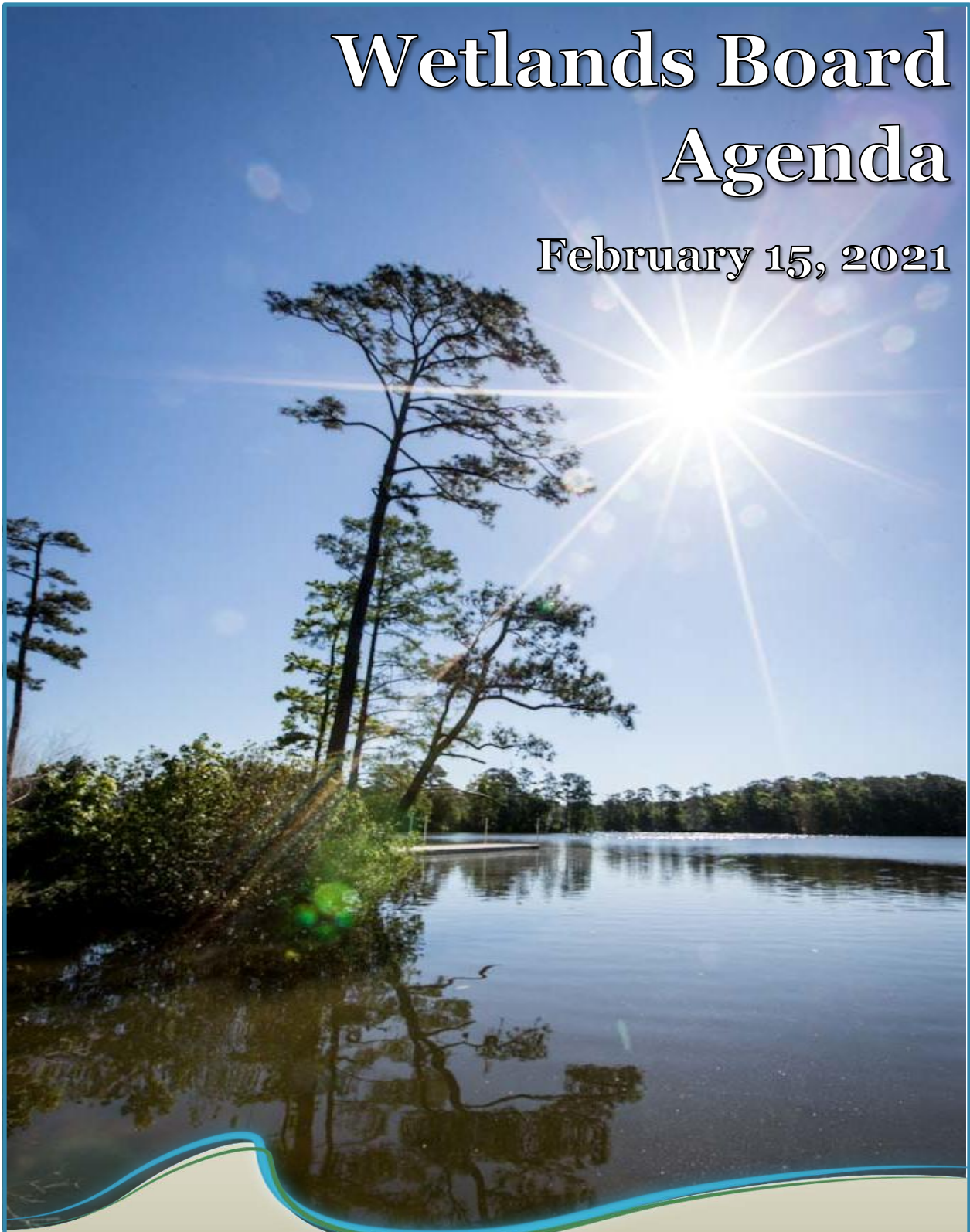


# Wetlands Board Agenda

February 15, 2021



**VB** City of  
Virginia Beach

# Wetlands Board Hearing Procedures

Due to the ongoing COVID-19 pandemic, the Virginia Beach Wetlands Board meeting will be held virtually on February 15, 2021 at 10:00 a.m. with Wetlands Board Members, Staff and citizens participating via video/audio conference. Prior to the public hearing, a virtual Staff briefing will be held at 9:00 a.m.

**For those citizens who desire to attend this meeting virtually, registration is required.** Please visit [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) or enter the following URL into your web browser to register:  
<https://vbgov.webex.com/vbgov/onstage/g.php?MTID=e9c9f12c3925a199cdcfacdde35ba5aa>

**If you desire to speak at the virtual public hearing you must notify Staff prior to 5:00 pm, February 12, 2021 at (757) 385-4621.** Citizens are encouraged to submit comments to the Wetlands Board prior to the public hearing via email to [waterfront@vbgov.com](mailto:waterfront@vbgov.com) or via United States Mail to Waterfront Operations, 2875 Sabre Street, Suite 500, Virginia Beach, VA 23452.

Staff will attempt to facilitate real-time citizen participation/comments in the public hearing for those citizens who registered, which includes speaker's name, physical address, email address, and phone number. For more information on this process, please review the Wetlands Board website at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands) or contact Staff at (757) 385-4621. If you are **physically disabled** or **visually impaired** and need assistance at this meeting, please call **The Department of Planning and Community Development at (757) 385-4621**

Copies of plans, ordinances and amendments are on file and may be examined by appointment in the Department of Planning at 2875 Sabre St, Suite 500 or online at [www.vbgov.com/wetlands](http://www.vbgov.com/wetlands). For additional information call the Planning Department at 757-385-4621. Staff reports will be available on the webpage 5 days prior to the meeting.

**PLEASE TURN YOUR CELL PHONE OFF OR TO VIBRATE WHILE IN THE COUNCIL CHAMBER.**

**THE ADMINISTRATIVE COMMENTS CONTAINED IN THE ATTACHED AGENDA CONSTITUTE STAFF RECOMMENDATIONS FOR EACH APPLICATION AND ARE ADVISORY ONLY. FINAL DETERMINATION OF THE APPLICATION IS MADE BY THE VIRGINIA BEACH WETLANDS BOARD AT THE PUBLIC HEARING.**

## **THE FOLLOWING DESCRIBES THE ORDER OF BUSINESS FOR THE PUBLIC HEARING**

1. **WITHDRAWALS AND DEFERRALS:** The first order of business is the consideration of withdrawals or requests to defer an item. The Board will ask those in attendance at the hearing if there are any requests to withdraw or defer an item that is on the agenda. **PLEASE NOTE THE REQUESTS THAT ARE MADE, AS ONE OF THE ITEMS BEING WITHDRAWN OR DEFERRED MAY BE THE ITEM THAT YOU HAVE AN INTEREST IN.**
  - a. An applicant may **WITHDRAW** an application without the Boards's approval at any time prior to the commencement of the public hearing for that item. After the commencement of the hearing, however, the applicant must request that the Wetlands Board allow the item to be withdrawn.
  - b. In the case of **DEFERRALS**, the Board's policy is to defer the item **FOR AT LEAST 60 DAYS**. Although the Board allows an item to be deferred upon request of the applicant, the Board will ask those in attendance if there are any objections to the request for deferral. If you wish to oppose a deferral request, let the Board know when they ask if there is anyone in attendance who is opposed to the deferral. **PLEASE** confine your

\* Deferral

\*\* Withdrawal

**Wetlands Board Agenda  
February 15, 2021**

remarks to the deferral request and do not address the issues of the application – in other words, please let the Board know why deferring the application is unacceptable rather than discussing what your specific issue is with the application.

2. **REGULAR AGENDA:** The Board will then proceed with the remaining items on the agenda, according to the following process:
  - a. The applicant or applicant’s representative will have 10 minutes to present the case.
  - b. Next, those who wish to speak in support to the application will have 3 minutes to present their case.
  - c. If there is a spokesperson for the opposition, he or she will have 10 minutes to present their case.
  - d. All other speakers not represented by the spokesperson in opposition will have 3 minutes.
  - e. The applicant or applicant’s representative will then have 3 minutes for rebuttal of any comments from the opposition.
  - f. There is then discussion among the Board members. No further public comment will be heard at that point. The Board may, however, allow additional comments from speakers if a member of the Board sponsors them. Normally, you will be sponsored only if it appears that new information is available and the time will be limited to 3 minutes.
  - g. The Board does not allow slide or computer-generated projections other than those prepared by the Planning Department Staff.
  - h. The Board asks that speakers not be repetitive or redundant in their comments. Do not repeat something that someone else has already stated. Petitions may be presented and are encouraged. If you are part of a group, the Board requests, in the interest of time, that you use a spokesperson, and the spokesperson is encouraged to have his or her supporters stand to indicate their support.

The Staff reviews of some or all of the items on this agenda suggest that certain conditions be attached to approval by the Wetlands Board. However, it should not be assumed that those conditions constitute all the conditions that will ultimately be attached to the project. Staff agencies may impose further conditions and requirements during administration of applicable City ordinances.

\* Deferral  
\*\* Withdrawal

9:00 A.M. – STAFF BRIEFING AND DISCUSSION

REVIEW OF PUBLIC HEARING AGENDA ITEMS

10:00 A.M. – PUBLIC HEARING

OLD BUSINESS – WETLANDS

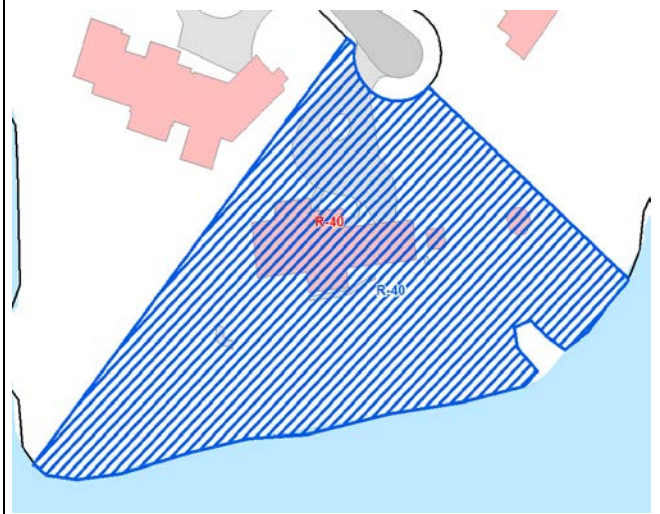
1. 2019-WTRA-00250  
William A. Yearick, et al.  
[Applicant/Owner]

**REQUEST FOR 1 YEAR EXTENSION**

**To construct rip rap involving wetlands**

901 Holladay Point  
(GPIN 2418-53-7270)

Waterway – Little Neck Creek  
Subdivision – Bay Colony Waterfront  
Council District – Beach



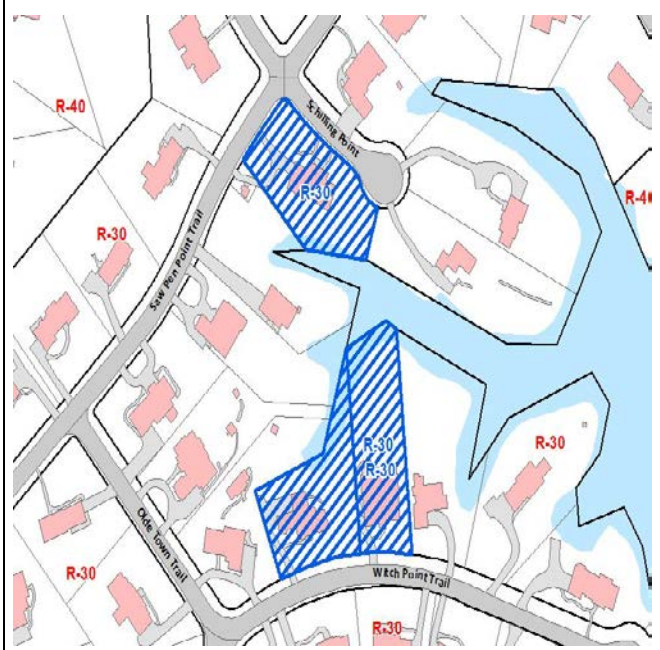
NEW BUSINESS – WETLANDS

2. 2020-WTRA-00200  
William Walpert,  
Gregory Strangways,  
Michael Anderson  
[Applicants/Owners]

**To dredge involving wetlands**

1020 Witch Point Trail, 1016 Witch Point  
Trail and 4058 Schilling Point  
(GPINs 1488-04-1543, 1488-04-2675,  
1488-05-1062)

Waterway – Western Branch Lynnhaven  
River  
Subdivision – Saw Pen Point  
Council District – Bayside



\* Deferral  
\*\* Withdrawal

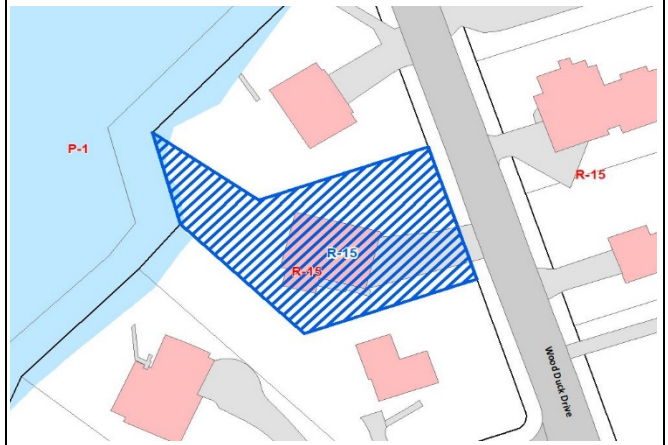
NEW BUSINESS - WETLANDS

3. 2020-WTRA-00274  
Neil and Christina Hutchinson  
[Applicant/Owner]

**To construct a bulkhead involving wetlands**

2833 Wood Duck Drive  
(GPIN 2433-25-3267)

Waterway – Mill Creek  
Subdivision – Sandbridge Shores  
Council District – Princess Anne

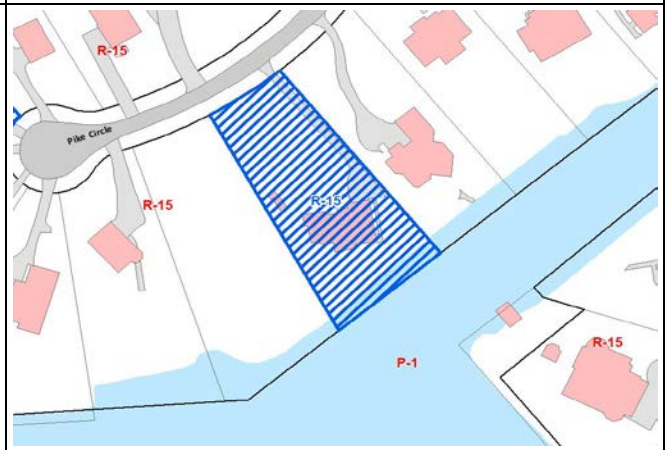


4. 2020-WTRA-00291  
William J. Price Trust  
[Applicant/Owner]

**To construct a bulkhead involving wetlands**

333 Pike Circle  
(GPIN 2433-40-1206)

Waterway – North Bay  
Subdivision – Back Bay Meadows  
Council District – Princess Anne



5. 2020-WTRA-00224  
Jean Hayek [Applicant/Owner]

**To construct rip rap involving wetlands**

4321 Alfriends Trail  
(GPIN 1478-73-8986)

Waterway – Western Branch Lynnhaven  
River  
Subdivision – Donation Shores  
Council District – Bayside



\* Deferral  
\*\* Withdrawal

NEW BUSINESS - WETLANDS

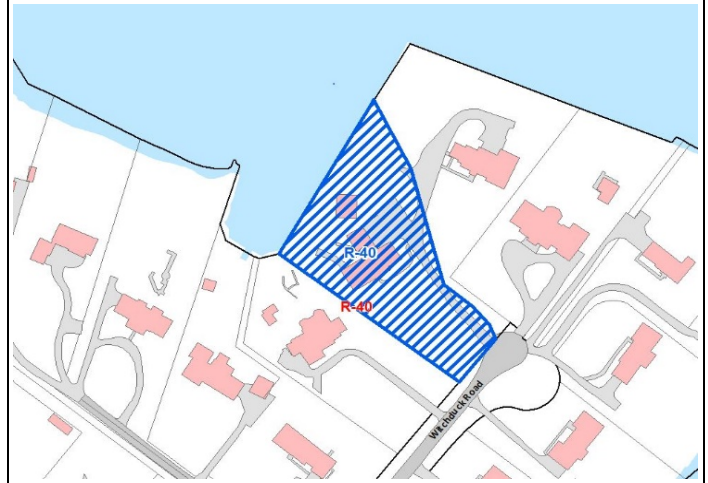
6. 2021-WTRA-00002

David Bowden [Applicant/Owner]

**To construct a bulkhead, rip rap, and boat ramp and plant vegetation involving wetlands**

4018 N Witchduck Road  
(GPIN 1488-08-9788)

Waterway – Western Branch Lynnhaven River  
Subdivision – Witchduck  
Council District – Bayside



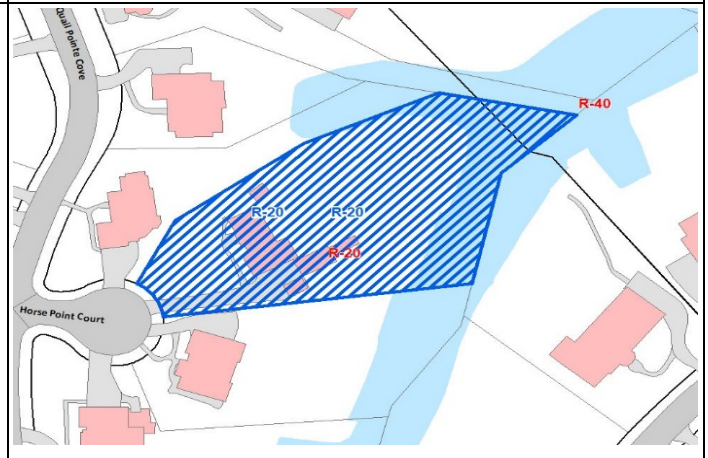
7. 2021-WTRA-00003

George Lauterbach  
[Applicant/Owner]

**To repair bulkhead involving wetlands**

1500 Horse Point Court  
(GPIN 2408-92-1820)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Estates  
Waterfront  
Council District – Lynnhaven



\* Deferral

\*\* Withdrawal

1. 2019-WTRA-00250

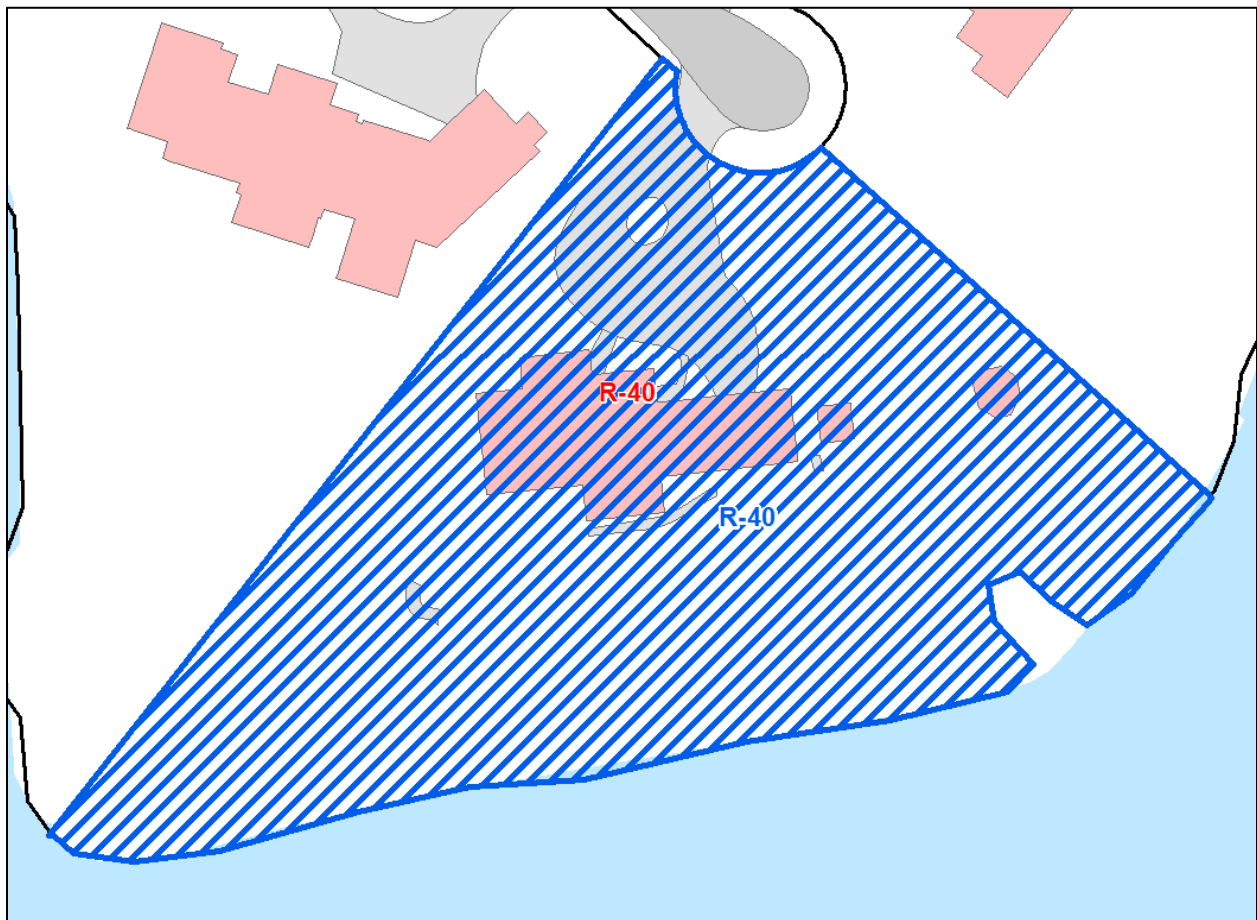
William A. Yearick, et al. [Applicant/Owner]

**REQUEST FOR 1 YEAR EXTENSION**

**To construct rip rap involving wetlands**

901 Holladay Point  
(GPIN 2418-53-7270)

Waterway – Little Neck Creek  
Subdivision – Bay Colony Waterfront  
Council District – Beach



## Charles McKenna

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**From:** bob@waterfrontconsulting.net  
**Sent:** Wednesday, January 6, 2021 1:30 PM  
**To:** JPA  
**Cc:** Charles McKenna; Whitney K. McNamara; Will Yearick  
**Subject:** 2019-WTRA-00250, Will Yearick 901 Holladay Point  
**Attachments:** YEARICK WILLIAM JPA GOM-REV 2021.pdf

**CAUTION:** This email originated from outside of the City of Virginia Beach. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Beth,

Please forward this revised JPA to the ACOE, Justin and CVB at your earliest opportunity. The drawings have been revised per the Wetlands Board approval.

Charles,

Please issue and extend the permit for one year, the project is scheduled to get underway shortly.

Thank you,

Bob Simon

Robert E. Simon, V.P.  
Waterfront Consulting, Inc.  
2589 Quality Court, Ste. 323  
Virginia Beach, VA 23454  
O/F: (757) 425-8244  
M: (757) 619-7302





# City of Virginia Beach

[VBgov.com](http://VBgov.com)

DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT  
PLANNING ADMINISTRATION DIVISION,  
WATERFRONT OPERATIONS OFFICE  
(757) 385-4621  
FAX (757) 385-5667

2875 SABRE STREET, SUITE 500  
VIRGINIA BEACH, VA 23452

January 14, 2021

Robert E. Simon  
Waterfront Consulting, Inc.  
2589 Quality Ct., Ste. 323  
Virginia Beach, VA 23454

**Subject: Wetlands/ Waterfront Construction Permit Approval for 2019-WTRA-00250, Proposed Rip Rap, Finger Pier, Floating Dock, Gangway, and Boatlift for William Yearick at 901 Holladay Point**

Dear Mr. Simon:

The referenced application has been reviewed and approved with the following conditions:

1. Within 30 days of completion of the project, the contractor shall have engineer of record complete and return the enclosed Engineer's Final Inspection Report.
2. **An on-site pre-construction meeting will be required for this project.** The contractor must contact our office at (757) 385-8246 to schedule the pre-construction meeting, 48-hours prior to mobilizing equipment or materials to the site and prior any site work or beginning construction.
3. **Prior to the issuance of a building permit, this proposed project must comply with the Stormwater Management Ordinance.** Please contact the Development Services Center at (757) 385-8277 regarding the need to submit a Stormwater Management Plan, or an "Agreement in Lieu of a Plan".
4. Pursuant to the erosion and sediment control ordinance, a perennial vegetative cover shall be established over all denuded areas before a final release will be granted. The vegetative cover must be planted within 14 days of project completion.

The Wetlands Permit will expire **January 21, 2021**. In the event the project is not complete, you or the applicant must request an extension of time in writing, PRIOR to expiration of your Wetlands Permit.

Page Two  
Rip Rap, Pier, Float, Gangway, & Lift  
Yearick  
January 14, 2021

You **must** bring a copy of this complete package with the approved waterfront construction drawings seal dated January 5, 2021, sheets 1 through 8, to the Planning Department to obtain the required building permit from the Permits and Inspections Office.

The Permits and Inspections office is located at 2875 Sabre Street, Suite 500. You may contact the Permits and Inspections office at (757) 385-4211, concerning the cost of the building permit.

**Be advised that no disturbance or construction may commence until after the pre-construction and the required building permit has been obtained and appropriately displayed on site. Any changes to the project must first be shown on revised drawings, the drawings resealed by the engineer of record, and re-submitted to the Virginia Marine Resource Commission for consideration of approval. Field changes are not allowed.**

Prior to commencing construction, you may also need a permit from the following agencies:

U.S. Army Corps of Engineers, 803 Front Street, Norfolk, Virginia 23510  
Virginia Marine Resource Commission, Habitat Management Division, 380 Fenwick Rd.,  
Bldg. 96, Ft. Monroe, VA 23651

If you have any questions, call (757) 385-8246.

Sincerely,



Charles McKenna  
Coastal Planning Technician

cc: Applicant: William Yearick  
Contractor: McGee Contracting – Colin Fanning  
Virginia Marine Resources Commission – Justin Worrell  
Virginia Institute of Marine Science

**ENGINEER/SURVEYOR'S FINAL INSPECTION REPORT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND  
DUNE PROJECTS**

*REVISED 02-2012*

BUILDING PERMIT NUMBER: \_\_\_\_\_  
(If unknown contact Permits & Inspections 757 385-4211)

CONTRACTOR: \_\_\_\_\_

Waterfront File number: \_\_\_\_\_

PROJECT LOCATION: \_\_\_\_\_

APPLICANT'S NAME: \_\_\_\_\_

APPLICANT'S ADDRESS: \_\_\_\_\_

**ENGINEER/SURVEYOR OF RECORD** \_\_\_\_\_

THIS IS TO CERTIFY THAT I HAVE INSPECTED THE REFERENCED PROJECT AND TO THE BEST OF MY KNOWLEDGE, THIS PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS I PREPARED. \*ANY DEVIATIONS IN CONSTRUCTION MUST BE SUBMITTED ON REVISED PLANS TO THE VMRC FOR CONSIDERATION. IF YOU HAVE ANY QUESTIONS CONTACT THE WATERFRONT OPERATIONS STAFF.

THIS FORM MUST BE COMPLETED AND SUBMITTED TO THE DEPARTMENT OF PLANNING, PERMITS AND INSPECTIONS DIVISION AFTER ALL INSPECTIONS ARE COMPLETE AND PRIOR TO THE FINAL INSPECTION BY CITY PERSONNEL.

\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR OF RECORD  
CERTIFYING THE ABOVE

\_\_\_\_\_  
DATE

\_\_\_\_\_  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR OF RECORD

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

2. 2020-WTRA-00200

William Walpert,

Gregory Strangways, Michael Anderson

[Applicants/Owners]

**To dredge involving wetlands**

1020 Witch Point Trail,

1016 Witch Point Trail and 4058 Schilling Point

(GPINs 1488-04-1543, 1488-04-2675, 1488-05-1062)

Waterway – Western Branch Lynnhaven River

Subdivision – Saw Pen Point

Council District – Bayside



**APPLICANT'S NAME**

Bill Walpert

**DISCLOSURE STATEMENT FORM**

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

<b>Acquisition of Property by City</b>	<b>Disposition of City Property</b>	<b>Modification of Conditions or Proffers</b>
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.

**SECTION 1 / APPLICANT DISCLOSURE**

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).			
<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:	
<input type="checkbox"/>	NO CHANGES AS OF	DATE:	
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	

Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.

Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.

(A) List the Applicant's name: \_\_\_\_\_  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

(B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes <sup>1</sup> and <sup>2</sup>

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## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.

Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.

(A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

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### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY

## APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	PARATUS FINANCIAL, INC. (214) 378-7400
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	Langley & McDonald
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	


If yes, what is the name of the official or employee and what is the nature of the interest?



**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

	WILLIAM B. WALPERT	29 MAR 20
APPLICANT'S SIGNATURE	PRINT NAME	DATE

## OWNER

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	PARATUS FINANCIAL (214) 378-7400
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?

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	WILLIAM B. WALBERT	25MAY20
PROPERTY OWNER'S SIGNATURE	PRINT NAME	DATE



**APPLICANT'S NAME**

Gregg Strangways

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<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	



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See next page for information pertaining to footnotes <sup>1</sup> and <sup>2</sup>

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Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY



# APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	Brunke and Company, LLC
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	Langley & McDonald
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	TowneBank Mortgage
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

## SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?



**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.**

<i>Beth Strangways</i>	dotloop verified 05/27/20 9:27 AM EDT 6NTF-OVQV-A0LG-BUX6	Beth Strangways	5/27/2020
APPLICANT'S SIGNATURE	PRINT NAME	DATE	





## OWNER

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	Brunke and Company, LLC 757-222-0134
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	Langley & McDonald
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	TowneBank Mortgage
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?



**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

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<i>Beth Strangways</i>	dotloop verified 05/27/20 9:27 AM EDT BV9H-P5ZJ-S0AZ-MZYM	Beth Strangways	5/27/2020
PROPERTY OWNER'S SIGNATURE	PRINT NAME		DATE



**APPLICANT'S NAME**

Michael Anderson

**DISCLOSURE STATEMENT FORM**

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

Acquisition of Property by City	Disposition of City Property	Modification of Conditions or Proffers
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.

**SECTION 1 / APPLICANT DISCLOSURE**

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).		
<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:
<input type="checkbox"/>	NO CHANGES AS OF	DATE:
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:

- Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.

(A) List the Applicant's name: \_\_\_\_\_  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

(B) List the businesses that have a parent-sub subsidiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes <sup>1</sup> and <sup>2</sup>

## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

- Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.

(A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

**(B)** List the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY

## OWNER

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	<div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;">SELF PREPARED</div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;">Langley &amp; McDonald</div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;">NAVY FEDERAL</div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

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YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?

**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

<i>MD Anderson</i>	<i>Michael D. Anderson</i>	<i>12/21/20</i>
PROPERTY OWNER'S SIGNATURE	PRINT NAME	DATE

**FOR AGENCY USE ONLY**

	Notes:
JPA# 20-1553	

**APPLICANTS**

**PLEASE PRINT OR TYPE ALL ANSWERS.** If a question does not apply to your project, please print N/A (not applicable) in the space provided. ***If additional space is needed, attach extra 8 1/2 x 11 inch sheets of paper.***

<b><i>Check all that apply</i></b>			
<input type="checkbox"/> Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <input type="checkbox"/> RP # 05 <small>(For NWP's &amp; RP 05 ONLY - No DEQ-VWP permit writer will be assigned)</small>	<input type="checkbox"/> SPGP	<input type="checkbox"/> DEQ Reapplication Existing permit number: _____	<input type="checkbox"/> Receiving federal funds Agency providing funding: _____
<input type="checkbox"/> Regional Permit 17 Checklist (RP-17)			

**PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)**

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
All	JPA Submitted	VMRC #20-0243	02/10/20	
All	Pier & Lift - NPN	VMRC #2004-0782	03/31/04	

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION**

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) <b>William Walpert &amp; Gregg Strangways</b>				Agent (if applicable) <b>Tom B. Langley, PE, LS</b>		
Mailing address <b>1020 &amp; 1016 Witch Point Trail</b>				Mailing address <b>309 Lynnhaven Parkway</b>		
City <b>Virginia Beach</b>	State <b>VA</b>	ZIP Code <b>23455</b>	City <b>Virginia Beach</b>	State <b>VA</b>	ZIP Code <b>23452</b>	
Phone number w/area code <b>(757)764-2619/(910)675-7922</b>	Fax		Phone number w/area code <b>757-463-4306</b>	Fax		
Mobile	E-mail		Mobile <b>757-615-5700</b>	E-mail <b>tlangley@langleymcdonald.com</b>		
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name and ID number (if applicable)			

***Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here:*** tlangley@langleymcdonald.com



**FOR AGENCY USE ONLY**

	Notes:
JPA# <b>20-1553</b>	

**APPLICANTS**

**PLEASE PRINT OR TYPE ALL ANSWERS.** If a question does not apply to your project, please print N/A (not applicable) in the space provided. ***If additional space is needed, attach extra 8 ½ x 11 inch sheets of paper.***

<b><i>Check all that apply</i></b>			
<input type="checkbox"/> Pre-Construction Notification (PCN)	<input type="checkbox"/> SPGP	<input type="checkbox"/> DEQ Reapplication	<input type="checkbox"/> Receiving federal funds
<input type="checkbox"/> NWP # _____		Existing permit number: _____	Agency providing funding: _____
<input type="checkbox"/> RP # 05 <i>(For NWPs &amp; RP 05 ONLY - No DEQ-VWP permit writer will be assigned)</i>			
<input type="checkbox"/> Regional Permit 17 Checklist (RP-17)			

**PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)**

Historical information for past permit submittals can be found online with VMRC - <https://webapps.mrc.virginia.gov/public/habitat/> - or VIMS - <http://ccrm.vims.edu/perms/newpermits.html>

Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION**

The applicant(s) is/are the legal entity to which the permit may be issued (see How to Apply at beginning of form). The applicant(s) can either be the property owner(s) or the person/people/company(ies) that intend(s) to undertake the activity. The agent is the person or company that is representing the applicant(s). If a company, please also provide the company name that is registered with the State Corporation Commission (SCC), or indicate no registration with the SCC.

Legal Name(s) of Applicant(s) <b>Michael Anderson</b>				Agent (if applicable)			
Mailing address <b>4058 Schilling Point</b>				Mailing address			
City <b>Virginia Beach</b>		State <b>VA</b>	ZIP Code <b>23455</b>	City		State	ZIP Code
Phone number w/area code <b>757-481-1296</b>		Fax		Phone number w/area code		Fax	
Mobile		E-mail		Mobile		E-mail	
State Corporation Commission Name and ID number (if applicable)				State Corporation Commission Name and ID number (if applicable)			

***Certain permits or permit authorizations may be provided via electronic mail. If the applicant wishes to receive their permit via electronic mail, please provide an e-mail address here: \_\_\_\_\_***

**12/21/20 Revision to add co-applicant**

**1. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR INFORMATION (Continued)**

Property owner(s) legal name, if different from applicant			Contractor, if known		
Mailing address			Mailing address		
City	State	ZIP code	City	State	ZIP code
Phone number w/area code	Fax		Phone number w/area code	Fax	
Mobile	E-mail		Mobile	E-mail	
State Corporation Commission Name and ID number (if applicable)			State Corporation Commission Name ID number (if applicable)		

**2. PROJECT LOCATION INFORMATION**

(Attach a copy of a detailed map, such as a USGS topographic map or street map showing the site location and project boundary, so that it may be located for inspection. Include an arrow indicating the north direction. Include the drainage area if the SPGP box is checked on Page 7.)

Street Address (911 address if available) <b>1020 &amp; 1016 Witch Point Trail</b>	City/County/ZIP Code <b>Virginia Beach/23455</b>
Subdivision <b>Saw Pen Point</b>	Lot/Block/Parcel # <b>GPINS 14880415430000/14880426750000</b>
Name of water body(ies) within project boundaries and drainage area (acres or square miles). <b>Western Branch Lynnhaven River</b>	
Tributary(ies) to: <u>Lynnhaven River</u> Basin: <u>Chesapeake Bay</u> Sub-basin: <u>Lower Chesapeake Bay</u> (Example: Basin: <u>James River</u> Sub-basin: <u>Middle James River</u> )	
Special Standards (based on DEQ Water Quality Standards 9VAC25-260 et seq.): _____	
Project type (check one) <input checked="" type="checkbox"/> Single user (private, non-commercial, residential) <input type="checkbox"/> Multi-user (community, commercial, industrial, government) <input type="checkbox"/> Surface water withdrawal	
Latitude and longitude at center of project site (decimal degrees): <u>36.86894</u> / <u>-76.11622</u> (Example: 37.33164/-77.68200)	
USGS topographic map name: <u>Princess Anne</u>	
8-digit USGS Hydrologic Unit Code (HUC) for your project site (See <a href="http://cfpub.epa.gov/surf/locate/index.cfm">http://cfpub.epa.gov/surf/locate/index.cfm</a> ): <u>02080108</u> If known, indicate the 10-digit and 12-digit USGS HUCs (see <a href="http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm">http://consapps.dcr.virginia.gov/htdocs/maps/HUExplorer.htm</a> ): <u>0208010802</u> <u>020801080201</u>	
Name of your project (Example: <i>Water Creek driveway crossing</i> ) <u>Walpert &amp; Strangways Dredging</u>	
Is there an access road to the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If yes, check all that apply: <input checked="" type="checkbox"/> public <input type="checkbox"/> private <input checked="" type="checkbox"/> improved <input type="checkbox"/> unimproved	
Total size of the project area (in acres): <u>0.15</u>	

**2. PROJECT LOCATION INFORMATION (Continued)**

Provide driving directions to your site, giving distances from the best and nearest visible landmarks or major intersections:

From intersection of Independence Blvd and N Witchduck Rd, travel northeast on N Witchduck Rd; turn right onto Saw Pen Point Trail; turn right onto Olde Town Trail; turn left onto Witch Point Trail; 1020 & 1016 Witch Point Trail will be on your left.

Does your project site cross boundaries of two or more localities (i.e., cities/counties/towns)?  Yes  No

If so, name those localities:

\_\_\_\_\_

**3. DESCRIPTION OF THE PROJECT, PROJECT PRIMARY AND SECONDARY PURPOSES, PROJECT NEED, INTENDED USE(S), AND ALTERNATIVES CONSIDERED (Attach additional sheets if necessary)**

- The purpose and need must include any new development or expansion of an existing land use and/or proposed future use of residual land.
- Describe the physical alteration of surface waters, including the use of pilings (#, materials), vibratory hammers, explosives, and hydraulic dredging, when applicable, and *whether or not tree clearing will occur* (include the area in square feet and time of year).
- Include a description of alternatives considered and measures taken to avoid or minimize impacts to surface waters, including wetlands, to the maximum extent practicable. Include factors such as, but not limited to, alternative construction technologies, alternative project layout and design, alternative locations, local land use regulations, and existing infrastructure
- For utility crossings, include both alternative routes and alternative construction methodologies considered
- For surface water withdrawals, public surface water supply withdrawals, or projects that will alter in stream flows, include the water supply issues that form the basis of the proposed project.

Purpose & Need: Applicants propose to dredge a minimal channel for access to navigable water. Applicants' immediate community filed a JPA for a SSD dredging project but Applicants were not included, not by Applicants' choice. Applicants' proposed channel will connect to the SSD channel. The SSD is fully aware of and supports Applicants' proposed channel.

Applicants anticipate using the same contractor selected to dredge the SSD project.

Applicants' proposed dredging is 15' wide, configured to avoid vegetated wetlands and avoids/minimizes impacts to non-vegetated wetlands.

Date of proposed commencement of work (MM/DD/YYYY)

01/01/2021

Date of proposed completion of work (MM/DD/YYYY)

12/31/2021

Are you submitting this application at the direction of any state, local, or federal agency? \_\_\_\_ Yes  No

Has any work commenced or has any portion of the project for which you are seeking a permit been completed?

\_\_\_\_ Yes  No

If you answered "yes" to either question above, give details stating when the work was completed and/or when it commenced, who performed the work, and which agency (if any) directed you to submit this application. In addition, you will need to clearly differentiate between completed work and proposed work on your project drawings.

Are you aware of any unresolved violations of environmental law or litigation involving the property? \_\_\_\_ Yes  No  
(If yes, please explain)

#### 4. PROJECT COSTS

Approximate cost of the entire project, including materials and labor: \$ 60,000 ~~\$74,000~~

Approximate cost of only the portion of the project affecting state waters (channelward of mean low water in tidal areas and below ordinary high water mark in nontidal areas): \$ 60,000 ~~\$74,000~~

#### 5. PUBLIC NOTIFICATION (Attach additional sheets if necessary)

Complete information for all property owners adjacent to the project site and across the waterway, if the waterway is less than 500 feet in width. If your project is located within a cove, you will need to provide names and mailing addresses for all property owners within the cove. If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line. Per Army Regulation (AR 25-51) outgoing correspondence must be addressed to a person or business.

**Failure to provide this information may result in a delay in the processing of your application by VMRC.**

Property owner's name	Mailing address	City	State	ZIP code
Allen S Brantley	1012 Witch Point Trail	Virginia Beach	VA	23455
William Hurst	4044 Olde Town Trail	Virginia Beach	VA	23455
Jasmine Whitbeck	4048 Olde Town Trail	Virginia Beach	VA	23455
Mary Difazio	1025 Saw Pen Point Trail	Virginia Beach	VA	23455
Bailey T Parker	1021 Saw Pen Point Trail	Virginia Beach	VA	23455
<del>Carolyn Mulligan</del>	<del>4058 Schilling Point</del>	<del>Virginia Beach</del>	<del>VA</del>	<del>23455</del>
William Hatfield	4049 Schilling Point	Virginia Beach	VA	23455

Name of newspaper having general circulation in the area of the project: Virginian Pilot

Address and phone number (including area code) of newspaper: 5429 Greenwich Road, Virginia Beach, VA 23465 757-446-2848

Have adjacent property owners been notified with forms in Appendix A?  Yes  No (attach copies of distributed forms)

#### 6. THREATENED AND ENDANGERED SPECIES INFORMATION

Please provide any information concerning the potential for your project to impact state and/or federally threatened and endangered species (listed or proposed). Attach correspondence from agencies and/or reference materials that address potential impacts, such as database search results or confirmed waters and wetlands delineation/jurisdictional determination. Include information when applicable regarding the location of the project in Endangered Species Act-designated or -critical habitats. Contact information for the U.S. Fish and Wildlife Service, National Oceanic and Atmospheric Administration, Virginia Dept. of Game and Inland Fisheries, and the Virginia Dept. of Conservation and Recreation-Division of Natural Heritage can be found on page 4 of this package.

#### 7. HISTORIC RESOURCES INFORMATION

*Note: Historic properties include but are not limited to archeological sites, battlefields, Civil War earthworks, graveyards, buildings, bridges, canals, etc. Prospective permittees should be aware that section 110k of the NHPA (16 U.S.C. 470h-2(k)) prevents the USACE from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the USACE, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.*

Are any historic properties located within or adjacent to the project site?  Yes  No  Uncertain  
If Yes, please provide a map showing the location of the historic property within or adjacent to the project site.

Are there any buildings or structures 50 years old or older located on the project site?  Yes  No  Uncertain  
If Yes, please provide a map showing the location of these buildings or structures on the project site.

Is your project located within a historic district?  Yes  No  Uncertain

If Yes, please indicate which district: \_\_\_\_\_

12/21/20 Revision to add co-applicant

**7. HISTORIC RESOURCES INFORMATION (Continued)**

Has a survey to locate archeological sites and/or historic structures been carried out on the property?

Yes  No  Uncertain

If Yes, please provide the following information: Date of Survey: \_\_\_\_\_

Name of firm: \_\_\_\_\_

Is there a report on file with the Virginia Department of Historic Resources?  Yes  No  Uncertain

Title of Cultural Resources Management (CRM) report: \_\_\_\_\_

Was any historic property located?  Yes  No  Uncertain

**8. WETLANDS, WATERS, AND DUNES/BEACHES IMPACT INFORMATION**

**Report each impact site in a separate column. If needed, attach additional sheets using a similar table format. Please ensure that the associated project drawings clearly depict the location and footprint of each numbered impact site. For dredging, mining, and excavating projects, use Section 17.**

	Impact site number 1	Impact site number 2	Impact site number 3	Impact site number 4	Impact site number 5
Impact description (use all that apply): F=fill EX=excavation S=Structure T=tidal NT=non-tidal TE=temporary PE=permanent PR=perennial IN=intermittent SB=subaqueous bottom DB=dune/beach IS=hydrologically isolated V=vegetated NV=non-vegetated MC=Mechanized Clearing of PFO (Example: F, NT, PE, V)	EX,T,PE,NV	EX,T,PE,SB			
Latitude / Longitude (in decimal degrees)	36.86894/-76.11622	<b>SAME</b>			
Wetland/waters impact area (square feet / acres)	<b>401</b>	<b>20,563</b>			
Dune/beach impact area (square feet)					
Stream dimensions at impact site (length and average width in linear feet, and area in square feet)					
Volume of fill below Mean High Water or Ordinary High Water (cubic yards)					

12/21/20 Revision to add co-applicant

**8. WETLANDS/WATERS IMPACT INFORMATION (Continued)**

Cowardin classification of impacted wetland/water or geomorphological classification of stream <i>Example wetland: PFO; Example stream: 'C' channel and if tidal, whether vegetated or non-vegetated wetlands per Section 28.2-1300 of the Code of Virginia</i>					
Average stream flow at site (flow rate under normal rainfall conditions in cubic feet per second) and method of deriving it (gage, estimate, etc.)					
Contributing drainage area in acres or square miles ( <i>VMRC cannot complete review without this information</i> )					
DEQ classification of impacted resource(s): Estuarine Class II Non-tidal waters Class III Mountainous zone waters Class IV Stockable trout waters Class V Natural trout waters Class VI Wetlands Class VII <a href="https://law.lis.virginia.gov">https://law.lis.virginia.gov</a>	<b>Estuarine II</b>				

**For DEQ permitting purposes, also submit as part of this section a wetland and waters boundary delineation map – see (3) in the Footnotes section in the form instructions.**

**For DEQ permitting purposes, also submit as part of this section a written disclosure of all wetlands, open water, or streams that are located within the proposed project or compensation areas that are also under a deed restriction, conservation easement, restrictive covenant, or other land-use protective instrument.**

**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS**

**READ ALL OF THE FOLLOWING CAREFULLY BEFORE SIGNING**

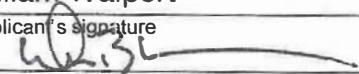
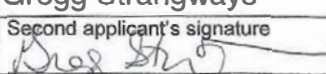
**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)**

Is/Are the Applicant(s) and Owner(s) the same?  Yes  No

Legal name & title of Applicant <b>William Walpert</b>	Second applicant's legal name & title, if applicable <b>Gregg Strangways</b>
Applicant's signature 	Second applicant's signature 
Date <b>29 MAY 2020</b>	Date <b>6/1/20</b>
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

**CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT(S)'S BEHALF (IF APPLICABLE)**

I (we), William Walpert (and) Gregg Strangways,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

hereby certify that I (we) have authorized Tom Langley (and) \_\_\_\_\_  
 AGENT'S NAME(S) – complete the second blank if more than one Agent

to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature 	Second applicant's signature, if applicable 
Date <b>29 MAY 2020</b>	Date <b>6/1/20</b>
Agent's signature and title <u>Tom B. Langley</u>	Second agent's signature and title, if applicable
Date <b>05/26/20</b>	Date

**CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)**

I (we), \_\_\_\_\_ (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant

have contracted \_\_\_\_\_ (and) \_\_\_\_\_  
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	

**9. APPLICANT, AGENT, PROPERTY OWNER, AND CONTRACTOR CERTIFICATIONS (Continued)**

Is/Are the Applicant(s) and Owner(s) the same?  Yes  No

Legal name & title of Applicant <b>Michael Anderson</b>	Second applicant's legal name & title, if applicable
Applicant's signature <i>MD Anderson</i>	Second applicant's signature
Date <b>12/21/20</b>	Date
Property owner's legal name, if different from Applicant	Second property owner's legal name, if applicable
Property owner's signature, if different from Applicant	Second property owner's signature
Date	Date

**CERTIFICATION OF AUTHORIZATION TO ALLOW AGENT(S) TO ACT ON APPLICANT'S(S)' BEHALF (IF APPLICABLE)**

I (we), Michael Anderson (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant  
 hereby certify that I (we) have authorized Tom B. Langley (and) \_\_\_\_\_  
 AGENT'S NAME(S) – complete the second blank if more than one Agent  
 to act on my (our) behalf and take all actions necessary to the processing, issuance, and acceptance of this permit and any and all standard and special conditions attached. I (we) hereby certify that the information submitted in this application is true and accurate to the best of my (our) knowledge.

Applicant's signature <i>MD Anderson</i>	Second applicant's signature, if applicable
Date <b>1/11/21</b>	Date
Agent's signature and title <i>Tom B. Langley</i>	Second agent's signature and title, if applicable
Date <b>1/11/21</b>	Date

**CONTRACTOR ACKNOWLEDGEMENT (IF APPLICABLE)**

I (we), \_\_\_\_\_ (and) \_\_\_\_\_,  
 APPLICANT'S LEGAL NAME(S) – complete the second blank if more than one Applicant  
 have contracted \_\_\_\_\_ (and) \_\_\_\_\_  
 CONTRACTOR'S NAME(S) – complete the second blank if more than one Contractor  
 to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

I (we) will read and abide by all conditions as set forth in all federal, state, and local permits as required for this project. I (we) understand that failure to follow the conditions of the permits may constitute a violation of applicable federal, state, and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes.  
 In addition, I (we) agree to make available a copy of any permit to any regulatory representative visiting the project site to ensure permit compliance. If I (we) fail to provide the applicable permit upon request, I (we) understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all of the terms and conditions.

Contractor's name or name of firm (printed/typed)	Contractor's or firm's mailing address	
Contractor's signature and title	Contractor's license number	Date
Applicant's signature	Second applicant's signature, if applicable	
Date	Date	

12/21/20 Revision to add co-applicant



**16. BEACH NOURISHMENT (Continued)**

Describe the type(s) of vegetation proposed for stabilization and the proposed planting plan, including schedule, spacing, monitoring, etc. Attach additional sheets if necessary.

**17. DREDGING, MINING, AND EXCAVATING**

FILL OUT THE FOLLOWING TABLE FOR DREDGING PROJECTS

	NEW dredging				MAINTENANCE dredging			
	Hydraulic		Mechanical (clamshell, dragline, etc.)		Hydraulic		Mechanical (clamshell, dragline, etc.)	
	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet	Cubic yards	Square feet
Vegetated wetlands			0	0				
Non-vegetated wetlands			31	401				
Subaqueous land			2,329	20,563				
Totals			2,360	20,964				

Is this a one-time dredging event? \_\_\_Yes x\_\_\_ No If "no", how many dredging cycles are anticipated: 3 total (initial and 2 maintenance)  
 ( 2,360 initial cycle in cu. yds.) ( 1,775 subsequent cycles in cu. yds.)

Composition of material (percentage sand, silt, clay, rock):  
 Provide documentation (i.e., laboratory results or analytical reports) that *dredged* material from on-site areas is free of toxics. If not free of toxics, provide documentation of proper disposal (i.e., bill of lading from commercial supplier or disposal site).

Please include a dredged material management plan that includes specifics on how the dredged material will be handled and retained to prevent its entry into surface waters or wetlands. If on-site dewatering is proposed, please include plan view and cross-sectional drawings of the dewatering area and associated outfall.

Will the dredged material be used for any commercial purpose or beneficial use? \_\_\_Yes \_\_\_No  
 If yes, please explain:

If this is a maintenance dredging project, what was the date that the dredging was last performed? \_\_\_\_\_  
 Permit number of original permit: \_\_\_\_\_ (It is important that you attach a copy of the original permit.)

12/21/20 Revision to add co-applicant

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: Waterway between Schilling Pt, Saw Pen Pt Trail and Witch Point Trail

APPLICANT'S NAME: William Walpert, Gregg Strangways and Michael Anderson

APPLICANT'S ADDRESS: 1020 Witch Point Trail (Walpert), 1016 Witch Point Trail (Strangways)  
4058 Schilling Point (Anderson)

OWNER'S NAME  
(IF DIFFERENT FROM APPLICANT): Michael Anderson

- WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.
- CERTIFICATION SHALL ALSO BE MADE THAT ANY SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.
- THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

Tom B. Langley 1/11/21  
SIGNATURE OF ENGINEER/SURVEYOR DATE  
CERTIFYING CONSTRUCTION

Tom B. Langley  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION


MD Anderson 1/11/21  
SIGNATURE OF OWNER DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.

**LICENSE/AGENCY AGREEMENT**

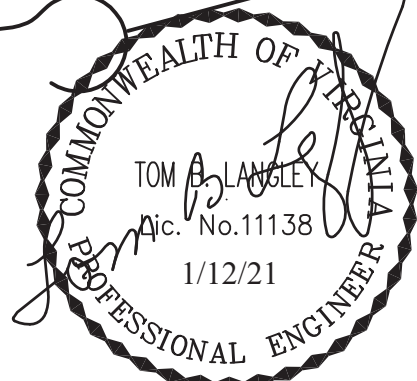
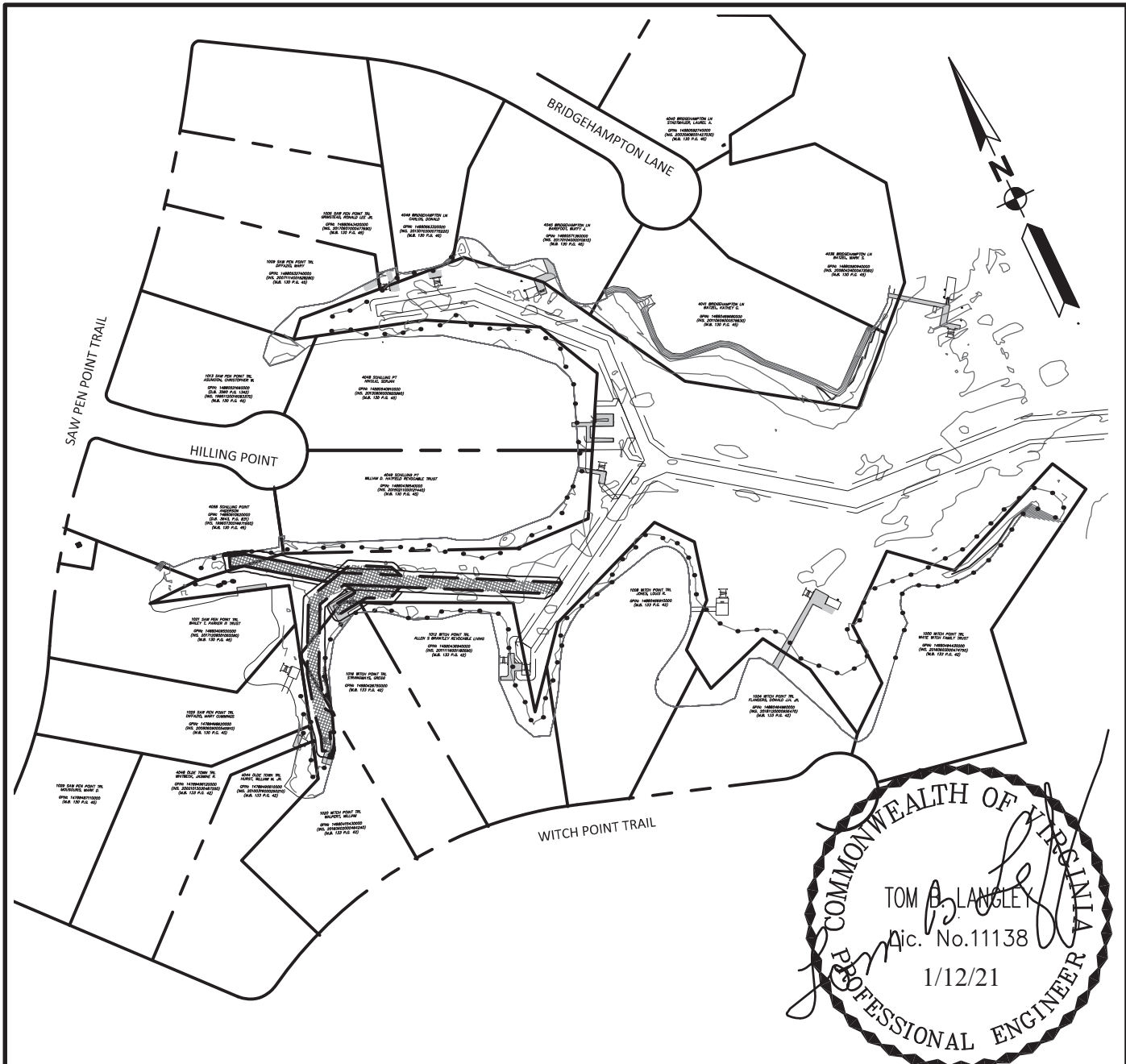
RE:

1. I/we, the undersigned and property owner of 1012 Witch Point Trl, hereby authorize William Walpert & Gregg Strangway to make application in our name to the City of Virginia Beach, Planning Department for the purpose of making certain improvements to the above property owned by us, which improvements are more fully set forth in a copy of the proposed Permit Application attached hereto and incorporated herein by reference. We further authorize William Walpert & Gregg Strangway to execute the necessary permits and bonds on our behalf if the City of Virginia Beach, Planning Department grants approval for such a permit.
  
2. We do further grant to the agents of the City of Virginia Beach, Virginia for a period of time until the project is released by the City of Virginia Beach, Planning Department's authorized agent, in writing, the irrevocable right to go upon our said property described above for the purpose of making such improvements deemed necessary to correct or complete any activity referenced on the attached application for Waterfront Construction Permit pursuant to an approved permit(s) from said City. The period of time mentioned above is to commence upon the issuance of a valid permit for said improvements on said property by the City of Virginia Beach, Planning Department.
  
3. All of the improvements made under any permit issued by the City of Virginia Beach, Planning Department, the Virginia Marine Resources Commission and/or the U. S. Army Corps of Engineers are to be made at the sole expense of William Walpert & Gregg Strangway including the posting of any required bond or other surety.

Allen S. Brantley   
(Printed Name of Owner) (Signature of Owner)  
(Date)

William Walpert & Gregg Strangway    
(Printed Name of Applicant) (Signature of Applicant)  
(Date)

"Any alteration of this form or its endorsements without express consent from the originator shall invalidate this instrument."

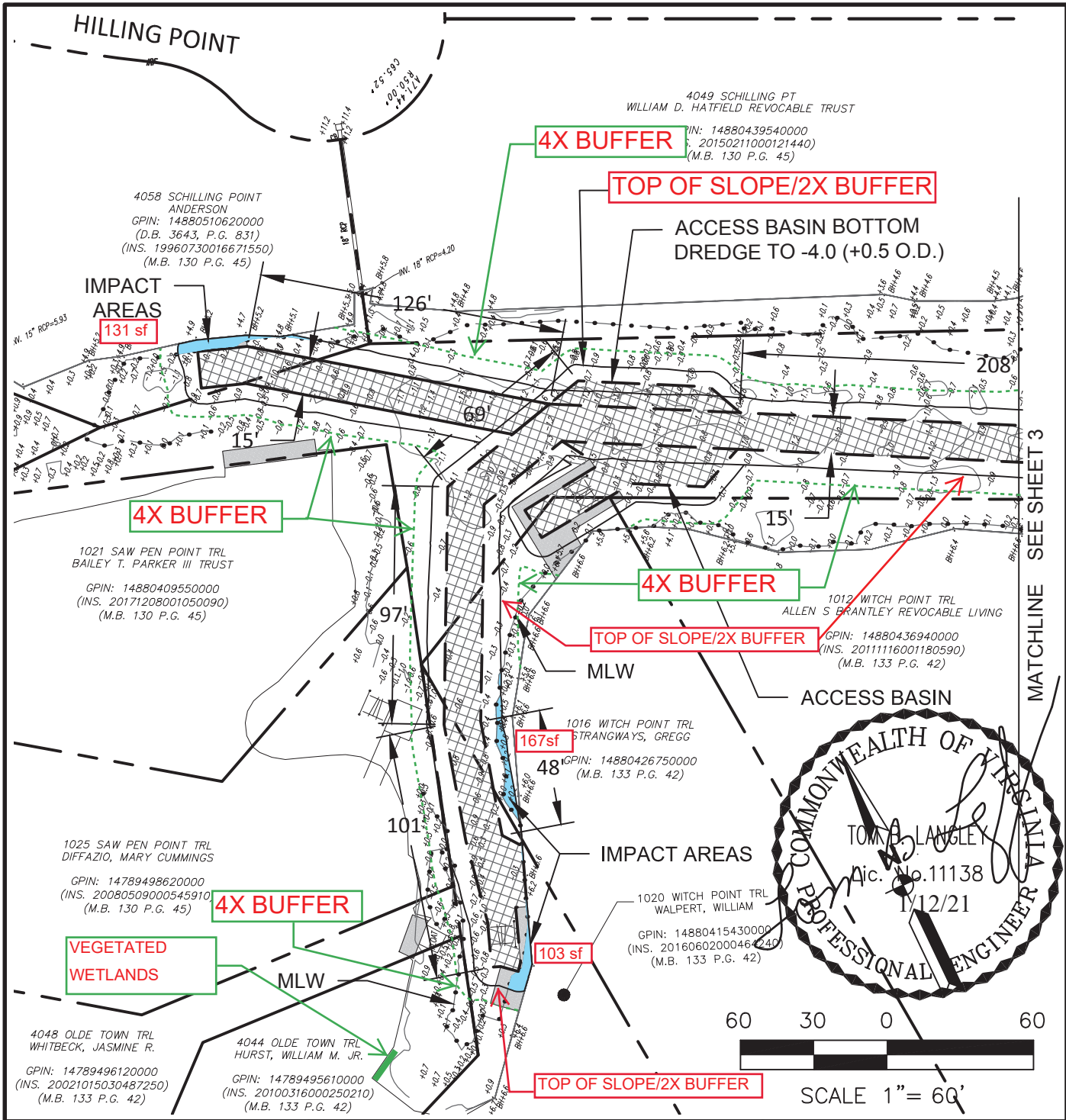


SCALE 1"=200'

- NOTE:**
1. - SEE SHEET 4 FOR TYPICAL CROSS SECTION AND "4X BUFFER" DETAIL.
  2. - SEE SHEET 4 FOR DATUM DIAGRAM.
  3. - BATHYMETRIC AND TOPOGRAPHIC SURVEY WERE PERFORMED 2/2020.

PURPOSE : DREDGING DATUM: MLW=0.00	<h1>PERMIT APPLICATION</h1>	WATERWAY: WESTERN BRANCH LYNNHAVEN RIVER
<u>ADJ. PROPERTY OWNERS</u> NOTED ON PLAN		<h1>OVERALL PLAN</h1>
	Langley and McDonald, Inc Engineers Planners Surveyors 309 LYNNHAVEN PARKWAY VIRGINIA BEACH, VIRGINIA 23452 757-463-4306 (FAX) 757-463-3563	CITY/COUNTY: VIRGINIA BEACH APPLICATION BY : WALPERT, STRANGWAYS, & ANDERSON SCALE : 1"=200'      DATE: SHT. 1 OF 4              5/22/20

REV: 10/08/20, 12/21/20, 1/12/21



**PURPOSE :** DREDGING  
**DATUM:** MLW=0.00

**ADJ. PROPERTY OWNERS**  
 NOTED ON PLAN

**PERMIT APPLICATION**

**DREDGING PLAN**

Langley and McDonald, Inc  
 Engineers Planners Surveyors  
 309 LYNNHAVEN PARKWAY  
 VIRGINIA BEACH, VIRGINIA 23452  
 757-463-4306 (FAX) 757-463-3563

**WATERWAY:** WESTERN BRANCH  
 LYNNHAVEN RIVER

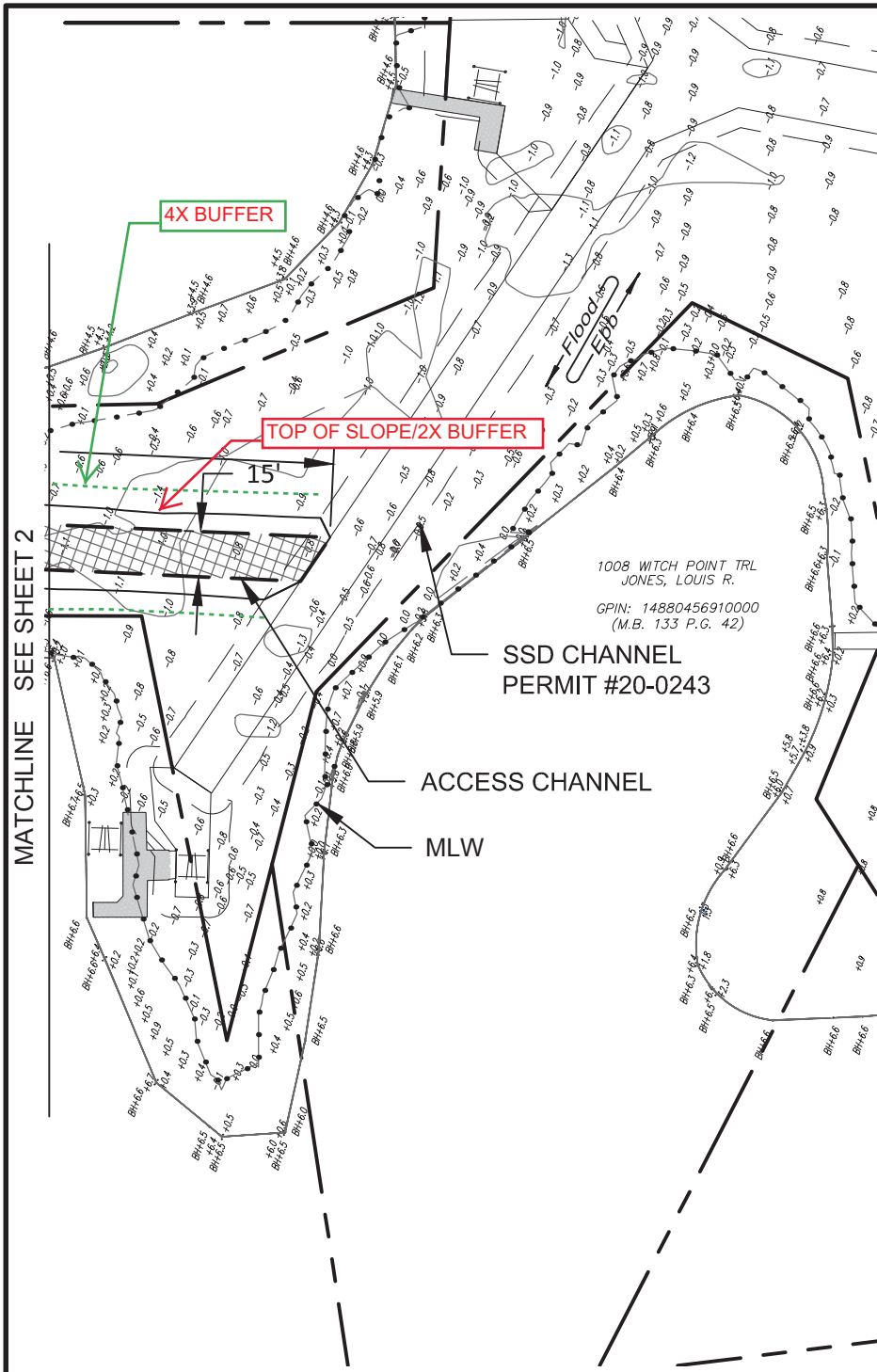
**ADDRESS:** 1020 & 1016  
 WITCH PT TRL

**CITY/COUNTY:** VIRGINIA BEACH

**APPLICATION BY :**  
 WALPERT, STRANGWAYS,  
 & ANDERSON

**SCALE :** 1"=60'      **DATE:**  
 SHT. 2 OF 4              5/22/20

**REV: 10/08/20, 12/21/20, 1/12/21**

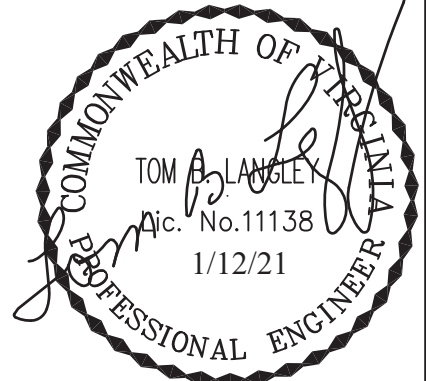


1008 WITCH POINT TRL  
 JONES, LOUIS R.  
 GPIN: 14880456910000  
 (M.B. 133 P.G. 42)

SSD CHANNEL  
 PERMIT #20-0243

ACCESS CHANNEL

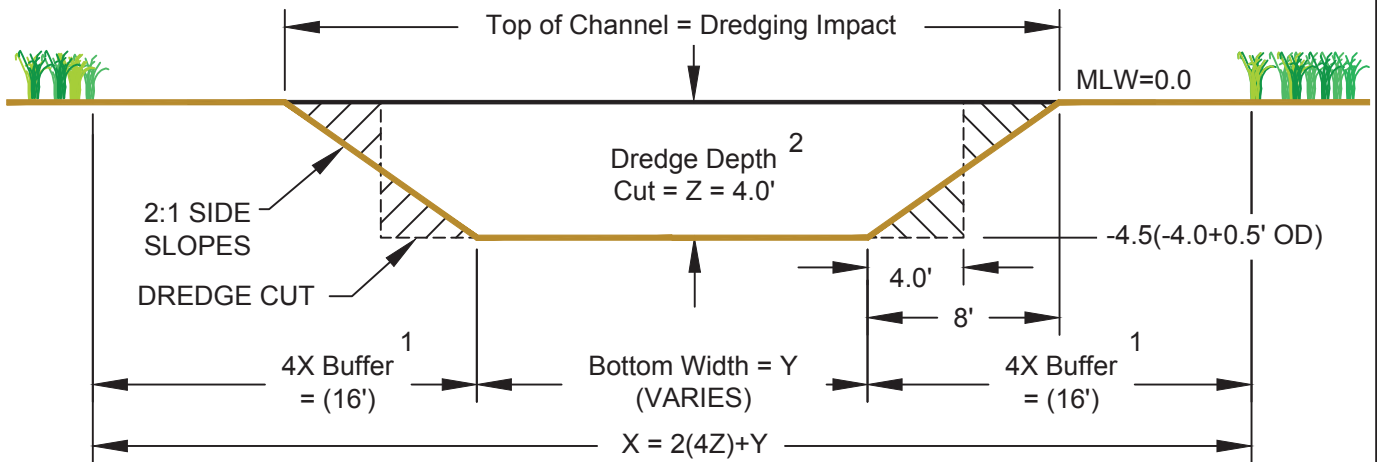
MLW



SCALE 1" = 60'

PURPOSE : DREDGING DATUM: MLW=0.00	PERMIT APPLICATION  DREDGING PLAN	WATERWAY: WESTERN BRANCH LYNNHAVEN RIVER
ADJ. PROPERTY OWNERS NOTED ON PLAN		ADDRESS: 1020 & 1016 WITCH PT TRL CITY/COUNTY: VIRGINIA BEACH
Langley and McDonald, Inc Engineers Planners Surveyors 309 LYNNHAVEN PARKWAY VIRGINIA BEACH, VIRGINIA 23452 757-463-4306 (FAX) 757-463-3563		APPLICATION BY : WALPERT, STRANGWAYS, & ANDERSON SCALE : 1"=60'      DATE: SHT. 3 OF 4      5/22/20

REV: 10/08/20, 12/21/20, 1/12/21

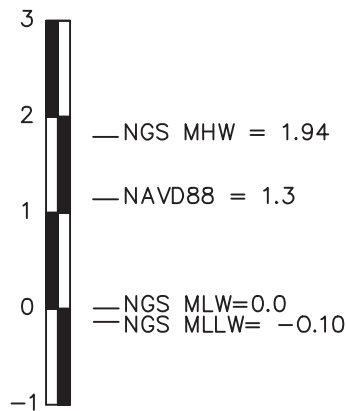


**NOTES:**

1. "4X BUFFER" IS FOUR TIMES THE DREDGE CUT DEPTH.
2. ADD 0.5' ALLOWABLE OVER DREDGE FOR MAX DREDGE DEPTH = -4.5.

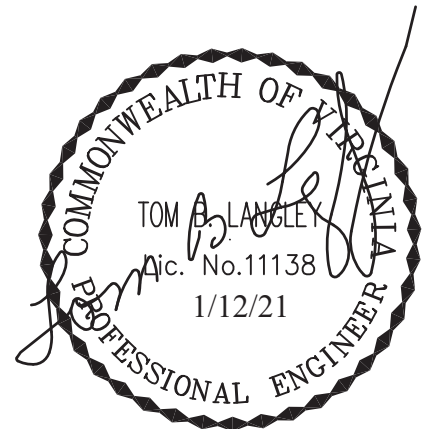
**TYPICAL DREDGE SECTION**

**SCALE: 1"=8'**



**DATUM DIAGRAM (N.T.S.)**

ELEVATIONS ARE IN FEET REFERRED TO NOS MEAN LOW WATER TIDAL DATUMS BASED ON 1983-2001 NATIONAL TIDAL DATUM EPOCH AT NGS STATION 863-8863, CHESAPEAKE BAY BRIDGE TUNNEL AND VDATUM SOFTWARE VERSION 4.0.1 11-4-19



PURPOSE : DREDGING DATUM: MLW=0.00  <u>ADJ. PROPERTY OWNERS</u> NOTED ON PLAN	<b>PERMIT APPLICATION</b>	WATERWAY: WESTERN BRANCH LYNNHAVEN RIVER ADDRESS: 1020 & 1016 WITCH PT TRL CITY/COUNTY: VIRGINIA BEACH APPLICATION BY : WALPERT, STRANGWAYS, & ANDERSON SCALE : 1"=8'      DATE: SHT. 4 OF 4      5/22/20
	<b>SECTION</b>	
	Langley and McDonald, Inc Engineers Planners Surveyors 309 LYNNHAVEN PARKWAY VIRGINIA BEACH, VIRGINIA 23452 757-463-4306 (FAX) 757-463-3563	

APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, Allen S. Brantley, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)

necessary federal, state, and local permits.

I have no comment regarding the proposal

I do not object to the proposal *please approve.*

I object to the proposal

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, please be sure that you have checked the appropriate option above)

Allen S Brantley Martha Brantley  
Adjacent property owner's signature

Aug 19, 2020  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**



APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, William Hurst, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)

necessary federal, state, and local permits.

I have no comment regarding the proposal

I do not object to the proposal

I object to the proposal

*The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.*

(Before signing this form, please be sure that you have checked the appropriate option above)

William M. Hurst  
Adjacent property owner's signature William M. Hurst

31 May 2020  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**

APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, Carolyn Mulligan, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)

necessary federal, state, and local permits.

I have no comment regarding the proposal

I do not object to the proposal

I object to the proposal

***The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.***

(Before signing this form, please be sure that you have checked the appropriate option above)

  
Adjacent property owner's signature

6-4-2020  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**

APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, Jasmine Whitbeck, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)  
necessary federal, state, and local permits.

- I have no comment regarding the proposal  
 I do not object to the proposal  
 I object to the proposal

*The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.*

(Before signing this form, please be sure that you have checked the appropriate option above)

Jasmine V. Whitbeck  
Adjacent property owner's signature  
6/6/20  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**

APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, Mary Difazio, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways.  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)

necessary federal, state, and local permits.

I have no comment regarding the proposal

I do not object to the proposal

I object to the proposal

***The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.***

(Before signing this form, please be sure that you have checked the appropriate option above)

\_\_\_\_\_  
Adjacent property owner's signature

\_\_\_\_\_  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**

APPENDIX A

Adjacent Property Owner's Acknowledgement Form

I, Bailey T Parker, own land next to/ across the water from/ in the same cove  
(print adjacent property owner's name)

as the land of William Walpert & Gregg Strangways.  
(print applicant's name)

I have reviewed the applicant's project drawings dated 5/22/20 to be submitted for all  
(date of drawings)

necessary federal, state, and local permits.

I have no comment regarding the proposal

I do not object to the proposal

I object to the proposal

***The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.***

(Before signing this form, please be sure that you have checked the appropriate option above)

\_\_\_\_\_  
Adjacent property owner's signature

\_\_\_\_\_  
Date

**NOTE: IF YOU OBJECT TO THE PROPOSAL, THE REASON(S) YOU OPPOSE THE PROJECT MUST BE SUBMITTED TO VMRC IN WRITING. AN OBJECTION WILL NOT NECESSARILY RESULT IN A DENIAL OF A PERMIT FOR THE PROPOSED WORK. HOWEVER, VALID COMPLAINTS WILL BE GIVEN FULL CONSIDERATION DURING THE PERMIT REVIEW PROCESS.**

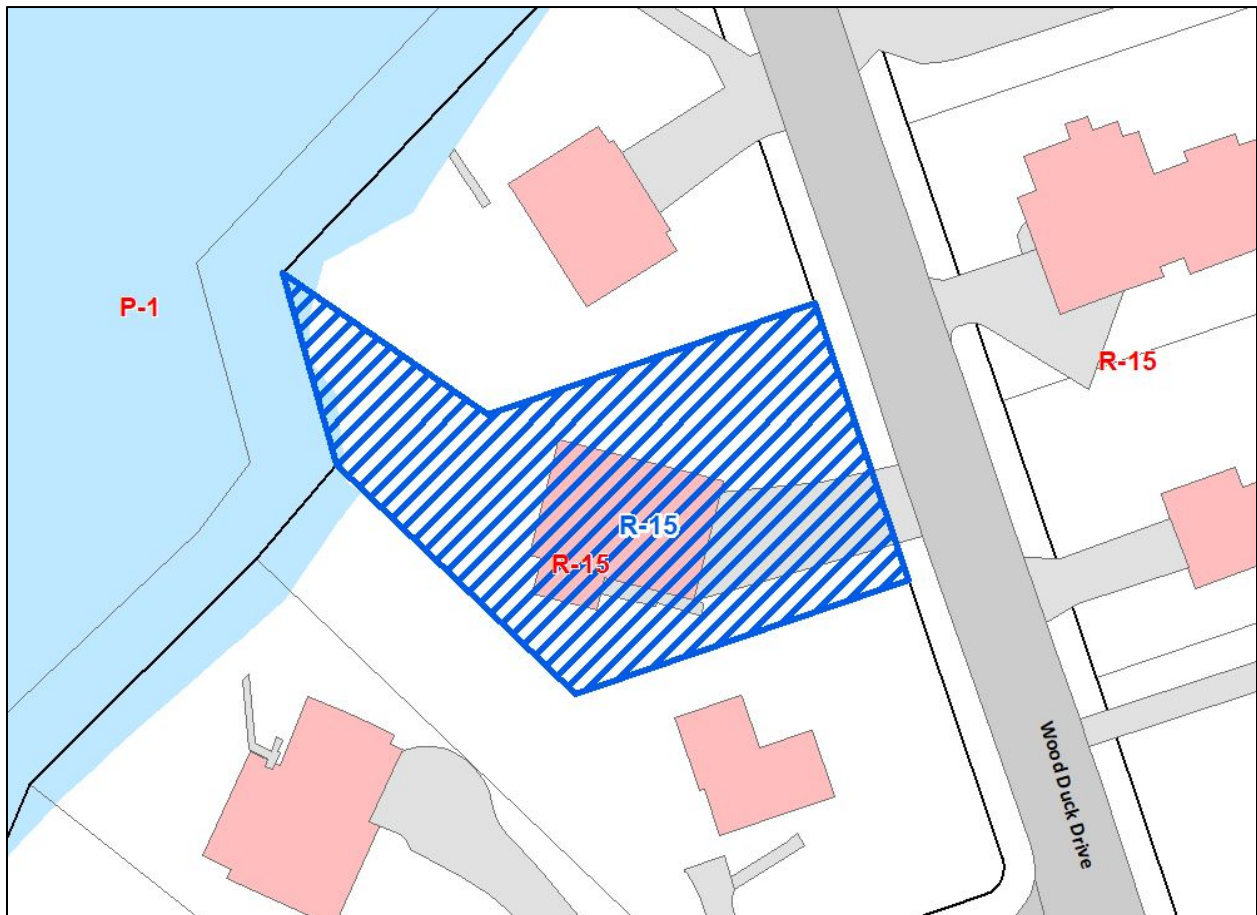
3. 2020-WTRA-00274

Neil and Christina Hutchinson [Applicant/Owner]

**To construct a bulkhead involving wetlands**

2833 Wood Duck Drive  
(GPIN 2433-25-3267)

Waterway – Mill Creek  
Subdivision – Sandbridge Shores  
Council District – Princess Anne



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name Neil & Christina Hutchinson

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.  
R. Harold Jones, Sigma Environmental Services, Inc.

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

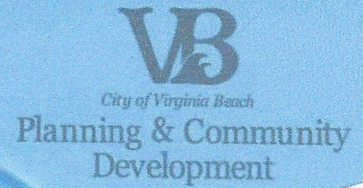
- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-



# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the engineer/surveyor/agent.  
R. Harold Jones, Sigma Environmental Services, Inc.

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

Print Name and Title

Neil & Christina Hutchinson

Date

- Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

## Part 1 – General Information

**PLEASE PRINT OR TYPE ALL RESPONSES:** If a question does not apply to your project, please print N/A (not applicable) in the block or space provided. If additional space is needed, attach 8-1/2" x 11" sheets of paper.

County or City in which the project is located: Virginia Beach  
 Waterway at project site: Mill Creek, a tributary to North Bay/Back Bay

1. Applicant's name\* and complete mailing address: Contact Information:  
 Neil & Christina Hutchinson Home ( ) \_\_\_\_\_  
 2833 Wood Duck Drive Work ( ) \_\_\_\_\_  
 Virginia Beach, VA 23456 Fax ( ) \_\_\_\_\_  
Cell/ Pager ( 540 ) 207-8271  
e-mail hutch182@comcast.net  
 State Corporation Commission ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) name\* and complete address, Contact Information:  
 if different from applicant Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell/ Pager ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
 State Corporation Commission ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing Contact Information:  
 address (if applicable): Home ( ) \_\_\_\_\_  
 Sigma Environmental Services, Inc. Work ( ) \_\_\_\_\_  
 1513 Sandbridge Road Fax ( ) \_\_\_\_\_  
 Virginia Beach, Virginia 23456 Cell/ Pager ( 757 ) 615-9974  
e-mail rharoldjones@aol.com  
 State Corporation Commission ID Number (if applicable) 0623459-5

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

4. Provide a detailed description of the project in the space below. If additional space is needed, provide a separate sheet of paper with the project description. Be sure to include how the construction site will be accessed, especially if clearing and/or grading will be required.

Remove existing deteriorated wooden bulkhead and install 31' 9" of replacement vinyl bulkhead in-situ. Removed existing bulkhead and backfill between stakes 2A and 3 and relocate landward a max of 6' for a straight alignment. Relocate both return walls to coincide with property lines. Remove existing 8' X 16' dock. Install a new 5' X 7' X 61' dock with a 4' X 8' kayak ramp.

FOR AGENCY USE ONLY	
	Notes:
	JPA # <b>20-2185</b>

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Not selected yet.

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell / Pager ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page. If for a company, use the SCC registered name.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot  
150 Brambleton, Avenue  
Norfolk, Virginia 23509

Telephone number

( 757 ) 446-2000

7. Give the following project location information:

Street Address (911 address if available) 2833 Wood Duck Drive \_\_\_\_\_

Lot/Block/Parcel# Lot 141 \_\_\_\_\_

Subdivision Section 1B, Sandbridge Shores \_\_\_\_\_

City / County Virginia Beach, VA \_\_\_\_\_ Zipcode 23456 \_\_\_\_\_

Latitude and Longitude at Center of Project Site (Decimal Degrees): 36.729642 N, 75.942489 W

If the project is located in a rural area, please provide driving directions.

From the intersection of Sandbridge Road and Sandpiper Road, turn right and head south on Sandpiper Road. Travel approximately 0.90 miles. Turn right on Tuna Lane and travel 2 blocks, turn left on Wood Duck Drive. Travel approximately one block. 2833 Wood Duck is located on the right (west) side of the road just prior to the intersection with Pintail Crescent.

**Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.**

## Part 1 - General Information (continued)

8. What is the primary and secondary purpose of the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

Primary purpose of the project is to replace a deteriorated bulkhead to prevent failure of the existing structure. The secondary project purpose is to provide safe access and mooring for waterborne recreational vessels and to remove an existing encroachment across the channelward property line.

9. Proposed use (check one):

Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction.

**Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.**

Install the replacement bulkhead in the same alignment or landward of the existing structure. Relocation of the bulkhead landward between stakes 2A & 3 will result in the creation of approximately 105 sq. ft. of new subaqueous bottom. Approximately 5 sq. ft. of rocky intertidal habitat will be adversely impacted by relocating the south return 1.5 ft to match the APOs bulkhead alignment.

11. Have you previously had a site visit, applied to, or obtained a permit from any agency (Federal, State, or Local) for any portion of the project described in this application or any other project at the site?

Yes\*  No \* If you answered “Yes”, provide the following information:

<u>Agency / Representative</u>	<u>Activity</u>	<u>Permit/Project No.</u>	<u>Action** &amp; Date</u>
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(\*\*Issued, Denied, Withdrawn, or Site Visit)

## Part 1 - General Information (continued)

12. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? \_\_\_ Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
13. Approximate cost of the entire project (materials, labor, etc.): \$ 22,000  
Approximate cost of that portion of the project which is below mean low water: \$ \$8,500
14. Completion date of the proposed work: Spring - Summer 2021 - \_\_\_\_\_
15. Adjacent Property Owner Information: List the name and complete mailing address, including zip code, of each adjacent property owner to the project. (NOTE: a property owner/applicant cannot be their own adjacent property owner. You must give the next owner down the river, creek, etc).

Robert Giuffra, 300 Pintail Crescent, Virginia Beach, VA 23456

Dept of Interior, U.S. Fish & Wildlife Service, Back Bay National Wildlife Refuge, 1324 Sandbridge Road, Virginia Beach, VA 23456

Robert R. Miller, 2829 Wood Duck Drive, Virginia Beach, VA 23456

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

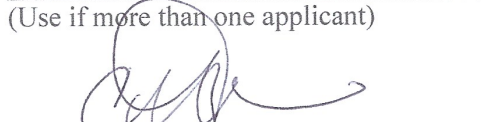
**NOTE: REQUIRED FOR ALL PROJECTS**

<p><b>PRIVACY ACT STATEMENT:</b> The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.</p>
<p><b>CERTIFICATION:</b> I am hereby applying for all permits typically issued by the DEQ, VMRC, U.S. Army Corps of Engineers, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.</p> <p>In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.</p>

Neil & Christina Hutchinson

Applicant's Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

12-2-20  
Date

Property Owner's Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

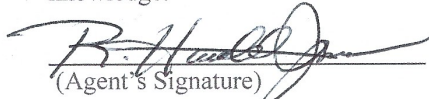
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Neil Hutchinson, hereby certify that I (we) have authorized Sigma Environmental Services, Inc.  
(Applicant's name(s)) (Agent's name(s))  
to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.  
We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

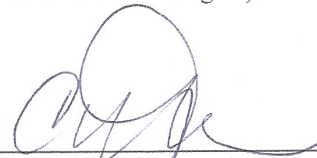
  
(Agent's Signature)

12-2-20  
(Date)

  
(Applicant's Signature)

12-2-20  
(Date)

\_\_\_\_\_  
(Use if more than one agent)

  
(Use if more than one applicant)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's Name(s)) (Contractor's Name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

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**Appendix A: Projects for Access** to the water (private and community piers, boathouses, marinas, moorings, boat ramps, aquaculture facilities, etc). Answer all questions that apply.

1. **Briefly describe your proposed project.**

1. Remove existing 8' X 16' dock
2. Install a 5' X 7' X 61' dock (marginal wharf) with a 4' X 8' kayak ramp

2. **For private, noncommercial piers:**

What is the overall length of the structure? 7 feet.  
channelward of Mean High Water? 7 feet.  
channelward of Mean Low Water? 7' feet

What is the total size of any and all L- or T-head platforms? N/A sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides?      Yes      No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by VMRC, however, pursuant to § 28.2-1203(5) of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers, (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.

3. **For Corps permits**, in cases where the proposed pier will encroach beyond one fourth the waterway width (as determined by measuring mean high water to mean high water or ordinary high water mark to ordinary high water mark), the following information should be included:

- a. Written justification as to purpose if the proposed work would extend a pier greater than one-fourth of the distance across the open water measured from mean high water or the channelward edge of the wetlands
- b. Written justification if the proposed work would involve the construction of a pier greater than five feet wide or less than four feet above any wetland substrate.
- c. Depth soundings across the waterway at increments designated by the Corps project manager. Typically 10-foot increments for waterways less than 200 feet wide and 20-foot increments for waterways greater than 200 feet wide with the date and time the measurements were taken and how they were taken (e.g., tape, range finder, etc.). Inclusion of depth sounding data is recommended in order to expedite permit evaluation.



### Part 3 – Appendices (continued)

4. Provide the type, size, and registration number of the vessel(s) to be moored at the pier or mooring buoy.

Type	Length	Width	Draft	Registration
Kayaks				

5. For **Marinas, Commercial Piers, Community Piers and other non-private piers**, provide the following information:

- A) Have you obtained approval for sanitary facilities from the Virginia Department of Health? \_\_\_\_\_ (required pursuant to Section 28.2-1205C of the Code of Virginia).
- B) Will petroleum products or other hazardous materials be stored or handled at your facility? \_\_\_\_\_.
- C) Will the facility be equipped to off-load sewage from boats? \_\_\_\_\_.
- D) How many wet slips are proposed? \_\_\_\_\_. How many are existing? \_\_\_\_\_.
- E) What is the area of the piers and platforms that will be constructed over
  - Tidal wetlands \_\_\_\_\_ square feet
  - Submerged lands \_\_\_\_\_ square feet

6. For **boat ramps**, what is the overall length of the structure? \_\_\_\_\_ feet.  
     from Mean High Water? \_\_\_\_\_ feet.  
     from Mean Low Water? \_\_\_\_\_ feet.

Note: drawings must include the construction materials, method of installation, and all dimensions. If tending piers are proposed, complete the pier portion.

**Note: If dredging or excavation is required, you must complete the Standard Joint Point Permit application.**

7. For **aquaculture-related structures**:

Will the activity be commercial? \_\_\_\_ Yes \_\_\_\_ No

Will the proposed structures be attached to an existing pier or other structure? \_\_\_\_ Yes \_\_\_\_ No

What is the maximum area (square feet) of submerged land that will be occupied by the proposed structures? \_\_\_\_\_ square feet.

Describe the activity from time of acquisition of seed or other source material to the time of harvest, the source of the animals/plants, and clearly show distance to all proposed and existing structures and shellfish lease boundaries (if applicable) in your drawings. Include bathymetry (depths), relative to mean low water in your plan view drawing and show the location of any Submerged Aquatic Vegetation (SAV) in the project vicinity. **(NOTE: the presence or absence of SAV will be field verified during the project review).**

### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches (including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, etc). Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service.

**NOTE: Information on non-structural, vegetative alternatives (i.e. Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. For riprap, bulkheads, marsh toe, breakwaters, groins, jetties: What is the overall length of the structure(s)? 70' 4" linear feet. If applicable, what is the volume of the associated backfill? <15 cubic yards.
2. What is the maximum encroachment channelward of mean high water? 1.5 feet.  
channelward of mean low water? 1.5 feet.  
channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Nonvegetated wetlands 5 square feet
  - Subaqueous bottom 4 square feet
  - Dune and/or beach N/A square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

5. Describe the type of construction and all materials to be used, including source of backfill material, if applicable (e.g. vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).  
**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

See Sheet 3 of 4 for material specifications and schedule.

6. If using stone, broken concrete, etc., for your structure(s), what is the average weight of the:  
Core (inner layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_

### Part 3 – Appendices (continued)

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water
- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc.:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT**

PROJECT LOCATION: 2833 Wood Duck Drive  
APPLICATION # 2020-WYRA-00274

APPLICANT'S NAME: Neil & Christina Hutchinson

APPLICANT'S ADDRESS: 2833 Wood Duck Drive  
Virginia Beach, VA 23456

ENGINEER OF RECORD: John W. Blake, II

OWNER'S NAME: Neil & Christina Hutchinson

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT  
CONSTRUCTION: John W. Blake, II

WITHIN THIRTY (30) DAYS AFTER COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION. CERTIFICATION SHALL ALSO BE MADE THAT THE SIGNS REQUIRED TO BE POSTED HAVE BEEN REMOVED.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

SIGNATURE OF ENGINEER/SURVEYOR  
CERTIFYING CONSTRUCTION

John W. Blake, II

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

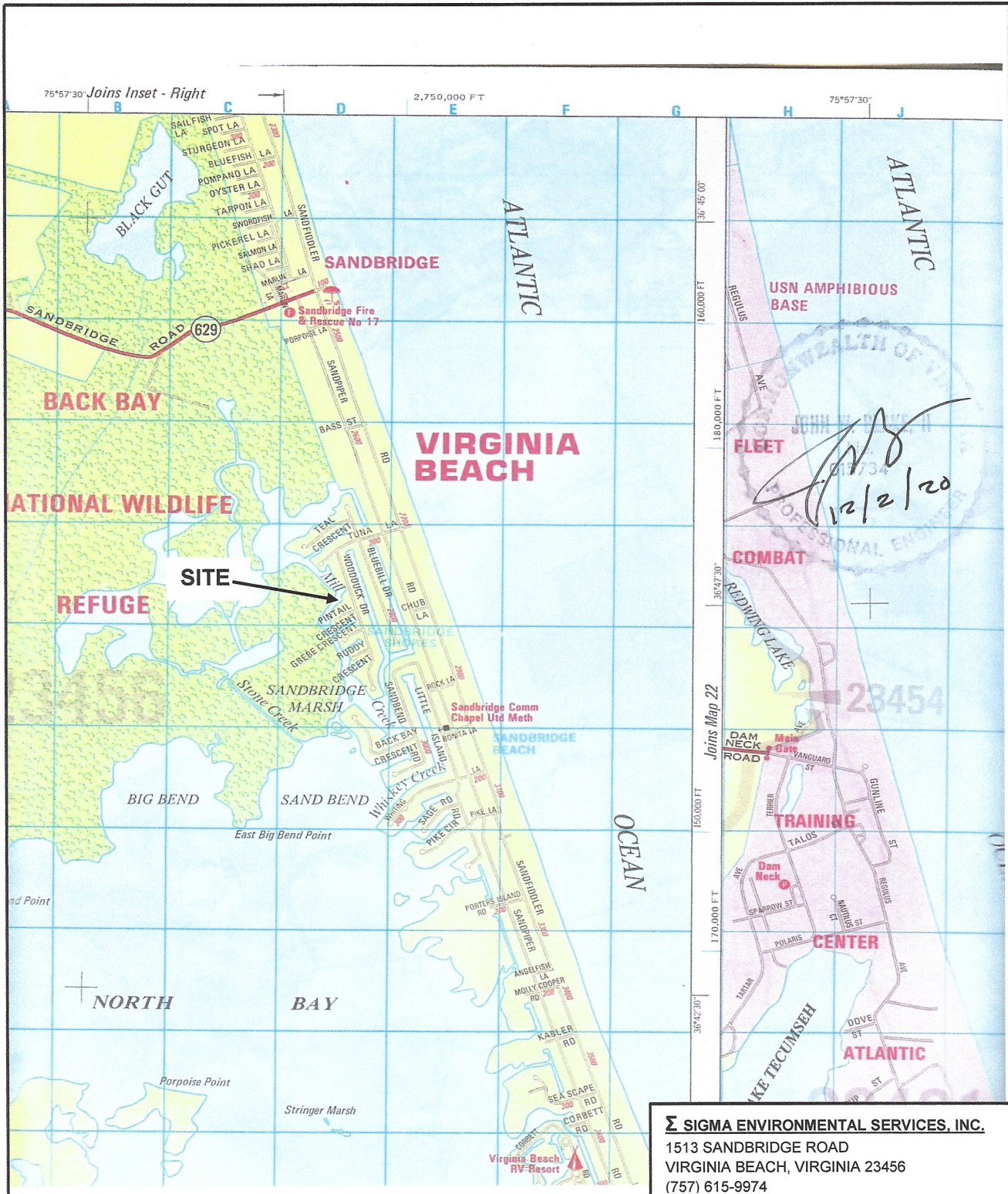
SIGNATURE OF OWNER

DATE

12-14-20  
DATE

12/05/2021  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT OF THE CITY SHALL INVALIDATE THIS INSTRUMENT.

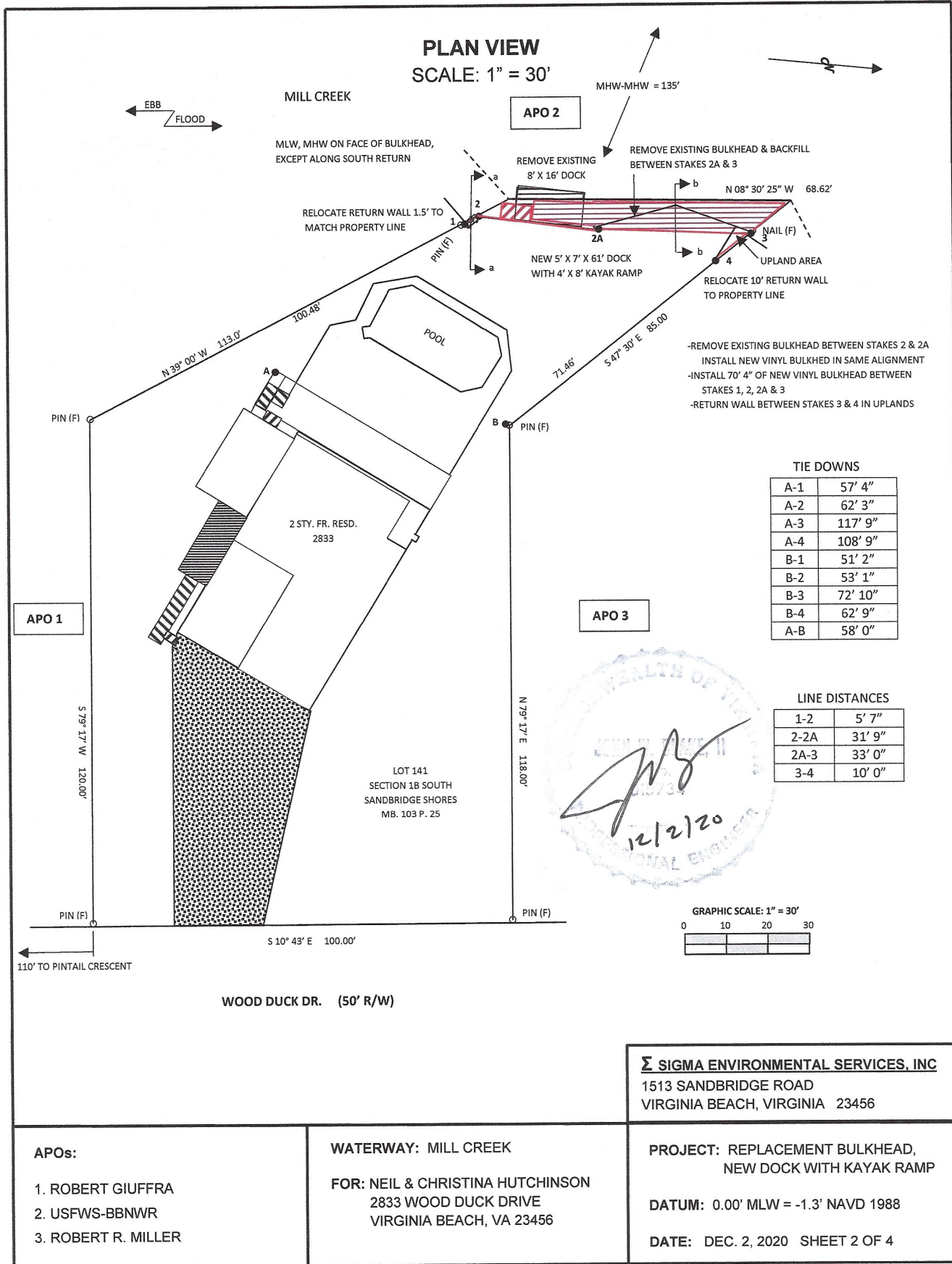


**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
 1513 SANDBRIDGE ROAD  
 VIRGINIA BEACH, VIRGINIA 23456  
 (757) 615-9974

**APOs:**  
 1. ROBERT GIUFFRA  
 2. USFWS-BBNWR  
 3. ROBERT R. MILLER

**WATERWAY: MILL CREEK**  
**FOR: NEIL & CHRISTINA HUTCHINSON**  
 AT: 2833 WOOD DUCK DRIVE  
 VIRGINIA BEACH, VA 23456

**PROJECT: REPLACEMENT BULKHEAD, NEW DOCK WITH KAYAK RAMP**  
**DATUM: 0.00' MLW = -1.3' NAVD 1988**  
**DATE: DEC. 2, 2020 SHEET 1 OF 4**



**SIGMA ENVIRONMENTAL SERVICES, INC**  
 1513 SANDBRIDGE ROAD  
 VIRGINIA BEACH, VIRGINIA 23456

**APOs:**

1. ROBERT GIUFFRA
2. USFWS-BBNWR
3. ROBERT R. MILLER

**WATERWAY: MILL CREEK**

**FOR: NEIL & CHRISTINA HUTCHINSON**  
 2833 WOOD DUCK DRIVE  
 VIRGINIA BEACH, VA 23456

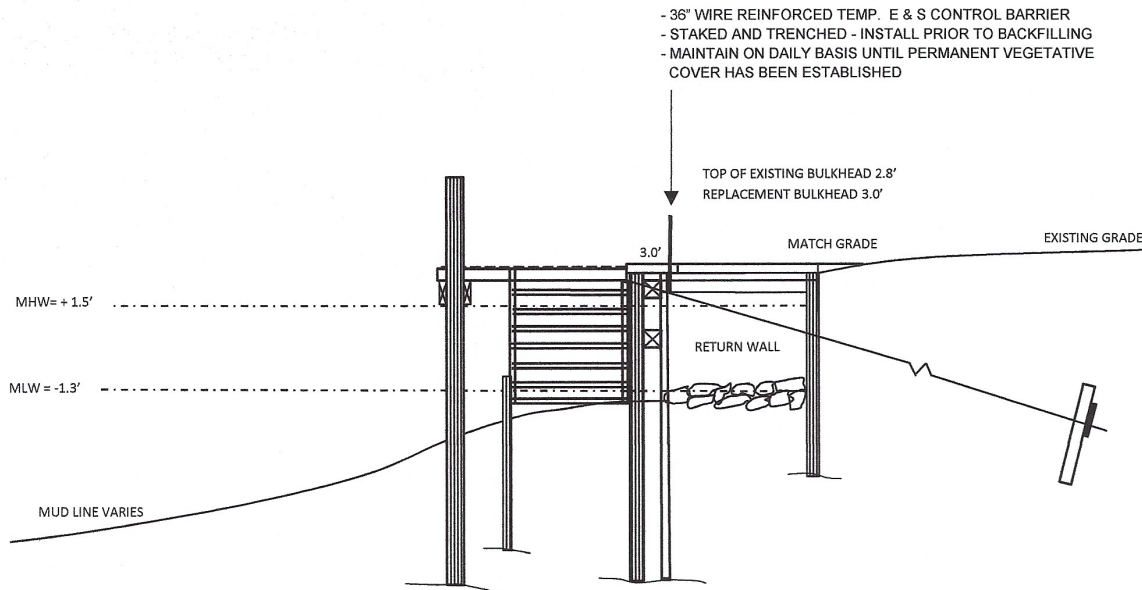
**PROJECT: REPLACEMENT BULKHEAD, NEW DOCK WITH KAYAK RAMP**

**DATUM: 0.00' MLW = -1.3' NAVD 1988**

**DATE: DEC. 2, 2020 SHEET 2 OF 4**

# CROSS SECTION a-a

1" = 6'

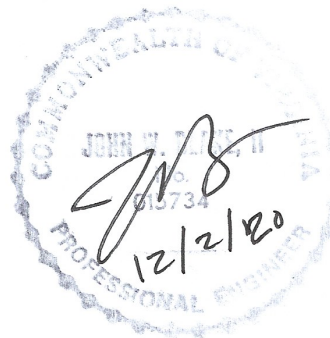


**MATERIAL SCHEDULE:**

TIE BACK RODS: 3/4" DIA. - 10-15' LENGTH  
 DRAGBOARDS: TWO (2) 2" X 12"  
 PILES: 8" DIA. MINIMUM 5' 3" O/C - 10' LENGTH  
 SHEETING: VINYL SCMI-SG-330  
 WALES: DOUBLE 4" X 6" ON EDGE - CONTINUOUS -  
 STAGGERED JOINTS - BOLDED  
 TOP CAP: TWIN 2" X 10"  
 UV PROTECTED FILTER CLOTH  
 1" WEEP HOLES 2' O/C 4" BELOW MHW  
 15 YD<sup>3</sup> BACKFILL

**MATERIAL SPECIFICATIONS:**

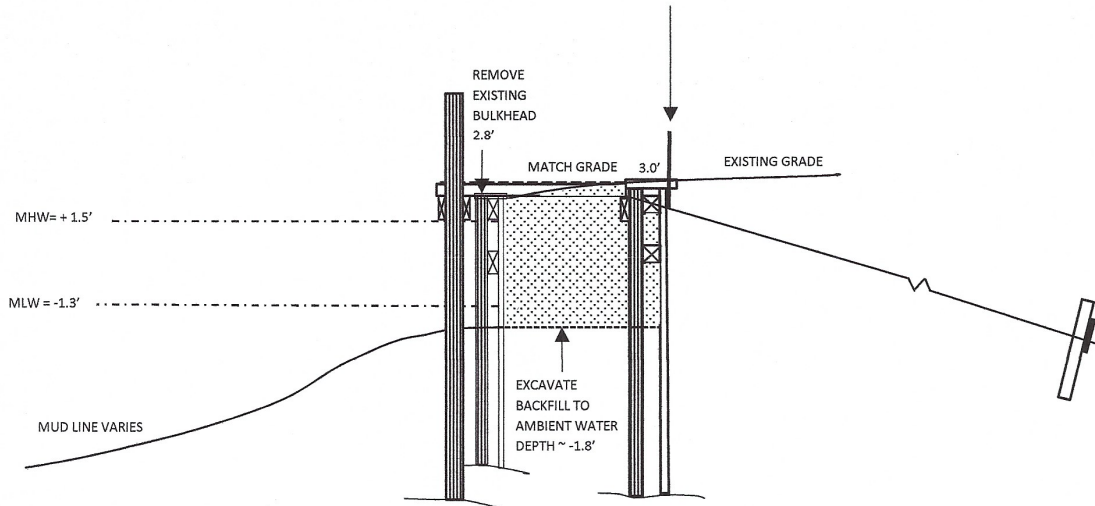
FRAMING: CCA 2.5# PCF (MLP-88)  
 DEADMAN: CCA 2.5# (MP-88)  
 TOP PLATE: 0.4# PCF (LP-22)  
 HARDWARE: HOT DIPPED  
 GALVANIZED (ASTM-A153)



<p><b>Σ SIGMA ENVIRONMENTAL SERVICES, INC.</b>                  1513 SANDBRIDGE ROAD                  VIRGINIA BEACH, VIRGINIA 23456</p>		
<p><b>APOs:</b></p> <p>1. ROBERT GIUFFRA                  2. USFWS-BBNWR                  3. ROBERT R. MILLER</p>	<p><b>WATERWAY:</b> MILL CREEK</p> <p><b>FOR:</b> NEIL &amp; CHRISTINA HUTCHINSON                  2833 WOOD DUCK DRIVE                  VIRGINIA BEACH, VA 23456</p>	<p><b>PROJECT:</b> REPLACEMENT BULKHEAD,                  NEW DOCK WITH KAYAK RAMP</p> <p><b>DATUM:</b> 0.00' MLW = -1.3' NAVD 1988</p> <p><b>DATE:</b> DEC. 2, 2020 SHEET 3 OF 4</p>

**CROSS SECTION b-b**  
**1" = 6'**

- 36" WIRE REINFORCED TEMP. E & S CONTROL BARRIER
- STAKED AND TRENCHED - INSTALL PRIOR TO BACKFILLING
- MAINTAIN ON DAILY BASIS UNTIL PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED

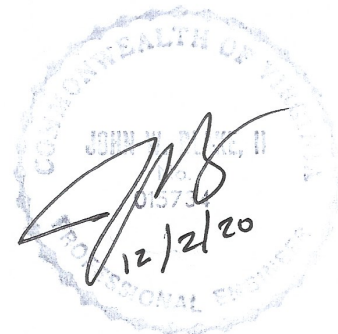


**MATERIAL SCHEDULE:**

TIE BACK RODS: 3/4" DIA. - 10-15' LENGTH  
 DRAGBOARDS: TWO (2) 2" X 12"  
 PILES: 8" DIA. MINIMUM 5' 3" O/C - 10' LENGTH  
 SHEETING: VINYL SCMI-SG-330  
 WALES: DOUBLE 4" X 6" ON EDGE - CONTINUOUS -  
     STAGGERED JOINTS - BOLDED  
 TOP CAP: TWIN 2" X 10"  
 UV PROTECTED FILTER CLOTH  
 1" WEEP HOLES 2' O/C 4" BELOW MHW  
 15 YD<sup>3</sup> BACKFILL

**MATERIAL SPECIFICATIONS:**

FRAMING: CCA 2.5# PCF (MLP-88)  
 DEADMAN: CCA 2.5# (MP-88)  
 TOP PLATE: 0.4# PCF (LP-22)  
 HARDWARE: HOT DIPPED  
     GALVANIZED (ASTM-A153)



**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**

1513 SANDBRIDGE ROAD  
 VIRGINIA BEACH, VIRGINIA 23456

**APOs:**

1. ROBERT GIUFFRA
2. USFWS-BBNWR
3. ROBERT R. MILLER

**WATERWAY: MILL CREEK**

**FOR: NEIL & CHRISTINA HUTCHINSON**  
 2833 WOOD DUCK DRIVE  
 VIRGINIA BEACH, VA 23456

**PROJECT: REPLACEMENT BULKHEAD,  
 NEW DOCK WITH KAYAK RAMP**

**DATUM: 0.00' MLW = -1.3' NAVD 1988**

**DATE: DEC. 2, 2020 SHEET 4 OF 4**





**U.S. Army Corps  
Of Engineers**  
Norfolk District

**Regional Permit 17 Certificate of Compliance Form**

Please obtain and read a copy of the 08-RP-17 prior to completion of this form. Copies can be obtained by contacting the Corps at (757) 201-7652 or on our website at:

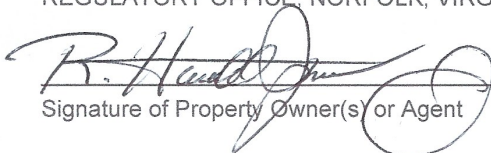
<http://www.nao.usace.army.mil/technical%20services/Regulatory%20branch/RBregional.asp> .

- YES  NO  Is the proposed pier for private use ONLY?
- YES  NO  Does the proposed pier extend LESS than ¼ the width of the waterway as measured from MHW to MHW or OHW to OHW (including channelward wetlands) based on the narrowest distance across the waterway regardless of the orientation of the proposed pier (MHW = mean high water line; OHW = ordinary high water line)?
- YES  NO  Does the proposed pier and/or mooring structure(s) extend LESS than 300 feet from the mean high water line or ordinary high water line?
- YES  NO  N/A  If the proposed structure crosses wetland vegetation, is it of an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES  NO  N/A  If the proposed pier is to include an attached open-sided roof designed to shelter boat slips or boatlifts, is the roof less than 700 square feet?
- YES  NO  **Have you confirmed that the proposed construction will not take place in one of the reaches which serve as habitat for federally threatened and endangered species, Federal Project Channels, and/or other areas as listed in the "NOTIFICATION REQUIREMENTS" section of this permit?**
- YES  NO  N/A  **If the proposed work is in portions of any waterways listed in Special Condition 4, have you obtained an easement to cross government property from the Army Corps of Engineers Real Estate Office?**

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, THE REGIONAL PERMIT 17 WILL NOT APPLY AND YOU WILL NEED TO SUBMIT A JOINT PERMIT APPLICATION AND OBTAIN A SEPARATE PERMIT FROM THE CORPS BEFORE COMMENCING CONSTRUCTION.

IF YOU HAVE ANSWERED "YES" TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH THE REGIONAL PERMIT 17. PLEASE SIGN BELOW, ATTACH, AND SUBMIT WITH YOUR COMPLETED JOINT PERMIT APPLICATION. THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS. HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (08-RP-17), DATED AUGUST 14 2008, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY OFFICE, NORFOLK, VIRGINIA.

  
Signature of Property Owner(s) or Agent

Proposed work to be located at:  
2833 Wood Duck Drive, Virginia Beach, VA  
\_\_\_\_\_  
\_\_\_\_\_

Date 12-2-20

Revised: 18 NOV 2008

Revised: July 2012

December 2, 2020

Doug Brewer  
Refuge Manager  
BBNWR  
1324 Sandbridge Road  
Virginia Beach, Virginia 23456

**RE: Waterfront Improvements  
At: 2833 Wood Duck Drive  
Virginia Beach, Virginia 23456**

Dear Mr. Brewer:

Sigma Environmental Services, Inc. has been retained by Neil and Christina Hutchinson to obtain all necessary permits and approvals for replacement of an existing bulkhead in-situ and landward the current structure, removal of an existing dock, and installation of a new dock with a kayak ramp on their property located at 2833 Wood Duck Drive, Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Mr. & Mrs. Hutchinson and requests your input on the project.

The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

Should you have any questions regarding this project, please feel free to call me at business cell (757) 615-9974. Thank you for your assistance in this matter.

Sincerely,

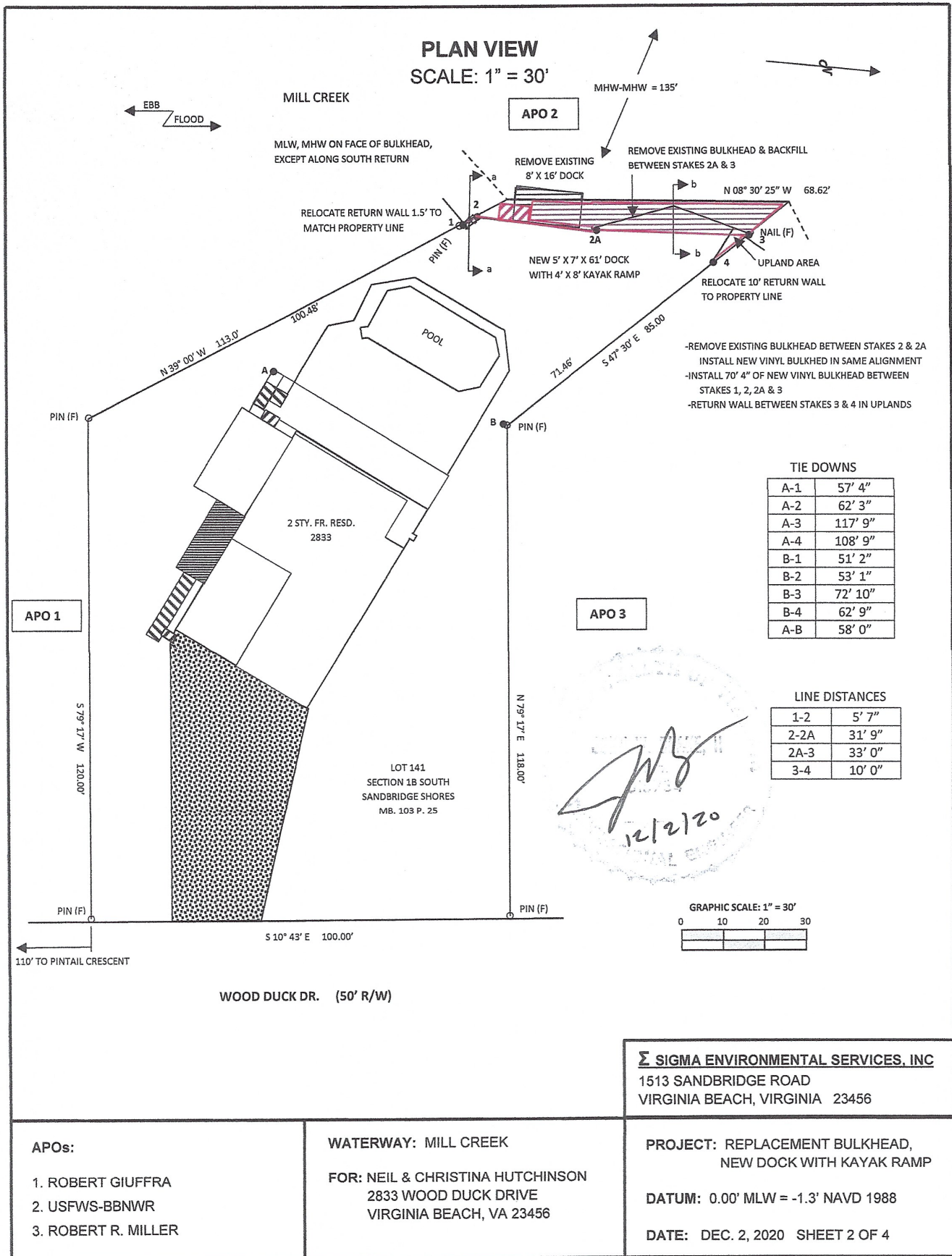


R. Harold Jones, PWS, Emeritus  
President

CC: Mr. & Mrs. Hutchinson

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145



**APOs:**

1. ROBERT GIUFFRA
2. USFWS-BBNWR
3. ROBERT R. MILLER

**WATERWAY:** MILL CREEK

**FOR:** NEIL & CHRISTINA HUTCHINSON  
2833 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456

**SIGMA ENVIRONMENTAL SERVICES, INC**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**PROJECT:** REPLACEMENT BULKHEAD, NEW DOCK WITH KAYAK RAMP

**DATUM:** 0.00' MLW = -1.3' NAVD 1988

**DATE:** DEC. 2, 2020 SHEET 2 OF 4

**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), US Fish & Wildlife Service - Back Bay NWR, own land next to (across  
(Print adjacent/nearby property owner’s name)  
Neil & Christina Hutchinson  
the water from/on the same cove as) the land of \_\_\_\_\_.  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated Dec. 2, 2020  
(Date)

to be submitted for all necessary Federal, State and Local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

December 2, 2020

Robert R. Miller  
2829 Wood Duck Drive  
Virginia Beach, Virginia 23456

**RE: Waterfront Improvements**  
**At: 2833 Wood Duck Drive**  
**Virginia Beach, Virginia 23456**

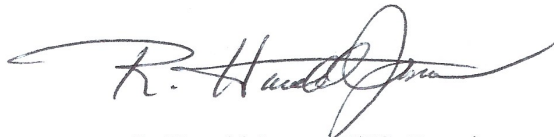
Dear Mr. Miller:

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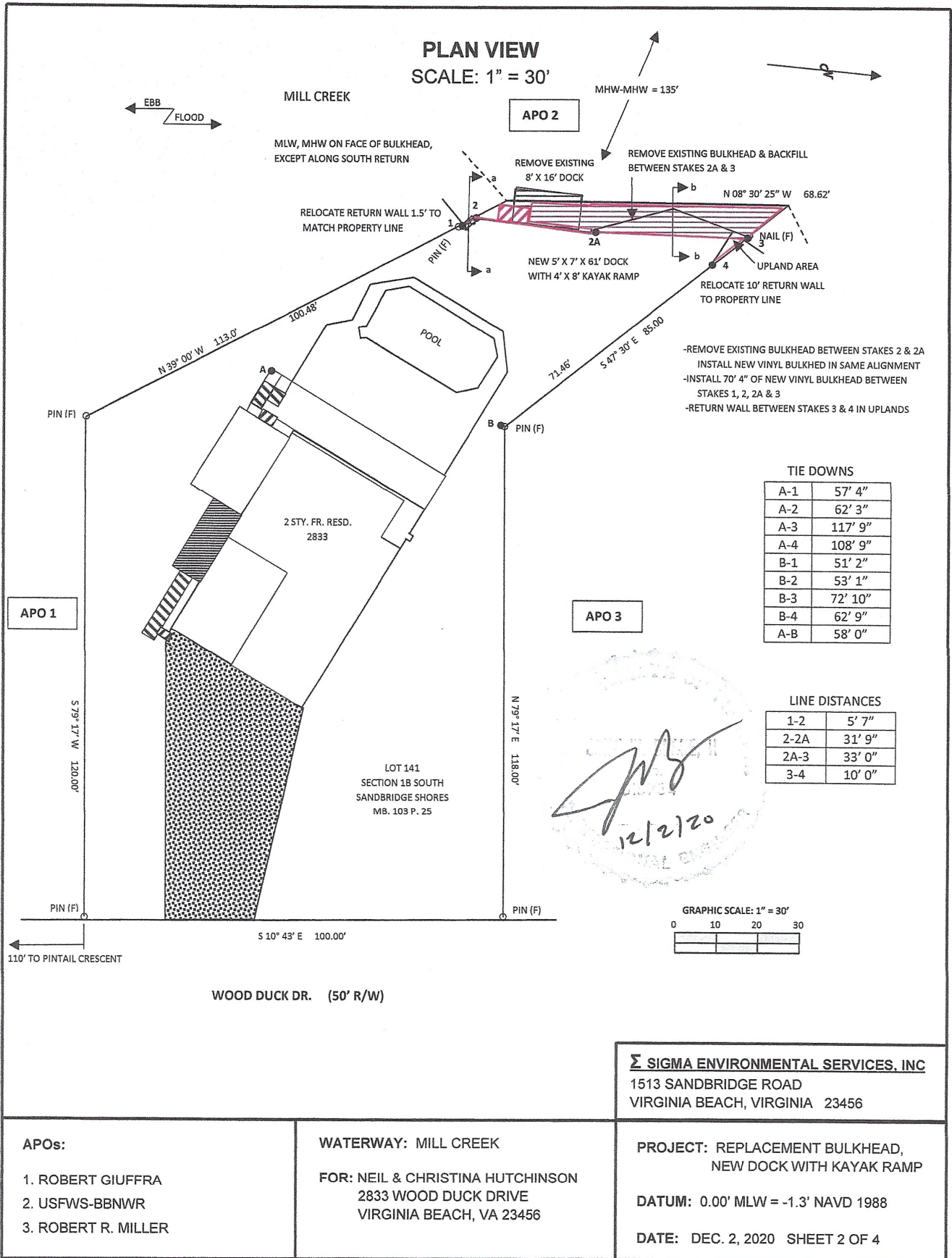


R. Harold Jones, PWS, Emeritus  
President

CC: Mr. & Mrs. Hutchinson

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

I (we), Robert R. Miller, own land next to (across  
(Print adjacent/nearby property owner's name)  
the water from/on the same cove as) the land of Neil & Christina Hutchinson.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated Dec. 2, 2020  
(Date)

to be submitted for all necessary Federal, State and Local permits.

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I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

December 2, 2020

Robert Giuffra  
300 Pintail Crescent  
Virginia Beach, Virginia 23456

**RE: Waterfront Improvements**  
**At: 2833 Wood Duck Drive**  
**Virginia Beach, Virginia 23456**


Dear Mr. Giuffra:

Sigma Environmental Services, Inc. has been retained by Neil and Christina Hutchinson to obtain all necessary permits and approvals for replacement of an existing bulkhead in-situ and landward the current structure, removal of an existing dock, and installation of a new dock with a kayak ramp on their property located at 2833 Wood Duck Drive, Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Mr. & Mrs. Hutchinson and requests your input on the project.

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Sincerely,



R. Harold Jones, FWS, Emeritus  
President

CC: Mr. & Mrs. Hutchinson

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

I (we), Robert Giuffra, own land next to (across  
(Print adjacent/nearby property owner's name)  
the water from/on the same cove as) the land of Neil & Christina Hutchinson.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated Dec. 2, 2020  
(Date)

to be submitted for all necessary Federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

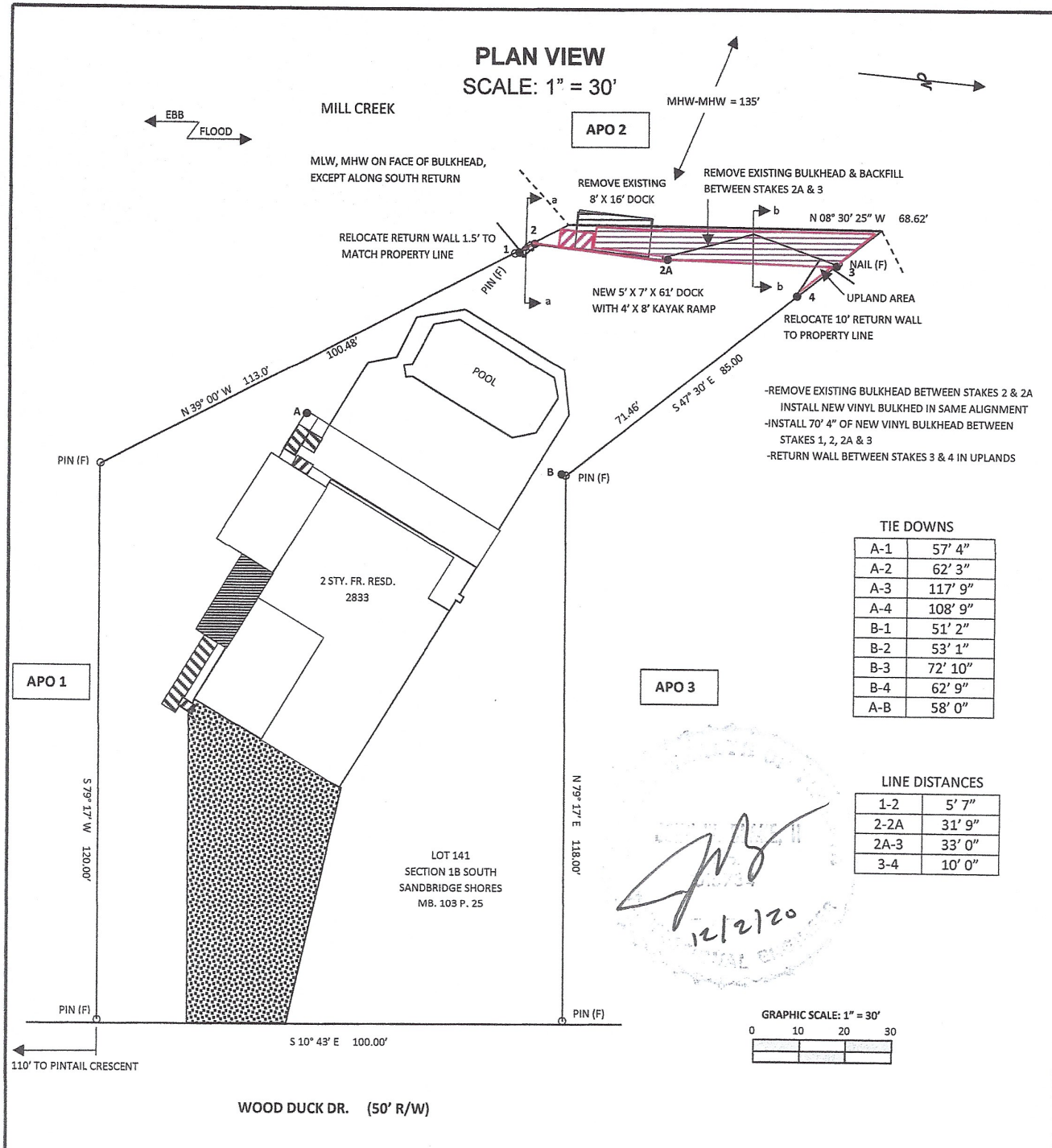
**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



*[Signature]*  
12/2/20

**SIGMA ENVIRONMENTAL SERVICES, INC**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456

**APOs:**

- ROBERT GIUFFRA
- USFWS-BBNWR
- ROBERT R. MILLER

**WATERWAY: MILL CREEK**

**FOR: NEIL & CHRISTINA HUTCHINSON**  
2833 WOOD DUCK DRIVE  
VIRGINIA BEACH, VA 23456

**PROJECT: REPLACEMENT BULKHEAD, NEW DOCK WITH KAYAK RAMP**

**DATUM: 0.00' MLW = -1.3' NAVD 1988**

**DATE: DEC. 2, 2020 SHEET 2 OF 4**

4. 2020-WTRA-00291

William J. Price Trust [Applicant/Owner]

**To construct a bulkhead involving wetlands**

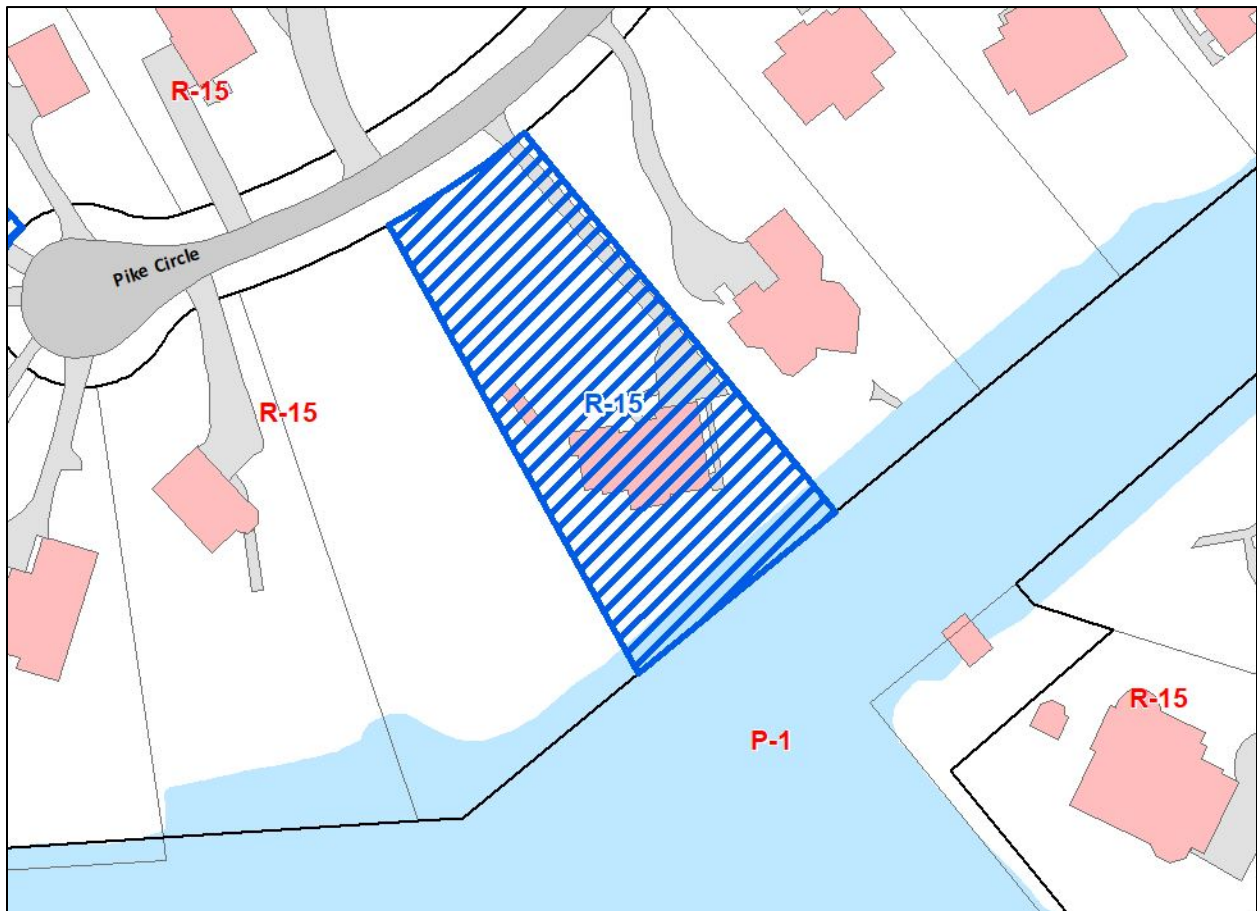
333 Pike Circle

(GPIN 2433-40-1206)

Waterway – North Bay

Subdivision – Back Bay Meadows

Council District – Princess Anne



**APPLICANT'S NAME** William J. Price

## DISCLOSURE STATEMENT FORM

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

Acquisition of Property by City	Disposition of City Property	Modification of Conditions or Proffers
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.

### SECTION 1 / APPLICANT DISCLOSURE

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).			
<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:	
<input type="checkbox"/>	NO CHANGES AS OF	DATE:	
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	

Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.

Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.

(A) List the Applicant's name: \_\_\_\_\_  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

(B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes <sup>1</sup> and <sup>2</sup>

---

## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.

Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.

(A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsidary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsidary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsidary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

---

### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY

## APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Accounting and/or preparer of your tax return	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	"Not Yet Selected"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	Sigma Environmental Services, Inc.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

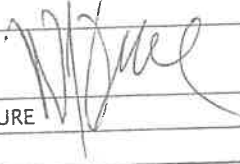
YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?

**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

	<p>William J. Price</p>	
<p>APPLICANT'S SIGNATURE</p>	<p>PRINT NAME</p>	<p>2/18/19</p>



## OWNER

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Accounting and/or preparer of your tax return	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Contractors	"Not Yet Selected"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	Sigma Environmental Services, Inc.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

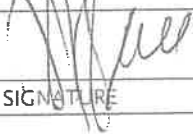
YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	

If yes, what is the name of the official or employee and what is the nature of the interest?

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I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.

	<p>William J. Price</p>	
<p>PROPERTY OWNER'S SIGNATURE</p>	<p>PRINT NAME</p>	<p>8/7/19</p>

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # 20-2305

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i>Check all that apply</i>				
Pre-Construction Notification (PCN) <input checked="" type="checkbox"/>	NWP # <u>3</u>		Regional Permit 17 (RP-17) <input type="checkbox"/>	
<i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>				
County or City in which the project is located: <u>Virginia Beach</u>				
Waterway at project site: <u>Porters Island Inlet</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
Dr. William J. Price  
333 Pike Circle  
Virginia Beach, VA 23456  
Home (757) 426-2993  
Work ( )  
Fax ( )  
Cell ( )  
e-mail  
State Corporation Commission Name and ID Number (if applicable)

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home ( )  
Work ( )  
Fax ( )  
Cell ( )  
e-mail  
State Corporation Commission Name and ID Number (if applicable)

3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Sigma Environmental Services, Inc.  
1513 Sandbridge Road  
Virginia Beach, VA 23456  
Home ( )  
Work ( )  
Fax ( )  
Cell (757) 615-9974  
e-mail rharoldjones@aol.com  
State Corporation Commission Name and ID Number (if applicable) 0623459-5

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

Remove and replace 138' of deteriorated wooden bulkhead and one 12' return wall, and re-install a new structure along the original alignment. No additional channelward encroachments will be required.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\* X No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_  
 Work ( ) \_\_\_\_\_  
 Fax ( ) \_\_\_\_\_  
 Cell ( ) \_\_\_\_\_  
 email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

The Virginian Pilot  
 150 Brambleton Ave.  
 Norfolk, Virginia 23509

Telephone number

(446 ) 2000 \_\_\_\_\_

7. Give the following project location information:

Street Address (911 address if available) 333 Pike Circle  
 Lot/Block/Parcel# Lot 19, Section 2, Back Bay Meadows  
 Subdivision Sandbridge  
 City / County Virginia Beach ZIP Code 23456  
 Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
36.715933 / - 76.936694 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

From the intersection of Sandbridge and Sandpiper Roads, turn right and head south on Sandpiper Road. Travel 1.85 miles, turn right on Whiting Lane. Travel one block, turn left on Little Island Road. Travel two blocks, turn right on Pike Circle. 333 Pike Circle is the 7th house on the left (south) side of the road.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is to replace an existing deteriorated bulkhead to protect the owners developed upland property. The secondary purpose is to prevent existing backfill from eroding into the waterway through the failing bulkhead.

## Part 1 - General Information (continued)

9. Proposed use (check one):  
 Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)
10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*
- Bulkhead replacement will be accomplished along the same alignment and footprint of the existing structure. No additional channelward encroachments will result, thus avoiding any new impacts to aquatic resources. Approximately 35 sq. ft of non-vegetated intertidal area exists behind the existing bulkhead due to loss of backfill. If mitigation is required, the applicant proposes to provide compensation through the VA BCH In-Lieu-Fee fund.
11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 28,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 0
13. Completion date of the proposed work: Late summer - early fall 2019 - \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

331  
Bill & Micki McGarrett, ~~331~~ Pike Circle, Virginia Beach, Virginia 23456  
Mark Knopp, 316 Pike Circle, Virginia Beach, Virginia 23456

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit. In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

William J. Price

\_\_\_\_\_  
Applicant's Legal Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

6-25-2019  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), William J. Price, hereby certify that I (we) have authorized Sigma Environmental Services, Inc  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

R. Humboldt Price  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

6-25-2019  
(Date)

[Signature]  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

6-25-2019  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), \_\_\_\_\_, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date



### Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

Remove and replace 138' of deteriorated wooden bulkhead and one 12' return wall, and re-install a new structure along the original alignment. No additional channelward encroachments will be required.

2. What is the maximum encroachment channelward of mean high water? 0 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? N/A feet.

3. Please calculate the square footage of encroachment over:
- Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 35 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach 0 square feet

4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and all materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

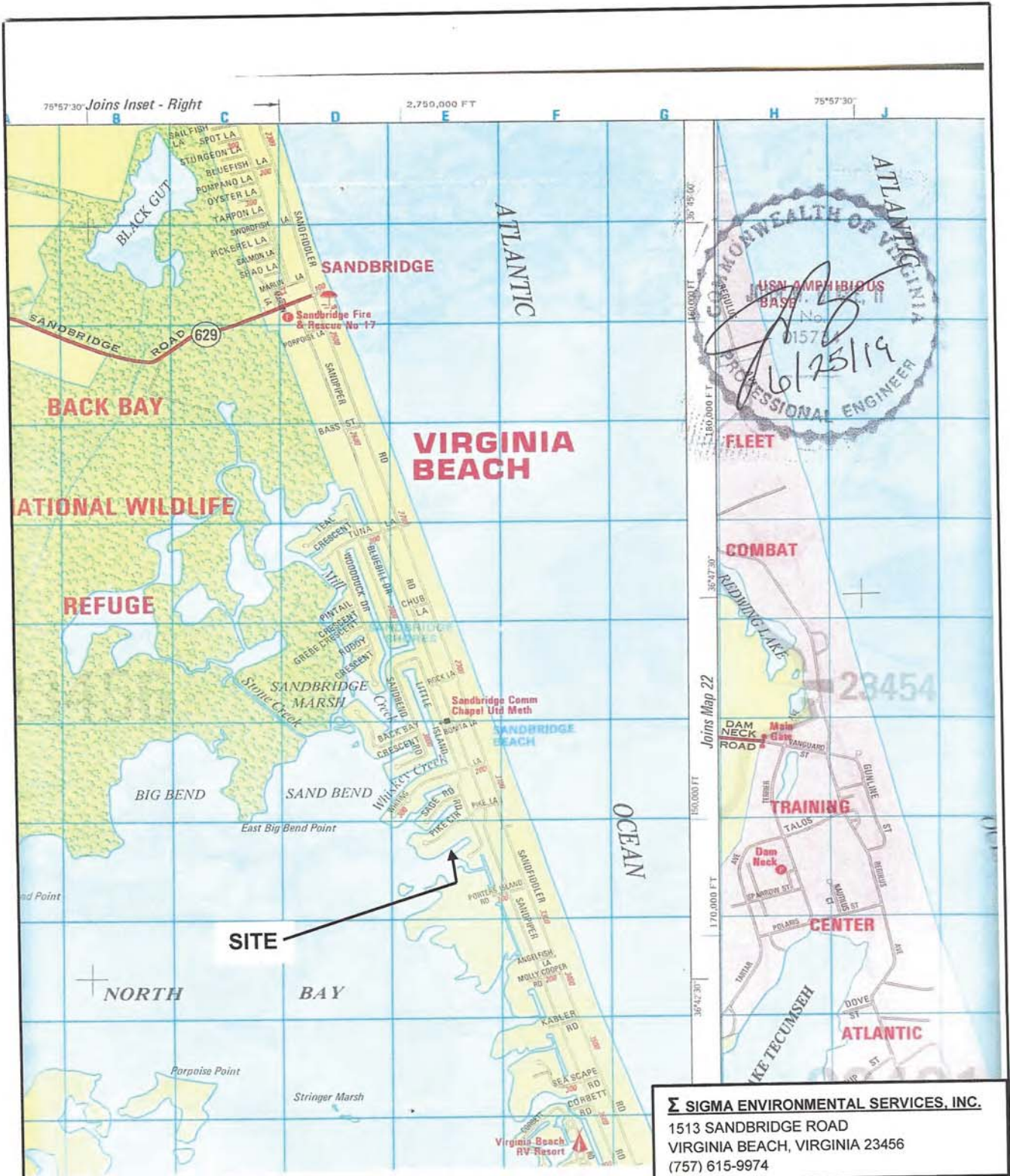
**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

See Sheet 3 of 3 for material specifications

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:  
Core (inner layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone Class size \_\_\_\_\_

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material \_\_\_\_\_ cubic yards channelward of mean low water  
\_\_\_\_\_ cubic yards landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Area to be covered \_\_\_\_\_ square feet channelward of mean low water  
\_\_\_\_\_ square feet landward of mean low water  
\_\_\_\_\_ cubic yards channelward of mean high water  
\_\_\_\_\_ cubic yards landward of mean high water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:



**APOs:**

1. BILL & MICKI MCGARRETT
2. CITY OF VIRGINIA BEACH
3. MARK KNOPP

**LOCATION:** PORTERS ISLAND INLET

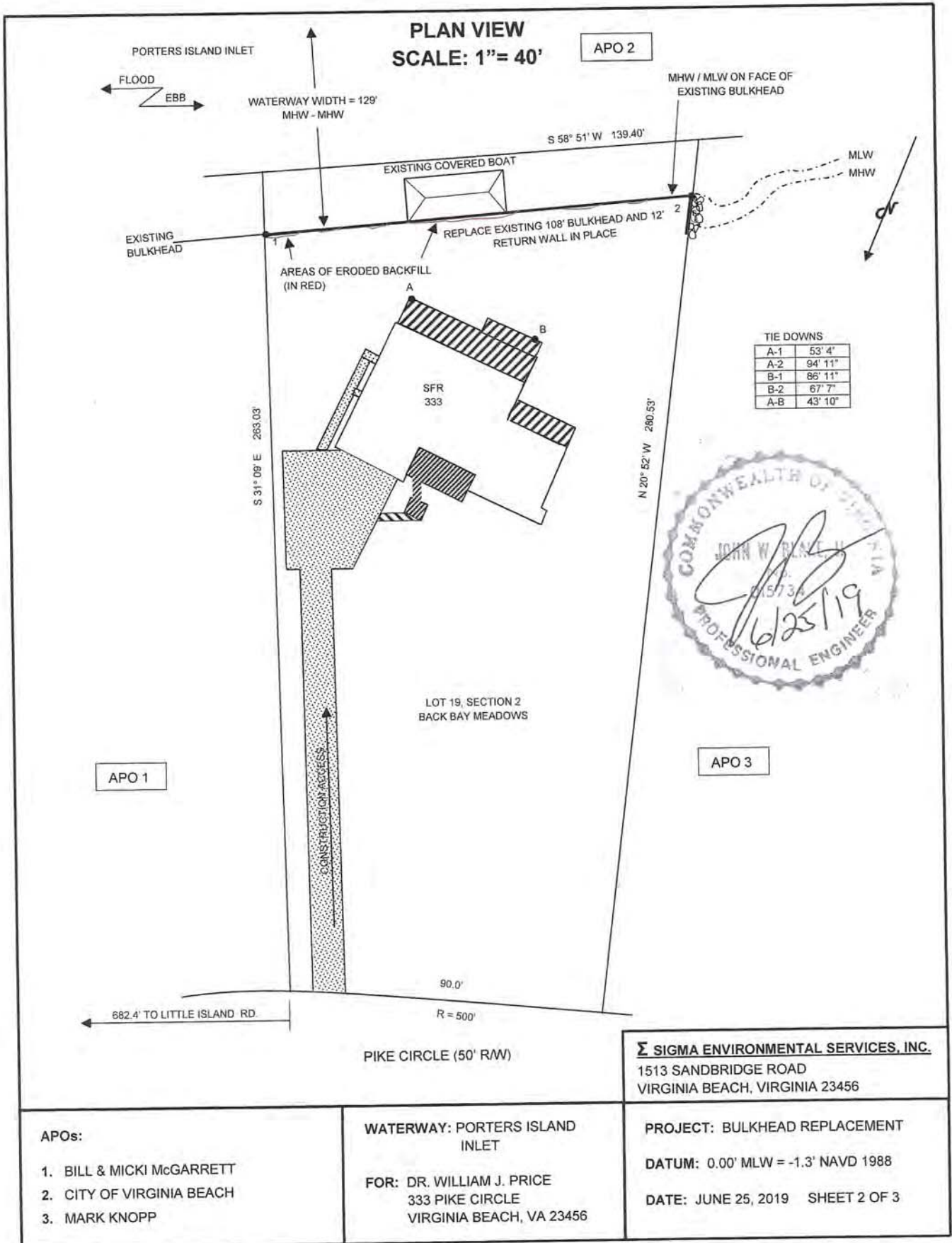
**FOR:** DR. WILLIAM J. PRICE  
333 PIKE CIRCLE  
VIRGINIA BEACH, VA 23456

**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456  
(757) 615-9974

**PROJECT:** REPLACEMENT BULKHEAD

**DATUM:** 0.00' MLW = -1.3' NAVD 1988

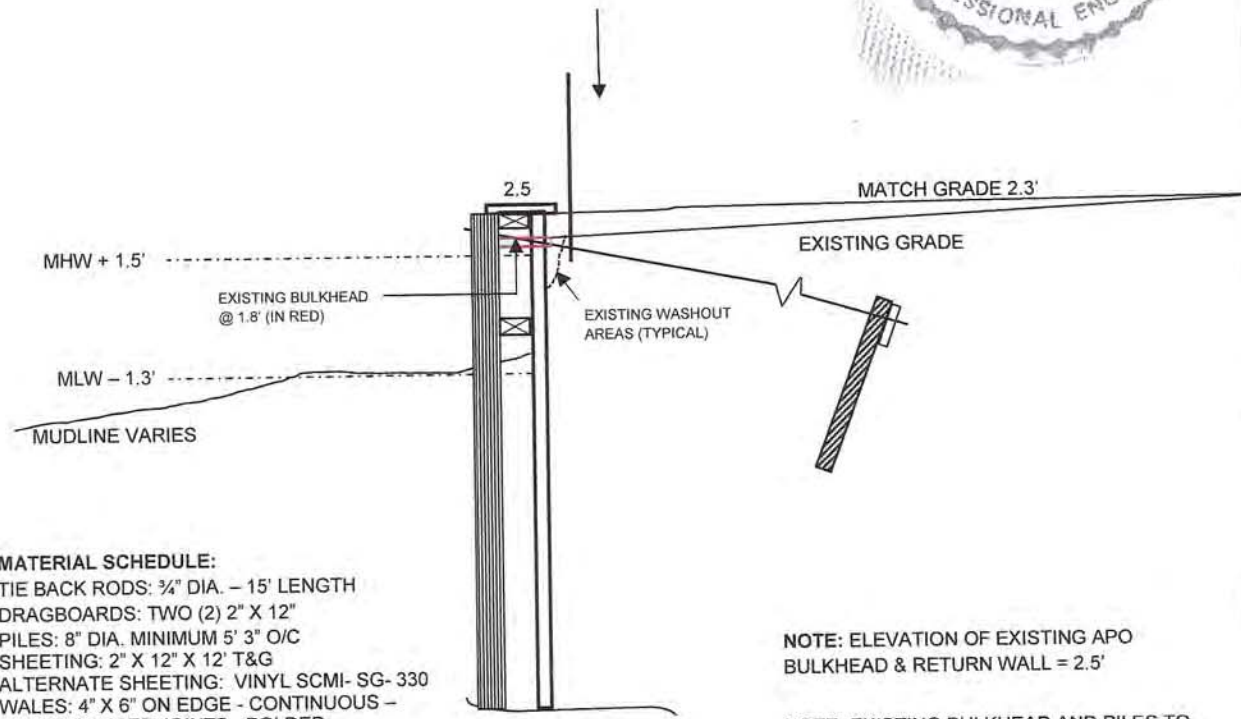
**DATE:** JUNE 25, 2019 SHEET 1 OF 3



**CROSS SECTION  
BULKHEAD  
SCALE: 1" = 4'**



- 36" WIRE REINFORCED TEMP. E & S CONTROL BARRIER
- STAKED AND TRENCHED - INSTALL PRIOR TO BACKFILLING
- MAINTAIN ON DAILY BASIS UNTIL PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED



**MATERIAL SCHEDULE:**

- TIE BACK RODS: 3/4" DIA. - 15' LENGTH
- DRAGBOARDS: TWO (2) 2" X 12"
- PILES: 8" DIA. MINIMUM 5' 3" O/C
- SHEETING: 2" X 12" X 12' T&G
- ALTERNATE SHEETING: VINYL SCMI- SG- 330
- WALES: 4" X 6" ON EDGE - CONTINUOUS - STAGGERED JOINTS - BOLDED
- TOP CAP: 2" X 12"
- UV PROTECTED FILTER CLOTH
- 1" WEEP HOLES 2' O/C 4" BELOW MHW

**NOTE:** ELEVATION OF EXISTING APO BULKHEAD & RETURN WALL = 2.5'

**NOTE:** EXISTING BULKHEAD AND PILES TO BE REMOVED PRIOR TO INSTALLATION OF NEW BULKHEAD

**NOTE:** 52.5 YD<sup>3</sup> OF BACKFILL LIMITED TO 20' LANDWARD OF NEW BULKHEAD

**MATERIAL SPECIFICATIONS:**

- FRAMING: CCA 2.5# PCF (MLP-88)
- DEADMAN: CCA 2.5# (MP-88)
- TOP PLATE: 0.4# PCF (LP-22)
- HARDWARE: HOT DIPPED GALVANIZED (ASTM-A153)

**Σ SIGMA ENVIRONMENTAL SERVICES, INC.**  
1513 SANDBRIDGE ROAD  
VIRGINIA BEACH, VIRGINIA 23456  
(757) 615-9974

TYPICAL CROSS SECTION

<p><b>APOs:</b></p> <ol style="list-style-type: none"> <li>1. BILL &amp; MICKI MCGARRETT</li> <li>2. CITY OF VIRGINIA BEACH</li> <li>3. MARK KNOPP</li> </ol>	<p><b>LOCATION:</b> PORTERS ISLAND INLET</p> <p><b>FOR:</b> DR. WILLIAM J. PRICE 333 PIKE CIRCLE VIRGINIA BEACH, VA 23456</p>	<p><b>PROJECT:</b> REPLACEMENT BULKHEAD</p> <p><b>DATUM:</b> 0.00' MLW = -1.3' NAVD 88</p> <p><b>DATE:</b> JUNE 25, 2019 SHEET 3 OF 3</p>
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June 25, 2019

Mark Knupp  
316 Pike Circle  
Virginia Beach, VA 23456

**RE: Proposed Replacement Bulkhead  
At: 333 Pike Circle  
Virginia Beach, Virginia 23456**

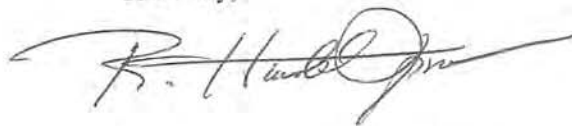
Dear Mr. Knupp:

Sigma Environmental Services, Inc. has been retained by Dr. William J. Price to obtain all necessary permits and approvals for installation of a replacement bulkhead on his property located at 333 Pike Circle, Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Dr. Price and requests your input on the project.

The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

Should you have any questions regarding this project, please feel free to call me at business cell (757) 615-9974. Thank you for your assistance in this matter.

Sincerely,

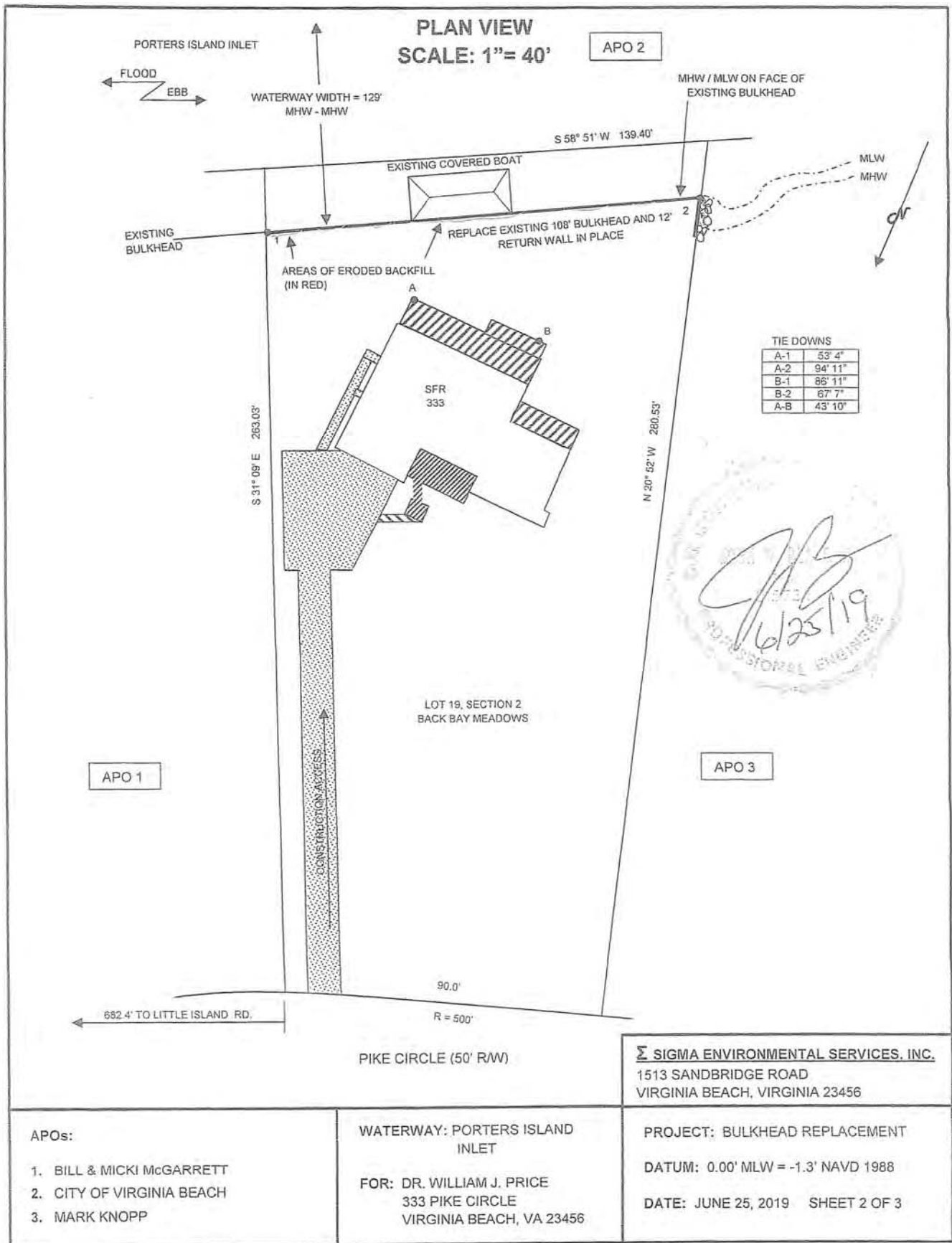


R. Harold Jones, PWS, Emeritus  
President

CC: Dr. William J. Price

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145



**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM**

I (we), Mark Knopp, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of William J. Price,  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated June 25, 2019  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



 SIGMA ENVIRONMENTAL SERVICES, Inc.

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June 25, 2019

Bill & Micki McGarrett  
331 Pike Circle  
Virginia Beach, VA 23456

**RE: Proposed Replacement Bulkhead  
At: 333 Pike Circle  
Virginia Beach, Virginia 23456**

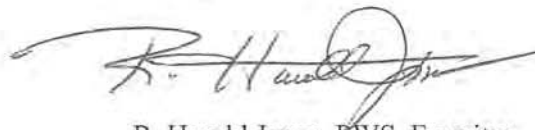
Dear Mr. & Mrs. McGarrett:

Sigma Environmental Services, Inc. has been retained by Dr. William J. Price to obtain all necessary permits and approvals for installation of a replacement bulkhead on his property located at 333 Pike Circle, Virginia Beach, Virginia. This letter is to notify you of the improvements proposed by Dr. Price and requests your input on the project.

The attached plan view drawing reflects the location and alignment of the proposed improvements. I have also enclosed an Adjacent Property Owner's Acknowledgement Form. Please complete the form and return it in the enclosed stamped envelope addressed to the Virginia Marine Resources Commission.

Should you have any questions regarding this project, please feel free to call me at business cell (757) 615-9974. Thank you for your assistance in this matter.

Sincerely,



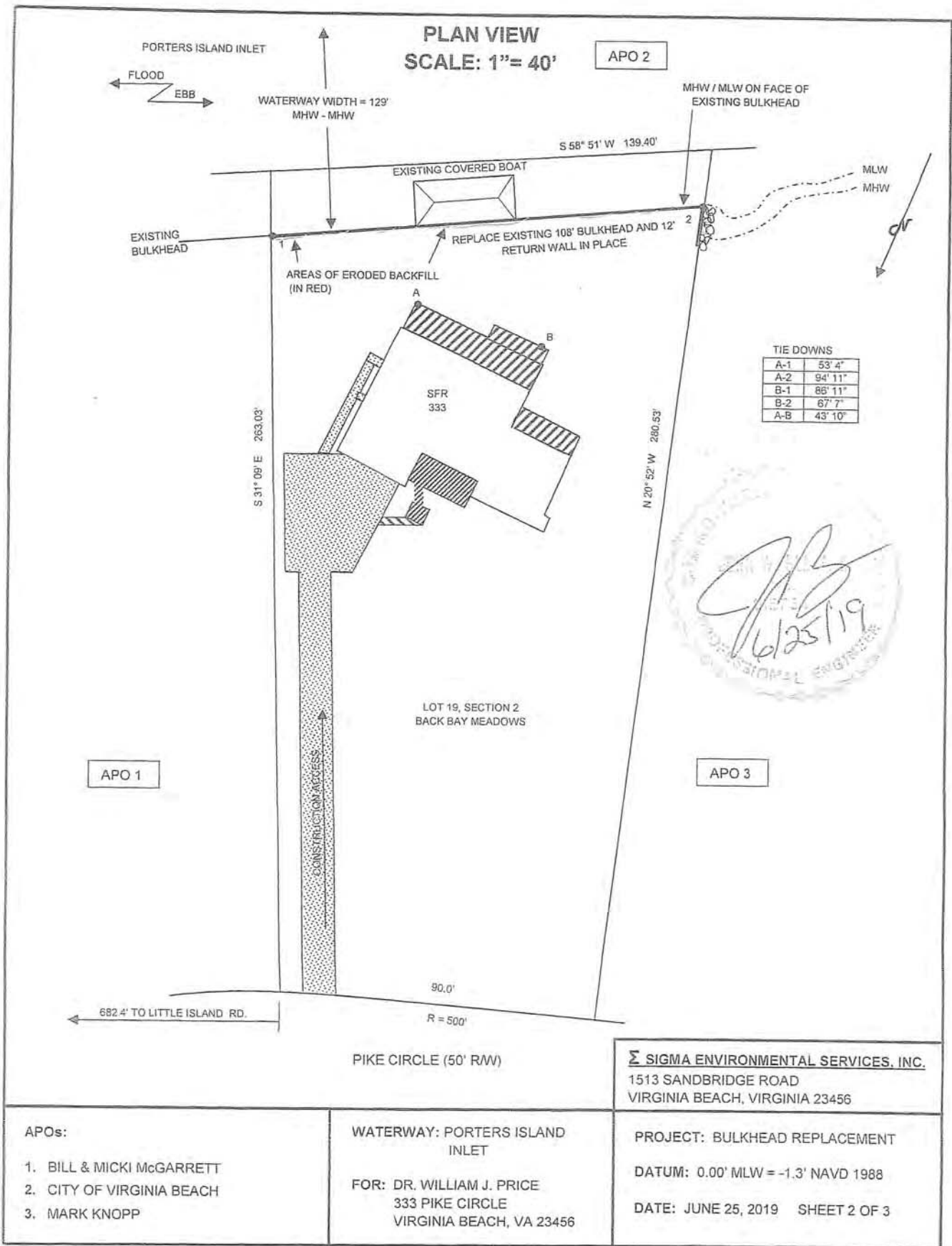
R. Harold Jones, PWS, Emeritus  
President

CC: Dr. William J. Price

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1513 SANDBRIDGE ROAD, VIRGINIA BEACH, VIRGINIA 23456  
Business Cell (757) 615-9974 fax (757) 426-5145

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**Part 2 – Signatures (continued)**

**ADJACENT PROPERTY OWNER’S ACKNOWLEDGEMENT FORM**

I (we), Bill & Micki McGarrett, own land next to (across the water  
(Print adjacent/nearby property owner’s name)

from/on the same cove as) the land of William J. Price  
(Print applicant’s name(s))

I have reviewed the applicant’s project drawings dated June 25, 2019  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT \_\_\_\_\_ ABOUT THE PROJECT.

I DO NOT OBJECT \_\_\_\_\_ TO THE PROJECT.

I OBJECT \_\_\_\_\_ TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner’s signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

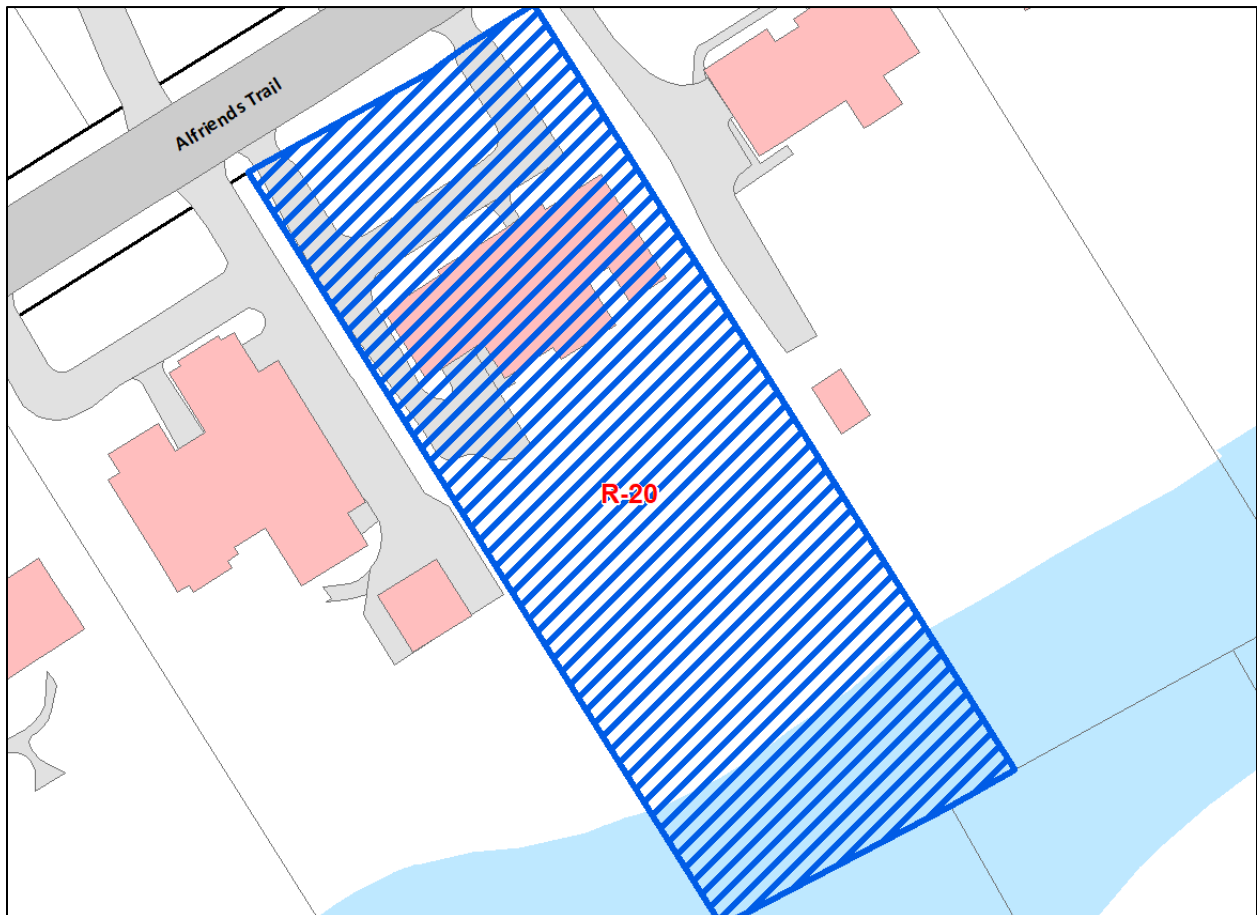
5. 2020-WTRA-00224

Jean Hayek [Applicant/Owner]

**To construct rip rap involving wetlands**

4321 Alfriends Trail  
(GPIN 1478-73-8986)

Waterway – Western Branch Lynnhaven River  
Subdivision – Donation Shores  
Council District – Bayside



# Disclosure Statement



The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

**Applicant Name** Jean Hayek

**Does the applicant have a representative?**  **Yes**  **No**

- If **yes**, list the name of the representative.

Robert E. Simon, Waterfront Consulting, Inc.

**Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?**  **Yes**  **No**

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

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- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

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<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.
- 

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the engineer/surveyor/agent.


Waterfront Consulting, Chesapeake Bay Site Solutions

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No

- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

  
 Applicant Signature  
 Jean Hayek

Print Name and Title  
 Jean Hayek 9-15-20

Date

Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> Virginia Beach				
<b>Waterway at project site:</b> Man-made Canal off W.B. of Lynnhaven River				
<b><i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i></b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial



## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:  
Jean Hayek Home ( ) \_\_\_\_\_  
4321 Alfriends Trail Work ( ) \_\_\_\_\_  
Virginia Beach, VA 23455 Fax ( ) \_\_\_\_\_  
Cell ( 757 ) 631-8668  
e-mail llcollj8@hotmail.com  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:  
Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_  
State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_
3. Authorized agent name\* and complete mailing address (if applicable): Contact Information:  
Waterfront Consulting, Inc. Home ( ) \_\_\_\_\_  
2589 Quality Court, Ste. 323 Work ( 757 ) 425-8244  
Virginia Beach, VA 23454 Fax ( 757 ) 425-8244  
Cell ( 757 ) 619-7302  
e-mail bob@waterfrontconsulting.net  
State Corporation Commission Name and ID Number (if applicable) 047-4381-1

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove (8) trees, construct 129 LF of quarry stone riprap revetment, construct a private open pile pier with an L-head and catwalk, install a double drive-on jet ski float, and (2) four pile boat lifts as shown in the permit drawings.

The pier will use (39) 8" timber piles, the float will use (2) 10" timber piles, and each boat lift will use (4) 10" timber piles that will be driven via a vibratory hammer mounted to an excavator on a barge.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is “Yes” complete the remainder of this question and submit the Applicant’s and Contractor’s Acknowledgment Form (enclosed)

Contractor’s name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot

( 757 ) 622-1455 \_\_\_\_\_

150 W. Brambleton Avenue

Norfolk, VA 23510

7. Give the following project location information:

Street Address (911 address if available) 4321 Alfrends Trail \_\_\_\_\_

Lot/Block/Parcel# Lot 28, Donation Shores \_\_\_\_\_

Subdivision Donation Shores \_\_\_\_\_

City / County Virginia Beach \_\_\_\_\_ ZIP Code 23455 \_\_\_\_\_

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

\_\_\_\_\_ 36.868 / - 76.124 \_\_\_\_\_ (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be “to protect property from erosion due to boat wakes” and the secondary purpose may be “to provide safer access to a pier.”

The primary purpose of the project is erosion control on the existing raw shoreline.

The secondary purpose of the project is recreational boating access.

## Part 1 - General Information (continued)

9. Proposed use (check one):

- Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

A living shoreline was not considered for this site for two reasons. First, Old Donation is a city SSD community with a dredged channel that is heavily used for boating and would not be conducive to a living shoreline. Second, there are (8) trees proposed to be removed for the proposed alignment of the riprap. A living shoreline would take out countless more due to site being heavily wooded. Therefore, riprap was chosen as the preferred method. There will be 486 SF of NVW impacts (rock on mud) and 2 SF of VW impacts (salt bush) that will be mitigated for with an in-lieu fee of \$50.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$75,000.00  
 Approximate cost of that portion of the project that is channelward of mean low water:  
 \$40,000.00

13. Completion date of the proposed work: Approximately 1 year from permit date - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Thomas A. Groce	4317 Alfriends Trail	Virginia Beach, VA 23455
Norton Family Trust	857 St. James Drive	Virginia Beach, VA 23455
Craig D. Smith	849 St. James Drive	Virginia Beach, VA 23455
Scott E. Snyder	4325 Alfriend Trail	Virginia Beach, VA 23455

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

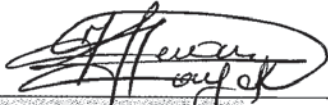
**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Jean Hayek

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

9-15-20

Date

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), Jean Hayek, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Miss Simon, V.O.  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

9/30/2020  
(Date)

[Signature]  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

9-15-20  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), Jean Hayek, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

---

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

**1. Briefly describe your proposed project.**

The project is to construct a private open pile pier with an L-head, install a floating pier with gangway, and a four pile boat lift as shown in the permit drawings.

**2. For private, noncommercial piers:**

Do you have an existing pier on your property? \_\_\_ Yes  No

If yes, will it be removed? \_\_\_ Yes \_\_\_ No

Is your lot platted to the mean low water shoreline?  Yes \_\_\_ No

What is the overall length of the proposed structure? 56 feet.

Channelward of Mean High Water? 42 feet.

Channelward of Mean Low Water? 33 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 46 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 890 square feet.

What is the total size of any and all L- or T-head platforms? 490 sq. ft.

For boathouses, what is the overall size of the roof structure? N/A sq. ft.

Will your boathouse have sides? \_\_\_ Yes \_\_\_ No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to remove (8) trees and construct 129 LF of quarry stone riprap revetment. There will be 0.006 acres of aquatic impacts with 20 CYs of fill being placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 2 feet.  
Channelward of mean low water? 0 feet.  
Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 2 square feet
  - Non-vegetated wetlands 486 square feet
  - Subaqueous bottom 0 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**Part 3 – Appendices (continued)**

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The riprap will consist of granite quarry stone riprap, UV resistant filter fabric, and backfill from an approved upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material \_\_\_\_\_ pounds per stone      Class size \_\_\_\_\_  
Armor (outer layer) material 75 pounds per stone      Class size A1/One

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                    \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
  
- Area to be covered                    \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement: \_\_\_\_\_

• Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 4321 Alfriends Trail

APPLICANT'S NAME: Jean Hayek

APPLICANT'S ADDRESS: 4321 Alfriends Trail

Virginia Beach, VA 23455

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR  
CERTIFYING PROJECT

CONSTRUCTION: Riprap, Pier, Float, & Boat Lift

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

10/13/20  
DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION



SIGNATURE OF APPLICANT

9-15-20  
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

LOT 468  
N/F NORTON FAMILY TRUST  
1478-83-1726

LOT 469  
N/F CRAIG D. SMITH  
1478-83-0609

MAN-MADE CANAL

← EBB →  
← FLOOD →



S 61°23'24" W 130.23'

REMOVE (8) TREES FOR  
PLACEMENT OF  
PROPOSED RIPRAP

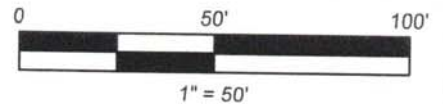
CENTERLINE OF  
SSD CHANNEL

**SITE ACCESS NOTES**

1. SITE ACCESS CURRENTLY DEVOTED TO TURF GRASS AND SHALL BE RESTORED TO SAME UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
2. AREA OF TEMPORARY IMPACTS: 3,843 SF
3. AN AGREEMENT IN-LIEU OF A STORMWATER MANAGEMENT PLAN SHALL BE EXECUTED FOR THE PROJECT.

LOT 29  
N/F SCOTT E. SNYDER  
1478-73-7970

**SITE ACCESS &  
DEMOLITION**



**PURPOSE: BOATING ACCESS**

DATUM: MLW 0.0

A.P.O.

1. THOMAS A. GROCE
2. NORTON FAMILY TRUST
3. CRAIG D. SMITH
4. SCOTT E. SNYDER

REV: 01/13/2021



WATERFRONT  
CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715

PROPOSED: PIER, BOAT LIFT, FLOAT,  
& GANGWAY

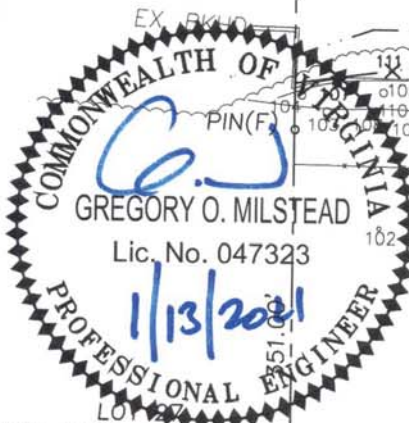
IN: MAN-MADE CANAL  
AT: 4321 ALFRIENDS TRAIL  
VIRGINIA BEACH, VA 23455

APPLICATION BY:

JEAN HAYEK

SHEET 1 OF 8

DATE: SEPTEMBER 8, 2020



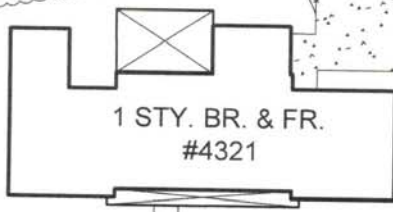
N/F THOMAS A. GROCE  
1478-84-0003

100	30"	PINE
101	16"	MAPLE
102	12"	HOLLY
103	24"	PINE
104	24"	PINE
105	24"	PINE
106	24"	PINE
107	18"	PINE
108	8"	HOLLY
109	8"	HOLLY
110	6"	HOLLY
111	6"	HOLLY
112	8"	MAPLE
113	18"	GUM
114	16"	PINE
115	30"	PINE
116	30"	PINE
117	24"	PINE
118	20"	PINE
119	16"	PINE
120	18"	PINE
121	18"	PINE
122	24"	PINE
123	12"	MAPLE
124	12"	MAPLE
125	12"	MAPLE
126	8"	HOLLY
127	8"	MAPLE
128	16"	MAPLE
129	8"	MAPLE
130	14"	CEDAR
131	30"	PINE

263.52'

S 31°56'56" W

APPROX.



1 STY. BR. & FR.  
#4321

POOL

TREE LINE

PIN(F)

R=1,025.00'  
L=46.58'

N 58°03'04" E  
83.44'

PIN(F)

**ALFRIENDS TRAIL (50' R/W)**

REF: M.B. 71, PG. 25

LEGEND  
EXISTING FEATURE  
PROPOSED FEATURE

LOT 468  
N/F NORTON FAMILY TRUST  
1478-83-1726

LOT 469  
N/F CRAIG D. SMITH  
1478-83-0609

MAN-MADE CANAL

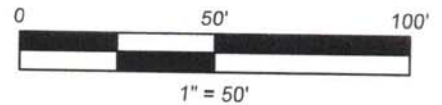
← EBB →  
← FLOOD →



**PROPOSED 5'x56' PIER WITH  
14'x25' L-HEAD, 5'x52'  
CATWALK, (2) FOUR PILE  
BOAT LIFTS, AND 129 LF OF  
QUARRY STONE RIPRAP**

LOT 29  
N/F SCOTT E. SNYDER  
1478-73-7970

**PROPOSED SITE  
IMPROVEMENTS**



**PURPOSE: BOATING ACCESS**

**DATUM: MLW 0.0**

**A.P.O.**

1. THOMAS A. GROCE
2. NORTON FAMILY TRUST
3. CRAIG D. SMITH
4. SCOTT E. SNYDER

**REV: 01/13/2021**



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 619-7302

**ENGINEERING SERVICES PROVIDED BY:  
CHESAPEAKE BAY SITE SOLUTIONS, INC.  
P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
PHONE: (757) 575-3715**

**PROPOSED: PIER, BOAT LIFT, FLOAT,  
& GANGWAY**

**IN: MAN-MADE CANAL  
AT: 4321 ALFRIENDS TRAIL  
VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

**JEAN HAYEK**

**SHEET 2 OF 8**

**DATE: SEPTEMBER 8, 2020**

486 SF OF NVW  
IMPACTS AND 2 SF  
OF VW IMPACTS



LOT 27  
N/F THOMAS A. GROCE  
1478-84-000

100	30"	PINE
101	16"	MAPLE
102	12"	HOLLY
103	24"	PINE
104	24"	PINE
105	24"	PINE
106	24"	PINE
107	18"	PINE
108	8"	HOLLY
109	8"	HOLLY
110	6"	HOLLY
111	6"	HOLLY
112	8"	MAPLE
113	18"	GUM
114	16"	PINE
115	30"	PINE
116	30"	PINE
117	24"	PINE
118	20"	PINE
119	16"	PINE
120	18"	PINE
121	18"	PINE
122	24"	PINE
123	12"	MAPLE
124	12"	MAPLE
125	12"	MAPLE
126	8"	HOLLY
127	8"	MAPLE
128	16"	MAPLE
129	8"	MAPLE
130	14"	CEDAR
131	30"	PINE

1 STY. BR. & FR.  
#4321

**ALFRIENDS TRAIL (50' R/W)**

REF: M.B. 71, PG. 25

**LEGEND**  
EXISTING FEATURE  
PROPOSED FEATURE

## SITE DATA

LEGAL DESCRIPTION: LOT 28, DONATION SHORES  
 REF: MAP BOOK 71, PAGE 25, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 GPIN: 1478-73-8986  
 ZONING: R-20 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)

### PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

#### Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

#### High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre

### NOTICE

BEFORE YOU DIG,  
 CALL MISS UTILITY  
 1-800-552-7001 or 811  
 FOR LOCATIONS OF  
 EXISTING UTILITIES.

WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.



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PURPOSE: BOATING ACCESS

DATUM: MLW 0.0

A.P.O.

1. THOMAS A. GROCE
2. NORTON FAMILY TRUST
3. CRAIG D. SMITH
4. SCOTT E. SNYDER

REV: 01/13/2021



WATERFRONT  
 CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
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 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

PROPOSED: PIER, BOAT LIFT, FLOAT,  
 & GANGWAY

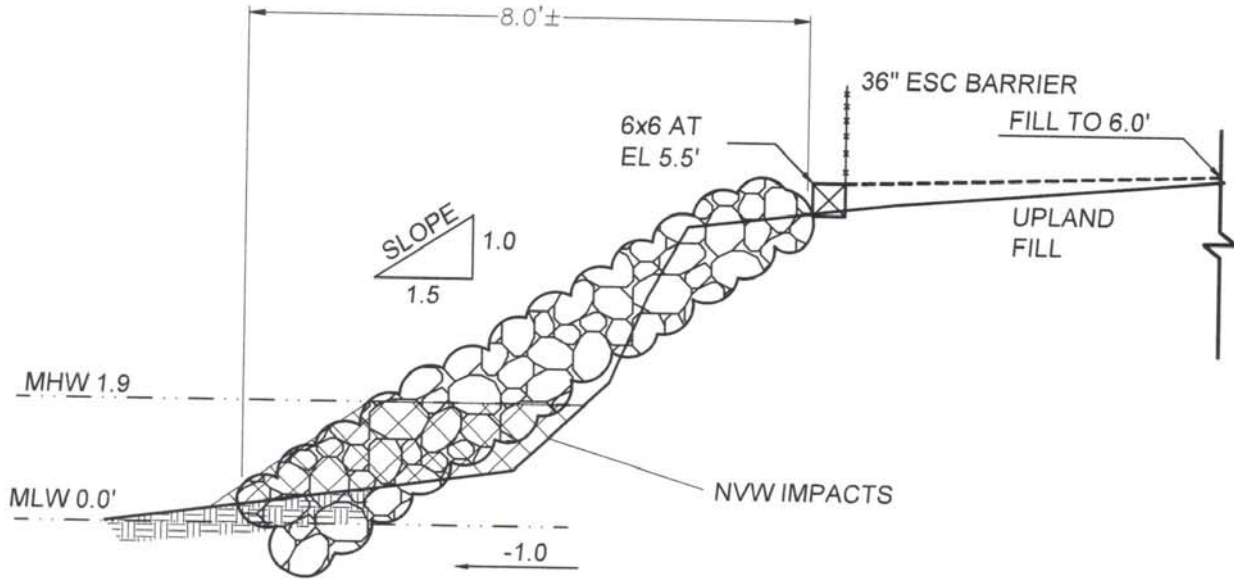
IN: MAN-MADE CANAL  
 AT: 4321 ALFRIENDS TRAIL  
 VIRGINIA BEACH, VA 23455

APPLICATION BY:

JEAN HAYEK  
 SHEET 3 OF 8  
 DATE: SEPTEMBER 8, 2020

# CROSS SECTION A-A PROPOSED RIPRAP AND FILL

SCALE 1" = 3.0'



RIPRAP CLASS ONE QUARRY STONE OVER  
UV PROTECTED FILTERCLOTH



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**PURPOSE: BOATING ACCESS**  
**DATUM: MLW 0.0**  
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**PROPOSED: PIER, BOAT LIFT, FLOAT,  
& GANGWAY**

**IN: MAN-MADE CANAL**  
**AT: 4321 ALFRIENDS TRAIL**  
**VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

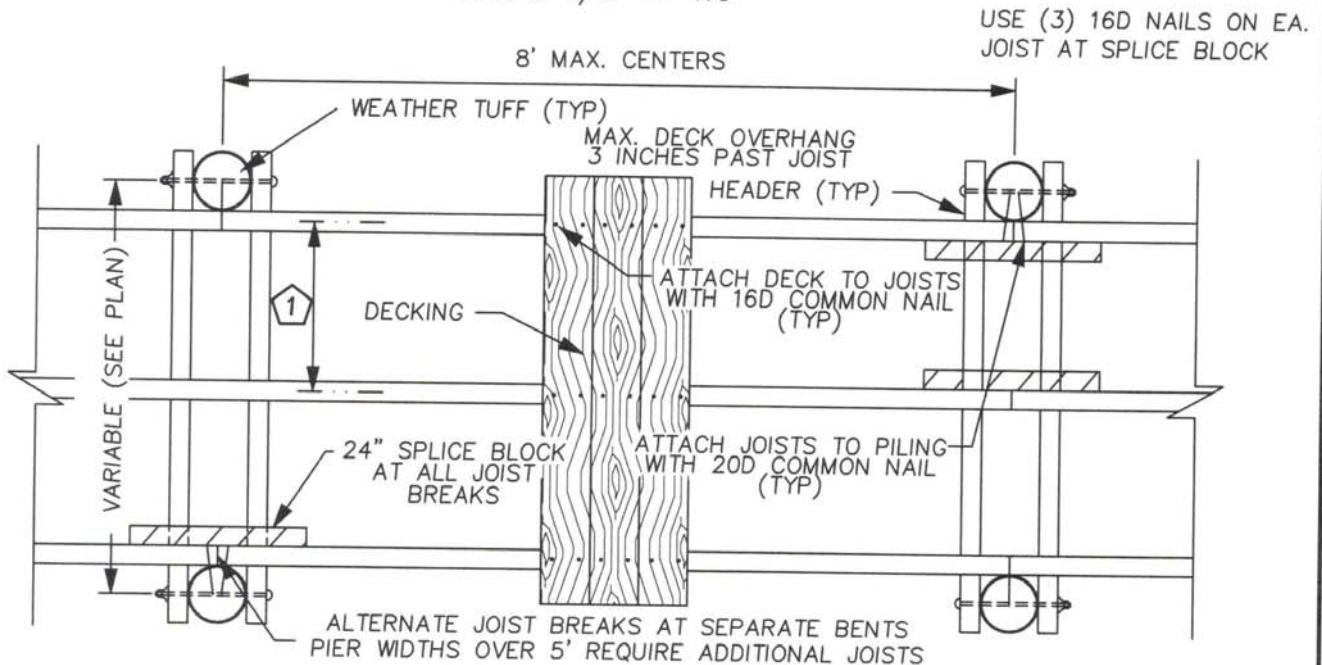
**JEAN HAYEK**

**SHEET 4 OF 8**

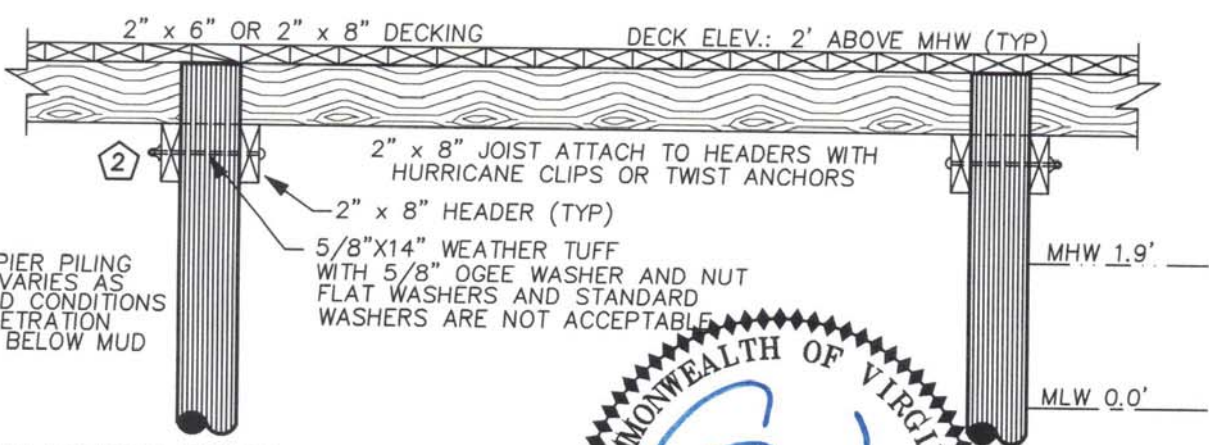
**DATE: SEPTEMBER 8, 2020**

# PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'



- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!



**MATERIALS SPECIFICATIONS:**

PILING: C.C.A. 2.5 PCF  
 HEADERS AND JOISTS: C.C.A. 0.6 PCF  
 DECKING: CCA 0.4 PCF  
 ALL WOOD TO BE GRADE 2 OR BETTER.  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.



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**PURPOSE: BOATING ACCESS**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. THOMAS A. GROCE  
 2. NORTON FAMILY TRUST  
 3. CRAIG D. SMITH  
 4. SCOTT E. SNYDER  
  
 REV: 01/13/2021

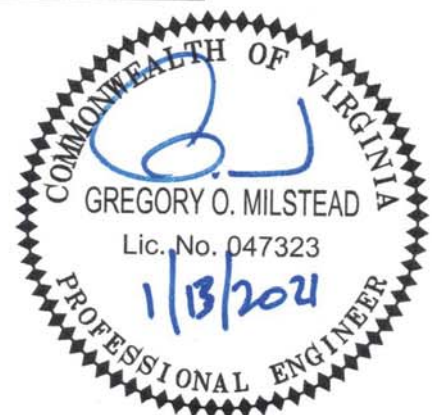
**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302  
  
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 PHONE: (757) 575-3715

**PROPOSED: PIER, BOAT LIFT, FLOAT, & GANGWAY**  
**IN: MAN-MADE CANAL**  
**AT: 4321 ALFRIENDS TRAIL**  
**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
**JEAN HAYEK**  
**SHEET 5 OF 8**  
**DATE: SEPTEMBER 8, 2020**

NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
PIER	39					
BOAT LIFT		4 (EACH)				
FLOAT		2				

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER.  
 BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.

<p><b>NOTICE</b></p> <p>BEFORE YOU DIG,        CALL MISS UTILITY        1-800-552-7001 or 811        FOR LOCATIONS OF        EXISTING UTILITIES.</p>	 <p>WARNING - AS THE FIRST STEP IN CONSTRUCTION,        THE CONTRACTOR IS RESPONSIBLE FOR        LOCATING AND DETERMINING THE SIZE        OF THE EXISTING WATER, SEWER, GAS,        ELECTRICAL, TELEPHONE, STORM        DRAINAGE AND LOCATING ALL OTHER        UTILITIES WHICH COULD AFFECT THE        PROPOSED CONSTRUCTION. IF        CONDITIONS ARE DIFFERENT FROM        THOSE SHOWN ON THE PLANS, NOTIFY        THE ENGINEER IMMEDIATELY.</p>
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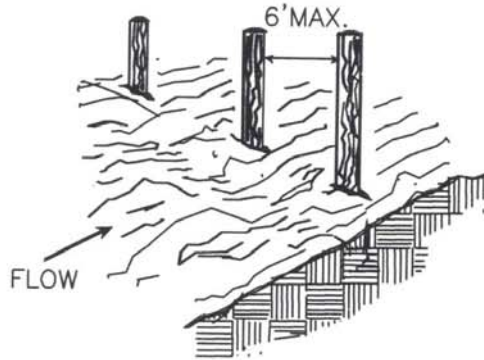
**PURPOSE: BOATING ACCESS**  
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 1. THOMAS A. GROCE  
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 3. CRAIG D. SMITH  
 4. SCOTT E. SNYDER  
  
**REV: 01/13/2021**

 <p><b>WATERFRONT        CONSULTING, INC.</b></p> <p>2589 QUALITY COURT, STE. 323        VIRGINIA BEACH, VA 23454        PH/FAX: (757) 425-8244, CELL: (757) 619-7302</p>
<p><b>ENGINEERING SERVICES PROVIDED BY:</b>        CHESAPEAKE BAY SITE SOLUTIONS, INC.        P.O. BOX 6663 VIRGINIA BEACH, VA 23456        PHONE: (757) 575-3715</p>

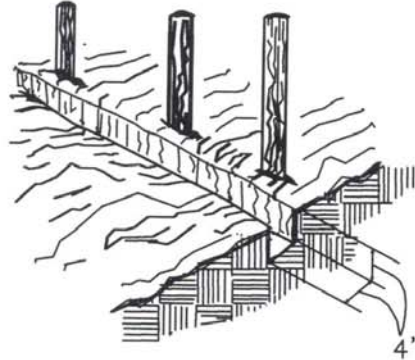
**PROPOSED: PIER, BOAT LIFT, FLOAT,  
 & GANGWAY**  
**IN: MAN-MADE CANAL**  
**AT: 4321 ALFRIENDS TRAIL**  
**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
**JEAN HAYEK**  
**SHEET 6 OF 8**  
**DATE: SEPTEMBER 8, 2020**

# CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

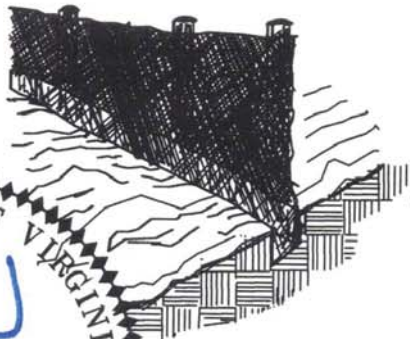
1. SET THE STAKES.



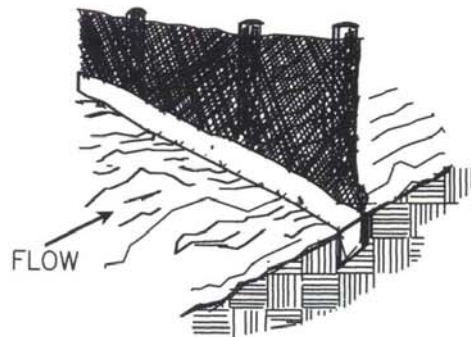
2. EXCAVATE A 4"X 4" TRENCH UPSLOPE  
ALONG THE LINE OF STAKES.



3. STAPLE FILTER MATERIAL  
TO STAKES AND EXTEND  
IT INTO THE TRENCH.



4. BACKFILL AND COMPACT  
THE EXCAVATED SOIL.



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant  
PLATE. 3.05-2

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

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PURPOSE: BOATING ACCESS  
DATUM: MLW 0.0  
A.P.O.

1. THOMAS A. GROCE
2. NORTON FAMILY TRUST
3. CRAIG D. SMITH
4. SCOTT E. SNYDER

REV: 01/13/2021



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PROPOSED: PIER, BOAT LIFT, FLOAT,  
& GANGWAY

IN: MAN-MADE CANAL  
AT: 4321 ALFRIENDS TRAIL  
VIRGINIA BEACH, VA 23455

APPLICATION BY:

JEAN HAYEK  
SHEET 7 OF 8  
DATE: SEPTEMBER 8, 2020





## LOCATION MAP

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**PURPOSE: BOATING ACCESS**  
**DATUM: MLW 0.0**  
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1. THOMAS A. GROCE
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REV: 01/13/2021



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**PROPOSED: PIER, BOAT LIFT, FLOAT, & GANGWAY**

**IN: MAN-MADE CANAL**  
**AT: 4321 ALFRIENDS TRAIL**  
**VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

**JEAN HAYEK**  
**SHEET 8 OF 8**

**DATE: SEPTEMBER 8, 2020**

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_

Location: 4321 Alfriends Trail GPIN: 1478-73-8686

Watershed: Lynnhaven-Poquoson HUC: 02010508

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:


Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
<b>X</b>	Others (describe) <b>Restore impacted buffer to preconstruction condition or enhance per plan.</b>		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: Jean Hayek

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

September 12, 2020

Thomas A. Groce  
4317 Alfriends Trail  
Virginia Beach, VA 23455

**Re: Proposed Riprap, Pier, Float, & Boat Lift  
Located at 4321 Alfriends Trail, Virginia Beach, VA 23455**

Dear Thomas A. Groce

This letter is to notify you that your neighbors, Jean Hayek have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Thomas A. Groce, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Jean Hayek.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated September 8, 2020  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
**“Specializing in Permit Processing”**

September 12, 2020

Norton Family Trust  
857 St. James Drive  
Virginia Beach, VA 23455

**Re: Proposed Riprap, Pier, Float, & Boat Lift  
Located at 4321 Alfriends Trail, Virginia Beach, VA 23455**

Dear Norton Family Trust

This letter is to notify you that your neighbors, Jean Hayek have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

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Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Norton Family Trust, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Jean Hayek.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated September 8, 2020  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
“Specializing in Permit Processing”

September 12, 2020

Craig D. Smith  
849 St. James Drive  
Virginia Beach, VA 23455

**Re: Proposed Riprap, Pier, Float, & Boat Lift  
Located at 4321 Alfriends Trail, Virginia Beach, VA 23455**

Dear Thomas A. Groce

This letter is to notify you that your neighbors, Jean Hayek have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

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Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Craig D. Smith, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Jean Hayek.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated September 8, 2020  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
“Specializing in Permit Processing”

September 12, 2020

Scott E. Snyder  
4325 Alfriend Trail  
Virginia Beach, VA 23455

**Re: Proposed Riprap, Pier, Float, & Boat Lift  
Located at 4321 Alfriends Trail, Virginia Beach, VA 23455**

Dear Norton Family Trust

This letter is to notify you that your neighbors, Jean Hayek have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), Scott E. Snyder, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of Jean Hayek.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated September 8, 2020  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

6. 2021-WTRA-00002

David Bowden [Applicant/Owner]

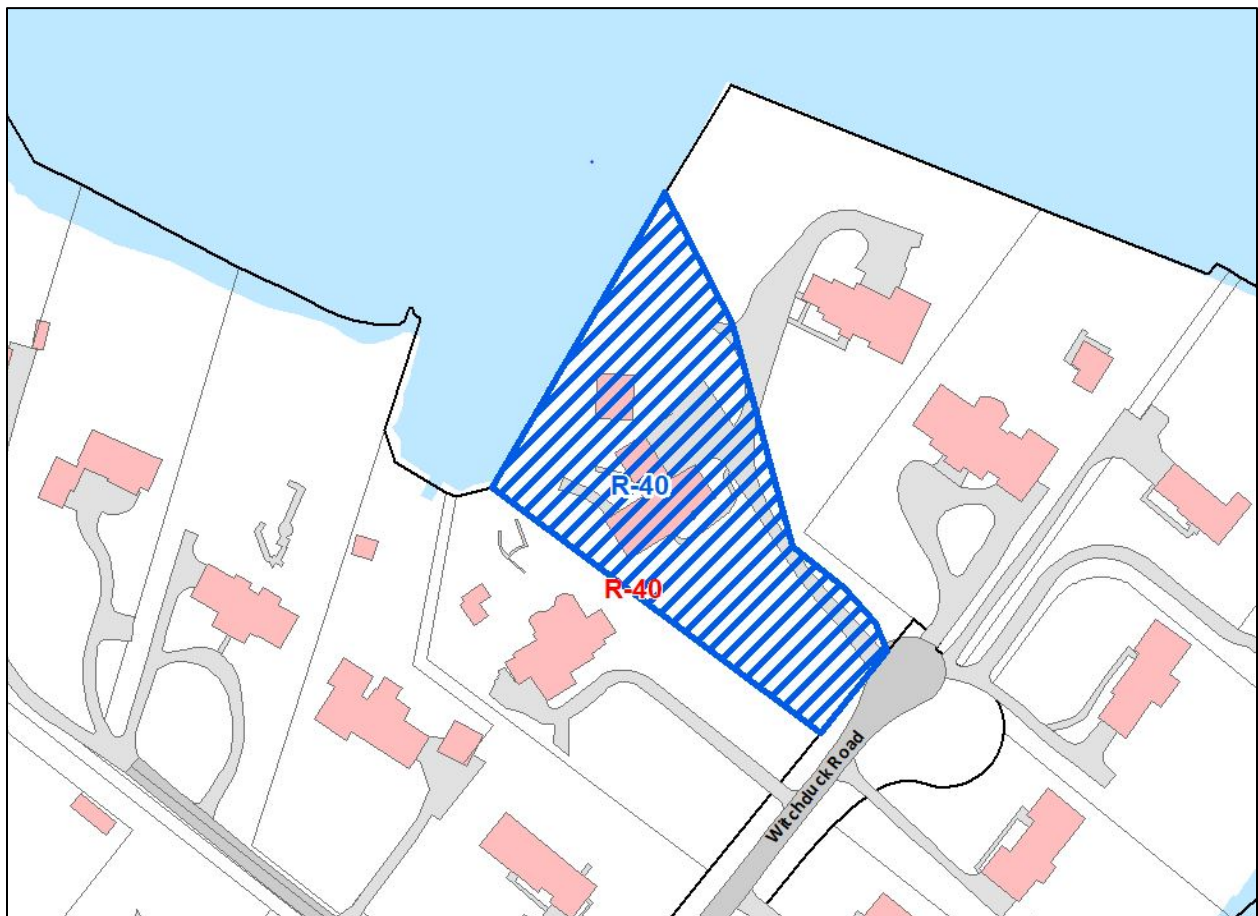
**To construct a bulkhead, rip rap, and boat ramp and plant vegetation involving wetlands**

4018 N Witchduck Road  
(GPIN 1488-08-9788)

Waterway – Western Branch Lynnhaven River

Subdivision – Witchduck

Council District – Bayside



# Disclosure Statement

The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law. The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a City board, commission or other body.

## Applicant Disclosure

Applicant Name David Bowden

Does the applicant have a representative?  Yes  No

- If **yes**, list the name of the representative.

Robert E. Simon, Waterfront Consulting

Is the applicant a corporation, partnership, firm, business, trust or an unincorporated business?  Yes  No

- If **yes**, list the names of all officers, directors, members, trustees, etc. below. (Attach a list if necessary)

- If **yes**, list the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the applicant. (Attach a list if necessary)

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, VA. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

## Known Interest by Public Official or Employee

Does an **official or employee of the City of Virginia Beach** have an interest in the subject land or any proposed development contingent on the subject public action?  **Yes**  **No**

- If **yes**, what is the name of the official or employee and what is the nature of the interest?
- 

## Applicant Services Disclosure

1. Does the applicant have **any existing financing (mortgage, deeds of trust, cross-collateralization, etc) or are they considering any financing** in connection with the subject of the application or any business operating or to be operated on the property?

**Yes**  **No**

- If **yes**, identify the financial institutions.

Dollar Bank

---

2. Does the applicant have a **real estate broker/agent/realtor** for current and anticipated future sales of the subject property?

**Yes**  **No**

- If **yes**, identify the real estate broker/realtor.
- 

3. Does the applicant have services for **accounting and/or preparation of tax returns** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.

Stewart & Company, Virginia Beach

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4. Does the applicant have services from an **architect/landscape architect/land planner** provided in connection with the subject of the application or any business operating or to be operated on the property?  **Yes**  **No**

- If **yes**, identify the firm or individual providing the service.
- 

5. Is there any other **pending or proposed purchaser** of the subject property?  **Yes**  **No**

- If **yes**, identify the purchaser and purchaser's service providers.
-

# Disclosure Statement



6. Does the applicant have a **construction contractor** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the construction contractor.

7. Does the applicant have an **engineer/surveyor/agent** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the engineer/surveyor/agent.

WCI, Chesapeake Bay Site Solutions

8. Is the applicant receiving **legal services** in connection with the subject of the application or any business operating or to be operated on the property?  Yes  No
- If **yes**, identify the name of the attorney or firm providing legal services.

## Applicant Signature

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate. I understand that, upon receipt of notification that the application has been scheduled for public hearing, I am responsible for updating the information provided herein two weeks prior to the meeting of Planning Commission, City Council, VBDA, CBPA, Wetlands Board or any public body or committee in connection with this application.

Applicant Signature

*David R. Bowden*

Print Name and Title

David Bowden, OWNER

Date 1/2/2021

- Is the applicant also the owner of the subject property?  Yes  No

- If **yes**, you do not need to fill out the owner disclosure statement.

**FOR CITY USE ONLY/ All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the applications**

<input type="checkbox"/>	No changes as of	Date	Signature	
			Print Name	

- ❖ DEQ: Permit application fees required for Virginia Water Protection permits – while detailed in 9VAC25-20 – are conveyed to the applicant by the applicable DEQ office (<http://www.deq.virginia.gov/Locations.aspx>). Complete the Permit Application Fee Form and submit it per the instructions to the address listed on the form. Instructions for submitting any other fees will be provided to the applicant by DEQ staff.
- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA #

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<i><b>Check all that apply</b></i>				
Pre-Construction Notification (PCN) <input type="checkbox"/> NWP # _____ <i>(For Nationwide Permits ONLY - No DEQ-VWP permit writer will be assigned)</i>	Regional Permit 17 (RP-17) <input type="checkbox"/>			
<b>County or City in which the project is located:</b> <u>Virginia Beach</u>				
<b>Waterway at project site:</b> <u>Witchduck Bay</u>				
<b>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</b>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
ALL	Bulkhead & Pier	#98-1822, VB98-266	1998	



## Part 1 - General Information (continued)

1. Applicant's legal name\* and complete mailing address: Contact Information:

David Bowden  
4018 N. Witchduck Road  
Virginia Beach, VA 23455

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell (757) 739-5750  
e-mail david@latitude36.net

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

2. Property owner(s) legal name\* and complete address, if different from applicant: Contact Information:

Home ( ) \_\_\_\_\_  
Work ( ) \_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
Cell ( ) \_\_\_\_\_  
e-mail \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

3. Authorized agent name\* and complete mailing address (if applicable):

Waterfront Consulting, Inc.  
2589 Quality Court, Ste. 323  
Virginia Beach, VA 23454

Contact Information:  
Home ( ) \_\_\_\_\_  
Work (757) 425-8244  
Fax (757) 425-8244  
Cell (757) 619-7302  
e-mail bob@waterfrontconsulting.net

State Corporation Commission Name and ID Number (if applicable) 047-4381-1

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is to remove a portion of the existing vinyl and timber bulkheads, install (28) 8" timber piles and new tiebacks in front of the existing vinyl bulkhead, construct approximately 130 LF of vinyl bulkhead in the same footprint or landward of the existing bulkhead impacting 36 SF of NVW in a washout, and construct approximately 13 LF of granite quarry stone riprap with 36 SF of conversion of NVW to VW by grading/ planting and 116 SF of mitigation to a 16 LF upper bulkhead and a 13 LF return.

The project is also to remove a portion of the existing boat ramp and the remnants of the existing pier, construct a private open pile pier with a four pile boat lift, open sided roof, (4) mooring piles, and double drive on jet ski float, and pour a new concrete boat ramp as shown in the permit drawings.

The bulkhead will use (54) 8" timber piles, the pier will use (36) 8" timber piles, the roof will use (8) 10" timber piles, the float will use (2) 10" timber piles, the lift will use (4) 10" timber piles, and each mooring pile will be a 10" timber pile. The piles will be driven via a vibratory hammer mounted to an excavator on a barge and land.

## Part 1 - General Information (continued)

5. Have you obtained a contractor for the project? \_\_\_ Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

Contractor's name\* and complete mailing address:

Contact Information:

Home ( ) \_\_\_\_\_

Work ( ) \_\_\_\_\_

Fax ( ) \_\_\_\_\_

Cell ( ) \_\_\_\_\_

email \_\_\_\_\_

State Corporation Commission Name and ID Number (if applicable) \_\_\_\_\_

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Telephone number

Virginian Pilot

( 757 ) 622-1455 \_\_\_\_\_

150 W. Brambleton Avenue

Norfolk, VA 23510

7. Give the following project location information:

Street Address (911 address if available) 4018 N. Witchduck Road \_\_\_\_\_

Lot/Block/Parcel# 1.467 Ac, Site 6A, Resub of Property of Mildred W. White \_\_\_\_\_

Subdivision Witchduck \_\_\_\_\_

City / County Virginia Beach \_\_\_\_\_

ZIP Code 23455 \_\_\_\_\_

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

36.88046 / - 76.11329 \_\_\_\_\_

(Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of the project is maintenance of the existing bulkhead.

The secondary purpose of the project is recreational boating access.

## Part 1 - General Information (continued)

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The proposed bulkhead is shown in the same footprint as the existing bulkhead impacting 36 SF of NVW impacts in a washout. The riprap is partially on sub-aqueous bottom and partially on area that was graded down for the sprigging area. There is 36 SF of conversion of NVW to VW and 116 SF of mitigation sprigged with *Spartina alterniflora*. There will be 102 SF of NVW impacts from the replacement of the existing concrete boat ramp. There will be 180 SF of VW creation from upland. All impacts are self mitigating.

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.

12. Approximate cost of the entire project (materials, labor, etc.): \$ 135,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 65,000.00

13. Completion date of the proposed work: Approximately 1 year from permit date - \_\_\_\_\_

14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

John W. Pham

4024 N. Witchduck Road

Virginia Beach, VA 23455

David Byler

522 S. Independence Blvd, Ste. 20:

Virginia Beach, VA 23452

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

**NOTE: REQUIRED FOR ALL PROJECTS**

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

David Bowden

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)



Applicant's Signature

(Use if more than one applicant)

Date

1/2/2024

Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), David Bowden, hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.

(Agent's Signature)

(Use if more than one agent)

12/31/2020

(Date)

David Bowden

(Applicant's Signature)

(Use if more than one applicant)

1/2/2021

(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), David Bowden, have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))

to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

## Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write “N/A” in the space provided.

---

**Appendix A: (TWO PAGES) Projects for Access** to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

**1. Briefly describe your proposed project.**

The project is to remove a portion of the existing boat ramp and the remnants of the existing pier, construct a private open pile pier with a four pile boat lift, open sided roof, (4) mooring piles, and double drive on jet ski float, and pour a new concrete boat ramp as shown in the permit drawings.

**2. For private, noncommercial piers:**

Do you have an existing pier on your property?  Yes  No

If yes, will it be removed?  Yes  No

Is your lot platted to the mean low water shoreline?  Yes  No

What is the overall length of the proposed structure? 48 feet.

Channelward of Mean High Water? 48 feet.

Channelward of Mean Low Water? 48 feet.

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 103 square feet.

Tidal vegetated wetlands 0 square feet.

Submerged lands 734 square feet.

What is the total size of any and all L- or T-head platforms? 376 sq. ft.

For boathouses, what is the overall size of the roof structure? 324 sq. ft.

Will your boathouse have sides?  Yes  No.

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § [28.2-1203](#) A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § [28.2-1205](#) for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § [28.2-1204](#).

## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to remove a portion of the existing vinyl and timber bulkheads, install (28) 8" timber piles and new tiebacks in front of the existing vinyl bulkhead, construct approximately 130 LF of vinyl bulkhead in the same footprint or landward of the existing bulkhead, and construct approximately 13 LF of granite quarry stone riprap with 180 SF of grading/planting landward with 16 LF of upper bulkhead and a 13 LF return. There will be 20 CYs of fill placed below the plane of MHW and 0.001 acres of aquatic impact.

2. What is the maximum encroachment channelward of mean high water? 4 feet.  
Channelward of mean low water? 4 feet.  
Channelward of the back edge of the dune or beach? N/A feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 36 square feet **Plus 36 SF of conversion.**
  - Subaqueous bottom 41 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

**Part 3 – Appendices (continued)**

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth).

**NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The bulkhead will consist of timber piles, walers, and cap, vinyl sheet pile, HD galvanized hardware, UV resistant filter fabric, and backfill from an approved upland source.

The living shoreline will consist of granite quarry stone riprap, clean sand, UV resistant filter fabric, Spartina alterniflora plugs, and the bulkhead as decribed above.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:

Core (inner layer) material \_\_\_\_\_ pounds per stone      Class size \_\_\_\_\_  
 Armor (outer layer) material  75  pounds per stone      Class size  One/1A

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                                \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
- Area to be covered                                \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water
- Source of material, composition (e.g. 90% sand, 10% clay): \_\_\_\_\_
- Method of transportation and placement:
- \_\_\_\_\_ Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:



**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 4018 N. Witchduck Road

APPLICANT'S NAME: David Bowden

APPLICANT'S ADDRESS: 4018 N. Witchduck Road

Virginia Beach, VA 23455

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Bulkhead, Pier, Lift, Float, Roof, Riprap, & Sprigging

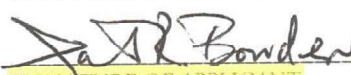
AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.

  
\_\_\_\_\_  
SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

1/5/2021  
\_\_\_\_\_  
DATE

Gregory O. Milstead, P.E.  
TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
\_\_\_\_\_  
SIGNATURE OF APPLICANT

1/2/2021  
\_\_\_\_\_  
DATE

\_\_\_\_\_  
SIGNATURE OF COASTAL ZONE ADMINISTRATOR

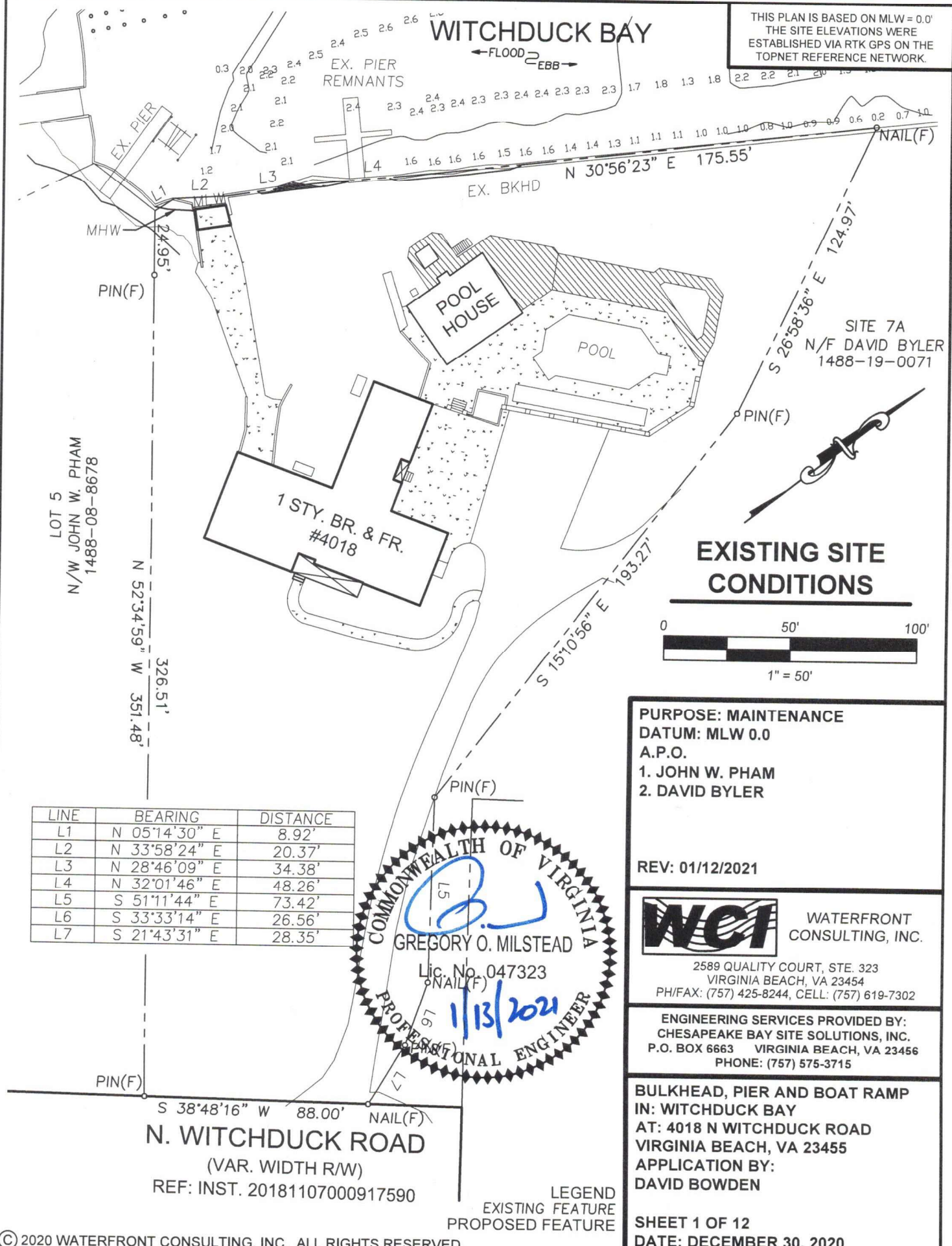
\_\_\_\_\_  
DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_

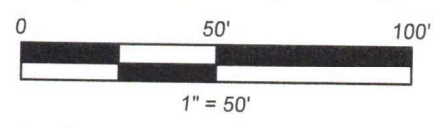
THIS PLAN IS BASED ON MLW = 0.0'  
 THE SITE ELEVATIONS WERE  
 ESTABLISHED VIA RTK GPS ON THE  
 TOPNET REFERENCE NETWORK.

# WITCHDUCK BAY

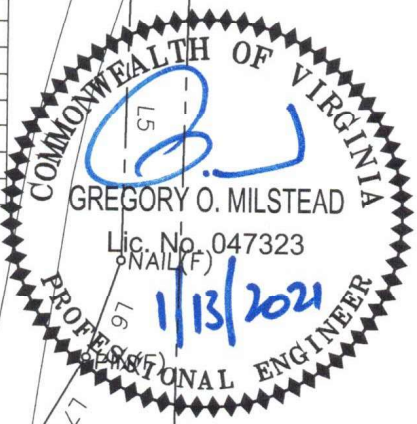


SITE 7A  
 N/F DAVID BYLER  
 1488-19-0071

## EXISTING SITE CONDITIONS



LINE	BEARING	DISTANCE
L1	N 05°14'30" E	8.92'
L2	N 33°58'24" E	20.37'
L3	N 28°46'09" E	34.38'
L4	N 32°01'46" E	48.26'
L5	S 51°11'44" E	73.42'
L6	S 33°33'14" E	26.56'
L7	S 21°43'31" E	28.35'



**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. JOHN W. PHAM  
 2. DAVID BYLER

REV: 01/12/2021

**WCI** WATERFRONT CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**BULKHEAD, PIER AND BOAT RAMP  
 IN: WITCHDUCK BAY  
 AT: 4018 N WITCHDUCK ROAD  
 VIRGINIA BEACH, VA 23455  
 APPLICATION BY:  
 DAVID BOWDEN**

**SHEET 1 OF 12  
 DATE: DECEMBER 30, 2020**

**N. WITCHDUCK ROAD**  
 (VAR. WIDTH R/W)  
 REF: INST. 20181107000917590

LEGEND  
 EXISTING FEATURE  
 PROPOSED FEATURE

THIS PLAN IS BASED ON MLW = 0.0'  
THE SITE ELEVATIONS WERE  
ESTABLISHED VIA RTK GPS ON THE  
TOPNET REFERENCE NETWORK.

# WITCHDUCK BAY

← FLOOD EBB →

EX. PIER  
REMNANTS

EX. BKHD

36SF NVW  
TO CONVERTED  
TO VW PIN(F)

36SF NVW  
WASHOUT  
FILLED

116SF  
MITIGATION

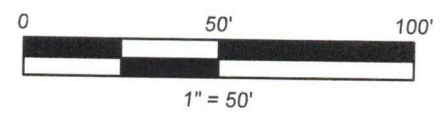
REMOVE REMNANTS OF EX. PIER, A  
PORTION OF THE EX. VINYL BULKHEAD,  
A PORTION OF THE TIMBER BULKHEAD  
ON THE WEST SIDE OF THE BOAT RAMP,  
UPLAND BEHIND THE VINYL AND TIMBER  
BULKHEAD, AND A PORTION OF THE  
CONCRETE BOAT RAMP (HATCHED)

SITE 7A  
N/F DAVID BYLER  
1488-19-0071

### SITE ACCESS NOTES

1. SITE ACCESS CURRENTLY DEVOTED TO TURF GRASS AND SHALL BE RESTORED TO SAME UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
2. AREA OF TEMPORARY IMPACTS: 9,842 SF AN AGREEMENT IN-LIEU OF A STORMWATER MANAGEMENT PLAN SHALL BE EXECUTED FOR THE PROJECT.
- 3.

### SITE ACCESS & DEMOLITION

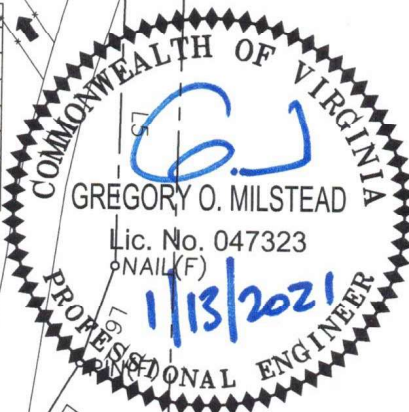


LOT 5  
N/W JOHN W. PHAM  
1488-08-8678

N 52°34'59" W 351.48'  
326.51'

S 15°10'56" E 193.27'

LINE	BEARING	DISTANCE
L1	N 05°14'30" E	8.92'
L2	N 33°58'24" E	20.37'
L3	N 28°46'09" E	34.38'
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BULKHEAD, PIER AND BOAT RAMP  
IN: WITCHDUCK BAY  
AT: 4018 N WITCHDUCK ROAD  
VIRGINIA BEACH, VA 23455  
APPLICATION BY:  
DAVID BOWDEN

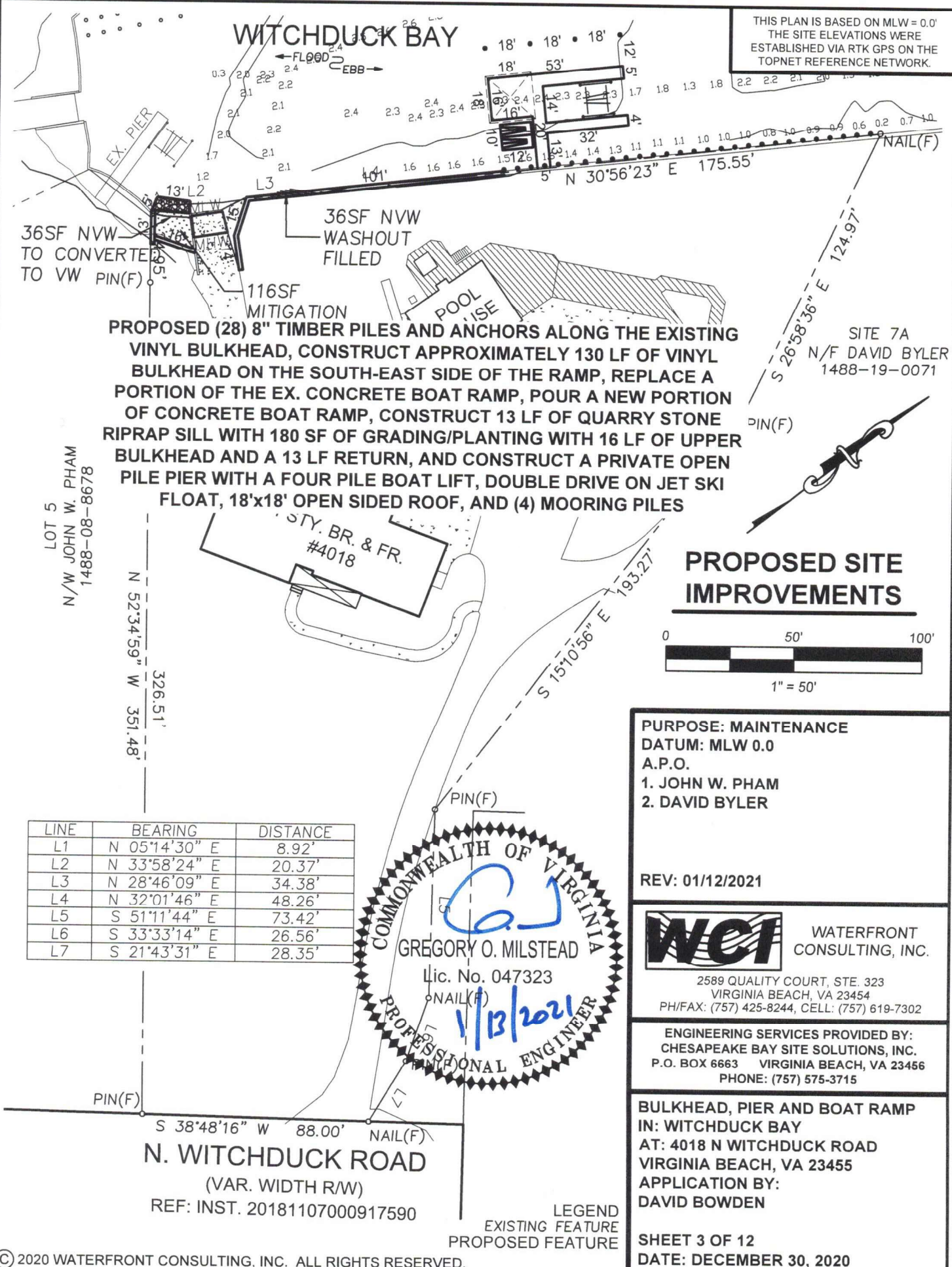
N. WITCHDUCK ROAD  
(VAR. WIDTH R/W)  
REF: INST. 20181107000917590

LEGEND  
EXISTING FEATURE  
PROPOSED FEATURE

SHEET 2 OF 12  
DATE: DECEMBER 30, 2020

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THE SITE ELEVATIONS WERE  
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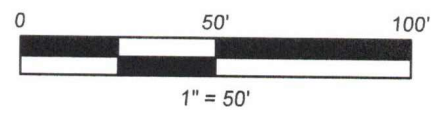
# WITCHDUCK BAY



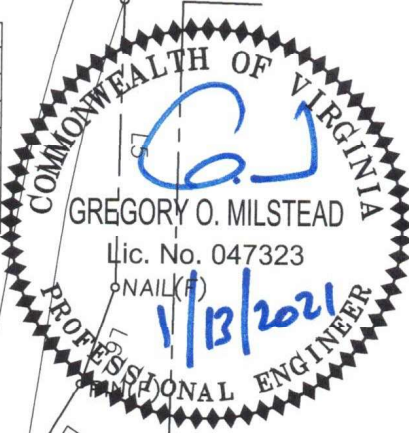
**PROPOSED (28) 8" TIMBER PILES AND ANCHORS ALONG THE EXISTING VINYL BULKHEAD, CONSTRUCT APPROXIMATELY 130 LF OF VINYL BULKHEAD ON THE SOUTH-EAST SIDE OF THE RAMP, REPLACE A PORTION OF THE EX. CONCRETE BOAT RAMP, POUR A NEW PORTION OF CONCRETE BOAT RAMP, CONSTRUCT 13 LF OF QUARRY STONE RIPRAP SILL WITH 180 SF OF GRADING/PLANTING WITH 16 LF OF UPPER BULKHEAD AND A 13 LF RETURN, AND CONSTRUCT A PRIVATE OPEN PILE PIER WITH A FOUR PILE BOAT LIFT, DOUBLE DRIVE ON JET SKI FLOAT, 18'x18' OPEN SIDED ROOF, AND (4) MOORING PILES**

SITE 7A  
N/F DAVID BYLER  
1488-19-0071

## PROPOSED SITE IMPROVEMENTS



LINE	BEARING	DISTANCE
L1	N 05°14'30" E	8.92'
L2	N 33°58'24" E	20.37'
L3	N 28°46'09" E	34.38'
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**PURPOSE: MAINTENANCE**  
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REV: 01/12/2021

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**BULKHEAD, PIER AND BOAT RAMP  
 IN: WITCHDUCK BAY  
 AT: 4018 N WITCHDUCK ROAD  
 VIRGINIA BEACH, VA 23455  
 APPLICATION BY:  
 DAVID BOWDEN**

**SHEET 3 OF 12**  
**DATE: DECEMBER 30, 2020**

N. WITCHDUCK ROAD  
 (VAR. WIDTH R/W)  
 REF: INST. 20181107000917590

LEGEND  
 EXISTING FEATURE  
 PROPOSED FEATURE

## SITE DATA

LEGAL DESCRIPTION: 1.467 AC, SITE 6A, RESUB OF PROPERTY OF MILDRED W. WHITE  
 REF: INST. NO: 20181107000917590, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 SITE SURVEY BY: ROUSE-SIRINE ASSOCIATES, LTD., DATE: NOVEMBER 4, 2020  
 GPIN: 1488-08-9788  
 ZONING: R-40 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## RE-VEGETATION / SEEDING SCHEDULE

TABLE 3.32-E (REVISE JUNE 2003)

### PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA

#### Minimum Care Lawn (Commercial or Residential)

Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre

#### High Maintenance Lawn

Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre

### NOTICE

BEFORE YOU DIG,  
 CALL MISS UTILITY  
 1-800-552-7001 or 811  
 FOR LOCATIONS OF  
 EXISTING UTILITIES.

WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.



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**PURPOSE: MAINTENANCE**

**DATUM: MLW 0.0**

**A.P.O.**

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**2. DAVID BYLER**

**REV: 01/12/2021**



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**BULKHEAD, PIER AND BOAT RAMP**

**IN: WITCHDUCK BAY**

**AT: 4018 N WITCHDUCK ROAD**

**VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

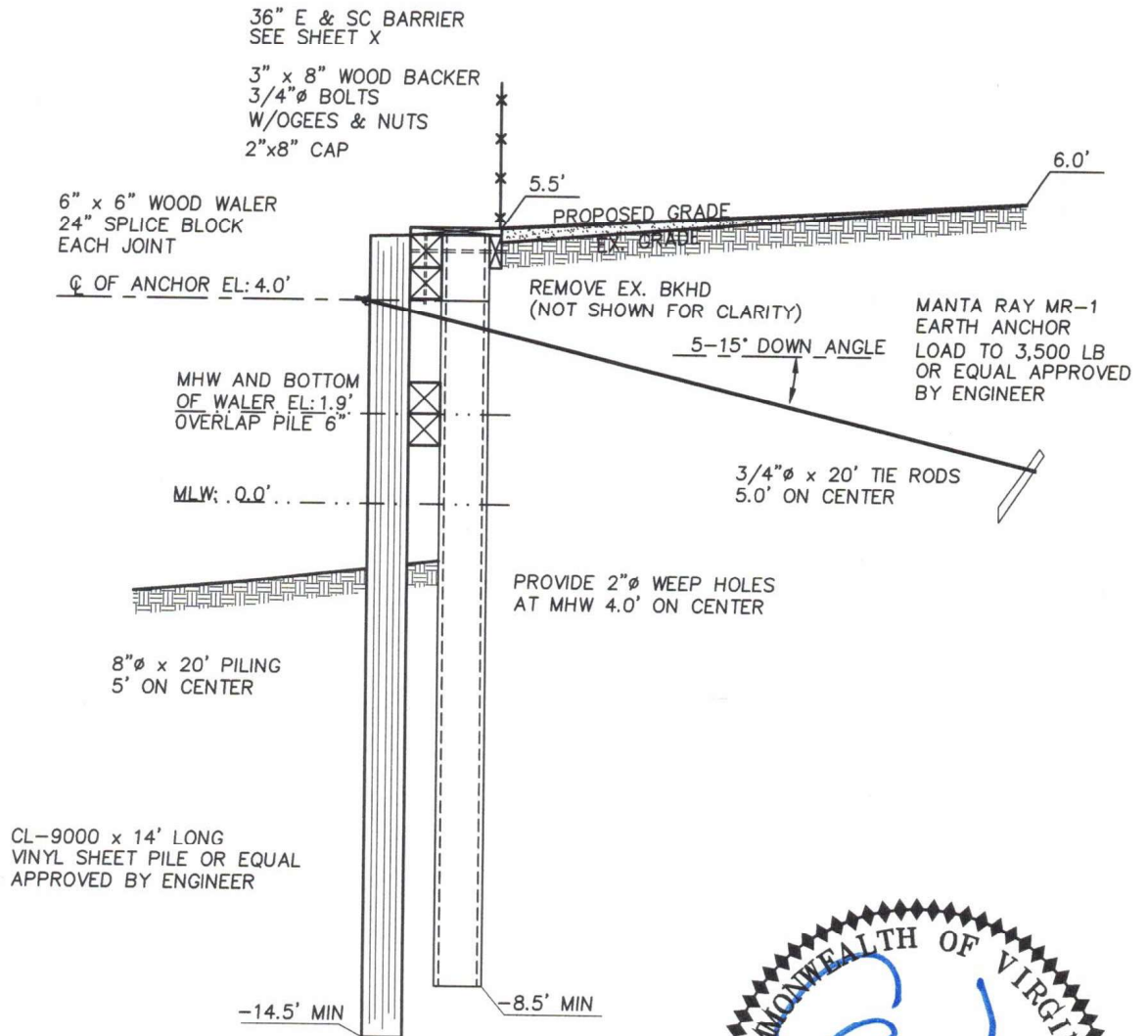
**DAVID BOWDEN**

**SHEET 4 OF 12**

**DATE: DECEMBER 30, 2020**

# CROSS SECTION PROPOSED BULKHEAD

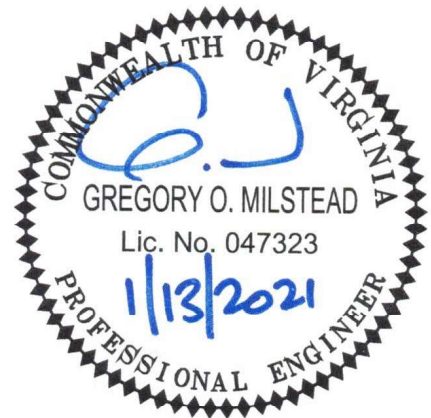
SC: 1" = 4'



**MATERIALS SPECIFICATIONS:**

CAP BOARD CCA 0.4 PCF  
ALL OTHER TIMBER CCA 2.5 PCF  
ALL WOOD GRADE 2 OR BETTER  
ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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**PURPOSE: MAINTENANCE**

**DATUM: MLW 0.0**

**A.P.O.**

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**2. DAVID BYLER**



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**BULKHEAD, PIER AND BOAT RAMP**

**IN: WITCHDUCK BAY**

**AT: 4018 N WITCHDUCK ROAD**

**VIRGINIA BEACH, VA 23455**

**APPLICATION BY:**

**DAVID BOWDEN**

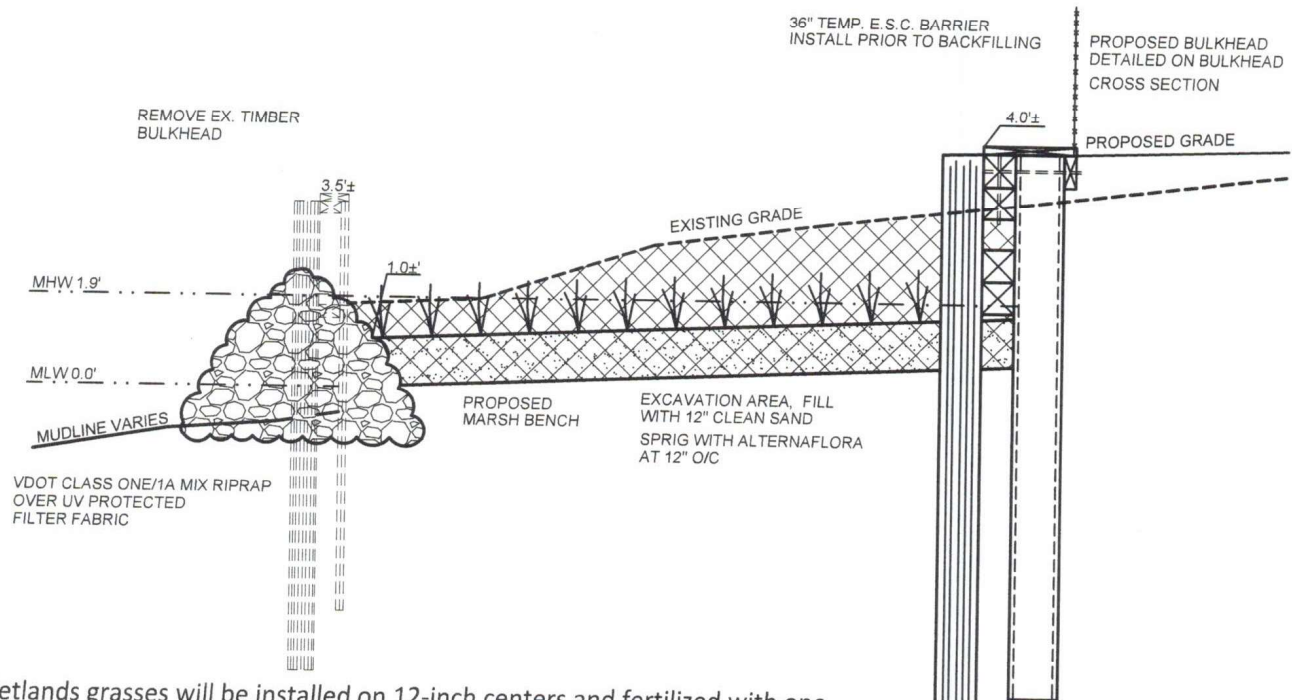
**SHEET 5 OF 12**

**DATE: DECEMBER 30, 2020**

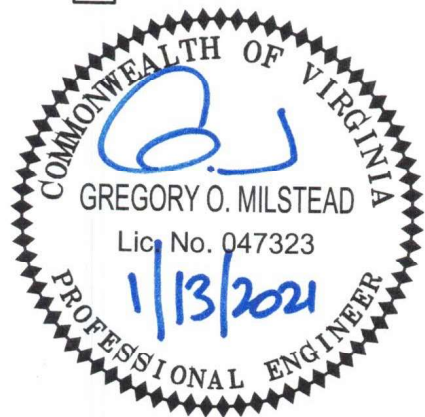
**REV: 01/12/2021**

# CROSS SECTION PROPOSED MITIGATION AREA

SC: 1" = 4'



1. Wetlands grasses will be installed on 12-inch centers and fertilized with one ounce of Osmocote 18-6-12 slow release fertilizer or equivalent.
2. Plant mortality will be addressed by replacing plants during the next available growing season.
3. Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.
4. Sand fill (for living shoreline projects) will meet the following standard: Using the Unified Soil Classification System, sand will be SM (silty sands), SP or SW with a medium grain size of around 0.25 mm with no more than 20 percent passing through a #100 sieve (0.149mm) and no more than 10 percent passing through a #200 sieve (0.074mm).
5. Following installation of the wetlands vegetation, an annual vegetation monitoring report shall be submitted in mid-August for three (3) years following approval to the City of Virginia Beach Waterfront Operations Staff. The annual report shall include photographs and a re-vegetation plan for any areas where the vegetation has failed to establish.



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**PURPOSE: MAINTENANCE**  
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**IN: WITCHDUCK BAY**  
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**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
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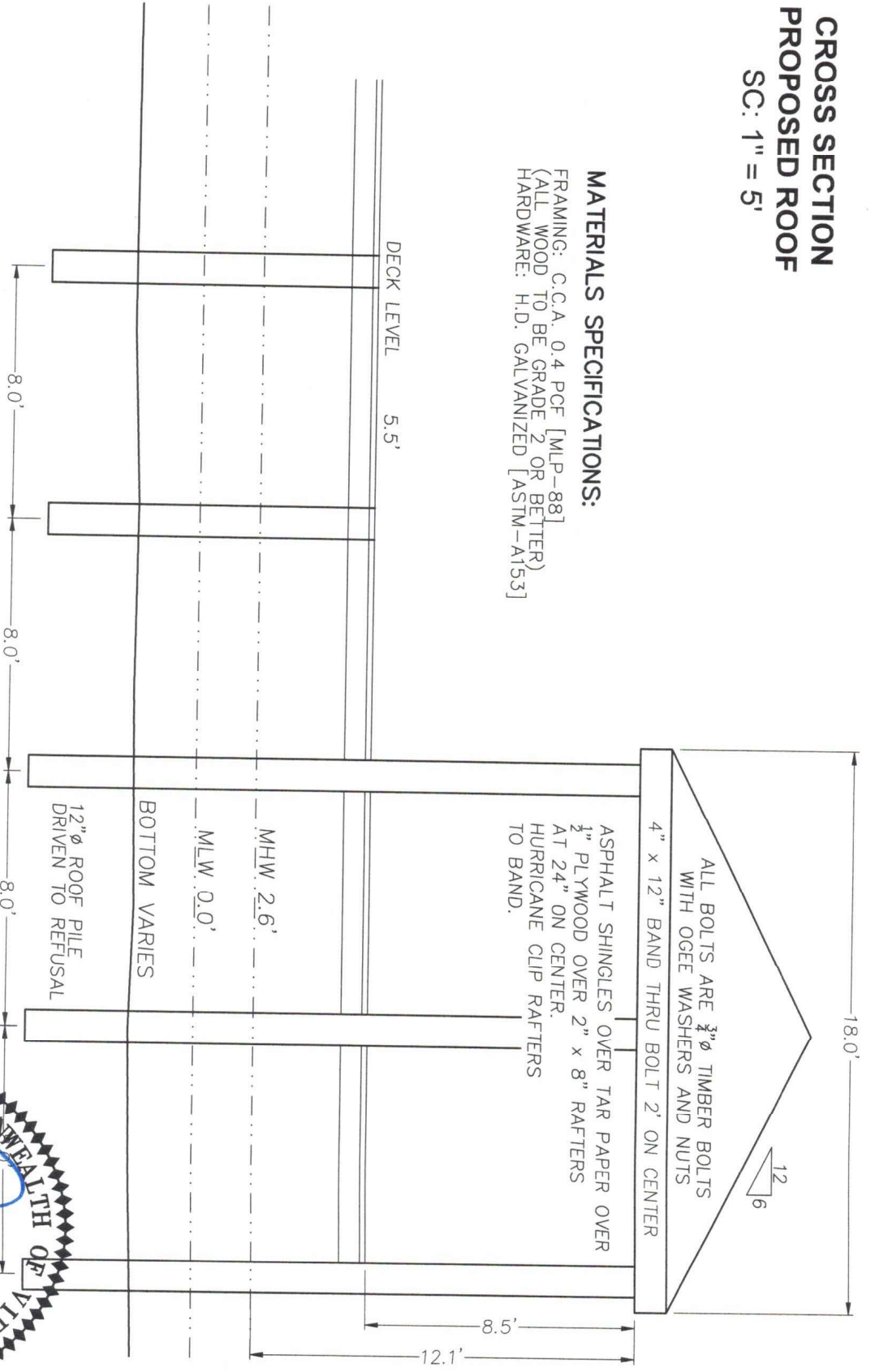
REV: 01/12/2021

**SHEET 6 OF 12**  
**DATE: DECEMBER 30, 2020**

# CROSS SECTION PROPOSED ROOF

SC: 1" = 5'

**MATERIALS SPECIFICATIONS:**  
 FRAMING: C.C.A. 0.4 PCF [MLP-88]  
 (ALL WOOD TO BE GRADE 2 OR BETTER)  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]



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**PURPOSE: MAINTENANCE**  
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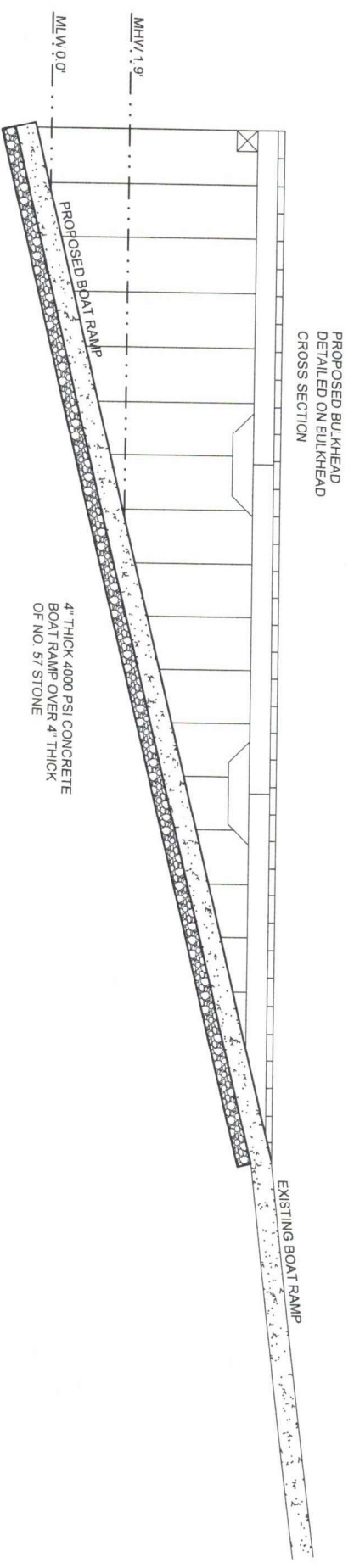
**SHEET 7 OF 12  
 DATE: DECEMBER 30, 2020**





# CROSS SECTION PROPOSED BOAT RAMP

SC: 1" = 4'



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**PURPOSE: MAINTENANCE**  
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REV: 01/12/2021



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**APPLICATION BY:**  
**DAVID BOWDEN**

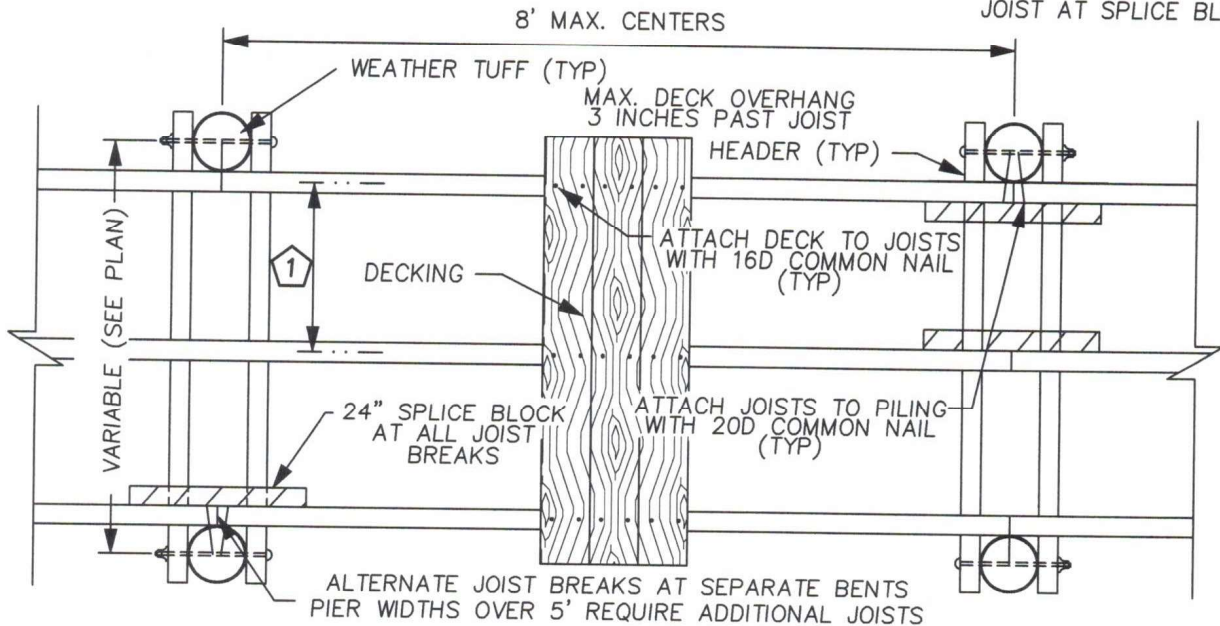
**SHEET 8 OF 12**  
**DATE: DECEMBER 30, 2020**



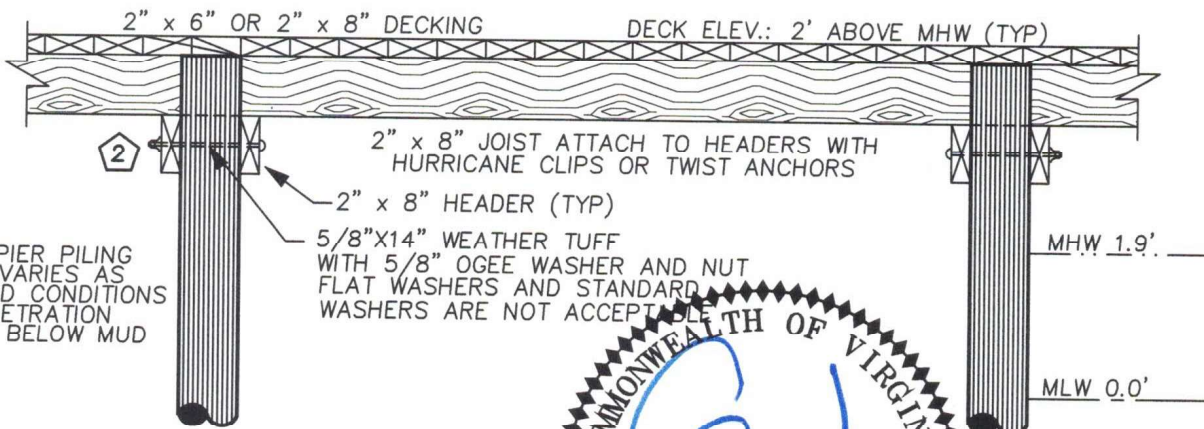
# PROPOSED PIER DETAILS

SCALE 1/2" = 1.0'

USE (3) 16D NAILS ON EA. JOIST AT SPLICE BLOCK



- ① JOIST SPACING 16" O/C IF USING 5/4 BOARD DECKING.  
JOIST SPACING 24" O/C IF USING 2" TIMBER DECKING.
- ② PILES SPACING GREATER THAN 5.0' O/C REQUIRE (2) 5/8"Ø WEATHER TUFF BOLTS ASSEMBLIES  
ALL PILE BENTS REQUIRE TWO HEADERS AS SHOWN, NO EXCEPTIONS!

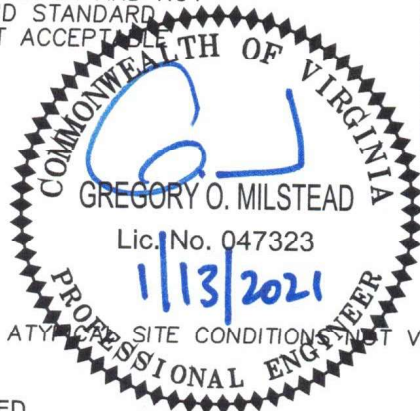


## MATERIALS SPECIFICATIONS:

PILING: C.C.A. 2.5 PCF  
 HEADERS AND JOISTS: C.C.A. 0.6 PCF  
 DECKING: CCA 0.4 PCF  
 ALL WOOD TO BE GRADE 2 OR BETTER.  
 HARDWARE: H.D. GALVANIZED [ASTM-A153]

PIER DESIGN BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT.

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**DAVID BOWDEN**

REV: 01/12/2021

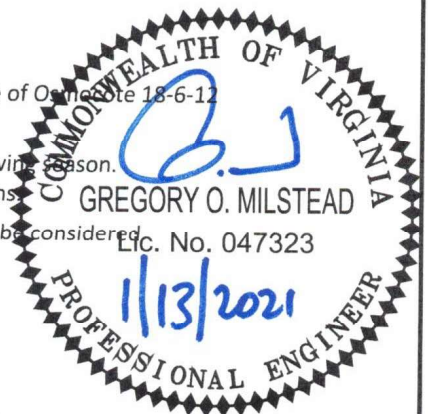
**SHEET 9 OF 12**  
**DATE: DECEMBER 30, 2020**

NLAA COMPLIANCE						
ITEM	8" Pile	10" Pile	12" Pile			
BULKHEAD	54					
PIER	36					
ROOF		8				
FLOAT		2				
LIFT		4				
MOORING PILES		4				

ALL PILES TO BE TIMBER, DRIVEN VIA EXCAVATOR MOUNTED VIBRATORY HAMMER. BARGE SIZE APPROXIMATELY 18' x 28', PUSH BOAT IS 24' SKIFF WITH 100HP OUTBOARD.

<p><b>NOTICE</b></p> <p>BEFORE YOU DIG, CALL MISS UTILITY 1-800-552-7001 or 811 FOR LOCATIONS OF EXISTING UTILITIES.</p>	<p>WARNING - AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DETERMINING THE SIZE OF THE EXISTING WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, STORM DRAINAGE AND LOCATING ALL OTHER UTILITIES WHICH COULD AFFECT THE PROPOSED CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.</p> 
--	---

- White sand for mitigation area to meet ASTM: C-33
- Wetlands grasses will be installed on 18-inch centers and fertilized with one ounce of Osmocote 18-6-12 slow release fertilizer or equivalent.
- Plant mortality will be addressed by replacing plants during the next available growing season. Photographic reports shall be submitted to Wetlands staff for 2 full growing seasons.
- Wetland planting will achieve an 85% coverage within two full growing seasons to be considered successful.



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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
**1. JOHN W. PHAM**  
**2. DAVID BYLER**



**WATERFRONT CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

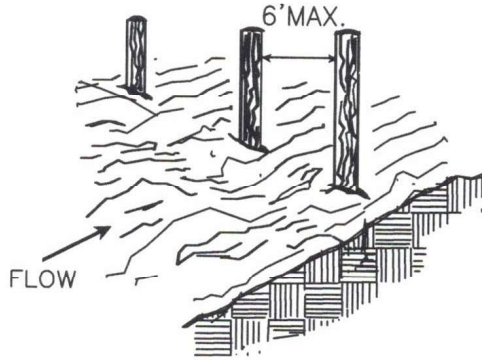
**BULKHEAD, PIER AND BOAT RAMP**  
**IN: WITCHDUCK BAY**  
**AT: 4018 N WITCHDUCK ROAD**  
**VIRGINIA BEACH, VA 23455**  
**APPLICATION BY:**  
**DAVID BOWDEN**

**SHEET 10 OF 12**  
**DATE: DECEMBER 30, 2020**

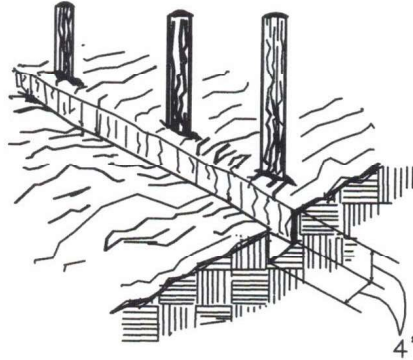
REV: 01/12/2021

# CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

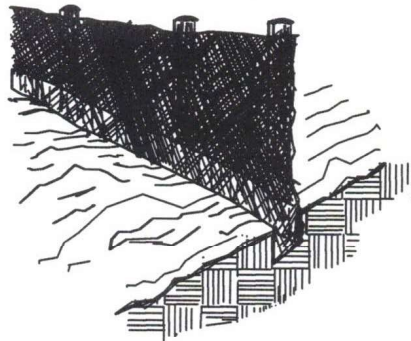
1. SET THE STAKES.



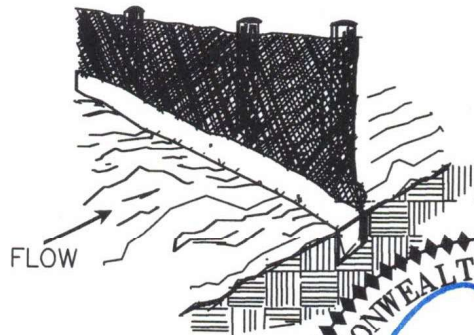
2. EXCAVATE A 4" X 4" TRENCH UPSLOPE  
ALONG THE LINE OF STAKES.



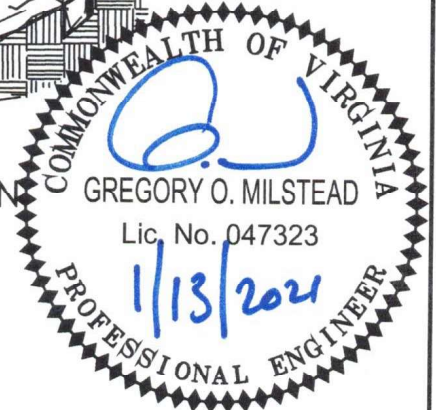
3. STAPLE FILTER MATERIAL  
TO STAKES AND EXTEND  
IT INTO THE TRENCH.



4. BACKFILL AND COMPACT  
THE EXCAVATED SOIL.



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant

PLATE. 3.05-2

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

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**PURPOSE: MAINTENANCE**

**DATUM: MLW 0.0  
A.P.O.**

**1. JOHN W. PHAM  
2. DAVID BYLER**



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
VIRGINIA BEACH, VA 23454  
PH/FAX: (757) 425-8244, CELL: (757) 619-7302

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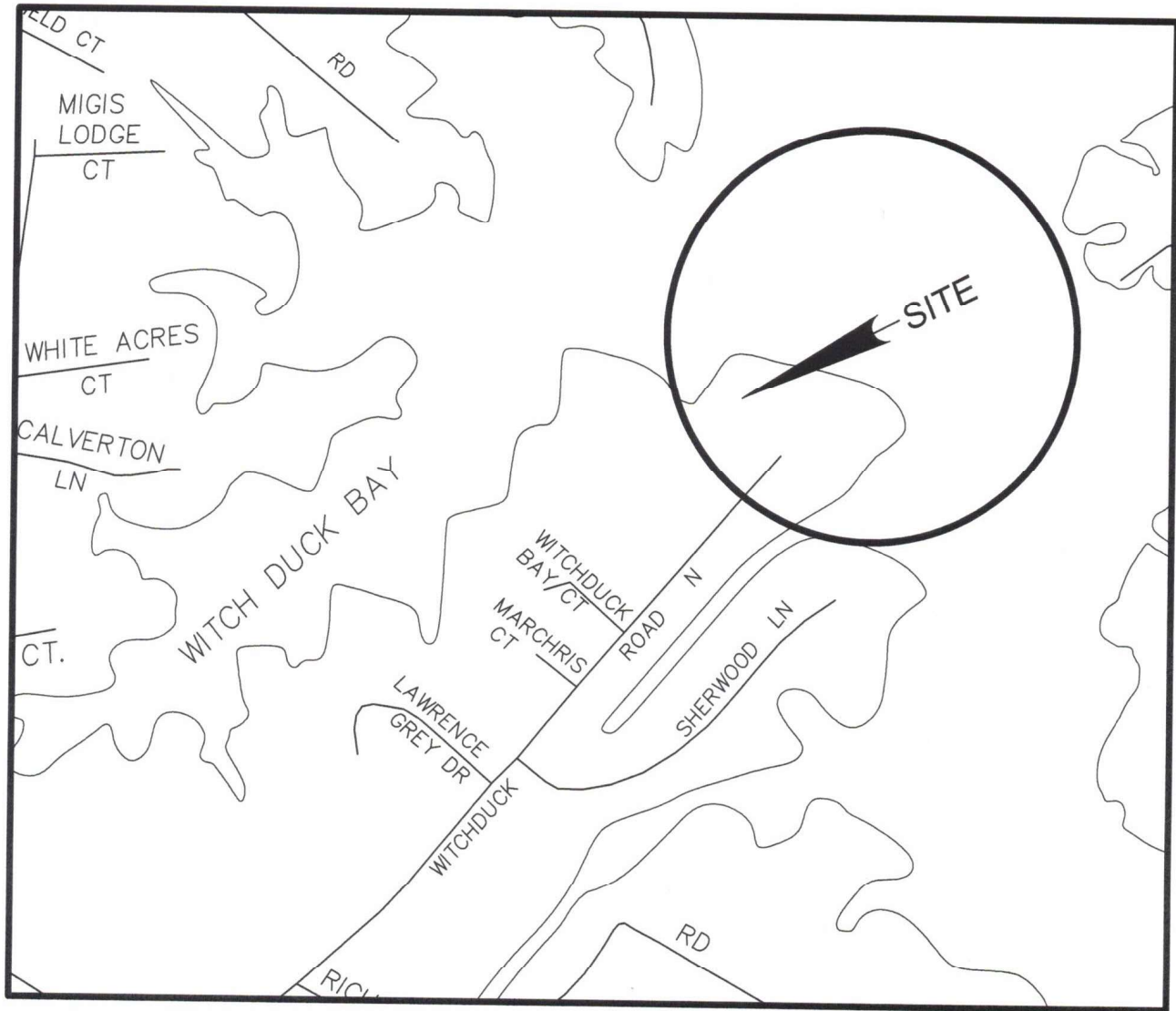
**BULKHEAD, PIER AND BOAT RAMP**

**IN: WITCHDUCK BAY  
AT: 4018 N WITCHDUCK ROAD  
VIRGINIA BEACH, VA 23455**

**APPLICATION BY:  
DAVID BOWDEN**

**SHEET 11 OF 12  
DATE: DECEMBER 30, 2020**

REV: 01/12/2021



## LOCATION MAP

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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
**1. JOHN W. PHAM**  
**2. DAVID BYLER**



**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PH/FAX: (757) 425-8244, CELL: (757) 619-7302

**BULKHEAD, PIER AND BOAT RAMP  
 IN: WITCHDUCK BAY  
 AT: 4018 N WITCHDUCK ROAD  
 VIRGINIA BEACH, VA 23455  
 APPLICATION BY:  
 DAVID BOWDEN**

REV: 01/12/2021

**ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.**  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**SHEET 12 OF 12  
 DATE: DECEMBER 30, 2020**

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_

Location: 4018 N. Witchduck Road GPIN: 1488-08-9788

Watershed: Lynnhaven-Poquoson HUC: 02010508

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
X	Others (describe) <b>Restore impacted buffer to preconstruction condition or enhance per plan.</b>		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: David Bowden

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_



**WATERFRONT CONSULTING, INC.**  
"Specializing in Permit Processing"

December 31, 2020

John W. Pham  
4024 N. Witchduck Road  
Virginia Beach, VA 23455

**Re: Proposed Bulkhead, Pier, Lift, Float, Roof, Riprap, & Sprigging  
Located at 4018 N. Witchduck Road, Virginia Beach, VA 23455**

Dear John W. Pham

This letter is to notify you that your neighbors, David Bowden have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), John W. Pham, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of David Bowden.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated December 30, 2020  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**



**WATERFRONT CONSULTING, INC.**  
“Specializing in Permit Processing”

December 31, 2020

David Byler  
522 S. Independence Blvd, Ste. 202B  
Virginia Beach, VA 23452

**Re: Proposed Bulkhead, Pier, Lift, Float, Roof, Riprap, & Sprigging  
Located at 4018 N. Witchduck Road, Virginia Beach, VA 23455**

Dear David Byler

This letter is to notify you that your neighbors, David Bowden have submitted a Joint Permit Application for waterfront improvements as shown on the enclosed drawings. Please review the drawings and should you have any questions or concerns, please do not hesitate to call. If we do not hear back within 15 days, it will be assumed that you have no objection to the project.

Any objections to the project should be made in writing and sent to:

Virginia Marine Resources Commission  
Habitat Management Division  
380 Fenwick Road, Bldg. 96  
Fort Monroe, VA 23651

We thank you in advance for your timely response and please feel free to call me with any questions.

Kind Regards,

*Robert E. Simon*

Robert E. Simon, Vice President

## Part 2 – Signatures (continued)

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(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of David Bowden.  
(Print applicant's name(s))

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I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

\_\_\_\_\_  
Adjacent/nearby property owner's signature(s)

\_\_\_\_\_  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

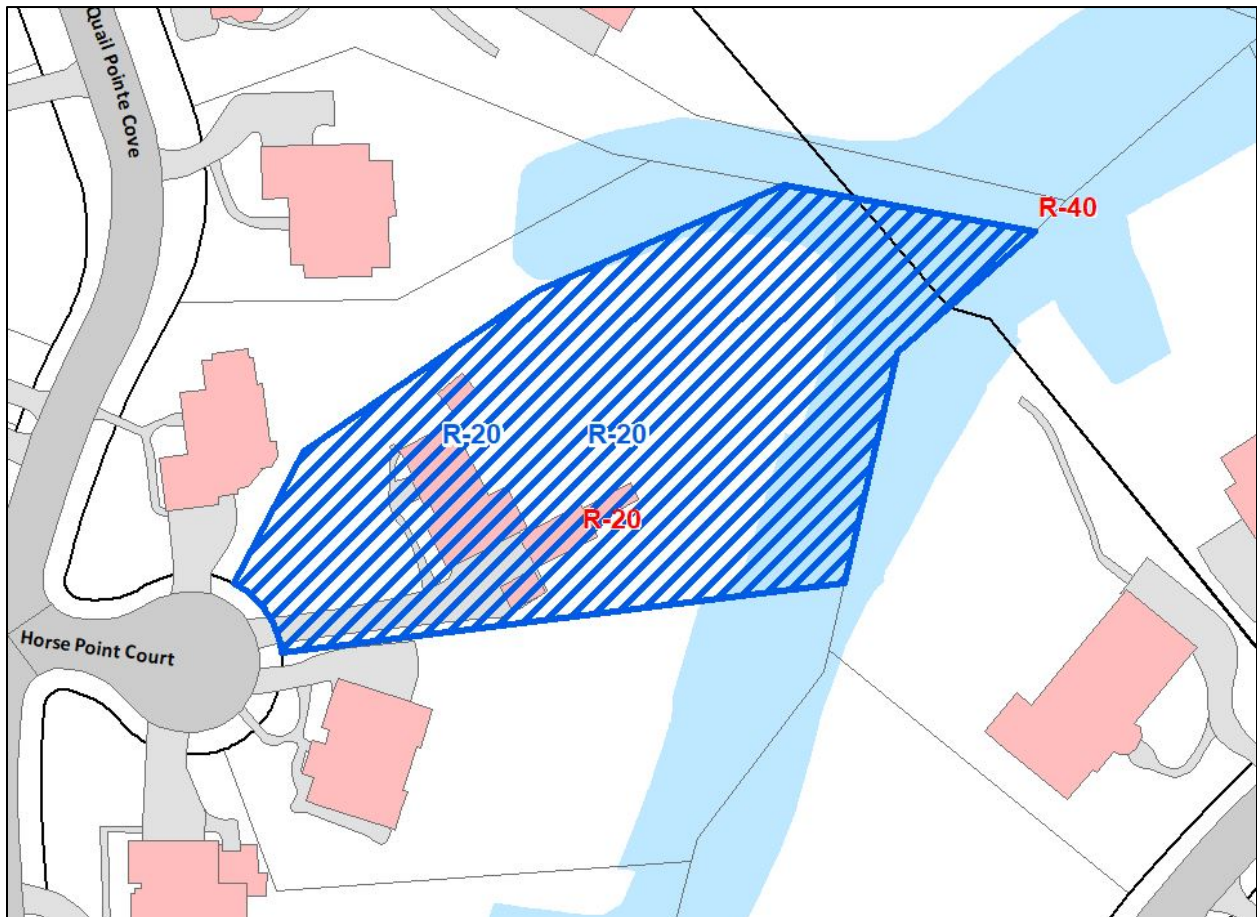
7. 2021-WTRA-00003

George Lauterbach [Applicant/Owner]

**To repair bulkhead involving wetlands**

1500 Horse Point Court  
(GPIN 2408-92-1820)

Waterway – Linkhorn Bay  
Subdivision – Linkhorn Estates Waterfront  
Council District – Lynnhaven





**APPLICANT'S NAME** George W. Lauterbach, Jr.

## DISCLOSURE STATEMENT FORM

The completion and submission of this form is required for all applications that pertain to City real estate matters or to the development and/or use of property in the City of Virginia Beach requiring action by the City Council or a board, commission, or other body appointed by the City Council. Such applications and matters include, but are not limited to, the following:

Acquisition of Property by City	Disposition of City Property	Modification of Conditions or Proffers
Alternative Compliance, Special Exception for	Economic Development Investment Program (EDIP)	Nonconforming Use Changes
Board of Zoning Appeals	Encroachment Request	Rezoning
Certificate of Appropriateness (Historic Review Board)	Floodplain Variance	Street Closure
Chesapeake Bay Preservation Area Board	Franchise Agreement	Subdivision Variance
Conditional Use Permit	Lease of City Property	Wetlands Board
	License Agreement	

**The disclosures contained in this form are necessary to inform public officials who may vote on the application as to whether they have a conflict of interest under Virginia law.**

### SECTION 1 / APPLICANT DISCLOSURE

FOR CITY USE ONLY / All disclosures must be updated two (2) weeks prior to any Planning Commission and City Council meeting that pertains to the application(s).

<input type="checkbox"/>	APPLICANT NOTIFIED OF HEARING	DATE:	
<input type="checkbox"/>	NO CHANGES AS OF	DATE:	
<input type="checkbox"/>	REVISIONS SUBMITTED	DATE:	

- Check here if the **APPLICANT IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **APPLICANT IS** a corporation, partnership, firm, business, or other unincorporated organization.
- (A) List the Applicant's name: George W. Lauterbach, Jr.  
If an LLC, list all member's names:

If a CORPORATION, list the the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary <sup>1</sup> or affiliated business entity <sup>2</sup> relationship with the Applicant: *(Attach list if necessary)*

See next page for information pertaining to footnotes <sup>1</sup> and <sup>2</sup>

---

## SECTION 2 / PROPERTY OWNER DISCLOSURE

*Complete Section 2 only if property owner is different from Applicant.*

- Check here if the **PROPERTY OWNER IS NOT** a corporation, partnership, firm, business, or other unincorporated organization.
- Check here if the **PROPERTY OWNER IS** a corporation, partnership, firm, business, or other unincorporated organization, **AND THEN**, complete the following.
- (A) List the Property Owner's name: \_\_\_\_\_  
If an LLC, list the member's names:

If a Corporation, list the names of all officers, directors, members, trustees, etc. below: *(Attach list if necessary)*

- (B) List the businesses that have a parent-subsiary<sup>1</sup> or affiliated business entity<sup>2</sup> relationship with the Property Owner: *(Attach list if necessary)*

<sup>1</sup> "Parent-subsiary relationship" means "a relationship that exists when one corporation directly or indirectly owns shares possessing more than 50 percent of the voting power of another corporation." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

<sup>2</sup> "Affiliated business entity relationship" means "a relationship, other than parent-subsiary relationship, that exists when (i) one business entity has a controlling ownership interest in the other business entity, (ii) a controlling owner in one entity is also a controlling owner in the other entity, or (iii) there is shared management or control between the business entities. Factors that should be considered in determining the existence of an affiliated business entity relationship include that the same person or substantially the same person own or manage the two entities; there are common or commingled funds or assets; the business entities share the use of the same offices or employees or otherwise share activities, resources or personnel on a regular basis; or there is otherwise a close working relationship between the entities." See State and Local Government Conflict of Interests Act, Va. Code § 2.2-3101.

---

### SECTION 3. SERVICES DISCLOSURE

Are any of the following services being provided in connection with the subject of the application or any business operating or to be operated on the Property. If the answer to any item is YES, please identify the firm or individual providing the service: IF THE OWNER AND APPLICANT ARE DIFFERENT, EACH MUST COMPLETE THE SECTION SEPERATELY

## APPLICANT

YES	NO	SERVICE	PROVIDER (use additional sheets if needed)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Accounting and/or preparer of your tax return	Randall R. Spurrier, CPA
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architect / Landscape Architect / Land Planner	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contract Purchaser (if other than the Applicant) - identify purchaser and purchaser's service providers	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Any other pending or proposed purchaser of the subject property (identify purchaser(s) and purchaser's service providers)	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construction Contractors	Project out for bid
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Engineers / Surveyors/ Agents	WCI, Chesapeake Bay Site Solutions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Financing (include current mortgage holders and lenders selected or being considered to provide financing for acquisition or construction of the property)	PNC Bank
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Services	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Real Estate Brokers / Agents/Realtors for current and anticipated future sales of the subject property	

### SECTION 4. KNOWN INTEREST BY PUBLIC OFFICIAL OR EMPLOYEE

YES	NO	Does an official or employee of the City of Virginia Beach have an interest in the subject land or any proposed development contingent on the subject public action?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	


If yes, what is the name of the official or employee and what is the nature of the interest?



**CERTIFICATION:**

I certify that all of the information contained in this Disclosure Statement Form is complete, true, and accurate.

I understand that, upon receipt of notification that the application has been scheduled for public hearing, **I am responsible for updating the information provided herein two weeks prior to the Planning Commission, Council, VBDA meeting, or meeting of any public body or committee in connection with this Application.**

	George W. Lauterbach, Jr.	7/12/19
APPLICANT'S SIGNATURE	PRINT NAME	DATE

- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at [http://ccrm.vims.edu/permits\\_web/guidance/local\\_wetlands\\_boards.html](http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html).

FOR AGENCY USE ONLY	
	Notes:
	JPA # <b>21-0006</b>

## APPLICANTS

### Part 1 – General Information

**PLEASE PRINT OR TYPE ALL ANSWERS:** If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

<b>County or City in which the project is located:</b> <u>Virginia Beach, VA 23454</u>				
<b>Waterway at project site:</b> <u>Man-Made Canal Tributary to Linkhorn Bay</u>				
<i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i>				
Historical information for past permit submittals can be found online with VMRC - <a href="https://webapps.mrc.virginia.gov/public/habitat/">https://webapps.mrc.virginia.gov/public/habitat/</a> - or VIMS - <a href="http://ccrm.vims.edu/perms/newpermits.html">http://ccrm.vims.edu/perms/newpermits.html</a>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial

1. Applicant's legal name\* and complete mailing address: **Contact Information:**

George W. Lauterbach, Jr. 1500 Horse Point Court Virginia Beach, VA 23454	Home ( ) _____ Work (757) 420-5300 Fax ( ) _____ Cell (757) 438-92756 e-mail <a href="mailto:gwl@beachmarine.com">gwl@beachmarine.com</a> State Corporation Commission Name and ID Number (if applicable) _____
---	--

2. Property owner(s) legal name\* and complete address, if different from applicant: **Contact Information:**

_____ _____ _____ State Corporation Commission Name and ID Number (if applicable) _____	Home ( ) _____ Work ( ) _____ Fax ( ) _____ Cell ( ) _____ e-mail _____
--	---

## Part 1 - General Information (continued)

- |  |   |
|--|---|
| <p>3. Authorized agent name* and complete mailing address (if applicable):</p> <p>Waterfront Consulting, Inc.<br/>2589 Quality Court, Ste. 323<br/>Virginia Beach, VA 23454</p> <p>State Corporation Commission Name and ID Number (if applicable)</p> | <p>Contact Information:</p> <p>Home ( ) _____</p> <p>Work ( 757 ) 425-8244 _____</p> <p>Fax ( ) _____</p> <p>Cell ( 757 ) 619-7302 _____</p> <p>e-mail bob@waterfrontconsulting.net _____</p> <p>047-4381-1 _____</p> |
|--|---|

**\* If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc). If additional space is needed, provide a separate sheet of paper with the project description.

The project is for bulkhead maintenance by attaching 3 x 8 walers to the existing bulkhead pile, then driving timber tongue-and-groove and securing with a 6 x 6 waler either through-bolted to the existing pile or anchored with 1" x 20' tie back rods and Manta Ray drive anchors. The tongue-and-groove will be driven with a vibratory hammer mounted to an excavator.

No tree clearing is require and site access is over turf grass lawn. Minimal filling and grading will be required, only that to repair site access.

5. Have you obtained a contractor for the project?  Yes\*  No. \*If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form (enclosed)

<p>Contractor's name* and complete mailing address:</p>	<p>Contact Information:</p> <p>Home ( ) _____</p> <p>Work ( ) _____</p> <p>Fax ( ) _____</p> <p>Cell ( ) _____</p> <p>email _____</p> <p>State Corporation Commission Name and ID Number (if applicable) _____</p>
---	--

**\* If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

<p>Name and complete mailing address:</p> <p>Virginian Pilot 150 W Brambleton Avenue Norfolk, VA 23510</p>	<p>Telephone number</p> <p>( 757 ) 622-1455 _____</p>
--	---

## Part 1 - General Information (continued)

7. Give the following project location information:

Street Address (911 address if available) 1500 Horse Point Court  
Lot/Block/Parcel# Lot 41A, Section 4, Quail Point Cove  
Subdivision Linkhorn Estates  
City / County Virginia Beach ZIP Code 23454  
Latitude and Longitude at Center Point of Project Site (Decimal Degrees):  
36.86 / - 76.02 (Example: 36.41600/-76.30733)

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*

The project is located on public roads.

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The purpose of the project is maintenance.

9. Proposed use (check one):

- Single user (private, non-commercial, residential)  
 Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

Riprap was considered and determined not to be variable because:

1. The riprap cannot be placed channel ward of the bulkhead due to existing piers and navigation into the channel.
2. To place the riprap landward require that the existing bulkhead be removed and disposed of adding significant cost to the job. The existing piles are 12" piles in good condition and vertical.
3. Only 10 sf of NVW due to washouts are impacted and an in-lieu fee of \$125.00 shall be paid for the unavoidable losses.

## Part 1 - General Information (continued)

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed?  Yes  No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$ 37,000.00  
Approximate cost of that portion of the project that is channelward of mean low water:  
\$ 37,000.00
13. Completion date of the proposed work: Within one year of Permit Issue - \_\_\_\_\_
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Scott F. Guimond	836 Quail Point Cove	Virginia Beach, VA 23454
William J. Romig	1601 Quail Point Road	Virginia Beach, VA 23454
Harold W. James, Jr RT	941 Bingham Street	Virginia Beach, VA 23454
Linda Spence Widgeon RT	935 Bingham Street	Virginia Beach, VA 23454
1501 Horse Point Court, IV Trt	1501 Horse Point Court	Virginia Beach, VA 23454

## Part 2 - Signatures

### 1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

**PRIVACY ACT STATEMENT:** The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

**CERTIFICATION:** I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

**In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.**

George W. Lauterbach, Jr.  
Applicant's Legal Name (printed/typed)

\_\_\_\_\_  
(Use if more than one applicant)

  
Applicant's Signature

\_\_\_\_\_  
(Use if more than one applicant)

12 JUL 2019  
Date

\_\_\_\_\_  
Property Owner's Legal Name (printed/typed)  
(If different from Applicant)

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
(Use if more than one owner)

\_\_\_\_\_  
Date

## Part 2 – Signatures (continued)

### 2. Applicants having agents (if applicable)

#### CERTIFICATION OF AUTHORIZATION

I (we), George W. Lauterbach, Jr., hereby certify that I (we) have authorized Waterfront Consulting, Inc.  
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

Robert E. Simon, V.P.  
(Agent's Signature)

\_\_\_\_\_  
(Use if more than one agent)

July 2, 2019  
(Date)

George W. Lauterbach, Jr.  
(Applicant's Signature)

\_\_\_\_\_  
(Use if more than one applicant)

12 JUL 2019  
(Date)

### 3. Applicant's having contractors (if applicable)

#### CONTRACTOR ACKNOWLEDGEMENT

I (we), George W. Lauterbach, Jr., have contracted \_\_\_\_\_  
(Applicant's legal name(s)) (Contractor's name(s))  
to perform the work described in this Joint Permit Application, signed and dated \_\_\_\_\_.

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

\_\_\_\_\_  
Contractor's name or name of firm

\_\_\_\_\_

\_\_\_\_\_  
Contractor's or firms address

\_\_\_\_\_  
Contractor's signature and title

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
(use if more than one applicant)

\_\_\_\_\_  
Date

**ENGINEER/SURVEYOR'S INSPECTION STATEMENT  
FOR  
WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS**

REVISED 10-09-03

PROJECT LOCATION: 1500 Horse Point Court

APPLICANT'S NAME: George W. Lauterbach, Jr.

APPLICANT'S ADDRESS: 1500 Horse Point Court

Virginia Beach, VA 23454

ENGINEER OF RECORD: Gregory O. Milstead, P.E.

PROFESSIONAL ENGINEER/ SURVEYOR

CERTIFYING PROJECT

CONSTRUCTION: Bulkhead Maintenance

AT THE COMPLETION OF A WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECT IT IS REQUIRED THAT A CERTIFICATION BY THE APPROVING ENGINEER/SURVEYOR BE SUBMITTED, STATING THAT THEY HAVE INSPECTED THE REFERENCED PROJECT SITE AND TO THE BEST OF THEIR KNOWLEDGE, THE WATERFRONT/COASTAL PRIMARY SAND DUNE PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. SUCH CERTIFICATION SHALL BE SEALED BY THE ENGINEER OR SURVEYOR CERTIFYING THE CONSTRUCTION.

THIS FORM MUST BE COMPLETED AND RETURNED TO THE DEPARTMENT OF PLANNING, WATERFRONT OPERATIONS OFFICE WITH ALL APPLICATIONS FOR WATERFRONT CONSTRUCTION/COASTAL PRIMARY SAND DUNE PROJECTS AT THE TIME OF SUBMITTAL.



SIGNATURE OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

10/30/2019  
DATE

Gregory O. Milstead, P.E.

TYPE OR PRINT NAME OF ENGINEER/SURVEYOR CERTIFYING CONSTRUCTION

  
SIGNATURE OF APPLICANT

12 JUL 2019  
DATE

SIGNATURE OF COASTAL ZONE ADMINISTRATOR

DATE

ANY ALTERATION OF THIS FORM OR ITS ENDORSEMENTS WITHOUT THE EXPRESS CONSENT FROM THE ORIGINATOR SHALL INVALIDATE THIS INSTRUMENT.

APPLICATION NO. \_\_\_\_\_



## Part 3 – Appendices (continued)

**Appendix B: Projects for Shoreline Stabilization** in tidal wetlands, tidal waters and dunes/beaches including riprap revetments and associated backfill, marsh toe stabilization, bulkheads and associated backfill, breakwaters, beach nourishment, groins, jetties, and living shoreline projects. Answer all questions that apply. Please provide any reports provided from the Shoreline Erosion Advisory Service or VIMS.

**NOTE:** It is the policy of the Commonwealth that living shorelines are the preferred alternative for stabilizing tidal shorelines (Va. Code § 28.2-104.1). **Information on non-structural, vegetative alternatives (i.e., Living Shoreline) for shoreline stabilization is available at [http://ccrm.vims.edu/coastal\\_zone/living\\_shorelines/index.html](http://ccrm.vims.edu/coastal_zone/living_shorelines/index.html).**

1. Describe each **revetment, bulkhead, marsh toe, breakwater, groin, jetty, other structure, or living shoreline project** separately in the space below. Include the overall length in linear feet, the amount of impacts in acres, and volume of associated backfill below mean high water and/or ordinary high water in cubic yards, as applicable:

The project is to construct approximately 185 LF of timber bulkhead. Approximately 0.01 acres of aquatic resources will be impacted. Approximately 55 CY's of fill material will be placed below the plane of MHW.

2. What is the maximum encroachment channelward of mean high water? 2 feet.  
Channelward of mean low water? 2 feet.  
Channelward of the back edge of the dune or beach? 0 feet.
3. Please calculate the square footage of encroachment over:
  - Vegetated wetlands 0 square feet
  - Non-vegetated wetlands 10 square feet
  - Subaqueous bottom 370 square feet
  - Dune and/or beach 0 square feet
4. For bulkheads, is any part of the project maintenance or replacement of a previously authorized, currently serviceable, existing structure?  Yes  No.

If yes, will the construction of the new bulkhead be no further than two (2) feet channelward of the existing bulkhead?  Yes  No.

If no, please provide an explanation for the purpose and need for the additional encroachment.

### Part 3 – Appendices (continued)

5. Describe the type of construction and **all** materials to be used, including source of backfill material, if applicable (e.g., vinyl sheet-pile bulkhead, timber stringers and butt piles, 100% sand backfill from upland source; broken concrete core material with Class II quarry stone armor over filter cloth). **NOTE: Drawings must include construction details, including dimensions, design and all materials, including fittings if used.**

The bulkhead will consist of timber piles, wales and timber sheet pile, H.D. galvanized hardware and backfill from an upland source.

6. If using stone, broken concrete, etc. for your structure(s), what is the average weight of the:  
Core (inner layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_  
Armor (outer layer) material \_\_\_\_\_ pounds per stone    Class size \_\_\_\_\_

7. For **beach nourishment**, including that associated with breakwaters, groins or other structures, provide the following:

- Volume of material                      \_\_\_\_\_ cubic yards channelward of mean low water  
    \_\_\_\_\_ cubic yards landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Area to be covered                      \_\_\_\_\_ square feet channelward of mean low water  
    \_\_\_\_\_ square feet landward of mean low water  
    \_\_\_\_\_ cubic yards channelward of mean high water  
    \_\_\_\_\_ cubic yards landward of mean high water

- Source of material, composition (e.g. 90% sand, 10% clay): 90% sand, 10% clay
- Method of transportation and placement: \_\_\_\_\_

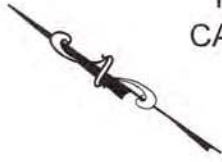
- Describe any proposed vegetative stabilization measures to be used, including planting schedule, spacing, monitoring, etc. Additional guidance is available at <http://www.vims.edu/about/search/index.php?q=planting+guidelines>:

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**MANMADE TRIBUTARY  
CANAL TO LINKHORN BAY**



N/F WILLIAM J. ROMIG  
2408-83-9120

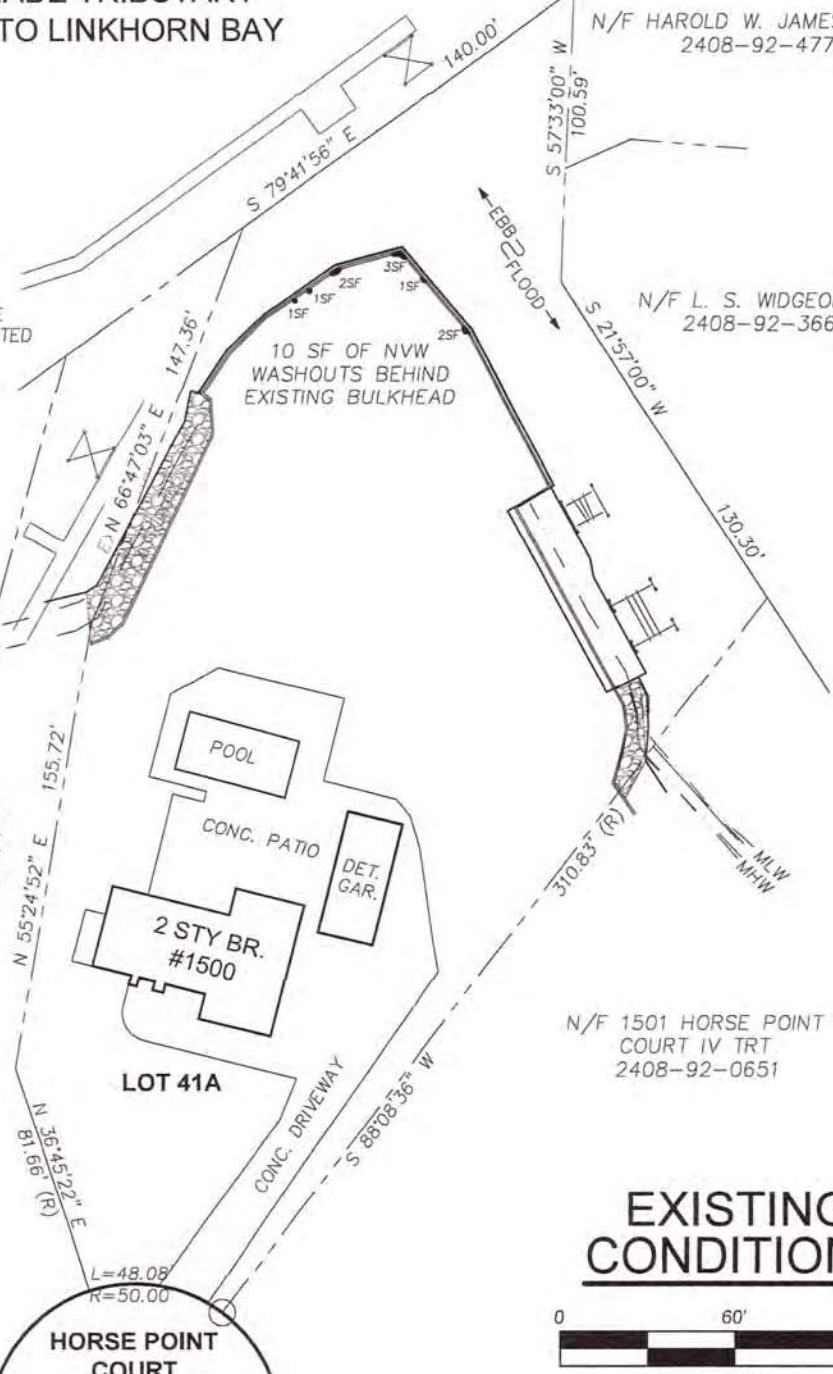
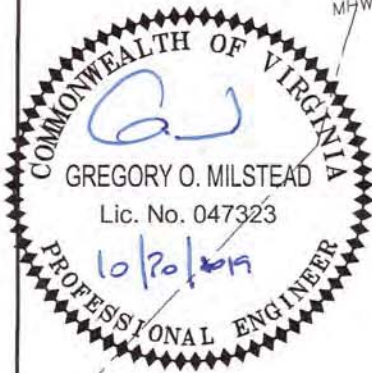
MLW AND MHW AT FACE  
OF BULKHEAD OR AS NOTED

N/F HAROLD W. JAMES, JR. RT  
2408-92-4779

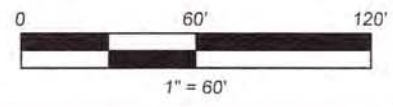
N/F L. S. WIDGEON, RT  
2408-92-3668

N/F 1501 HORSE POINT  
COURT IV TRT  
2408-92-0651

N/F SCOTT F. GUIMOND  
2408-82-9832



**EXISTING  
CONDITIONS**



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**PURPOSE: MAINTENANCE**  
**DATUM: MLW 0.0**  
**A.P.O.**  
 1. SCOTT F. GUIMOND  
 2. WILLIAM J. ROMIG  
 3. HAROLD W. JAMES, JR. RT.  
 4. LINDA SPENCE WIDGEON RT.  
 5. 1501 HORSE POINT COURT IV TRT  
**REV:**



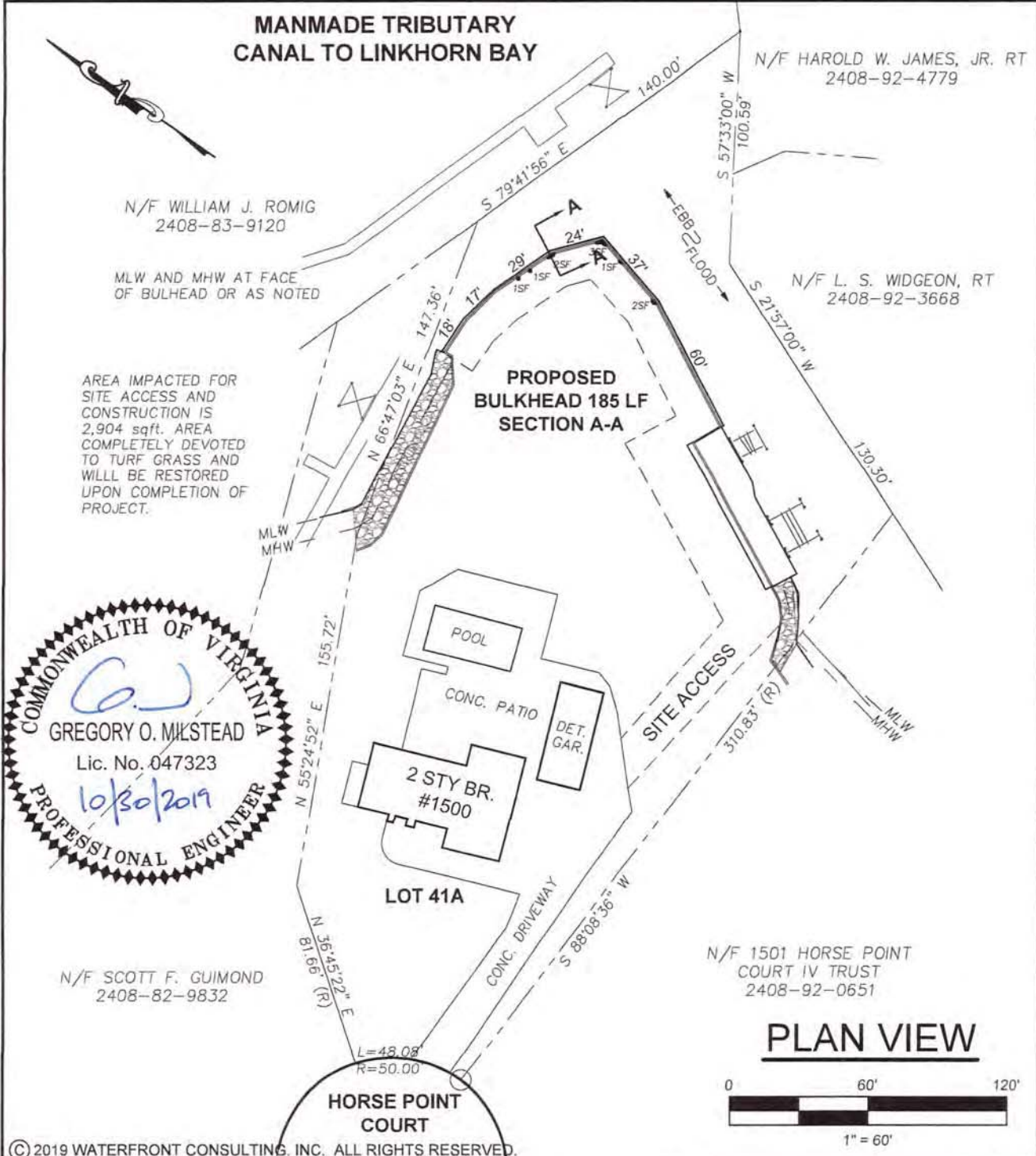
**WATERFRONT  
CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
 CHESAPEAKE BAY SITE SOLUTIONS, INC.  
 P.O. BOX 6663 VIRGINIA BEACH, VA 23456  
 PHONE: (757) 575-3715

**PROPOSED: BULKHEAD, PIER, AND LIFT  
IN: MANMADE CANAL TRIBUTARY TO  
LINKHORN BAY**  
**AT: 1500 HORSE POINT COURT  
VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
 GEORGE W. LAUTERBACH, JR.  
**SHEET 1 OF 6**  
**DATE: JULY 1, 2019**

**MANMADE TRIBUTARY  
CANAL TO LINKHORN BAY**



COMMONWEALTH OF VIRGINIA  
GREGORY O. MILSTEAD  
Lic. No. 047323  
10/30/2019  
PROFESSIONAL ENGINEER

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**PURPOSE: MAINTENANCE**  
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 1. SCOTT F. GUIMOND  
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 3. HAROLD W. JAMES, JR. RT.  
 4. LINDA SPENCE WIDGEON RT.  
 5. 1501 HORSE POINT COURT IV TRT  
**REV:**

**WCI** WATERFRONT  
 CONSULTING, INC.  
 2589 QUALITY COURT, STE. 323  
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**VIRGINIA BEACH, VA 23454**  
**APPLICATION BY:**  
**GEORGE W. LAUTERBACH, JR.**  
**SHEET 2 OF 6**  
**DATE: JULY 1, 2019**

## SITE DATA

LEGAL DESCRIPTION: QUAIL POINT COVE, SEC. 4, LOT 41A  
 REF: MAP BOOK 278, PAGE 13, ON FILE AT THE CLERK'S OFFICE, VIRGINIA BEACH, VA  
 SITE SURVEY BY: W.P. LARGE, INC., DATE: JULY 24, 1996  
 GPIN: 2408-92-1820  
 ZONING: R-20 RESIDENTIAL

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS.
2. HOLD A PRE-CONSTRUCTION MEETING ON-SITE WITH THE COASTAL ZONE ADMINISTRATOR.
3. INSTALL ALL EROSION CONTROLS AND TREE PROTECTION AS SHOWN ON PLAN.
4. CONSTRUCT SITE IMPROVEMENTS.
5. STABILIZE ALL DISTURBED AREAS AND RESTORE SITE ACCESS TO PRE-CONSTRUCTION VEGETATION OR WITH ACCEPTABLE LANDSCAPING AND GROUND COVER.
6. INSTALL STORM-WATER BMP'S IF REQUIRED.
7. REMOVE ALL TEMPORARY EROSION CONTROLS WHEN THE SITE HAS BEEN STABILIZED.

## CONSTRUCTION NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
2. ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.
3. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF IN A LAWFUL MANNER.
4. THESE PLANS ARE FOR PERMIT PURPOSES ONLY. NO GEOTECHNICAL OR STRUCTURAL BORINGS HAVE TAKEN PLACE AT THIS SITE. THE CONTRACTOR/OWNER SHALL VERIFY BOTTOM CONDITIONS.
5. IT SHALL BE THE OWNER/CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES AND SPRINKLER SYSTEMS LOCATED AND MARKED. THE NUMBER FOR "MISS UTILITY" IS (800) 552-7001 OR 811.

## RE-VEGETATION / SEEDING SCHEDULE

**TABLE 3.32-E (REVISE JUNE 2003)**  
**PERMANENT SEEDING SPECIFICATIONS FOR COASTAL PLAIN AREA**

<u>Minimum Care Lawn (Commercial or Residential)</u>	
Tall Fescue	175-200 lbs./acre
Bermuda Grass	75 lbs./acre
<u>High Maintenance Lawn</u>	
Tall Fescue	200-250 lbs./acre
Bermuda Grass (seed)	40 lbs. (un-hulled)/acre
Bermuda Grass (by other vegetative establishment method, see std. & spec. 3.34)	30 lbs. (hulled)/acre



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**PURPOSE: MAINTENANCE**

**DATUM: MLW 0.0**

**A.P.O.**

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**2. WILLIAM J. ROMIG**

**3. HAROLD W. JAMES, JR. RT.**

**4. LINDA SPENCE WIDGEON RT.**

**5. 1501 HORSE POINT COURT IV TRT**

**REV:**



**WATERFRONT  
 CONSULTING, INC.**

2589 QUALITY COURT, STE. 323  
 VIRGINIA BEACH, VA 23454  
 PHONE: (757) 425-8244, CELL: (757) 619-7302

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**PROPOSED: BULKHEAD, PIER, AND LIFT  
 IN: MANMADE CANAL TRIBUTARY TO  
 LINKHORN BAY**

**AT: 1500 HORSE POINT COURT  
 VIRGINIA BEACH, VA 23454**

**APPLICATION BY:**

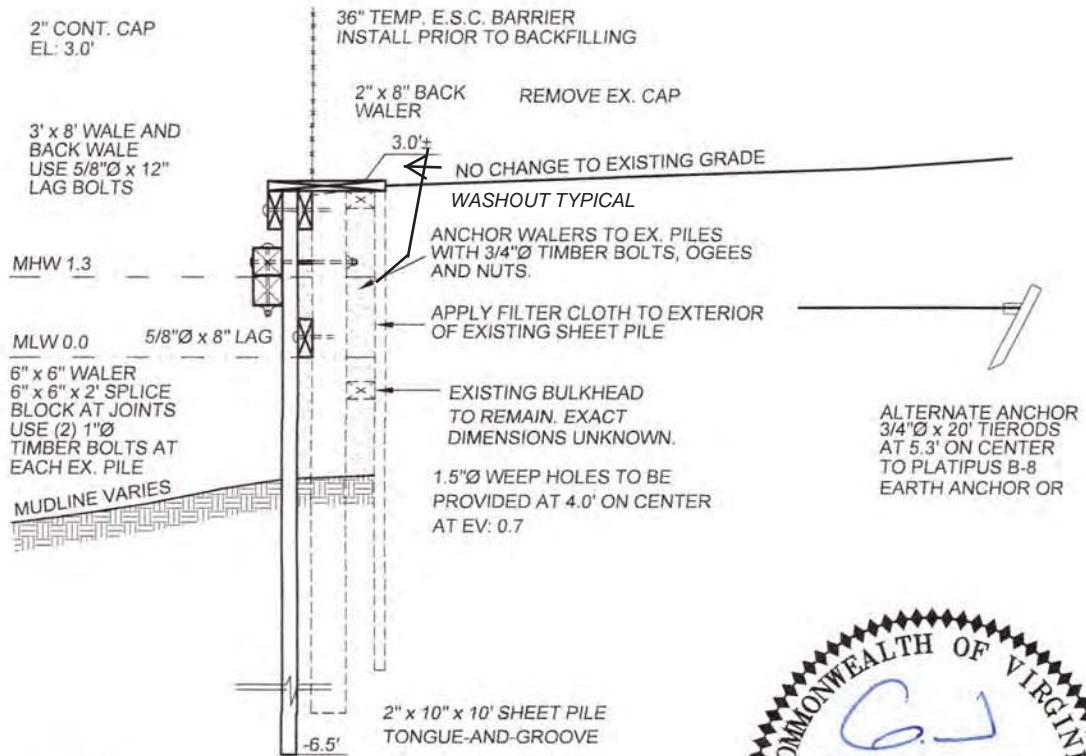
**GEORGE W. LAUTERBACH, JR.**

**SHEET 3 OF 6**

**DATE: JULY 1, 2019**

# CROSS SECTION A-A PROPOSED BULKHEAD

SCALE 3" = 1.0'



MATERIALS SPECIFICATIONS:  
CAP BOARD CCA 0.4 PCF  
ALL OTHER TIMBER CCA 2.5 PCF  
ALL WOOD GRADE 2 OR BETTER  
ALL HARDWARE H.D. GALVANIZED

BULKHEAD DESIGN IS BASED ON STANDARD DESIGN PRACTICES. ATYPICAL SITE CONDITIONS NOT VISIBLY APPARENT HAVE NOT BEEN TAKEN INTO ACCOUNT. DIMENSIONS SHOWN ARE MINIMUMS TO BE ALLOWED. CONTRACTOR SHALL FIELD VERIFY BOTTOM CONDITIONS TO ASSURE THAT FIRM MATERIAL IS IN PLACE. THE ENGINEER IS TO BE NOTIFIED OF ANY ABNORMAL SOIL CONDITIONS FOR EITHER SHEET PILE OR DEADMAN FIELD.



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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
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4. LINDA SPENCE WIDGEON RT.  
5. 1501 HORSE POINT COURT IV TRT  
REV:



WATERFRONT  
CONSULTING, INC.

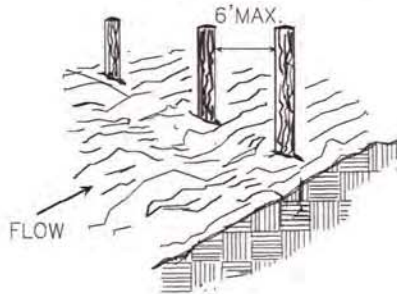
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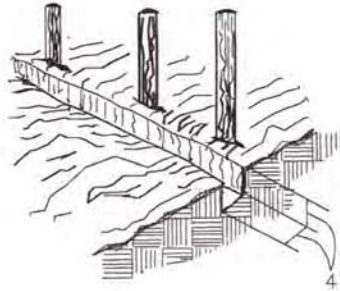
PROPOSED: BULKHEAD, PIER, AND LIFT  
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VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
GEORGE W. LAUTERBACH, JR.  
SHEET 4 OF 6  
DATE: JULY 1, 2019

# CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

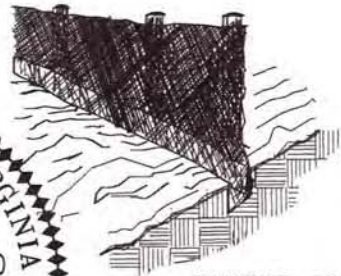
1. SET THE STAKES.



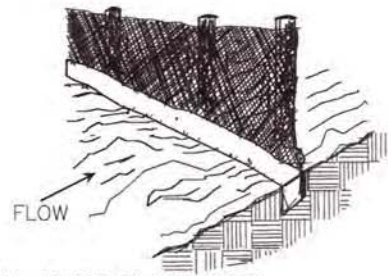
2. EXCAVATE A 4"X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.



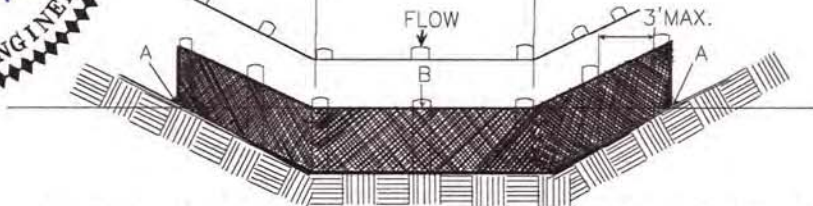
3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.



4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



## SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)



POINTS A SHOULD BE HIGHER THAN POINT B.  
DRAINAGEWAY INSTALLATION  
(FRONT ELEVATION)

SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant

A 36" EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AND MAINTAINED SEAWARD OF ALL CONSTRUCTION ACTIVITIES AT THE CONCLUSION OF EACH WORK DAY.

PLATE. 3.05-2

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PURPOSE: MAINTENANCE  
DATUM: MLW 0.0  
A.P.O.

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  2. WILLIAM J. ROMIG
  3. HAROLD W. JAMES, JR. RT.
  4. LINDA SPENCE WIDGEON RT.
  5. 1501 HORSE POINT COURT IV TRT
- REV:

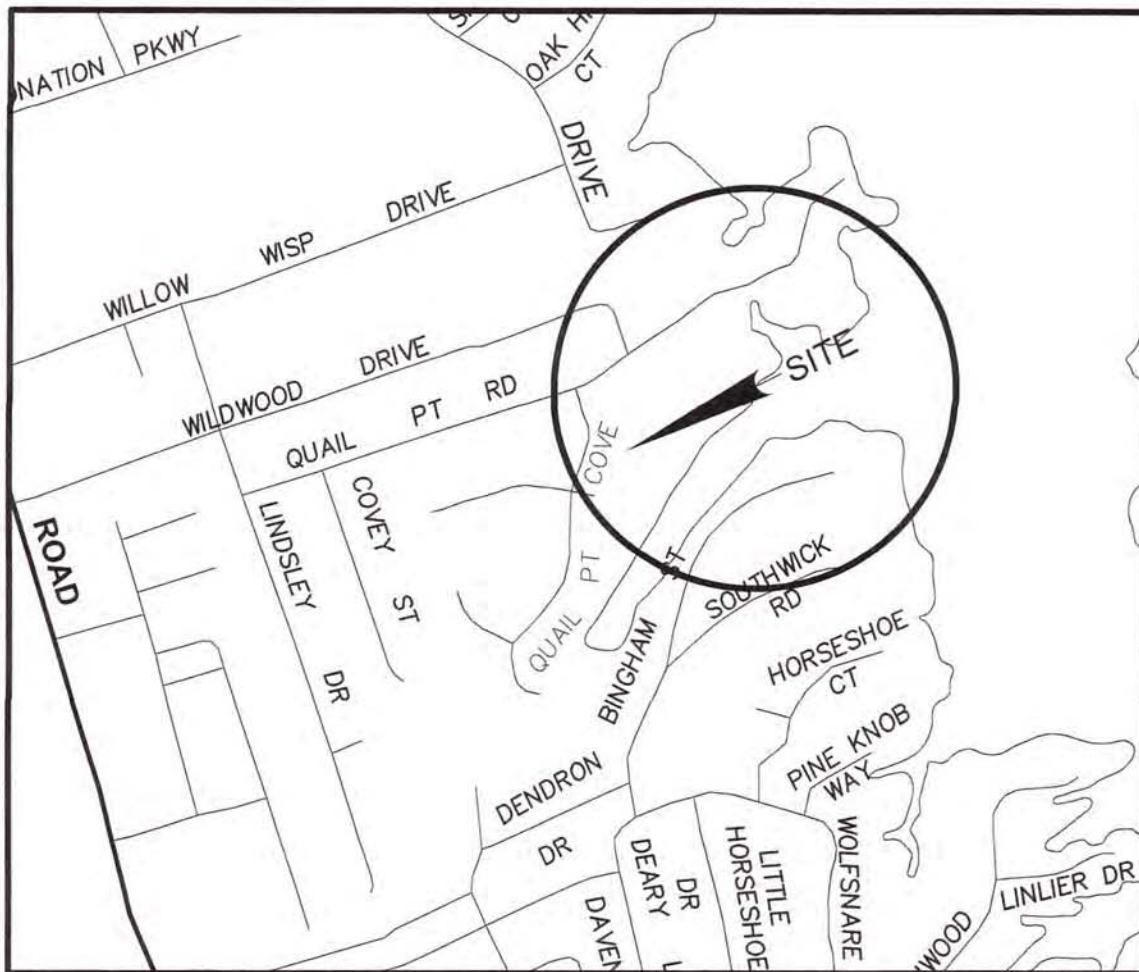


WATERFRONT  
CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
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PHONE: (757) 425-8244, CELL: (757) 619-7302

ENGINEERING SERVICES PROVIDED BY:  
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PHONE: (757) 575-3715

PROPOSED: BULKHEAD, PIER, AND LIFT  
IN: MANMADE CANAL TRIBUTARY TO  
LINKHORN BAY  
AT: 1500 HORSE POINT COURT  
VIRGINIA BEACH, VA 23454  
APPLICATION BY:  
GEORGE W. LAUTERBACH, JR.  
SHEET 5 OF 6  
DATE: JULY 1, 2019



## LOCATION MAP

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PURPOSE: MAINTENANCE  
 DATUM: MLW 0.0  
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1. SCOTT F. GUIMOND
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  5. 1501 HORSE POINT COURT IV TRT
- REV:



WATERFRONT  
 CONSULTING, INC.

2589 QUALITY COURT, STE. 323  
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PROPOSED: BULKHEAD, PIER, AND LIFT  
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 AT: 1500 HORSE POINT COURT  
 VIRGINIA BEACH, VA 23454  
 APPLICATION BY:  
 GEORGE W. LAUTERBACH, JR.  
 SHEET 6 OF 6  
 DATE: JULY 1, 2019



## Part 2 – Signatures (continued)

### ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), William J. Romig, own land next to (across the water  
(Print adjacent/nearby property owner's name)

from/on the same cove as) the land of George W. Lauterbach, Jr.  
(Print applicant's name(s))

I have reviewed the applicant's project drawings dated July 1, 2019  
(Date)

to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT  ABOUT THE PROJECT.

I DO NOT OBJECT  TO THE PROJECT.

I OBJECT  TO THE PROJECT.

**The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.**

(Before signing this form, be sure you have checked the appropriate option above).

William J. Romig  
Adjacent/nearby property owner's signature(s)

8/31/2019  
Date

**Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.**

## AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

Building permit #: \_\_\_\_\_ DSC Plan # : \_\_\_\_\_

Location: 1500 Horse Point Court GPIN: \_\_\_\_\_

Watershed: Lynnhaven-Poquoson HUC: 02080108

In lieu of providing a detailed Stormwater Management Plan, designed and sealed by a licensed professional, the undersigned agrees to comply with all applicable provisions of Appendix D, Stormwater Management Ordinance of the City Code of the City of Virginia Beach and the Virginia Stormwater Management Regulations. The undersigned also agrees to comply with all additional requirements deemed necessary by the Department of Planning, based upon established stormwater management practices to provide adequate treatment and control of stormwater runoff resulting from this development.

The undersigned intends to use the following Stormwater Management Controls, and install them pursuant to the DEQ BMP Clearinghouse website:

Select all that apply	Stormwater Management Control	Estimated installation date	Responsible party
	Post-development Stormwater Management controls provided by a Larger Common Plan of Development or Sale	NA	Common Plan Construction Activity Operator
	Rooftop Disconnection		Construction Activity Operator
	Sheetflow to Vegetated Filter (1 or 2)		Construction Activity Operator
	Grass Channel		Construction Activity Operator
	Rainwater harvesting		Construction Activity Operator
	Permeable Paving (1 or 2)		Construction Activity Operator

Select all that apply	Stormwater Management Controls	Estimated Installation Date	Responsible Party
	Infiltration (1 or 2)		Construction Activity Operator
	Bioretention (1 or 2)		Construction Activity Operator
<b>x</b>	<b>Others (describe) Restore impacted buffer to preconstruction condition or enhance per plan.</b>		Construction Activity Operator

The undersigned further understand that such control measures must not be removed or altered, and must be properly maintained in order to operate as they were constructed. In addition, they must be inspected by the owner of the property, or their agent, annually.

The undersigned understand that failure to comply with the requirements of Appendix D, Stormwater Management, and the construction and maintenance of the stormwater controls listed above may result in enforcement proceedings under Section 1-32 of the Stormwater Management Ordinance.

The undersigned owner hereby grants the City of Virginia Beach the right to enter the subject property periodically for inspections to ensure compliance with the Stormwater Management Ordinance.

Signature of Owner:  Print Name: George W. Lauterbach, Jr.

Signature of Permittee: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_