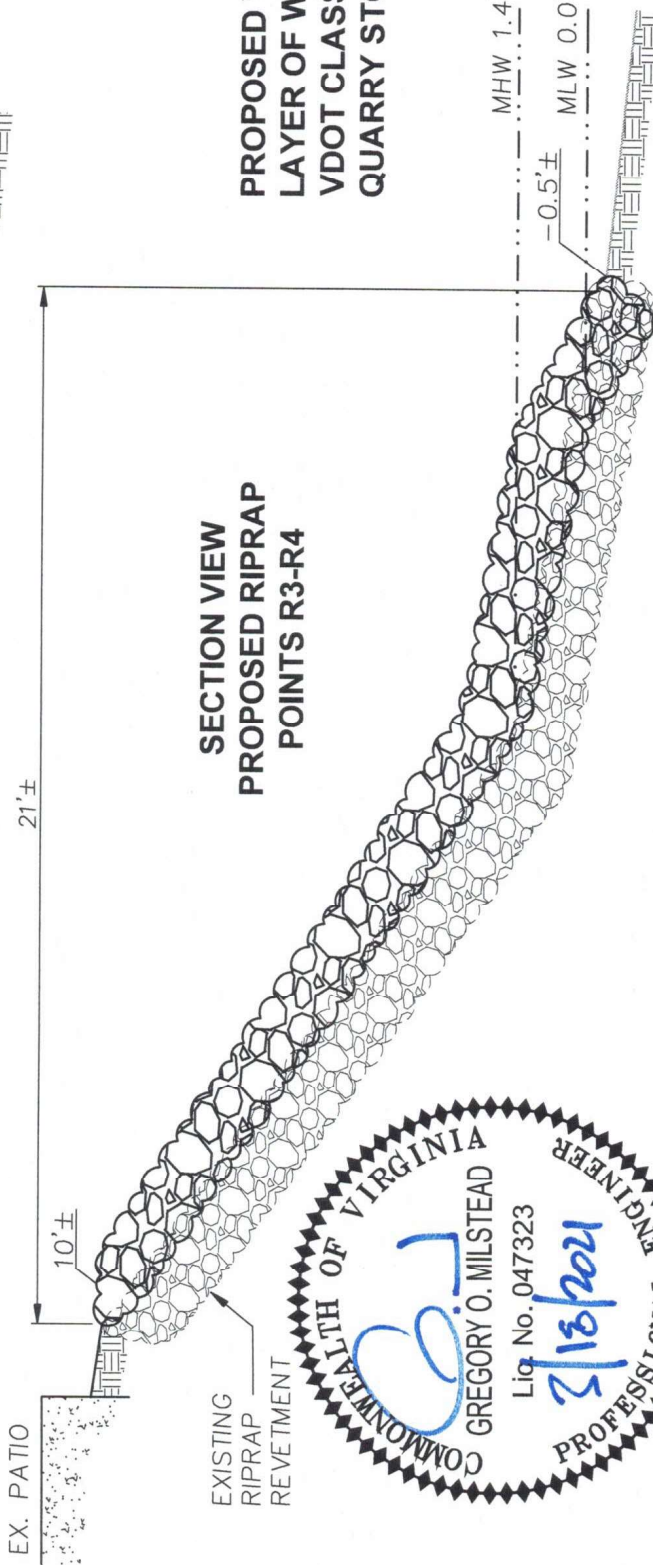
SHEET 5 OF 11  
 DATE: FEB. 24, 2021

THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.

**SECTION VIEW  
PROPOSED RIPRAP  
POINTS R1-R3**



**SECTION VIEW  
PROPOSED RIPRAP  
POINTS R3-R4**



**PROPOSED VENEER  
LAYER OF WELL MIXED  
VDOT CLASS 1 AND A1  
QUARRY STONE**



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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**

1. LARRY J. QUATE
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- 3.
- 4.

**REV: 03/16/2021**

**WATERFRONT  
CONSULTING, INC.**

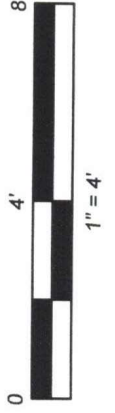
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 819-7302

ENGINEERING SERVICES PROVIDED BY:  
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**PROPOSED: RIPRAP, PIER  
IN: LINKHORN BAY  
AT: 1508 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JAMES J. JAMISON**

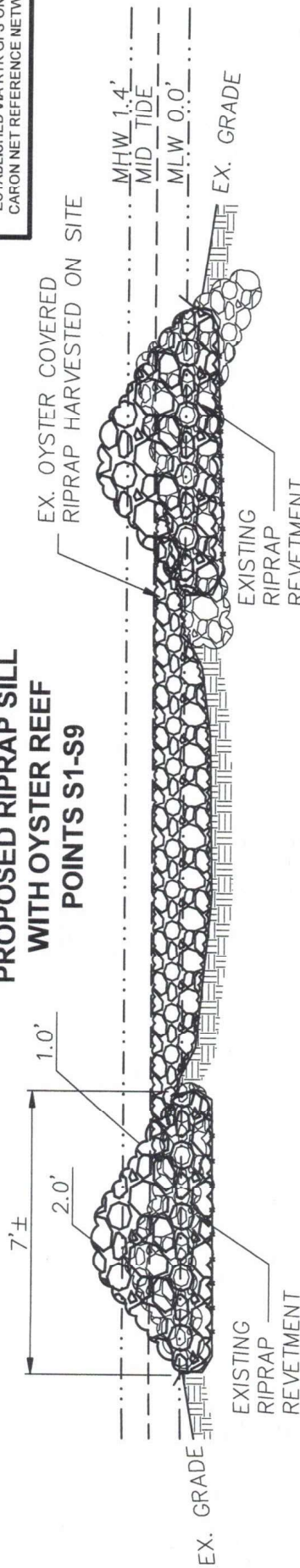
**SHEET 6 OF 11  
DATE: FEB. 24, 2021**

**SECTION VIEWS**

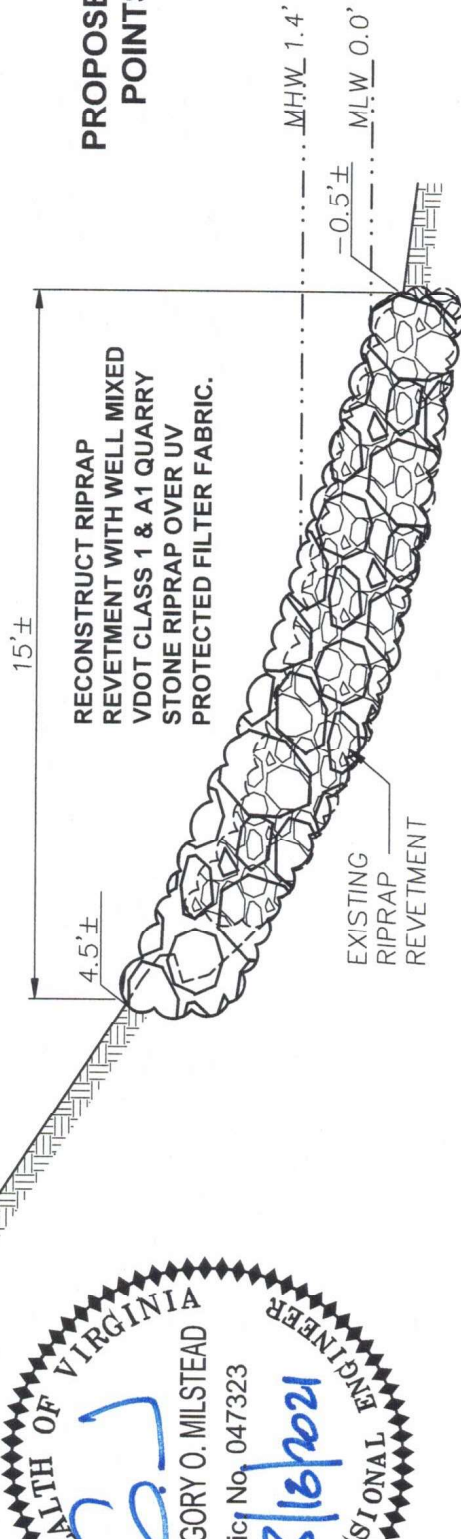


**SECTION VIEW  
PROPOSED RIPRAP SILL  
WITH OYSTER REEF  
POINTS S1-S9**

THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.



RECONSTRUCT RIPRAP SILL WITH WELL MIXED VDOT CLASS 1 & A1 QUARRY STONE RIPRAP OVER UV PROTECTED FILTER FABRIC. FILTER FABRIC TO EXTEND 6" ABOVE FILL LEVEL. USED EXISTING OYSTER COVERED RIPRAP TO INFILL TIDAL AREA AND SEAWARD FACE OF RIPRAP SILLS TO MID TIDE LEVEL.



**PROPOSED RIPRAP  
POINTS R5-R8**

RECONSTRUCT RIPRAP REVETMENT WITH WELL MIXED VDOT CLASS 1 & A1 QUARRY STONE RIPRAP OVER UV PROTECTED FILTER FABRIC.

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
A.P.O.

1. LARRY J. QUATE
2. GARRET A. ALCARAZ
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- 4.

REV: 03/16/2021

WATERFRONT  
CONSULTING, INC.



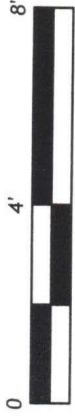
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

PROPOSED: RIPRAP, PIER  
IN: LINKHORN BAY  
AT: 1508 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JAMES J. JAMISON

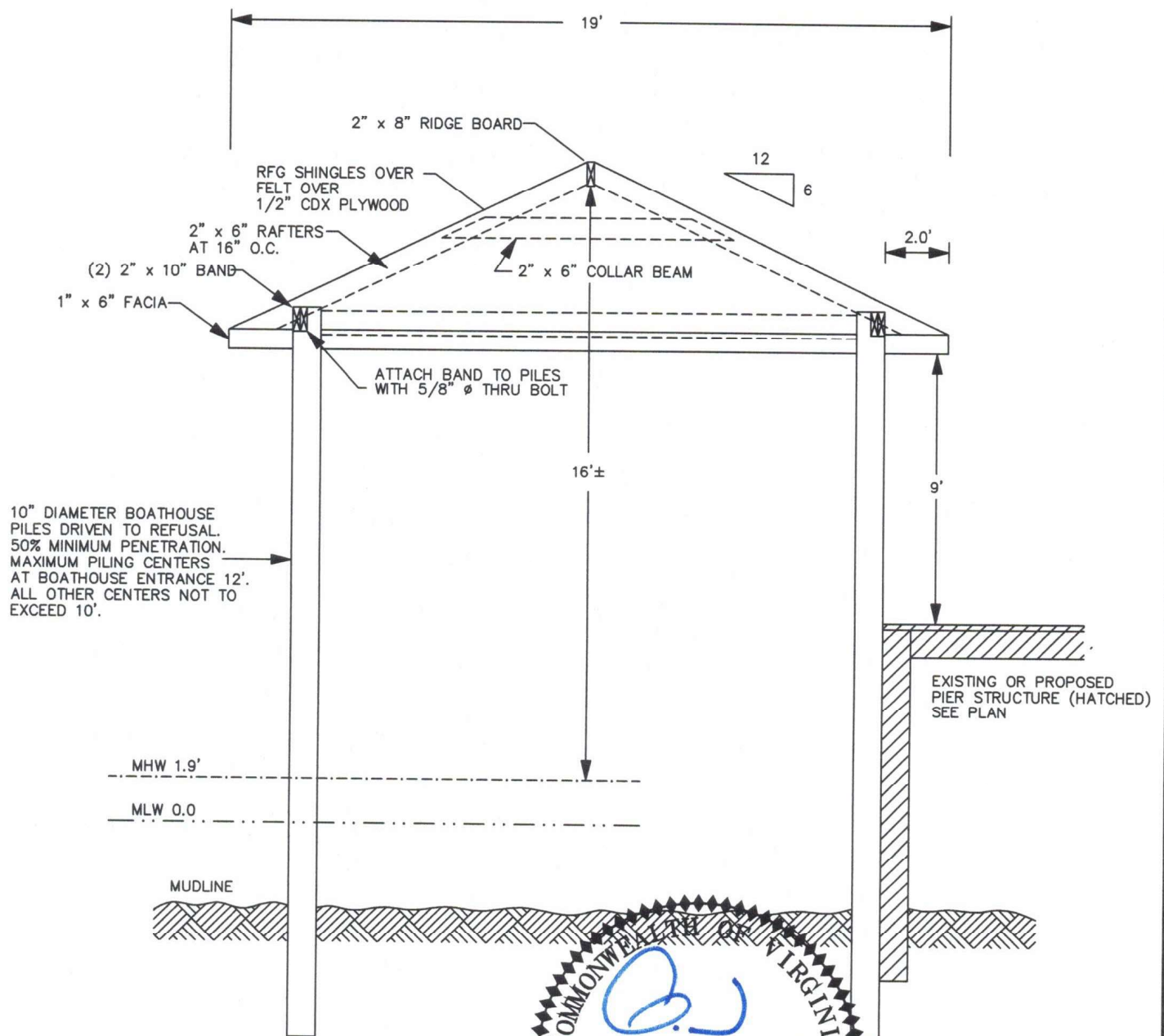
SHEET 7 OF 11  
DATE: FEB. 24, 2021

**SECTION VIEWS**



# PROPOSED BOATHOUSE DETAIL

N.T.S.

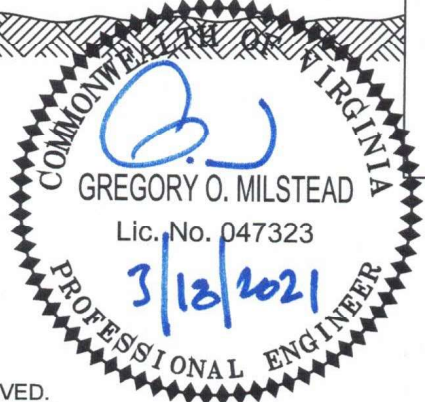


10" DIAMETER BOATHOUSE PILES DRIVEN TO REFUSAL. 50% MINIMUM PENETRATION. MAXIMUM PILING CENTERS AT BOATHOUSE ENTRANCE 12'. ALL OTHER CENTERS NOT TO EXCEED 10'.

MHW 1.9'  
MLW 0.0

MUDLINE

EXISTING OR PROPOSED PIER STRUCTURE (HATCHED) SEE PLAN



**MATERIALS SPECIFICATIONS:**  
 PILING: C.C.A. 2.5 PCF [MP-88]  
 FRAMING: C.C.A. 0.4 PCF [MLP-88]  
 (ALL WOOD TO BE GRADE 2 OR BETTER)  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. LARRY J. QUATE  
 2. GARRET A. ALCARAZ  
 3.  
 4.  
**REV: 03/16/2021**

**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: RIPRAP, PIER IN: LINKHORN BAY**  
**AT: 1508 DUKE OF WINDSOR ROAD**  
**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**JAMES J. JAMISON**

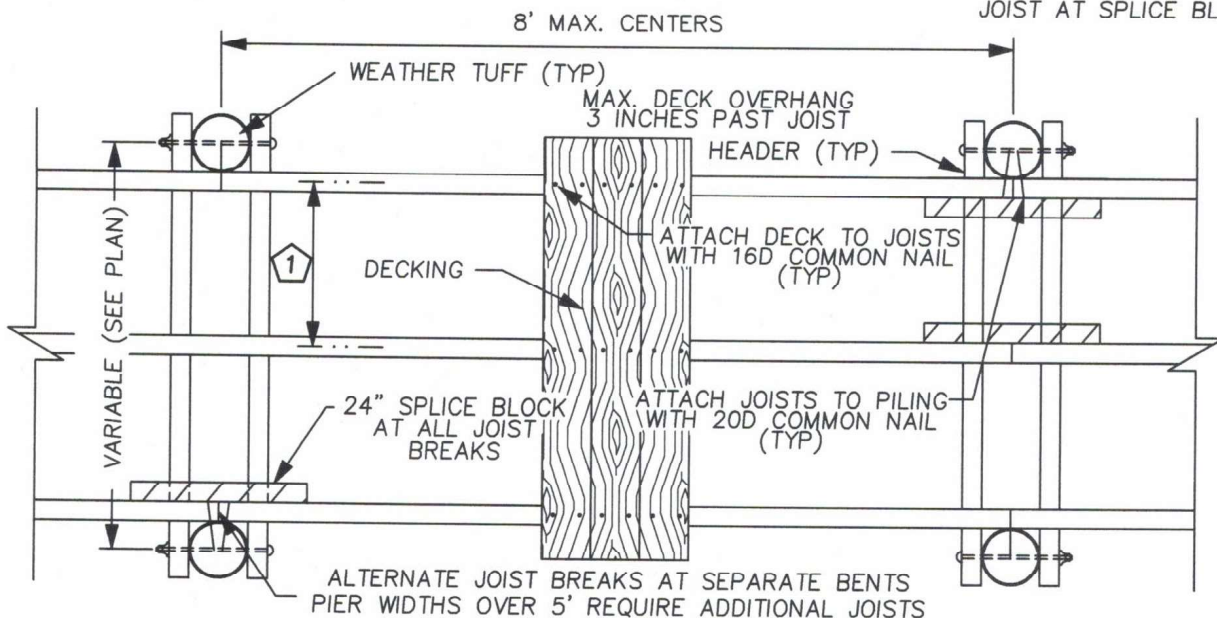
**SHEET 8 OF 11**  
**DATE: FEB. 24, 2021**



# PROPOSED PIER DETAILS

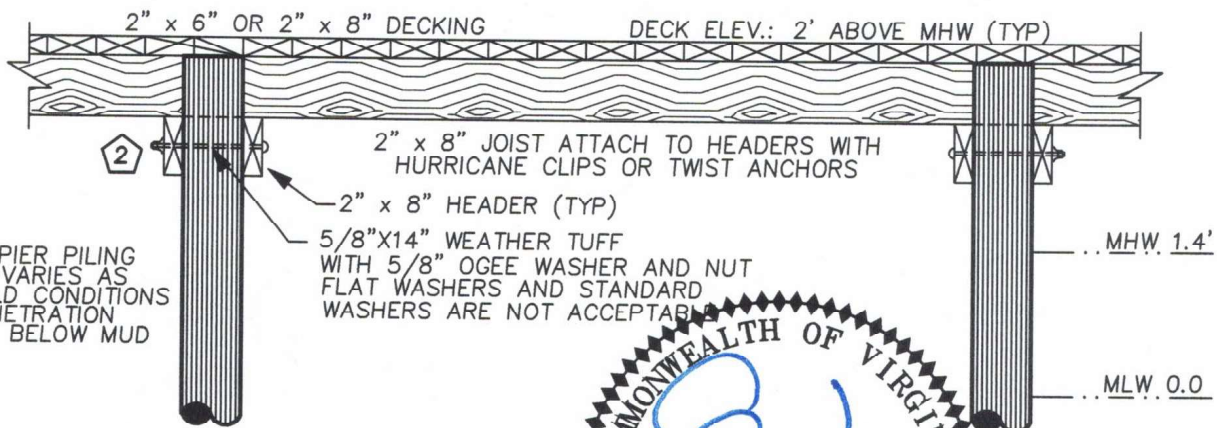
SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



ALTERNATE JOIST BREAKS AT SEPARATE BENTS  
PIER WIDTHS OVER 5' REQUIRE ADDITIONAL JOISTS

- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



8" DIA. PIER PILING  
LENGTH VARIES AS  
PER FIELD CONDITIONS  
50% PENETRATION  
MINIMUM BELOW MUD

2" x 8" JOIST ATTACH TO HEADERS WITH  
HURRICANE CLIPS OR TWIST ANCHORS  
2" x 8" HEADER (TYP)  
5/8"x14" WEATHER TUFF  
WITH 5/8" OEGE WASHER AND NUT  
FLAT WASHERS AND STANDARD  
WASHERS ARE NOT ACCEPTABLE

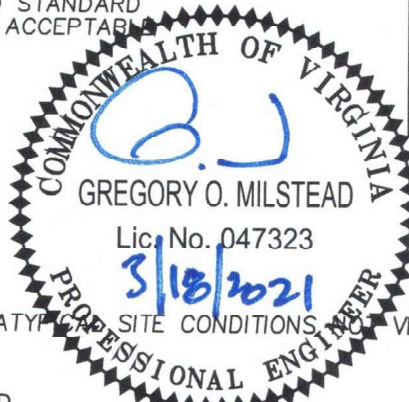
.. MHW. 1.4'

.. MLW. 0.0

## MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF  
HEADERS AND JOISTS: C.C.A. 0.6 PCF  
DECKING: CCA 0.4 PCF  
ALL WOOD TO BE GRADE 2 OR BETTER.  
HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS, IF VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.



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PURPOSE: MAINTENANCE

DATUM: MLW 0.0

A.P.O.

1. LARRY J. QUATE

2. GARRET A. ALCARAZ

3.

4.

REV: 03/16/2021



WATERFRONT  
CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
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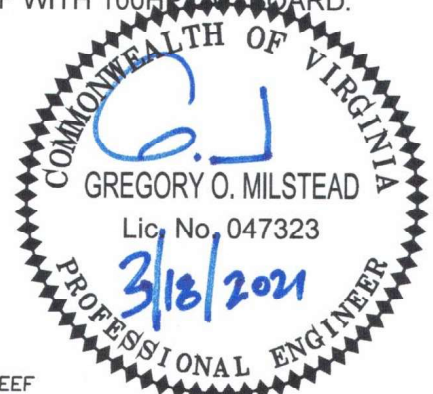
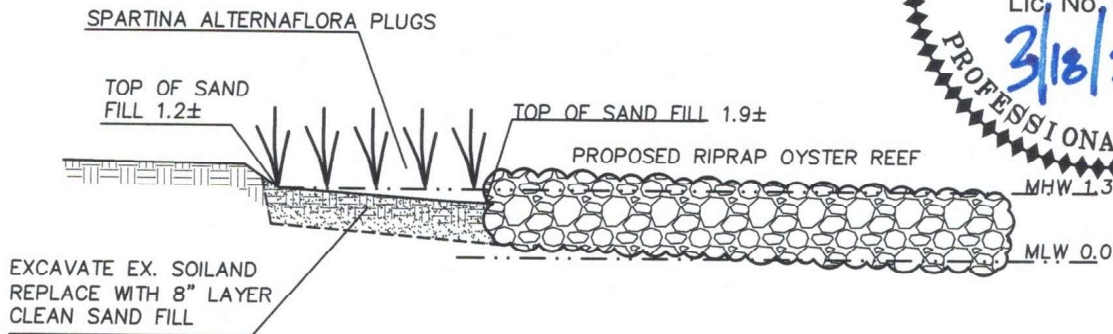
PROPOSED: RIPRAP, PIER  
IN: LINKHORN BAY  
AT: 1508 DUKE OF WINDSOR ROAD  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
JAMES J. JAMISON

SHEET 9 OF 11  
DATE: FEB. 24, 2021

NLA A COMPLIANCE					
ITEM	8" Pile	10" Pile	12" Pile		
PIER	42				
BOATHOUSE		10			
BOAT LIFT		4			

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.  
 BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.

**CROSS SECTION  
 PROPOSED SPARTINA  
 SPRIGGING**



1. Wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote 18-6-12 slow release fertilizer or equivalent.
2. Plant mortality will be addressed by replacing plants during the next available growing season.
3. Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.
4. Sand fill (for living shoreline projects) will meet the following standard: Using the Unified Soil Classification System, sand will be SM (silty sands), SP or SW with a medium grain size of around 0.25 mm with no more than 20 percent passing through a #100 sieve (0.149mm) and no more than 10 percent passing through a #200 sieve (0.074mm).

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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. LARRY J. QUATE  
 2. GARRET A. ALCARAZ  
 3.  
 4.



**WATERFRONT  
 CONSULTING, INC.**

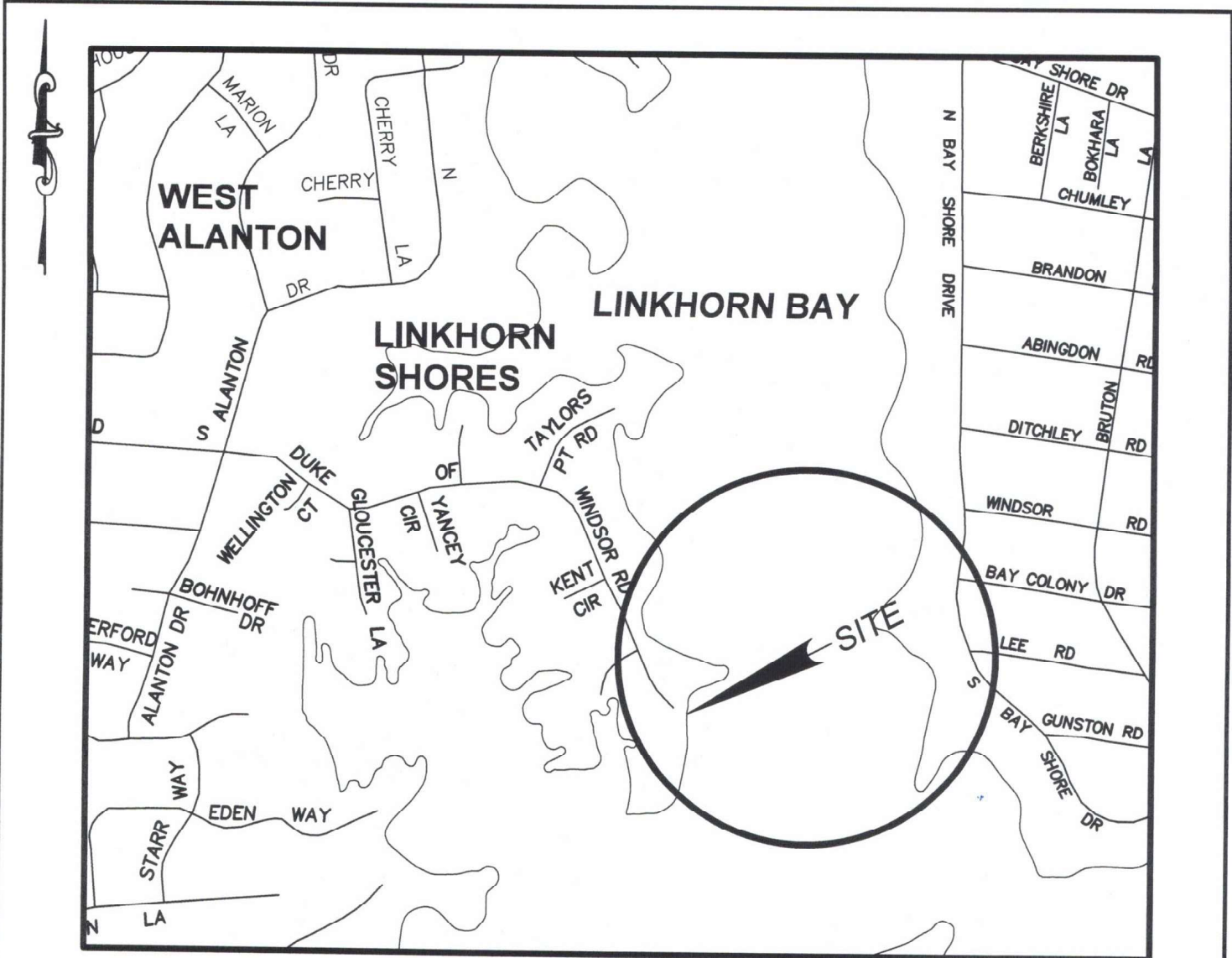
2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

**ENGINEERING SERVICES PROVIDED BY:**  
**CHESAPEAKE BAY SITE SOLUTIONS, INC.**  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: RIPRAP, PIER**  
**IN: LINKHORN BAY**  
**AT: 1508 DUKE OF WINDSOR ROAD**  
**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**JAMES J. JAMISON**

**SHEET 10 OF 11**  
**DATE: FEB. 24, 2021**

REV: 03/16/2021



## LOCATION MAP

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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. LARRY J. QUATE  
 2. GARRET A. ALCARAZ  
 3.  
 4.  
**REV: 03/16/2021**

**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: RIPRAP, PIER**  
**IN: LINKHORN BAY**  
**AT: 1508 DUKE OF WINDSOR ROAD**  
**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**JAMES J. JAMISON**

**SHEET 11 OF 11**  
**DATE: FEB. 24, 2021**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

December 20, 2020

Larry J. Quate,  
1512 Duke of Windsor Road  
Virginia Beach, VA 23454

**RE: Proposed Riprap, Pier and Boathouse  
Located 1508 Duke of Windsor Road, Virginia Beach, VA 23454**

Dear Larry J. Quate,

This letter is to notify you that your neighbor(s), James J. Jamison have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

If you object to the project, you may still return the Adjacent Property Owners Acknowledgement form to Waterfront Consulting, Inc. or by USPS to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions. If we do not receive a response within 15 days from the date of this letter, it will be assumed that you have no objection to the project.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: James J. Jamison , Applicant

Office: (757) 425-8244      Mobile: (757) 619-7302      [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net)  
2589 Quality Court, Ste. 323      Virginia Beach, VA 23454

Received by VMRC March 16, 2021 /blh

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Larry J. Quate,, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of James J. Jamison.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated Feb. 24, 2021  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

December 20, 2020

Garret J. Alcaraz,  
1504 Duke of Windsor Road  
Virginia Beach, VA 23454

**RE: Proposed Riprap, Pier and Boathouse  
Located 1508 Duke of Windsor Road, Virginia Beach, VA 23454**

Dear Garret J. Alcaraz,

This letter is to notify you that your neighbor(s), James J. Jamison have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call.

If you do not object to the project or have no comment, we would ask that you return the enclosed Adjacent Property Owners Acknowledgement form via email to [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net) or the USPS to Waterfront Consulting, Inc.

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Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

CC: James J. Jamison , Applicant

Office: (757) 425-8244      Mobile: (757) 619-7302      [bob@waterfrontconsulting.net](mailto:bob@waterfrontconsulting.net)  
2589 Quality Court, Ste. 323      Virginia Beach, VA 23454

Received by VMRC March 16, 2021 /blh

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Garret J. Alcaraz,, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of James J. Jamison.  
(Print applicant's name(s))

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(Date)

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I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

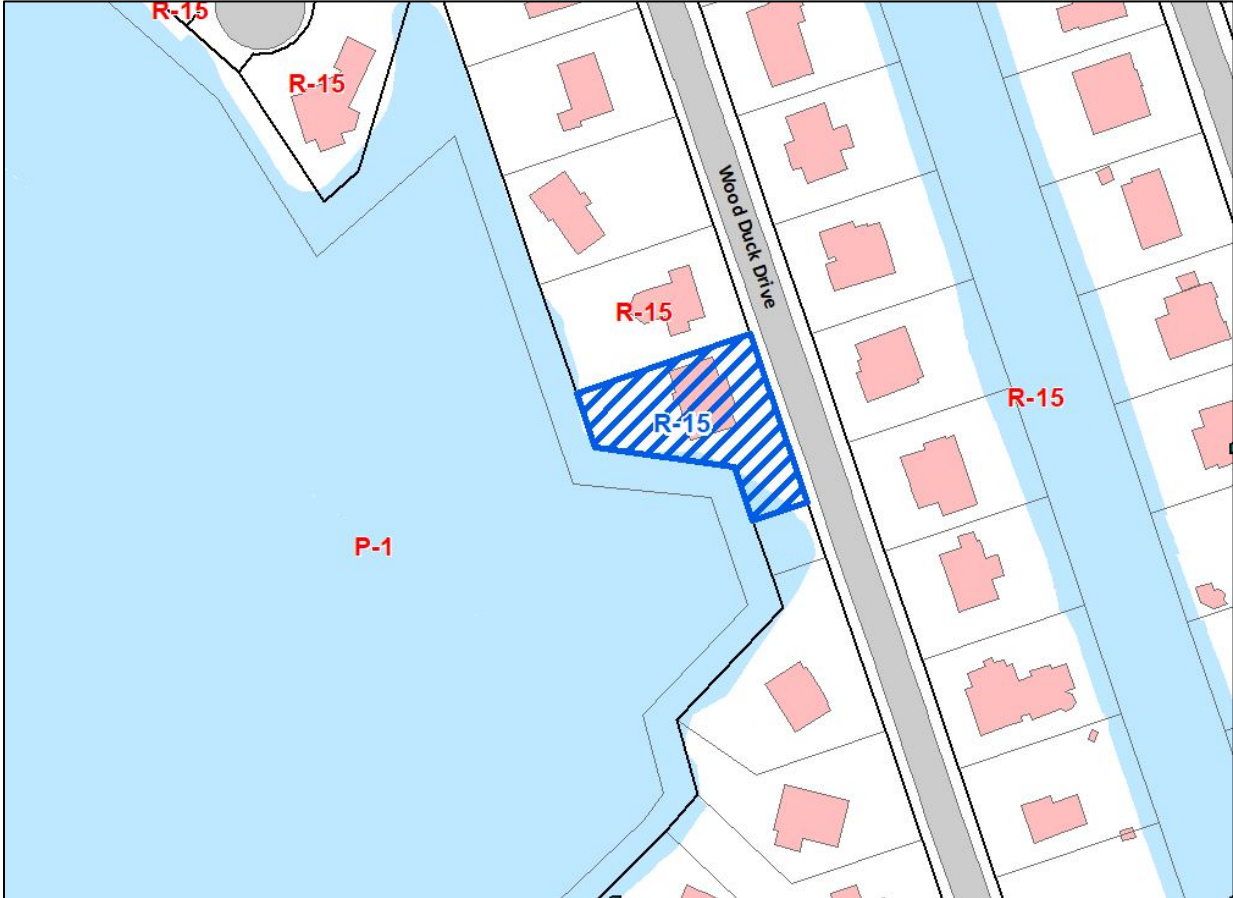
11. 2021-WTRA-00067

Neil C. Thompson [Applicant/Owner]

**To construct a bulkhead involving wetlands**

2821 Wood Duck Drive  
(GPIN 2433-25-2680)

Waterway – Sand Broad Inlet  
Subdivision – Sandbridge Shores  
Council District – Princess Anne







**APPLICANT'S NAME** Neil C. Thompson

**DISCLOSURE STATEMENT FORM**

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

Acquisition of Property by City	Disposition of City Property	Modification of Conditions or Proffers
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.

**SECTION 1 / APPLICANT DISCLOSURE**

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).			Page 1 of 7
<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:	
<input type="checkbox"/>	NO CHANGES AS OF	DATE:	
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	



- Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.

(A) List the Applicant's name: Neil C. Thompson  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

(B) List the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes<sup>1</sup> and <sup>2</sup>

---

## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

- Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.

(A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

---

### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY



## APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construction Contractors	Project out for bid
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	WCI, Chesapeake Bay Site Solutions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	WELLS FARGO HOME MORTGAGE
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

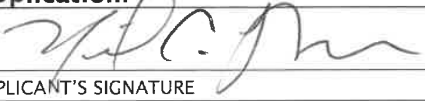
YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?

**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

	Neil C. Thompson	2/16/21
APPLICANT'S SIGNATURE	PRINT NAME	DATE

- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 21-0448

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<b>County or City in which the project is located:</b> _____				
<b>Waterway at project site:</b> _____				
<i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

1. Applicant's legal name\* and complete mailing address: Contact Information:

Neil C. Thompson  
 2821 Wood Duck Drive  
 Virginia Beach, VA 23456

Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell (757) 287-8291  
 e-mail [nthompson186@yahoo.com](mailto:nthompson186@yahoo.com)

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

## Part 1 - General Information (continued)

3. Authorized agent name\* and complete mailing address (if applicable):  
 Waterfront Consulting, Inc.  
 2589 Quality Court, Suite 323  
 Virginia Beach, VA 23454  
 State Corporation Commission Name and ID Number (if applicable) 047-4381-1
- Contact Information:  
 Home ( ) \_\_\_\_\_  
 Work ( 757 ) 425-8244  
 Fax ( 757 ) 425-8244  
 Cell ( 757 ) 619-7302  
 e-mail bob@waterfrontconsulting.net

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is construct approximately 249 linear feet of vinyl bulkhead to prevent flooding of the rear yard and to stop the settlement of the residence and driveway. The proposed vinyl bulkhead will use 10'-12' vinyl sheet piles and 55 timber piles 8" in diameter. The riprap will be grubbed via excavator and the bulkhead materials will be installed via a vibratory hammer mounted to an excavator. The project also is to construct a proposed pier and boat lift. The pier will use 12 timber piles that are 8" diameter and the boat lift will use four 10" diameter timber piles all driven with a vibratory hammer.

5. Have you obtained a contractor for the project?  Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:  
 SANDBRIDGE MARINE CORP  
 2948 SAND BEND RD  
 VA. BEACH, VA. 23456  
 State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

Contact Information:  
 Home ( ) \_\_\_\_\_  
 Work ( 757 ) 778-2800  
 Fax ( ) \_\_\_\_\_  
 Cell ( 757 ) 778-0805  
 email SANDBRIDGE MARINE CONSTRUCTION .COM

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:  
 The Virginian Pilot  
 150 W. Brambleton Avenue  
 Norfolk, VA 23510

Telephone number  
 ( 757 ) 446-2289

## Part 1 - General Information (continued)

7. Give the following project location information:

Street Address (911 address if available) 2821 Wood Duck Drive

Lot/Block/Parcel# Lot 143, Section 1-B, Sandbride Shores North

Subdivision Sandbridge

City / County Virginia Beach

ZIP Code 23456

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.731 / -75.943

(Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of the project is to stop the settlement of the south side of the property in the vicinity of the house and driveway.

The secondary purpose of the project is recreational boating access.

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

A living shoreline was not considered at the location due to the structural requirement to secure the residence and driveway which are already experiencing settlement. The same holds true for trying to reinforce the existing riprap which is not preventing the settlement of the existing structures. Therefore, a bulkhead has been proposed as the best option to secure the land from further settlement. The proposed bulkhead at the point is to prevent periodic flooding of the lot. The proposed bulkhead alignment will have approximately 806 sq. ft. of impacts to the existing riprap and 170 sq. ft. of sub-aqueous bottom for which an in lieu fee will be paid.



**Part 1 - General Information (continued)**

- 11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
  
- 12. Approximate cost of the entire project (materials, labor, etc.): \$ 70,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 40,000.00
  
- 13. Completion date of the proposed work: JUNE 1<sup>ST</sup> 2021
  
- 14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

City of Virginia Beach  
Gertrude B. Neff

2401 Courthouse Drive  
2817 Wood Duck Drive

Virginia Beach, VA 23456  
Virginia Beach, VA 23456

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Neil C. Thompson, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))  
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

\_\_\_\_\_  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

\_\_\_\_\_  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Neil C. Thompson, have contracted SANDBRIDGE MARINE CORP.  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

DANIEL YATES  
Contractor's name or name of firm

2948 SAND BEND RD.  
VA. BEACH, VA. 23456

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

Application Revised: April 2017

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), Gertrude B. Neff, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of Neil C. Thompson.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated May 15, 2017  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write "N/A" in the space provided.

---

**Appendix A: Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. **Briefly describe your proposed project.**

The project is to remove the existing timber pier and to construct a private open pile pier with a 5'x24' walkway and an 11'x16' L-head.

2. **For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 24 feet.

Channelward of Mean High Water? 24 feet.

Channelward of Mean Low Water? 24 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 296 square feet.

What is the total size of any and all L- or T-head platforms? 176 sq. ft.

For boathouses, what is the overall size of the roof structure? \_\_\_\_\_ sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

**Part 3 – Appendices (continued)**

3. **For USACE permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information must be included before the application will be considered complete. For an application to be considered complete:
- a. The USACE MAY require depth soundings across the waterway at increments designated by the USACE project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.).
  - b. The applicant MUST provide a justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands.
  - c. The applicant MUST provide justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration #

5. **For Marinas, Commercial Piers, Governmental Piers, Community Piers and other non-private piers**, provide the following information:
- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205 C of the Code of Virginia).
  - B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
  - C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
  - D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
  - E) What is the area of the piers and platforms that will be constructed over
    - Tidal non-vegetated wetlands \_\_\_\_\_ square feet
    - Tidal vegetated wetlands \_\_\_\_\_ square feet
    - Submerged lands \_\_\_\_\_ square feet
6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.
- From Mean High Water? \_\_\_\_\_ feet.
  - From Mean Low Water? \_\_\_\_\_ feet.
- Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.
- Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to grub the existing riprap, install approximately 249 linear feet of  bulkhead, and backfill with 40 c.y. of clean upland sand below the plane of mean high water.

2. What is the maximum encroachment channelward of mean high water? 6 feet.  
Channelward of mean low water? 2 feet.  
Channelward of the back edge of the dune or beach? 0 feet.

3. Please calculate the square footage of encroachment over:

• Vegetated wetlands	<u>0</u>	square feet
• Non-vegetated wetlands	<u>806</u>	square feet
• Subaqueous bottom	<u>170</u>	square feet
• Dune and/or beach	<u>0</u>	square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 2821 Wood Duck Drive

APPLICANT'S NAME: Neil C. Thompson

APPLICANT'S ADDRESS: 2821 Wood Duck Drive


Virginia Beach, VA 23456

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION: Pier, Bulkhead, Boat Lift


AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

6/9/17  
DATE

Gregory O. Milstead, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
SIGNATURE OF APPLICANT

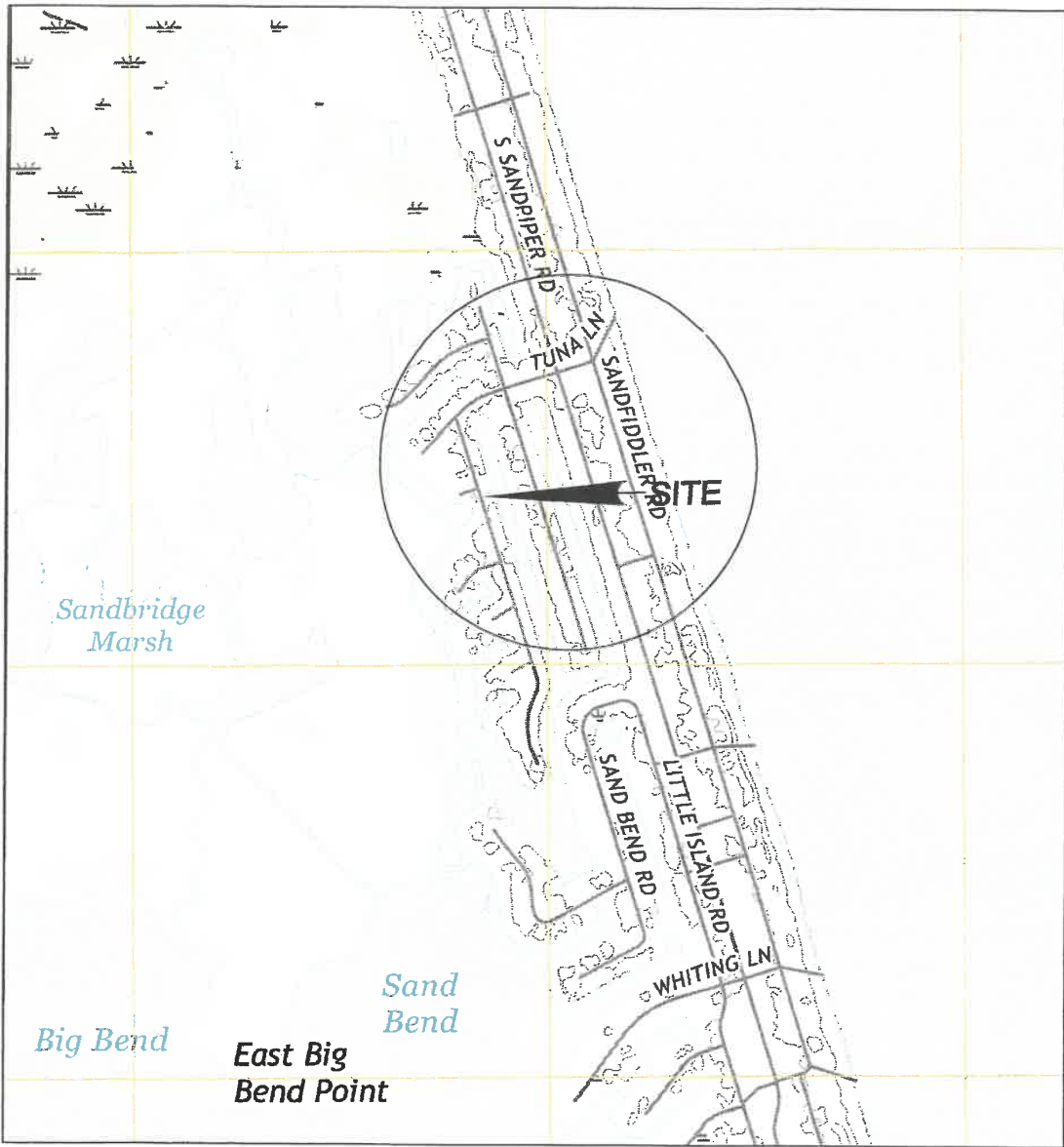
5/25/17  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



USGS QUADRANGLE  
NORTH BAY, VA 2016

## LOCATION MAP

© 2017 WATERFRONT CONSULTING, INC. ALL RIGHTS RESERVED.

**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. GERTRUDE B. NEFF  
 2. CITY OF VIRGINIA BEACH  
 3.  
 4.  
**REV:**



**WATERFRONT  
CONSULTING, INC.**

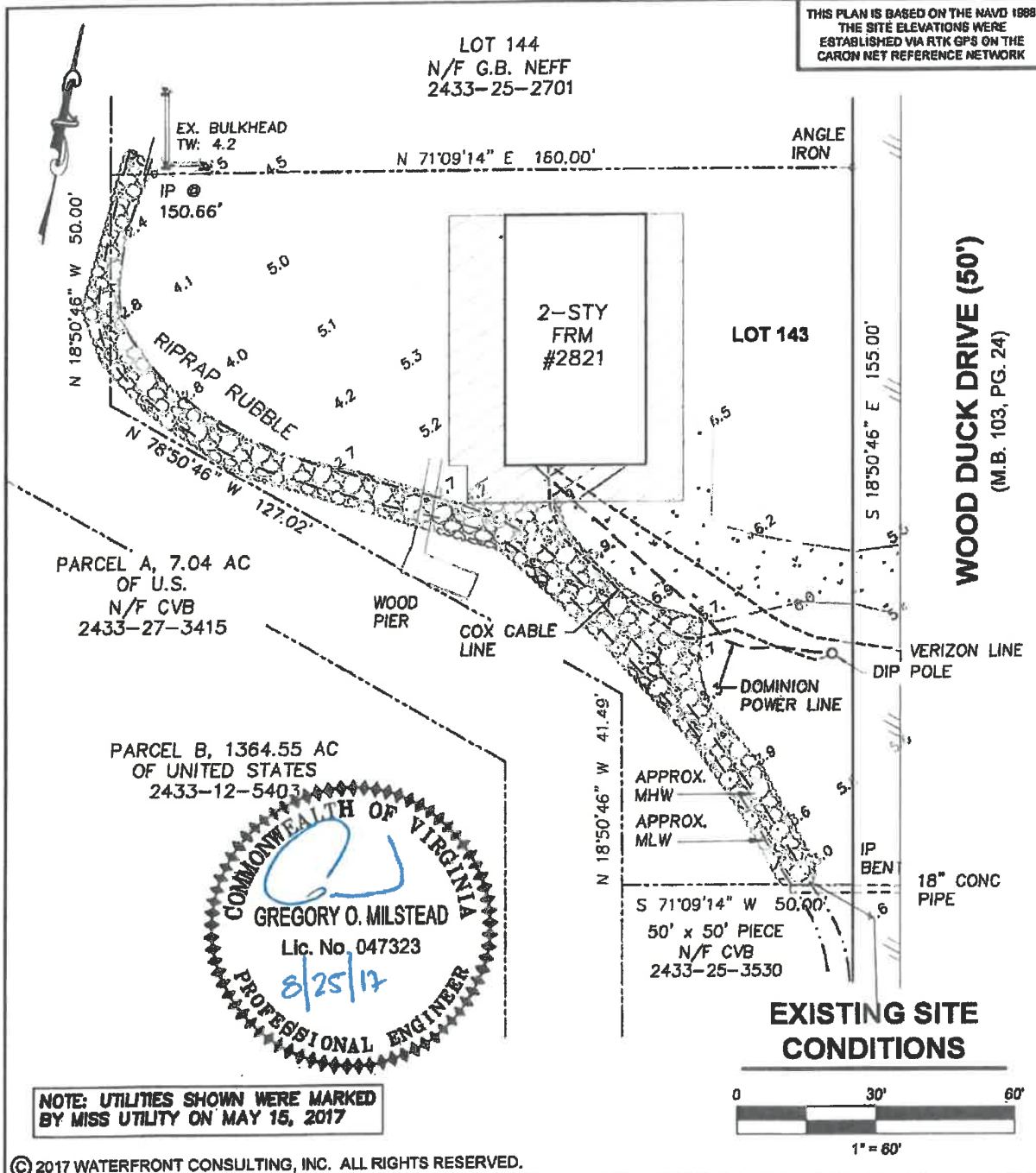
2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 3913 CROMWELL PARK DRIVE  
 VIRGINIA BEACH, VA 23452

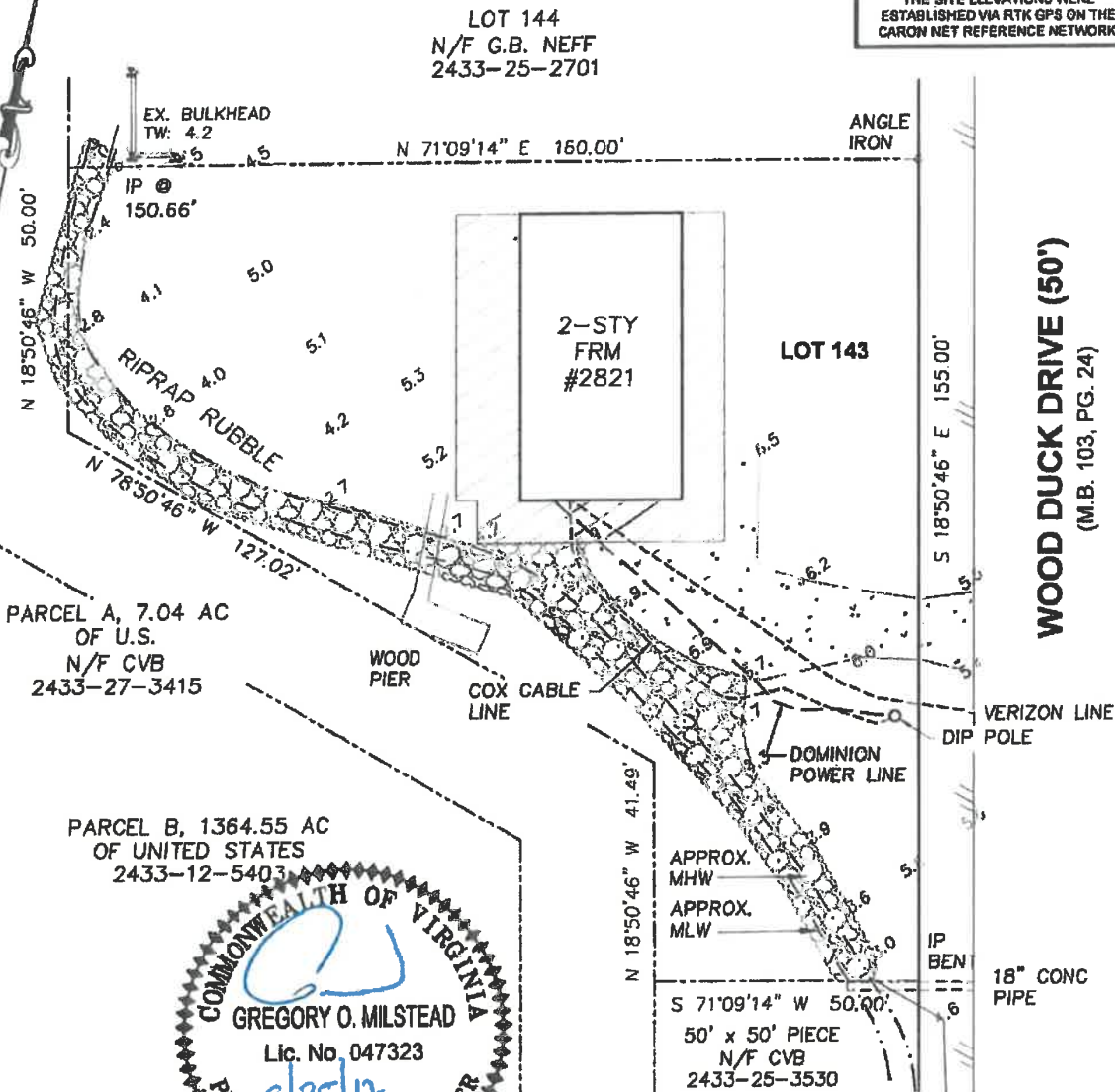
**PROPOSED: BULKHEAD, PIER & LIFT  
 IN: SAND BROAD INLET  
 AT: 2821 WOOD DUCK DRIVE  
 VIRGINIA BEACH, VA 23456  
 APPLICATION BY:  
 NEIL C. THOMPSON**

**SHEET 10 OF 10  
 DATE: MAY 15, 2017**



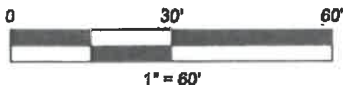


THIS PLAN IS BASED ON THE NAVD 1988  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK



COMMONWEALTH OF VIRGINIA  
GREGORY O. MILSTEAD  
Lic. No. 047323  
8/25/17  
PROFESSIONAL ENGINEER

NOTE: UTILITIES SHOWN WERE MARKED BY MISS UTILITY ON MAY 15, 2017



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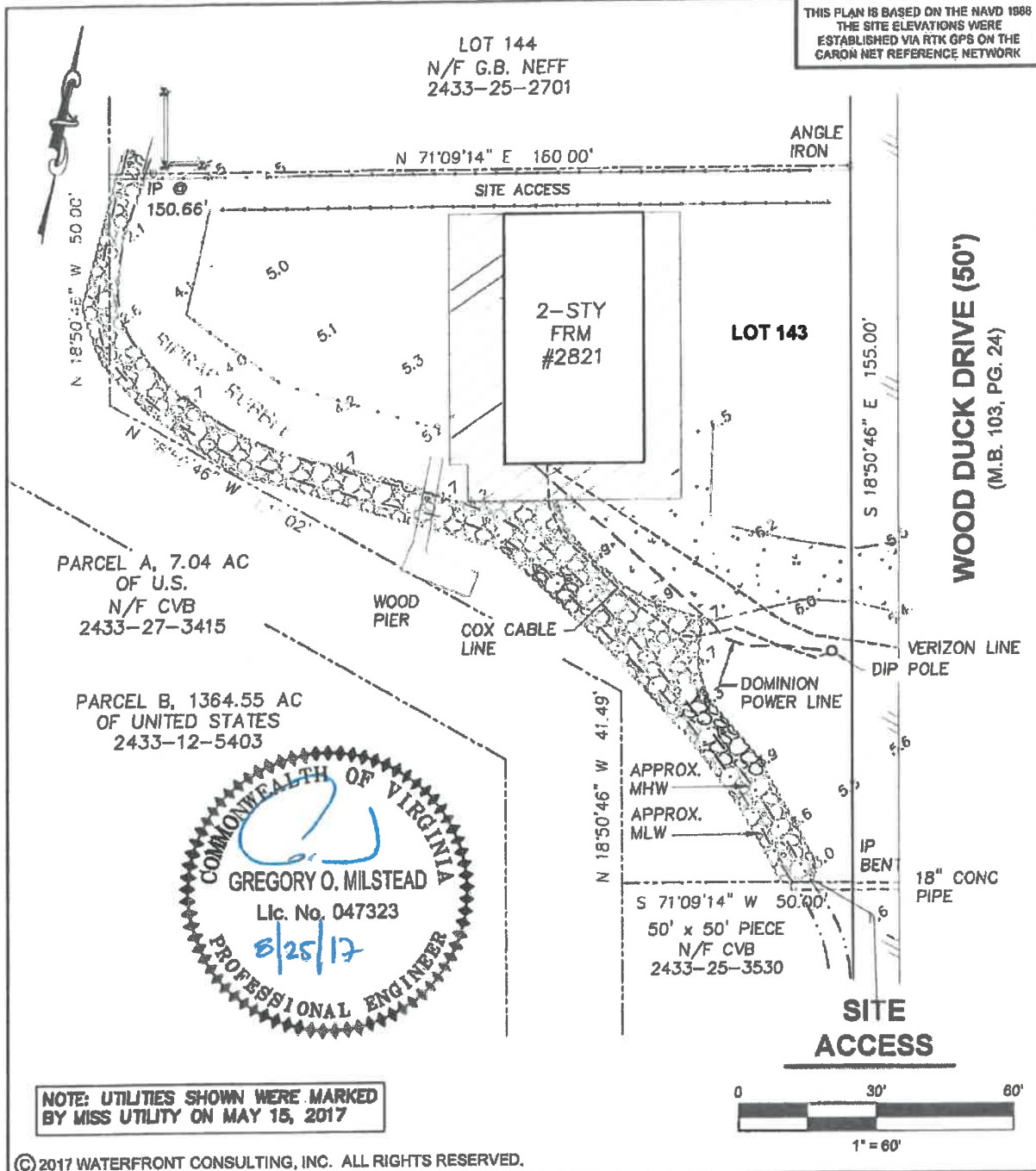
PURPOSE: EROSION CONTROL  
DATUM: MLW 0.0  
A.P.O.  
1. GERTRUDE B. NEFF  
2. CITY OF VIRGINIA BEACH  
3.  
4.  
REV: 08/23/2017

**WCI** WATERFRONT CONSULTING, INC.  
2599 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 618-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6863  
VIRGINIA BEACH, VA 23456

PROPOSED: BULKHEAD, PIER & LIFT  
IN: SAND BROAD INLET  
AT: 2821 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456  
APPLICATION BY:  
NEIL C. THOMPSON

SHEET 1 OF 10  
DATE: MAY 15, 2017



THIS PLAN IS BASED ON THE NAVD 1988  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK

LOT 144  
N/F G.B. NEFF  
2433-25-2701

PARCEL A, 7.04 AC  
OF U.S.  
N/F CVB  
2433-27-3415

PARCEL B, 1364.55 AC  
OF UNITED STATES  
2433-12-5403



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**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. GERTRUDE B. NEFF  
 2. CITY OF VIRGINIA BEACH  
 3.  
 4.  
**REV: 08/23/2017**

**WCI** WATERFRONT CONSULTING, INC  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663  
 VIRGINIA BEACH, VA 23456

**PROPOSED: BULKHEAD, PIER & LIFT IN: SAND BROAD INLET**  
**AT: 2821 WOOD DUCK DRIVE**  
**VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**NEIL C. THOMPSON**

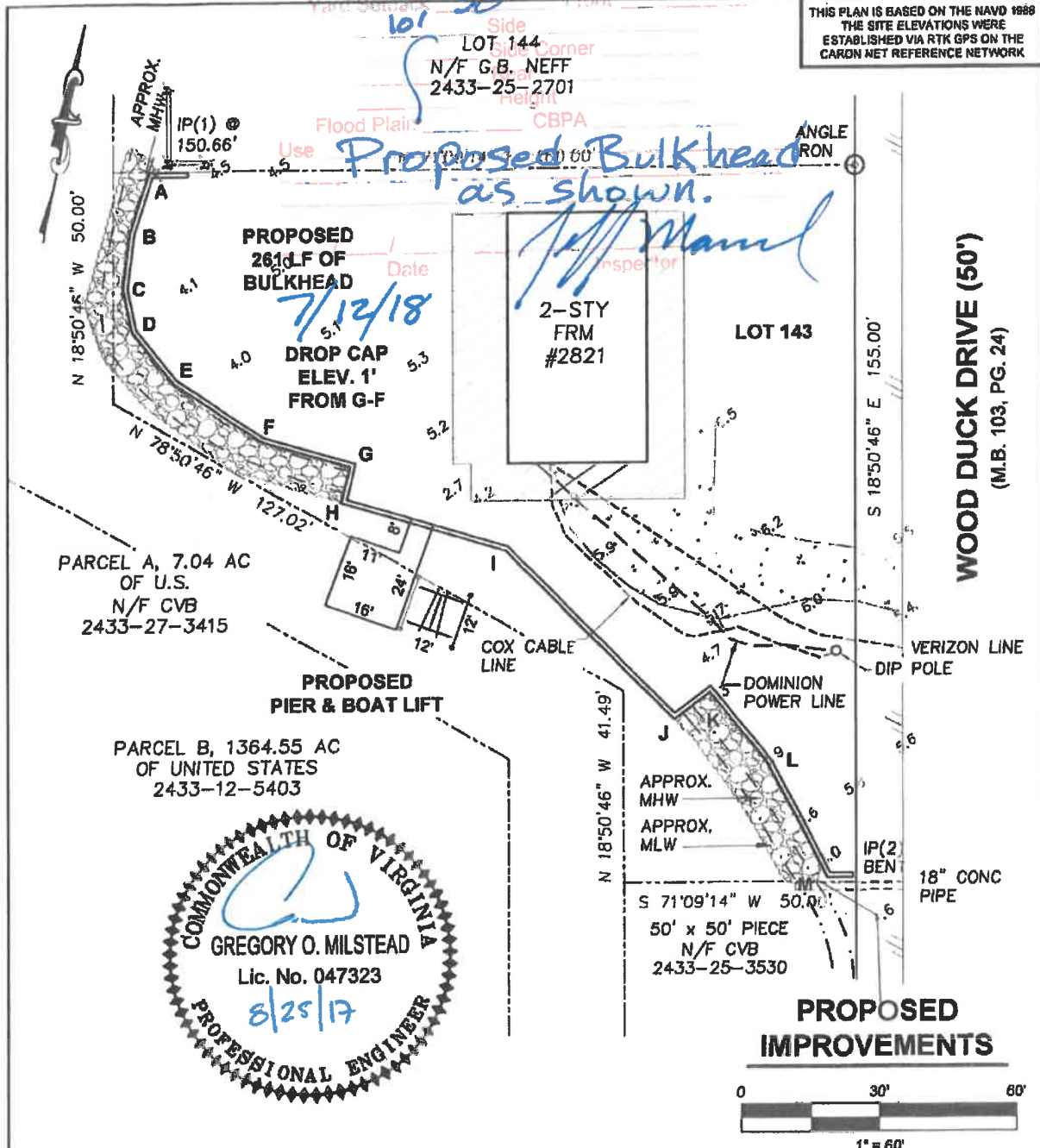
**SHEET 2 OF 10**  
**DATE: MAY 15, 2017**

Zoning **R15** Variance Granted

Yard Setback **30'** Front

Side **10'**  
Side Corner  
LOT 144  
N/F G.B. NEFF  
2433-25-2701

THIS PLAN IS BASED ON THE NAVD 1988  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK



PARCEL A, 7.04 AC OF U.S. N/F CVB 2433-27-3415

PARCEL B, 1364.55 AC OF UNITED STATES 2433-12-5403



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**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**

1. GERTRUDE B. NEFF
2. CITY OF VIRGINIA BEACH
- 3.
- 4.

REV: 08/23/2017

**WCI** WATERFRONT CONSULTING, INC.  
2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 426-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6863  
VIRGINIA BEACH, VA 23456

**PROPOSED: BULKHEAD, PIER & LIFT IN: SAND BROAD INLET**  
**AT: 2821 WOOD DUCK DRIVE**  
**VIRGINIA BEACH, VA 23456**

**APPLICATION BY:**  
**NEIL C. THOMPSON**

**SHEET 3 OF 10**  
**DATE: MAY 15, 2017**

SWING TIES (IN FEET)			
POINT	IP(1)	DIP POLE	IP(2)
A	1		
B	14		
C	27		
D	35		
E	46		
F	63		
G	76		
H	82		
I	112	74	
J		39	
K		29	
L		29	32
M			6

RUNNING DISTANCES	
A-B	14
B-C	12
C-D	10
D-E	14
E-F	23
F-G	20
G-H	8
H-I	37
I-J	52
J-K	10
K-L	21
L-M	28

NORTH RETURNWALL IS 6'  
SOUTH RETURN WALL IS 6'



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PURPOSE: EROSION CONTROL  
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WATERFRONT  
CONSULTING, INC.

2569 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 818-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663  
VIRGINIA BEACH, VA 23466

PROPOSED: BULKHEAD, PIER & LIFT  
IN: SAND BROAD INLET  
AT: 2821 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456  
APPLICATION BY:  
NEIL C. THOMPSON

SHEET 4 OF 10  
DATE: MAY 15, 2017

**SITE DATA**

LEGAL DESCRIPTION: LOT 143, SANDBRIDGE SHORES, SECTION 1B, NORTH  
 REF: MAP BOOK 103, PAGE 24, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 2433-25-2680  
 ZONING: R-15 RESIDENTIAL

**SEQUENCE OF CONSTRUCTION**

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUNDCOVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

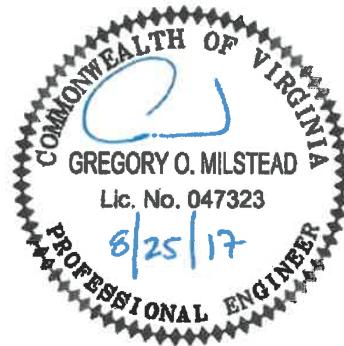
**CONSTRUCTION NOTES**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

**RE-VEGETATION / SEEDING SCHEDULE**

**TABLE 3.32-E (REVISE JUNE 2003)  
 PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA**

<u>Minimum Care Lawn (Commercial or Residential)</u>	
Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre
<u>High Maintenance Lawn</u>	
Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre



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**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. GERTRUDE B. NEFF  
 2. CITY OF VIRGINIA BEACH  
 3.  
 4.  
**REV: 08/23/2017**



**WATERFRONT CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 818-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663  
 VIRGINIA BEACH, VA 23468

**PROPOSED: BULKHEAD, PIER & LIFT**  
**IN: SAND BROAD INLET**  
**AT: 2821 WOOD DUCK DRIVE**  
**VIRGINIA BEACH, VA 23466**  
**APPLICATION BY:**  
**NEIL C. THOMPSON**

**SHEET 5 OF 10**  
**DATE: MAY 15, 2017**

# CROSS SECTION PROPOSED BULKHEAD POINTS A-G, K-M

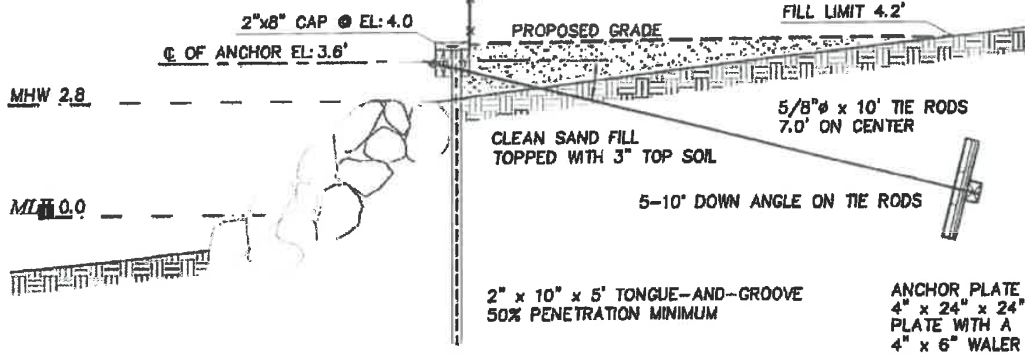
SC: 1" = 4'

REMOVE EXISTING RIPRAP AS NECESSARY FOR BULKHEAD INSTALLATION. ALL OTHER RIPRAP TO REMAIN.

PROVIDE 2"  $\phi$  WEEP HOLES AT EL: 3.0 4.0' ON CENTER

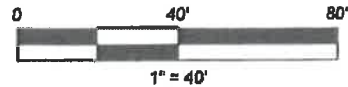
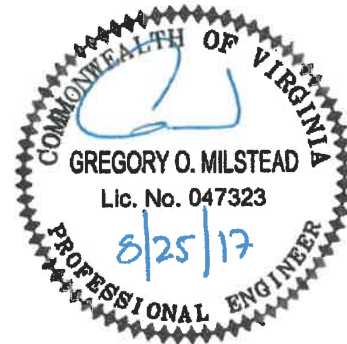
(2) 2" x 8" WOOD WALER 24" SPLICE BLOCK EACH JOINT

36" E & SC BARRIER SEE SHEET 9  
2" x 8" WOOD BACKER 3/4"  $\phi$  BOLTS W/OGEES & NUTS AT 3' ON CENTER



**MATERIALS SPECIFICATIONS:**  
CAP BOARD CCA 0.4 PCF  
ALL OTHER TIMBER CCA 2.5 PCF  
ALL WOOD GRADE 2 OR BETTER  
ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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**PURPOSE:** EROSION CONTROL  
**DATUM:** MLW 0.0  
A.P.O.  
1. GERTRUDE B. NEFF  
2. CITY OF VIRGINIA BEACH  
3.  
4.  
**REV:** 08/23/2017



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663  
VIRGINIA BEACH, VA 23466

**PROPOSED:** BULKHEAD, PIER & LIFT  
**IN:** SAND BROAD INLET  
**AT:** 2821 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456  
**APPLICATION BY:**  
NEIL C. THOMPSON

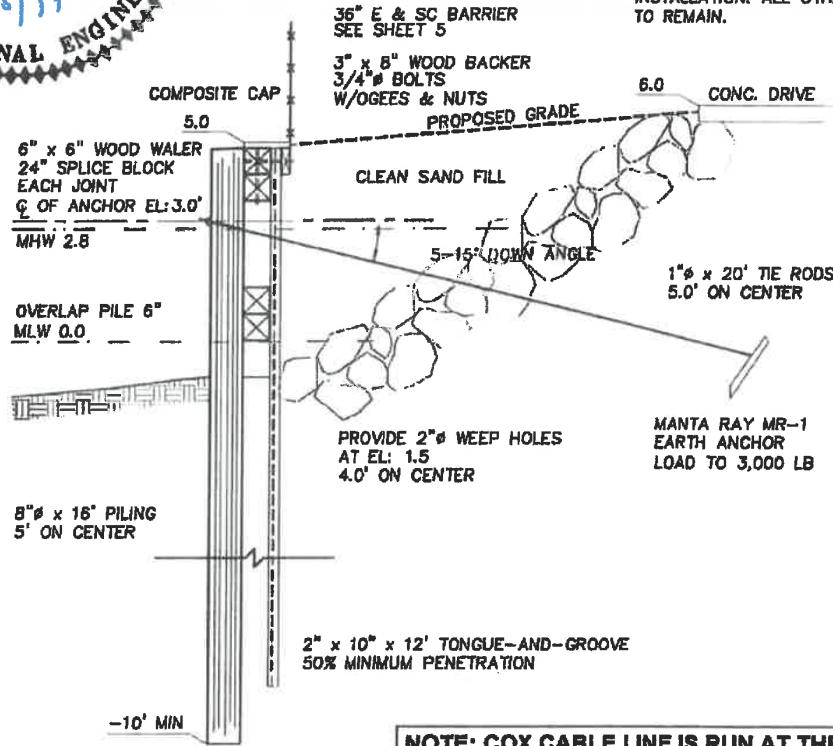
**SHEET 6 OF 10**  
**DATE:** MAY 15, 2017



# CROSS SECTION PROPOSED BULKHEAD POINTS H-J

SC: 1" = 4'

REMOVE EXISTING RIPRAP AS NECESSARY FOR BULKHEAD INSTALLATION. ALL OTHER RIPRAP TO REMAIN.



**NOTE: COX CABLE LINE IS RUN AT THE TOP OF THE RIPRAP AND DOMINION POWER IS RUN IN THE VICINITY OF THE DEADMEN. AREA TO BE HAND DUG FOR DRIVE ANCHOR INSTALLATION.**

**MATERIALS SPECIFICATIONS:**  
CAP BOARD CCA 0.4 PCF  
ALL OTHER TIMBER CCA 2.5 PCF  
ALL WOOD GRADE 2 OR BETTER  
ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**  
1. GERTRUDE B. NEFF  
2. CITY OF VIRGINIA BEACH  
3.  
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**WATERFRONT  
CONSULTING, INC**

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 426-8244, CELL: (757) 618-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663  
VIRGINIA BEACH, VA 23456

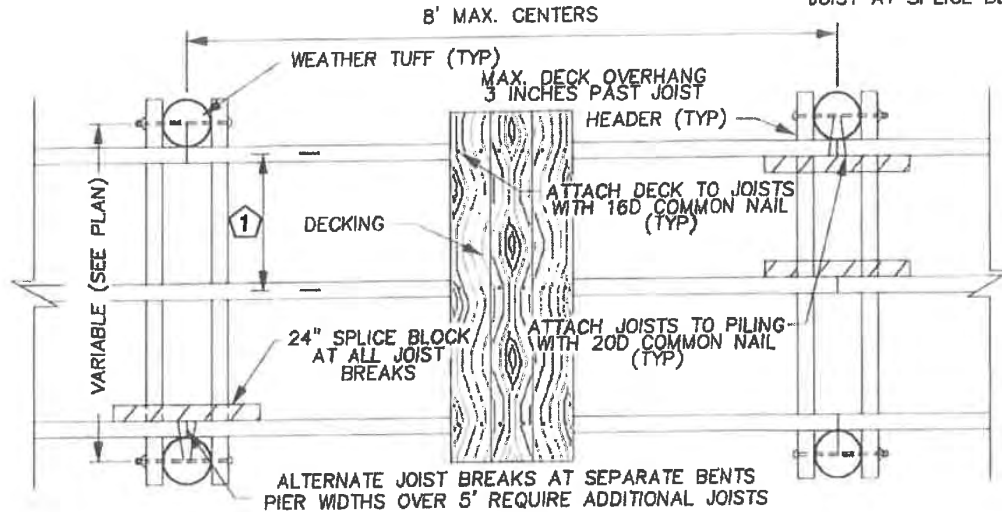
**PROPOSED: BULKHEAD, PIER & LIFT  
IN: SAND BROAD INLET  
AT: 2821 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:  
NEIL C. THOMPSON**

**SHEET 7 OF 10  
DATE: MAY 15, 2017**

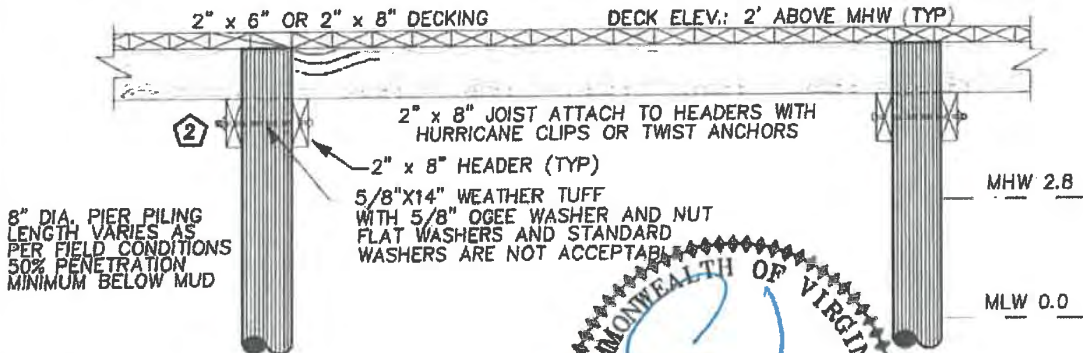
# PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



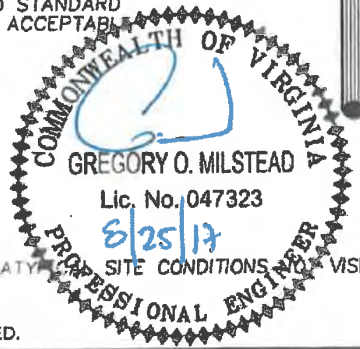
- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



### MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF  
 HEADERS AND JOISTS: C.C.A. 0.6 PCF  
 DECKING: CCA 0.4 PCF  
 ALL WOOD TO BE GRADE 2 OR BETTER.  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]  
 PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.

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**PURPOSE: EROSION CONTROL**  
**DATUM: MLW 0.0**  
**A.P.O.**  
**1. GERTRUDE B. NEFF**  
**2. CITY OF VIRGINIA BEACH**  
**3.**  
**4.**  
**REV: 08/23/2017**

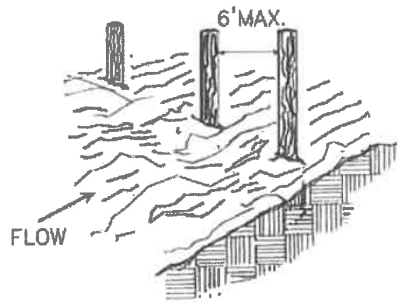

**WATERFRONT CONSULTING, INC.**  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 810-7302  
**ENGINEERING SERVICES PROVIDED BY:**  
**CHESAPEAKE BAY SITE SOLUTIONS, INC.**  
 P.O. BOX 6663  
 VIRGINIA BEACH, VA 23456

**PROPOSED: BULKHEAD, PIER & LIFT IN: SAND BROAD INLET**  
**AT: 2821 WOOD DUCK DRIVE VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**NEIL C. THOMPSON**  
**SHEET 8 OF 10**  
**DATE: MAY 15, 2017**

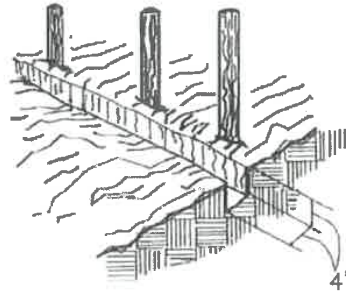


## CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

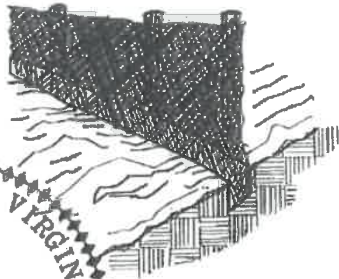
1. SET THE STAKES.



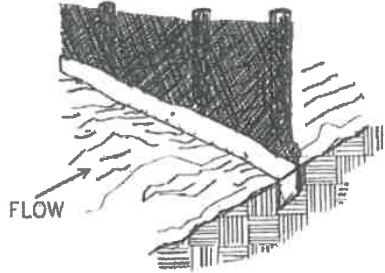
2. EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



### SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE. 3.05-2

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**PURPOSE: EROSION CONTROL**  
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2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
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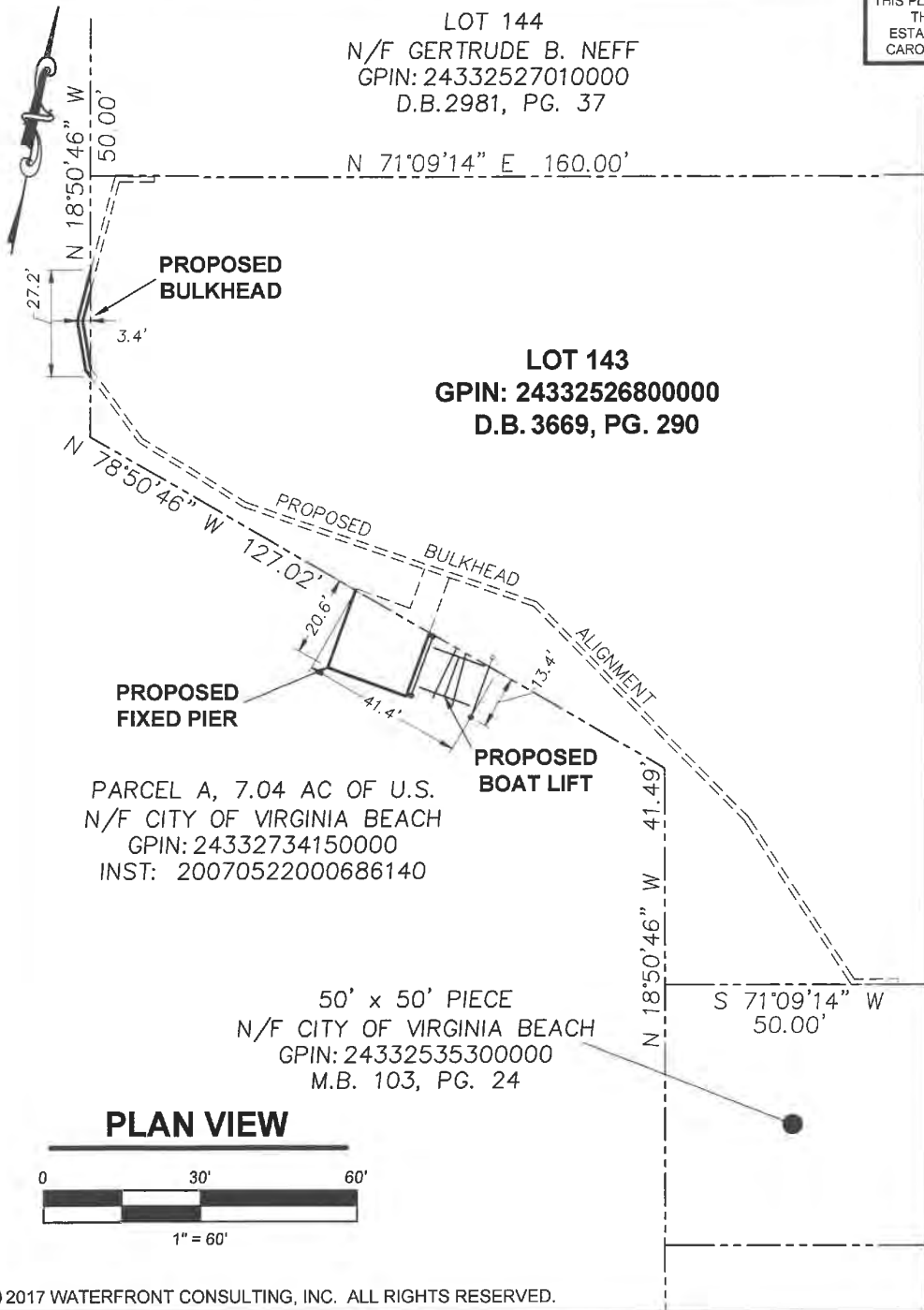
**PROPOSED: BULKHEAD, PIER & LIFT  
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 AT: 2821 WOOD DUCK DRIVE  
 VIRGINIA BEACH, VA 23456**  
**APPLICATION BY:**  
**NEIL C. THOMPSON**

**SHEET 9 OF 10**  
**DATE: MAY 15, 2017**

THIS PLAN IS BASED ON THE NAVD 1988.  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
CARON NET REFERENCE NETWORK.

LOT 144  
N/F GERTRUDE B. NEFF  
GPIN: 24332527010000  
D.B.2981, PG. 37

LOT 143  
GPIN: 24332526800000  
D.B. 3669, PG. 290

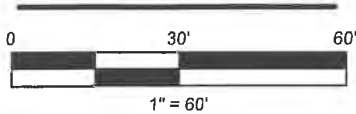


PARCEL A, 7.04 AC OF U.S.  
N/F CITY OF VIRGINIA BEACH  
GPIN: 24332734150000  
INST: 20070522000686140

50' x 50' PIECE  
N/F CITY OF VIRGINIA BEACH  
GPIN: 24332535300000  
M.B. 103, PG. 24

WOOD DUCK ROAD (50' R/W)  
M.B. 103, PG. 24

**PLAN VIEW**



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CONSULTING  
INC.

2589 QUALITY COURT, UNIT 323  
VIRGINIA BEACH, VA 23454  
PHONE/FAX: (757) 425-8244

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.

**EXHIBIT A: ENCROACHMENT REQUEST  
FOR BULKHEAD, PIER AND BOAT LIFT FOR  
NEIL C. and MARJORIE A. THOMPSON  
LOT 143, SECTION 1-B  
SANDBRIDGE SHORES NORTH (M.B. 103, PG. 24)  
SANDBRIDGE DISTRICT DATE: MAY 22, 2017**



# City of Virginia Beach

MARK D. STILES  
CITY ATTORNEY

VBgov.com

MUNICIPAL CENTER  
BUILDING 1  
2401 COURTHOUSE DRIVE, ROOM 260  
VIRGINIA BEACH, VIRGINIA 23456-9004  
(757) 385-4531  
FAX (757) 385-5687  
TTY: 711

In Reply Refer To Our File No. 0062519

March 9, 2018

Neil Thompson  
2821 Wood Duck Drive  
Virginia Beach, Virginia 23456

**Re: Wetlands Mitigation Compensation – Neil Thompson  
Application 2017-WTRA-00164**

Dear Mr. Thompson:

I am in receipt of Check No. 1410 in the amount of \$4,050.00, payable to the City of Virginia Beach for an in-lieu fee for the required wetlands compensation.

Thank you for your cooperation.

Very truly yours,

Tobias Eisenlohr

<input checked="" type="checkbox"/> Track your expenses...	<input type="checkbox"/> TAX-DEDUCTIBLE ITEM	1410
<input type="checkbox"/> Clothing	<input type="checkbox"/> Transportation	
<input type="checkbox"/> Credit Card	<input type="checkbox"/> Utilities	
<input type="checkbox"/> Entertainment	<input type="checkbox"/> Insurance	
<input type="checkbox"/> Mortgage	<input type="checkbox"/> Other:	
FEB 6, 2018		
CITY TREASURER OF VA. BEACH		BALANCE FORWARD
FOUR-THOUSAND & FIFTY-DOLLARS & 00/100		4050.00
		BALANCE
		DEPOSIT
		OTHER
		BALANCE FORWARD
IN-LIEU FEE/BULK HEAD		

For added security, your name and account number do not appear on this copy.

NOT NEGOTIABLE

CITY OF VIRGINIA BEACH  
**ENCROACHMENT APPLICATION**  
 FOR PERMIT TO ENCROACH INTO CITY RIGHT OF WAY,  
 CITY PROPERTY, OR EASEMENT  
**\$250 APPLICATION FEE (NON-REFUNDABLE)**  
**(ADDITIONAL COST FOR RECORDING\*)**

APPLICANT:	Neil C. Thompson
MAILING ADDRESS:	2821 Wood Duck Drive
DAYTIME PHONE NUMBER:	(757) 287-8291
LOCATION OF ENCROACHMENT:	2821 Wood Duck Drive

TYPE OF ENCROACHMENT: (check all that apply)	Fence <input type="checkbox"/>	Force Main <input type="checkbox"/>	Pier <input checked="" type="checkbox"/>
	Bulkhead <input checked="" type="checkbox"/>	Sign <input type="checkbox"/>	Subdivision <input type="checkbox"/>
OR	Other: <input checked="" type="checkbox"/>		
Specify Type:			
DESCRIPTION OF ENCROACHMENT (including height and width dimensions):	Private open-pile pier, boat lift, and bulkhead.		

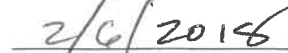
FOR INDIVIDUALS	FOR BUSINESSES
Married? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Corporation <input type="checkbox"/> Partnership
Spouse's Name Marjorie A. Thompson	State in which licensed or incorporated
<b>FOR NON-PROFIT ORGANIZATIONS</b>	
<input type="checkbox"/> Church <input type="checkbox"/> Civic League <input type="checkbox"/> Other	If partnership, what type?
Person authorized to sign (Property Owner)	Person authorized to sign
Title	Title

ATTACH REQUIRED PLATS: See the Instruction Sheet (Page 2) for requirements.

**THIS APPLICATION WILL BE RETURNED TO THE APPLICANT IF THE ITEMS LISTED ON THE INSTRUCTION SHEET (PAGE 2) ARE NOT ATTACHED TO THE APPLICATION OR IF ATTACHMENTS DO NOT MEET SIZE AND DETAIL REQUIREMENTS.**

By signing this application, the applicant acknowledges that the \$250 application fee is NOT refundable, even if the request is denied. The applicant agrees to pay the recording fees for the Encroachment Agreement.

  
 Signature of Applicant

  
 Date

**NOTE:** Please provide photographs of the area to be encroached upon and any adjacent properties with similar encroachments (photographs and exhibit drawings (plats) required on disk/CD or sent electronically (PDF or JPG format) to – [TDJones@vbgov.com](mailto:TDJones@vbgov.com). **THIS APPLICATION WILL NOT BE PROCESSED WITHOUT PHOTOGRAPHS.**

**A Certified Check or Money Order (No personal checks will be accepted) in the amount of \$250.00 and made payable to: Treasurer, City of Virginia Beach**

**\* A Certified Check or Money Order (No personal checks will be accepted) made payable to the "Clerk of the Circuit Court" will be needed from the applicant and mailed to PW/Real Estate when they return the signed Encroachment Agreement. The amount will be \$21.00 for 10 pages or less or \$35.00 for 11 – 30 pages.**



**Allstate**

**Wybersky & Associates, Inc.**  
12581 Mistled Way, Ste. 205  
Woodbridge VA, 22192  
Pvt (703) 497-4400

Date 9/20/2018

NAME Stan Wybersky

FAX # (703) 497-8300

**Evidence of Insurance**

Coverage afforded by the policy is provided:

by the Company indicated below:

Alstate Insurance Company-Northbrook, Illinois

Alstate Indemnity Company-Northbrook, Illinois

Alstate Floridian

Alstate Floridian Indemnity

California Earthquake Authority

Alstate New Jersey

Policy # 908918994

Insured name, mailing address and zip code:

**Neil Thompson**  
2821 Wood Oak Dr  
Virginia Beach, VA 23456

sales:

City of Virginia Beach/Finance/Risk Management, Dept 22  
2400 Courthouse Drive  
Virginia Beach, VA 23456

Interested Party

First Mortgagee

Second Mortgagee

Mortgage address and zip code: Policy type:

First Mortgagee

Second Mortgagee

The POLICY PERIOD will begin on the date shown and will continue with no fixed date of expiration. The PREMIUM PERIOD will be annual and begins on the date shown. Insurance is provided as follows:

02/28/2018 to 02/28/2019

Policy Limit of Liability

Section I

\$372,000

DWELLING

\$1,737.86

TOTAL ANNUAL PREMIUM

\$500,000.00

Liability Limits

Deluxe Homeowners

Standard Homeowners

Renters Policy

Landlords Package Policy

Broad Form

Landlords Package Policy

Home Replacement Cost Guarantee Y/N

BSREL/Extended Limits

20% of dwelling limits

This policy will be subject to a property insurance adjustment program which will automatically adjust the dwelling limits on an annual basis. Y/N Y

DELETION COVER: \$ 1,500.00 to loss covered property from all insured perils, except theft and windstorm and hail damage to the Dwelling  
5% to loss to the Dwelling from windstorm and hail

PROVISIONS: This form is not the contract of insurance. The provisions of the policy shall prevail in all respects.

All premiums for the insurance policy shall be computed in accordance with Allstate's rules, forms, premiums and minimum premiums applicable to the insurance afforded which are in effect at the inception of the insurance and upon each anniversary thereof, including the date of interim changes.

It is understood that should the insurance protection evidenced herein terminate for any reason, due notice will be given to the insured, to the mortgagee, and to all other interested parties in accordance with the standard mortgagee clause (438-BFU).

A copy of the declarations page reflecting the annual premium will be sent, if required, to the mortgagee and to any other interested parties.

Stan Wybersky

(703) 497-4400  
Phone Number

9/20/2018  
Date

Permit # 17-1036



Commonwealth of Virginia  
Marine Resources Commission  
Authorization

A Permit has been issued to:

Neil C. Thompson  
2821 Wood Duck Drive  
Virginia Beach, VA 23436

The Permittee is hereby authorized to:

install and backfill 261 linear feet of bulkhead, a portion of which will be installed and backfilled a maximum of two feet channelward of mean low water adjacent to 2821 Wood Duck Drive, situated along Back Bay in Virginia Beach.

Issuance Date: July 19, 2018

Expiration Date: July 31, 2021

Commissioner or Designee

*This Notice Must Be Conspicuously Displayed At Site Of Work*

**COMMONWEALTH OF VIRGINIA  
MARINE RESOURCES COMMISSION  
PERMIT**

The Commonwealth of Virginia, Marine Resources Commission, hereinafter referred to as the Commission, on this 19th day of July 2018 hereby grants unto:

**Neil C. Thompson  
2821 Wood Duck Drive  
Virginia Beach, VA 23456**

hereinafter referred to as the Permittee, permission to:

- Encroach in, on, or over State-owned subaqueous bottoms pursuant to Chapter 12, Subtitle III, of Title 28.2 of the Code of Virginia.
- Use or develop tidal wetlands pursuant to Chapter 13, Subtitle III, of Title 28.2 of the Code of Virginia.

Permittee is hereby authorized to install and backfill 261 linear feet of bulkhead, a portion of which will be installed and backfilled a maximum of two feet channelward of mean low water adjacent to 2821 Wood Duck Drive, situated along Back Bay in Virginia Beach. All activities authorized herein shall be accomplished in conformance with the plans and drawings dated received August 25, 2017, which are attached and made a part of this permit.

This permit is granted subject to the following conditions:

- (1) The work authorized by this permit is to be completed by July 31st, 2021. The Permittee shall notify the Commission when the project is completed. The completion date may be extended by the Commission in its discretion. Any such application for extension of time shall be in writing prior to the above completion date and shall specify the reason for such extension and the expected date of completion of construction. All other conditions remain in effect until revoked by the Commission or the General Assembly.
- (2) This permit grants no authority to the Permittee to encroach upon the property rights, including riparian rights, of others.
- (3) The duly authorized agents of the Commission shall have the right to enter upon the premises at reasonable times, for the purpose of inspecting the work being done pursuant to this permit.
- (4) The Permittee shall comply with the water quality standards as established by the Department of Environmental Quality, Water Division, and all other applicable laws, ordinances, rules and regulations affecting the conduct of the project. The granting of this permit shall not relieve the Permittee of the responsibility of obtaining any and all other permits or authority for the projects.
- (5) This permit shall not be transferred without written consent of the Commissioner.
- (6) This permit shall not affect or interfere with the right vouchsafed to the people of Virginia concerning fishing, fowling and the catching of and taking of oysters and other shellfish in and from the bottom of acres and waters not included within the terms of this permit.
- (7) The Permittee shall, to the greatest extent practicable, minimize the adverse effects of the project upon adjacent properties and wetlands and upon the natural resources of the Commonwealth.
- (8) This permit may be revoked at any time by the Commission upon the failure of the Permittee to comply with any of the terms and conditions hereof or at the will of the General Assembly of Virginia.
- (9) There is expressly excluded from the permit any portion of the waters within the boundaries of the Baylor Survey.
- (10) This permit is subject to any lease of oyster planting ground in effect on the date of this permit. Nothing in this permit shall be construed as allowing the Permittee to encroach on any lease without the consent of the leaseholder. The Permittee shall be liable for any damages to such lease.
- (11) The issuance of this permit does not confer upon the Permittee any interest or title to the beds of the waters.
- (12) All structures authorized by this permit, which are not maintained in good repair, shall be completely removed from State-owned bottom within three (3) months after notification by the Commission.
- (13) The Permittee agrees to comply with all of the terms and conditions as set forth in this permit and that the project will be accomplished within the boundaries as outlined in the plans attached hereto. Any encroachment beyond the limits of this permit shall constitute a Class 1 misdemeanor.
- (14) This permit authorizes no claim to archaeological artifacts that may be encountered during the course of construction. If, however, archaeological remains are encountered, the Permittee agrees to notify the Commission, who will, in turn notify the Department of Historic Resources. The Permittee further agrees to cooperate with agencies of the Commonwealth in the recovery of archaeological remains if deemed necessary.
- (15) The Permittee agrees to indemnify and save harmless the Commonwealth of Virginia from any liability arising from the establishment, operation or maintenance of said project.

Description of Fees	Amount	Unit of Measure	Rate	Total	Frequency	After-The-Fact
Fill Royalty	270.00	Square Feet	1.000	\$270.00	One-Time	
Permit Fee				\$100.00	One-Time	
<b>Total Permit Fees</b>				<b>\$370.00</b>		

This permit consists of 13 Pages

PERMITTEE

Permittee's signature is affixed hereto as evidence of acceptance of all of the terms and conditions herein.

In cases where the Permittee is a corporation, agency or political jurisdiction, please assure that the individual who signs for the Permittee has proper authorization to bind the organization to the financial and performance obligations which result from activity authorized by this permit.

PERMITTEE

Accepted for

day of Nov. 5, 2018

By \_\_\_\_\_  
(Name)

*Handwritten signature*  
(Title)

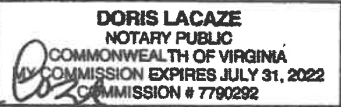
State of VIRGINIA

City (or County) of VIRGINIA BEACH, to-wit:

I, DORIS LACAZE a Notary Public in and for said City (or County) and State hereby certify that NEIL C. THOMPSON Permittee, whose name is signed to the foregoing, has acknowledged the same before me in my City (or County) and State aforesaid.

Given under my hand this \_\_\_\_\_ day of 05, NOVEMBER, 2018  
My Commission Expires: July 31 2022

Notary Public \_\_\_\_\_



COMMISSION

IN WITNESS WHEREOF, the Commonwealth of Virginia, Marine Resources Commission has caused these presents to be executed in its behalf by Randal D. Owen, Deputy Chief, Habitat Management  
(Name) (Title) Marine Resources Commission

9th day of November, 2018

By \_\_\_\_\_

*Handwritten signature*

State of Virginia  
City of Newport News, to-wit:

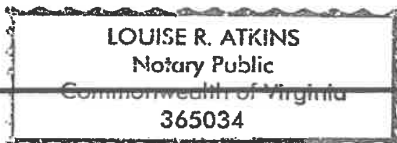
I, Louise R. Atkins, a Notary Public within and for said City, State of Virginia, hereby certify that Randal D. Owen, whose name is signed to the foregoing, bearing the 19th day of July 2018, has acknowledged the same before me in City aforesaid.

Given under my hand this \_\_\_\_\_ 9th day of November, 2018  
My Commission Expires:

Notary Public \_\_\_\_\_

*Handwritten signature of Louise R. Atkins*

January 31, 2021







# City of Virginia Beach

PUBLIC WORKS  
OFFICE OF REAL ESTATE  
(757) 385-4161  
FAX (757) 385-4456  
TTY: 711

VBgov.com

MUNICIPAL CENTER  
BUILDING NUMBER TWO  
2405 COURTHOUSE DRIVE  
VIRGINIA BEACH, VA 23456-8030

In Reply Refer to File# 5665

January 9, 2019

**VIA ELECTRONIC MAIL**

Neil C. Thompson and Marjorie A. Thompson  
2821 Wood Duck Drive  
Virginia Beach, VA 23456

Re: Encroachment Request – Neil C. Thompson and Marjorie A. Thompson  
GPIN: 2433-25-2680  
Address: 2821 Wood Duck Drive

Dear Mr. and Mrs. Thompson:

Please find enclosed for your records, a copy of the recorded encroachment agreement.

We appreciate your cooperation in this matter, and if you have any questions, please contact the Office of Real Estate at 757-385-4161.

Sincerely,

LaQuita C. Brown  
Right of Way Agent

lb/  
Enclosure

PREPARED BY VIRGINIA BEACH  
CITY ATTORNEY'S OFFICE (BOX 31)  
EXEMPTED FROM RECORDATION TAXES  
UNDER SECTION 58.1-811(C) (4)

20190107000015110 179  
City of Virginia Beach  
01/07/2019  
03:34:17 PM AGMT  
Tina E. Sinnen, Clerk

THIS AGREEMENT, made this 07<sup>th</sup> day of September, 2018, by  
and between the CITY OF VIRGINIA BEACH, VIRGINIA, a municipal corporation of the  
Commonwealth of Virginia, Grantor, "City", and NEIL C. THOMPSON and MARJORIE  
A. THOMPSON, husband and wife, THEIR HEIRS, ASSIGNS AND SUCCESSORS IN  
TITLE, "Grantee", even though more than one.

**WITNESSETH:**

WHEREAS, the Grantee is the owner of that certain lot, tract, or parcel of  
land designated and described as "Lot 143"; as shown on that certain plat entitled:  
"SANDBRIDGE SHORES, SECTION 1B, NORTH PRINCESS ANNE BOROUGH  
VIRGINIA BEACH, VA", prepared by Palmer L. Smith; which said plat is recorded in the  
Clerk's Office of the Circuit Court of the City of Virginia Beach, Virginia in Map Book 103,  
at page 24, and being further designated, known, and described as 2821 Wood Duck  
Drive, Virginia Beach, Virginia 23456;

WHEREAS, it is proposed by the Grantee to remove the existing pier, and  
to construct and maintain an open pile pier and a 12'x12' boat lift, the "Temporary  
Encroachment", in the City of Virginia Beach;

WHEREAS, in constructing and maintaining the Temporary Encroachment,  
it is necessary that the Grantee encroach into a portion of City property known as Sand  
Broad Inlet, the "Encroachment Area"; and

GPIN: CITY'S PROPERTY-2433-27-3415-(352 TUNA LANE)  
GPIN: 2433-25-2680-(2821 WOOD DUCK DRIVE)

RECEIVED  
VIRGINIA BEACH CIRCUIT CT  
2019 JAN -7, PM 3: 13  
TINA E. SINNEN, CLERK

WHEREAS, the Grantee has requested that the City permit the Temporary Encroachment within the Encroachment Area.

NOW, THEREFORE, for and in consideration of the premises and of the benefits accruing or to accrue to the Grantee and for the further consideration of One Dollar (\$1.00), cash in hand paid to the City, receipt of which is hereby acknowledged, the City hereby grants to the Grantee permission to use the Encroachment Area for the purpose of constructing and maintaining the Temporary Encroachment.

It is expressly understood and agreed that the Temporary Encroachment will be constructed and maintained in accordance with the laws of the Commonwealth of Virginia and the City of Virginia Beach, and in accordance with the City's specifications and approval and is more particularly described as follows, to wit:

A Temporary Encroachment into the Encroachment Area as shown on that certain exhibit plat entitled: "EXHIBIT A: ENCROACHMENT REQUEST PROPOSED PIER AND BOAT LIFT FOR NEIL C. AND MARJORIE A. THOMPSON LOT 143, SECTION 1-B SANDBRIDGE SHORES NORTH (M.B. 103, PG. 24)", dated August 7, 2018 and prepared by Chesapeake Bay Site Solutions, Inc., a copy of which is attached hereto as Exhibit "A" and to which reference is made for a more particular description.

Providing however, nothing herein shall prohibit the City from immediately removing, or ordering the Grantee to remove, all or any part of the Temporary Encroachment from the Encroachment Area in the event of an emergency or public necessity, and Grantee shall bear all costs and expenses of such removal.

It is further expressly understood and agreed that the Temporary Encroachment herein authorized terminates upon notice by the City to the Grantee, and that within thirty (30) days after the notice is given, the Temporary Encroachment must

be removed from the Encroachment Area by the Grantee; and that the Grantee will bear all costs and expenses of such removal.

It is further expressly understood and agreed that the Grantee shall indemnify, hold harmless, and defend the City, its agents and employees, from and against all claims, damages, losses and expenses, including reasonable attorney's fees, in case it shall be necessary to file or defend an action arising out of the construction, location or existence of the Temporary Encroachment.

It is further expressly understood and agreed that nothing herein contained shall be construed to enlarge the permission and authority to permit the maintenance or construction of any encroachment other than that specified herein and to the limited extent specified herein, nor to permit the maintenance and construction of any encroachment by anyone other than the Grantee.

It is further expressly understood and agreed that the Grantee agrees to maintain the Temporary Encroachment so as not to become unsightly or a hazard.

It is further expressly understood that any existing encroachments referenced in the Exhibit or this Agreement are the ongoing maintenance obligation of the Grantee and the City disclaims any ownership interest or maintenance obligation of such encroachments.

It is further expressly understood and agreed that the Grantee must obtain and keep in effect liability insurance with the City as a named insured in an amount not less than \$500,000.00, per person injured and property damage per incident, combined, with the City listed as an additional insured. The company providing the insurance must be registered and licensed to provide insurance in the Commonwealth of Virginia. The

Grantee will provide endorsements providing at least thirty (30) days written notice to the City prior to the cancellation or termination of, or material change to, any of the insurance policies. The Grantee assumes all responsibilities and liabilities, vested or contingent, with relation to the construction, location, and/or existence of the Temporary Encroachment.

It is further expressly understood and agreed that the Temporary Encroachment must conform to the minimum setback requirements, as established by the City.

It is further expressly understood and agreed that the City, upon revocation of such authority and permission so granted, may remove the Temporary Encroachment and charge the cost thereof to the Grantee, and collect the cost in any manner provided by law for the collection of local or state taxes; may require the Grantee to remove the Temporary Encroachment; and pending such removal, the City may charge the Grantee for the use of the Encroachment Area, the equivalent of what would be the real property tax upon the land so occupied if it were owned by the Grantee; and if such removal shall not be made within the time ordered hereinabove by this Agreement, the City may impose a penalty in the sum of One Hundred Dollars (\$100.00) per day for each and every day that the Temporary Encroachment is allowed to continue thereafter, and may collect such compensation and penalties in any manner provided by law for the collection of local or state taxes.

IN WITNESS WHEREOF, Neil C. Thompson and Marjorie A. Thompson, the said Grantee, has caused this Agreement to be executed by their signatures. Further, that the City of Virginia Beach has caused this Agreement to be executed in its name and

on its behalf by its City Manager and its seal be hereunto affixed and attested by its City Clerk.

**(THE REMAINDER OF THIS PAGE WAS INTENTIONALLY LEFT BLANK)**

CITY OF VIRGINIA BEACH

By Thomas M Leahy (SEAL)  
City Manager/Authorized  
Designee of the City Manager

STATE OF VIRGINIA  
CITY OF VIRGINIA BEACH, to-wit:

The foregoing instrument was acknowledged before me this 2<sup>nd</sup> day of  
January, <sup>2019</sup>~~2018~~, by Thomas M Leahy, CITY MANAGER/AUTHORIZED  
DESIGNEE OF THE CITY MANAGER OF THE CITY OF VIRGINIA BEACH, VIRGINIA,  
on its behalf. He/She is personally known to me

Commonwealth Of Virginia  
Jennifer Anne Grundler - Notary Public  
Commission No. 7037167  
My Commission Expires 5/31/2022  
Notary Registration Number: 7037167

Jennifer Anne Grundler (SEAL)  
Notary Public

My Commission Expires: 5/31/2022

(SEAL)  
ATTEST:  
[Signature]  
City Clerk/Authorized  
Designee of the City Clerk

STATE OF VIRGINIA  
CITY OF VIRGINIA BEACH, to-wit:

The foregoing instrument was acknowledged before me this 3<sup>rd</sup> day of  
January, <sup>2019</sup>~~2018~~, by Amanda Barnes, CITY CLERK/AUTHORIZED  
DESIGNEE OF THE CITY CLERK OF THE CITY OF VIRGINIA BEACH, VIRGINIA, on  
its behalf. She is personally known to me.

Notary Registration Number: 7037167  
My Commission Expires: 5/31/2022

Jennifer Anne Grundler (SEAL)  
Notary Public

Commonwealth Of Virginia  
Jennifer Anne Grundler - Notary Public  
Commission No. 7037167  
My Commission Expires 5/31/2022

By *Neil C. Thompson*  
NEIL C. THOMPSON, Owner

By *Marjorie A. Thompson*  
MARJORIE A. THOMPSON, Owner

STATE OF  
CITY/COUNTY OF Virginia Beach, to-wit:

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of  
September, 2018, by Neil C. Thompson.

*Jacqueline S. Sprouse* (SEAL)  
Notary Public

Notary Registration Number: 7374870  
My Commission Expires: April 30<sup>th</sup> 2022

JACQUELINE S SPROUSE  
NOTARY PUBLIC  
COMMONWEALTH OF VIRGINIA  
MY COMMISSION EXPIRES APRIL 30, 2022  
COMMISSION # 7374870

STATE OF  
CITY/COUNTY OF Virginia Beach, to-wit:

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of  
September, 2018, by and Marjorie A. Thompson.

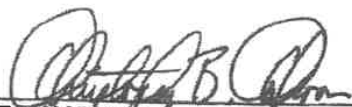
*Jacqueline S. Sprouse* (SEAL)  
Notary Public

Notary Registration Number: 7374870  
My Commission Expires: April 30<sup>th</sup> 2022

JACQUELINE S SPROUSE  
NOTARY PUBLIC  
COMMONWEALTH OF VIRGINIA  
MY COMMISSION EXPIRES APRIL 30, 2022  
COMMISSION # 7374870



**APPROVED AS TO CONTENTS**



**SIGNATURE**

10/19/18

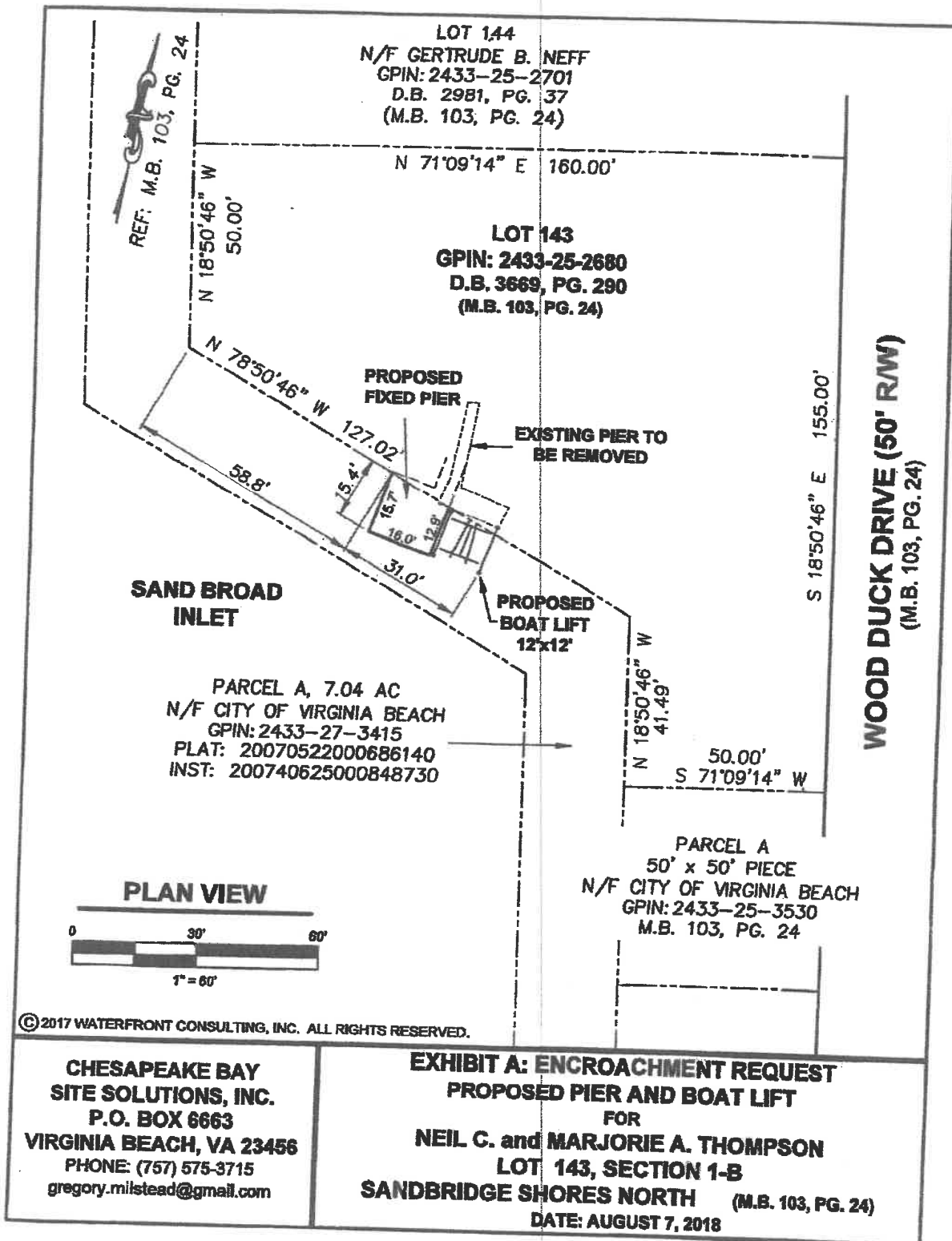
**DATE**

**PUBLIC WORKS/REAL ESTATE**  
**DEPARTMENT/DIVISION**

**APPROVED AS TO LEGAL  
SUFFICIENCY AND FORM**



**DANA R. HARMeyer**  
**SENIOR CITY ATTORNEY**



## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_

Location: 2821 Wood Duck Drive GPIN: 2433-25-2680

Watershed: Back Bay HUC: \_\_\_\_\_

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	<input type="text"/>	Common Plan Construction Activity Operator
	Rooftop Disconnection	<input type="text"/>	Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)	<input type="text"/>	Construction Activity Operator
	Grass Channel	<input type="text"/>	Construction Activity Operator
	Rainwater harvesting	<input type="text"/>	Construction Activity Operator
	Permeable Paving (1 or 2)	<input type="text"/>	Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)	<input type="text"/>	Construction Activity Operator
	Bioretention (1 or 2)	<input type="text"/>	Construction Activity Operator
✓	<b>Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.</b>	<input type="text"/>	Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner: \_\_\_\_\_ Print Name: Neil C. Thompson

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_

# Sandbridge Marine Corporation

2948 Sand Bend Rd. Virginia Beach, VA 23456 \* Ph: (757)778-2800

## CONSTRUCTION CONTRACT

This Construction Contract ("Contract") is entered into by and between Sandbridge Marine Corporation ("Contractor") and Neil Thompson ("Owner"), whose project address ("Project") is 2821 Wood Duck. Virginia Beach, VA 23456

The Owner and the Contractor agree as set forth below:

### 1. DESCRIPTION OF THE PROJECT AND DESCRIPTION OF THE SIGNIFICANT MATERIALS TO BE USED AND EQUIPMENT TO BE INSTALLED:

Contractor will furnish all labor, materials, equipment, supervision, and contract administration to complete in a good and workmanlike manner the following alterations to the Project

- Supply/Install Vinyl Bulkhead, pier and lift per design by Bob Simon
- CMI 325 in lieu of timber
- Sandy backfill included
- Pier per plans
- 10k Tidetamer Boat Lift, (4) 30' Class B Piles
- Building Permit

### 2. EXCLUSIONS: The following items are NOT included in the contractor's scope of work

- Engineer Design/Layout/Sign-Off upon Completion
- Replacement of landscaping, if removed for access purposes
- Removal/Disposal of any unforeseen buried structures; (Additional \$200/crew hour plus disposal fees if this becomes applicable)
- Replacement of cracked concrete by equipment/delivery trucks
- Electrical work for boat lift
- Topsoil for seeding

**3. CONTRACT PRICE:** Owner shall pay Contractor the fixed sum of Eighty-Seven Thousand Dollars (\$87,000.00) (the "Contract Price") for the work to be performed under this Contract, subject to additions and deductions pursuant to change orders agreed upon in writing by the parties.

**4. SCHEDULE OF PROGRESS PAYMENTS:** If applicable, the Contract Price shall be paid in progress payments, which do not include finance charges of any kind and do not include the Down Payment, according to the following schedule:

	Work or Service Performed
\$40,000.00	Mobilization
\$30,000.00	Bulkhead Completion
\$17,000.00	Project Completion

All payments will be made within (10) days after billing. Overdue payments will bear interest at the rate of 5% per month from the date on which payment is due

**5. APPROXIMATE START DATE:**

4/26/21

**6. APPROXIMATE COMPLETION DATE:** The Contractor shall use his/her best efforts to complete said work of improvement on approximately this date: **Six Weeks After Start Date**, subject to permissible delays as defined in this Contract.

**7. LIST OF DOCUMENTS TO BE INCORPORATED INTO THIS CONTRACT:** plans per David Butler

**8. NOTE ABOUT EXTRA WORK AND CHANGE ORDERS:** Extra Work and Change Orders become part of the contract once the order is prepared in writing and signed by the parties prior to the commencement of any work covered by the new change order. The order must describe the scope of the extra work or change, the cost to be added to or subtracted from the contract, and the effect the order will have on the schedule of progress payments.

**9. EXTRA WORK AND CHANGE ORDERS:** If Owner or his agents or any public body or inspector directs any modification or addition to the work covered by this Contract, the Contract Price and time of performance shall be adjusted accordingly. Payments for extra work shall be made as the work progresses, concurrently with progress payments. Work or expenses necessitated as a result of Contractor encountering conditions at the Project site which (a) are subsurface or otherwise concealed conditions which differ materially from those indicated in the plans and specifications, or (b) are unusual and differ materially from those ordinarily encountered on construction activities of the kind described in the plans and specifications.

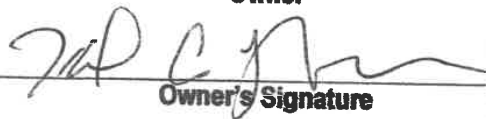
**10. RIGHT TO STOP WORK:** Contractor shall have the right to stop work if any payment, including any payment for extra work, is not made to Contractor as agreed in this Contract. If any payment required under this Contract is not made when due, Contractor may keep the Project idle until such time as all payments due have been made.

**11. PERMISSIBLE DELAYS:** Contractor shall be excused from any delay in the completion of the work to be performed under this Contract caused by acts of God, inclement weather, acts or omissions of Owner or of Owner's agents, employees or independent contractors, material shortages, strikes or other labor troubles, acts of public utilities, acts of public bodies or inspectors (unless related to defects in Contractor's performance), extra work, changes requested by Owner, failure by Owner to make payments promptly, or other circumstances or contingencies unforeseen by Contractor and beyond Contractor's reasonable control.

**12. ATTORNEY'S FEES:** In the event any arbitration or any action at law or in equity shall be brought on account of any breach of this Contract, or to enforce or interpret any of the provisions of this Contract, the prevailing party shall be entitled to recover from the other party its reasonable attorney's fees, which shall be fixed by the tribunal or court and be made a part of any award or judgment rendered.

NEIL C. THOMPSON

Owner



Owner's Signature

2/16/21

Date

Daniel Yates

Contractor



Contractor's Signature

2/11/2021

Date