



SUMMARY

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05/08/2025

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2.2.1 Coverings

EVIDENCE OF WATER INTRUSION



Evidence of water intrusion noted during the inspection. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified roofing professional.



East



East



East



West



West



West

2.2.2 Coverings
MOSS/MILDEW

 Maintenance Item

Moss/Mildew observed on roof during inspection. This is most commonly observed on the north or shaded side of the structure. One option is to use noninvasive cleaners to remove moss/mildew. Recommend further evaluation by qualified contractor.

Recommendation
 Contact a qualified professional.



East

2.2.3 Coverings
HAIL DAMAGE

 Recommendation

Evidence of hail damage observed during the inspection. Recommend further evaluation by qualified roofing contractor.

Recommendation
 Contact a qualified professional.



West



West



West



West



West

2.3.1 Roof Drainage Systems

DEBRIS



Debris accumulation observed in the gutters during the inspection. One option is to clean gutters to facilitate water flow. Recommend further evaluation by a qualified contractor.

[Here is a DIY resource](#) for cleaning your gutters.

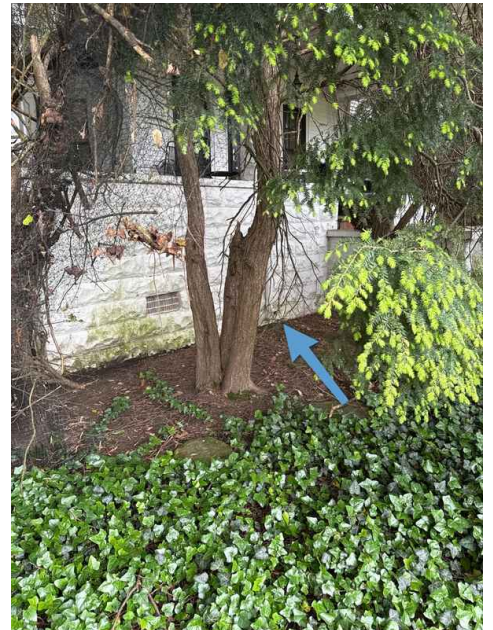


2.3.2 Roof Drainage Systems
DOWNSPOUTS DRAIN NEAR STRUCTURE

 Maintenance Item

One or more downspouts drain near the structure's foundation. This can result in excessive moisture in the soil at the foundation. One option is to adjust downspout extensions to drain at least 6 feet from the foundation. Recommend further evaluation by a qualified grading contractor.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.



2.3.3 Roof Drainage Systems
GUTTER DAMAGED

 Maintenance Item

Gutter damage noted during inspection. This can result in over capacity and excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair.



Southwest

2.3.4 Roof Drainage Systems

GUTTERS MISSING

 Maintenance Item

There are gutters missing on the structure. Gutters are recommended because they collect rain water from the roof and direct it away from the building. Recommend further evaluation by a qualified contractor.



2.3.5 Roof Drainage Systems

UNABLE TO CONFIRM DRAINAGE OUTLET

 Maintenance Item

Unable to confirm drainage outlet at time of inspection. One option is to monitor during the next rain event. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



2.4.1 Flashings
LOOSE/SEPARATED

Loose/Separated flashings observed during the inspection. One option is to ensure flashings are properly mounted, sealed, and secured to prevent moisture intrusion. Recommend further evaluation by a qualified roofing contractor.

 Recommendation



Southwest

2.4.2 Flashings
MISSING

Flashings were missing at time of inspection. Flashings provide protection against moisture intrusion. Recommend a qualified roofing contractor evaluate and remedy.

 Recommendation



East

2.5.1 Skylights, Chimneys & Other Roof Penetrations

 Recommendation

CHIMNEY CAP MISSING

No chimney cap was observed. This can protect from moisture intrusion and protect the chimney. Recommend a qualified roofer or chimney expert install.



West

3.2.1 Siding, Flashing & Trim

 Maintenance Item

CRACKING - MINOR

Masonry cracking observed in one or more places. This is often a result of temperature changes and/or poor drainage. This is also typical for structures with significant age. One option is to tuck-point new mortar. Recommend monitoring and/or further evaluation by a masonry contractor.



Northeast

3.2.2 Siding, Flashing & Trim

HAIL DAMAGE

 Recommendation

Hail damage observed during the inspection. Inquire with current owner/representative for past history. Recommend further evaluation by a qualified exterior contractor.

Recommendation

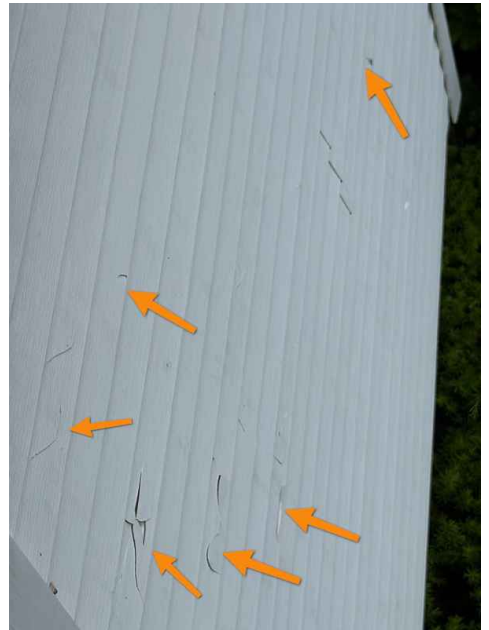
Contact a qualified siding specialist.



East 2nd Floor



West



West



West

3.2.3 Siding, Flashing & Trim

J-CHANNEL

 Maintenance Item

J-channel was used instead of a starter strip for the very bottom run of vinyl siding. This can trap water and cause moisture intrusion. Exterior siding manufacturers recommend drilling a 3/16" hole every 12 inches along the J-channel to allow drainage. Recommend further evaluation by a siding contractor.

Recommendation
Contact a qualified professional.



North



3.2.4 Siding, Flashing & Trim

MASONRY DETERIORATION

 Recommendation

Masonry deterioration noted in isolated areas during the inspection. One option is to tuck point new mortar into affected areas. Recommend further evaluation by a masonry contractor.

Recommendation

Contact a qualified masonry professional.



East

3.2.5 Siding, Flashing & Trim

SCP



Some materials in an exterior setting require more maintenance than other siding. One option is to Scrape, Caulk, and Paint (SCP) some exterior materials such as steel or wood to ensure full life expectancy. Recommend further evaluation by a painting contractor.

Recommendation

Contact a qualified professional.



East 2nd Floor

3.2.6 Siding, Flashing & Trim

EVIDENCE OF WATER INTRUSION



Evidence of water intrusion noted during the inspection. One option is to repair exterior siding and/or flashing. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



East 2nd Floor



East 2nd Floor



West 2nd Floor



West



West



West



West Kitchen



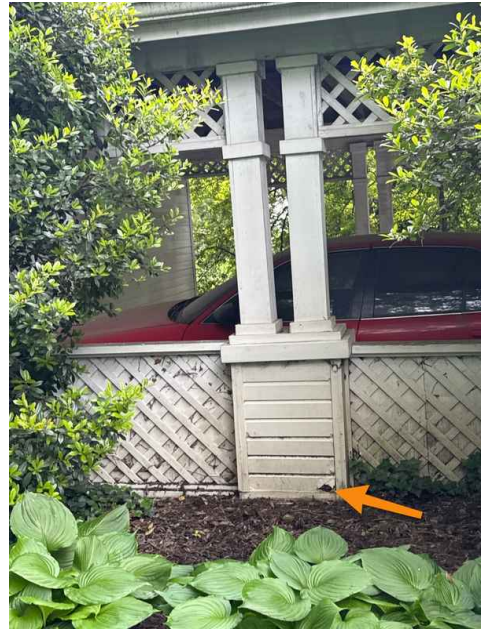
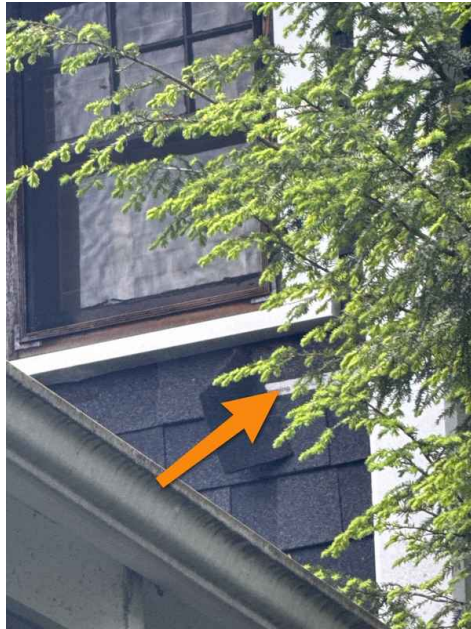
West Basement



West



East



North

3.2.7 Siding, Flashing & Trim **WOOD ROT**

 Recommendation

Wood rot noted during inspection. One option is to replace with a composite material that can withstand constant weathering. Recommend further evaluation by qualified carpenter.

Recommendation
Contact a qualified professional.



West



West

3.2.8 Siding, Flashing & Trim

SEALANT/FLASHING RECOMMENDED

 Recommendation

Sealant/Flashing recommended where two dissimilar exterior materials meet and/or change direction. One option would be to apply a tripolymer sealant and/or flashing. Recommend further evaluation by a qualified contractor.

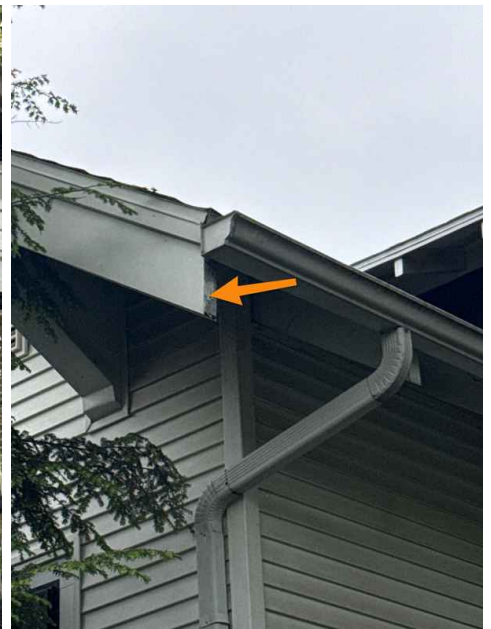
Recommendation
Contact a qualified professional.



East



East



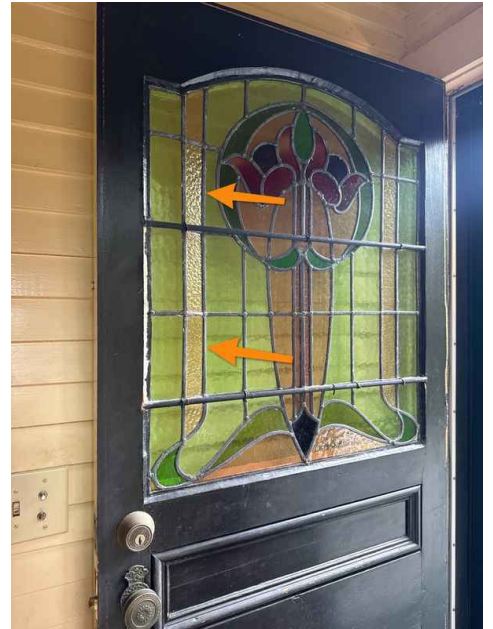
3.3.1 Exterior Doors

TRIM DAMAGE NOTED

 Recommendation

Exterior door trim damage noted at time of inspection. Recommend further evaluation by qualified contractor.

Recommendation
Contact a qualified professional.



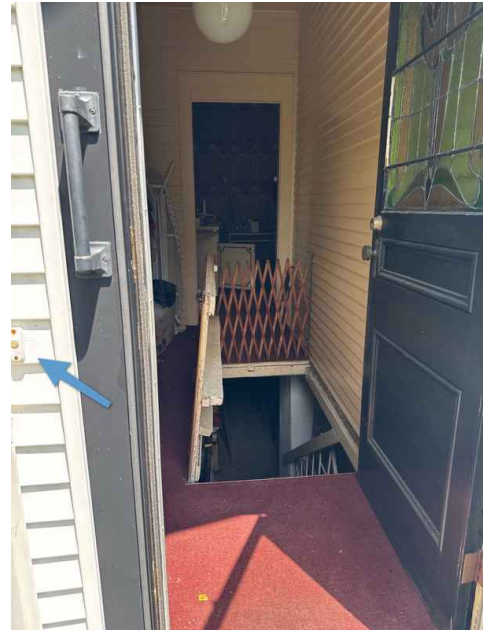
South

3.3.2 Exterior Doors

DOORBELL NOT OPERATIONAL

Doorbell not operational at time of inspection. One option is to repair/replace doorbell. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



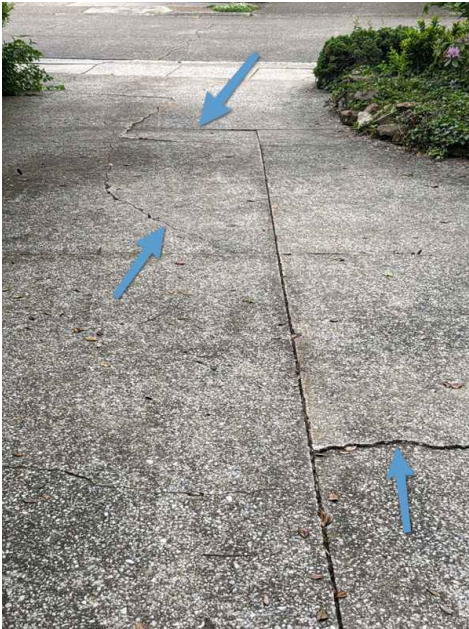
South

3.4.1 Walkways, Patios & Driveways

DRIVEWAY CRACKING - MINOR

Minor cosmetic cracks observed, usually associated with expansion/contraction due to temperature changes. One option is to patch/seal cracks. Recommend monitoring and/or further evaluation by a concrete contractor.





South

3.5.1 Decks, Balconies, Porches & Steps

JOIST HANGERS

Joist hanger(s) are missing or improperly installed. Fasteners are not structural and are not permitted through veneers. This could cause the structure to fail. Recommend that joist hangers be properly installed by qualified contractor.



South

3.5.2 Decks, Balconies, Porches & Steps

GUARDRAIL MISSING/DAMAGED



Guardrails are missing in one or more locations. Handrails/guardrails are required if there are four or more stair risers, OR 30" of vertical separation. One option is to provide positive separation between pedestrian routes and vertical separations greater than 30". Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



3.5.3 Decks, Balconies, Porches & Steps
GRASPABLE HANDRAIL

 Recommendation

Any elevated surface greater than 30 inches or having four or more step risers require a graspable handrail. 2 x 4 and 2 x 6 dimensional lumber is not considered graspable. Recommend further evaluation by a qualified contractor.

Recommendation
 Contact a qualified professional.



North



East

3.5.4 Decks, Balconies, Porches & Steps
MISSING BOLTS

 Maintenance Item

Bolts missing through boards. It is recommended to have bolts through the skirt/ledger boards and into the structural points. One option is to add bolts at beam/structural connections. Recommend further evaluation by qualified carpenter.

Recommendation

Contact a qualified professional.



3.5.5 Decks, Balconies, Porches & Steps **MISSING/DAMAGED SPINDLES**

 Recommendation

Missing/Damaged spindles observed during inspection. One option is to replace and or refasten spindles. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



3.5.6 Decks, Balconies, Porches & Steps **CONCRETE STEP/PORCH SETTLEMENT**

 Maintenance Item

Minor concrete step/porch settlement observed during inspection. This is not abnormal to see on a structure of this age. Recommend further evaluation by qualified contractor.

Recommendation

Contact a qualified professional.



East

3.5.7 Decks, Balconies, Porches & Steps

ADA RAMP EXCEEDS 1:12

ADA ramp exceeds 8% slope. Americans with Disability Act, recommends a maximum slope not to exceed 1 inch of rise for every 12 inches horizontally, 8%. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



Recommendation



3.5.8 Decks, Balconies, Porches & Steps

MASONRY/MORTAR/GROUT DETERIORATION

At the time of the inspection exterior areas were observed to have grout or mortar deterioration. Recommend further evaluation by qualified Mason.

Recommendation

Contact a qualified masonry professional.



Maintenance Item



East

3.7.1 Vegetation, Grading, Drainage & Retaining Walls

EXCESSIVE VEGETATION

Excessive vegetation next to the structure without minimum required clearance. Recommend removal, or trimming of vegetation around the structure with a minimum clearance from tree/shrub limbs of 4 feet. Seek further evaluation by qualified contractor.

Recommendation

Contact a qualified professional.



Maintenance Item



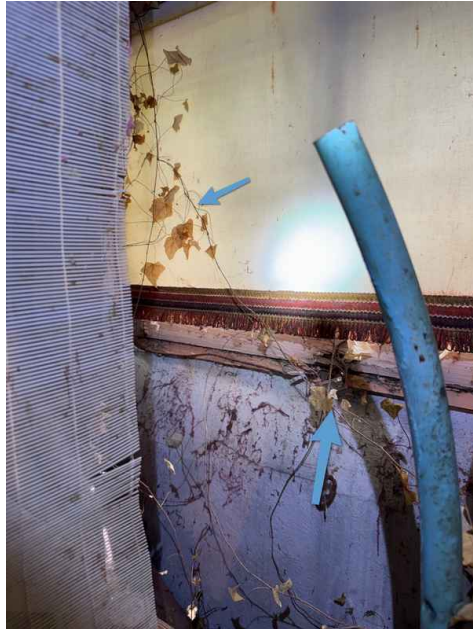
North



South



Northeast



Basement

3.8.1 Fence

DETERIORATED POSTS/SLATS



One or more fence posts/slats were observed to be deteriorated. Recommend further evaluation by a fencing contractor.

Recommendation
Contact a qualified professional.



4.4.1 Floor Structure

EVIDENCE OF STRUCTURAL DAMAGE

 Safety Hazard

Structural damage was observed in the underlying floor structure. Recommend further evaluation by a qualified carpenter.



North Crawlspace



North Crawlspace



North Crawlspace

4.4.2 Floor Structure

PILLAR BLOCKING NOT ON CONCRETE

 Recommendation

Pillar blocking is not on concrete. Soil conditions cause elevations to sag. Recommend further evaluation by qualified carpenter.

Recommendation
Contact a qualified professional.



East Crawlspace



East Crawlspace

4.5.1 Wall Structure
CRACKS - MAJOR

 Recommendation

Major cracking observed in wall structure. This could be from moisture intrusion at the structure and/or extreme temperature fluctuation. Recommend further evaluation by a qualified contractor.



East Crawlspace



East Crawlspace



West Basement

4.5.2 Wall Structure
EVIDENCE OF WATER INTRUSION

 Recommendation

Evidence of water intrusion noted. One option is to ensure water is flowing away from the structure. Seek previous history from current owner and/or continue to monitor. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



East Crawlspace



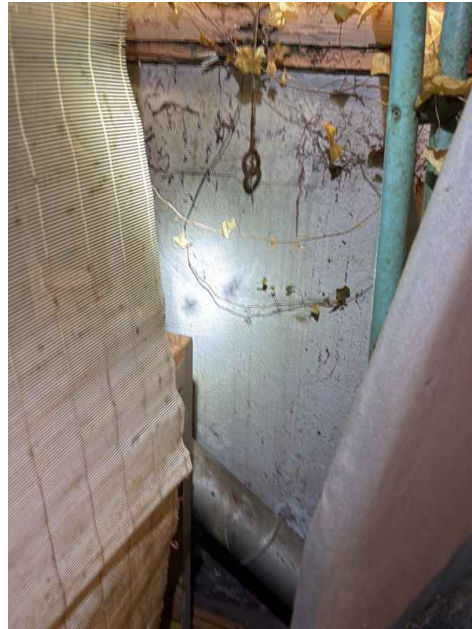
Basement



Basement



West Basement



4.5.3 Wall Structure **POSSIBLE LIME MORTAR**

 Recommendation

Evidence of possible lime mortar used in masonry. One option is to tuck-point cement mortar in deficient masonry areas. Recommend further evaluation by a qualified masonry contractor.

Recommendation
Contact a qualified professional.



4.6.1 Ceiling Structure
EVIDENCE OF WATER INTRUSION

 Recommendation

Evidence of water intrusion observed during inspection. One option is to properly flash roof to prevent moisture intrusion. Recommend further evaluation by a qualified roofing contractor.

Recommendation
Contact a qualified professional.



Garage

5.2.1 Equipment
OIL STAINS PRESENT

 Recommendation

Oil stains present on line-set. One option is to perform a leak test. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



Basement

5.2.2 Equipment

NEARING THE END OF SERVICE LIFE

Recommendation

Unit is near the end of its service life. Unit is operational during inspection, and generally has a life expectancy between 15-20 years of age. Recommend further evaluation by qualified, HVAC technician.

Recommendation

Contact a qualified HVAC professional.



Basement

5.2.3 Equipment

LEAK OBSERVED IN BOILER PIPING

Recommendation

At the time of the inspection, a small leak was observed in boiler piping. Recommend further evaluation by a qualified HVAC professional.

Recommendation

Contact a qualified professional.



Basement

5.4.1 Distribution Systems
UNKNOWN MATERIAL

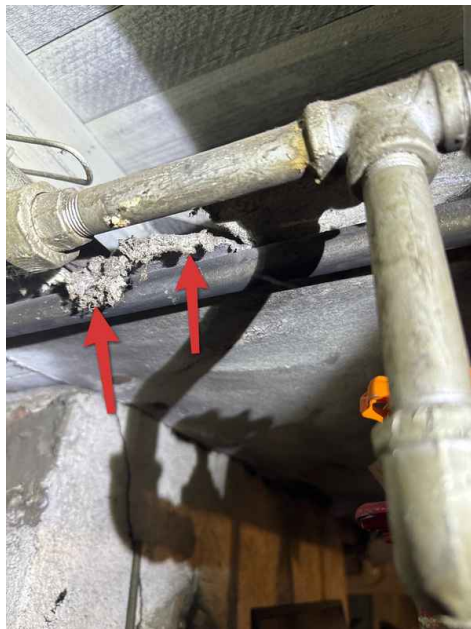
 Safety Hazard

Unknown material observed in isolated areas. One option is to have it tested for asbestos like materials. Recommend further evaluation by qualified contractor.

Recommendation
Contact a qualified professional.



Basement

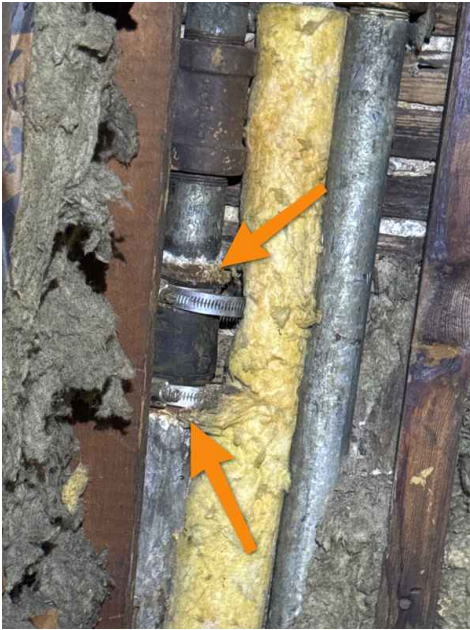


Basement

7.3.1 Drain, Waste, & Vent Systems
EVIDENCE OF A LEAK

 Recommendation

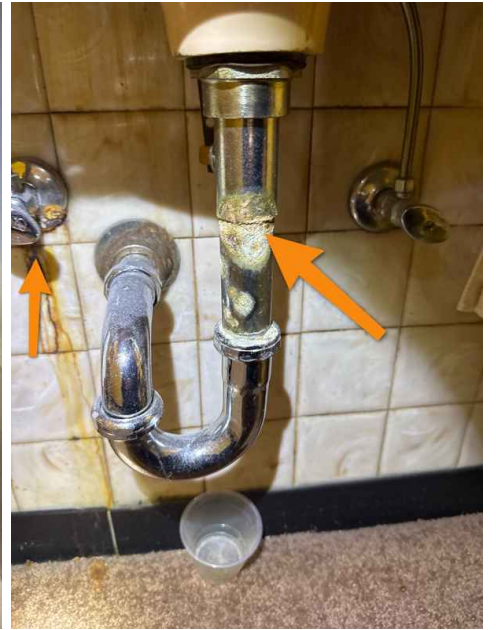
Evidence of a leak observed during the inspection. One option is to repair plumbing to prevent moisture damage. Recommend further evaluation by a qualified plumber.



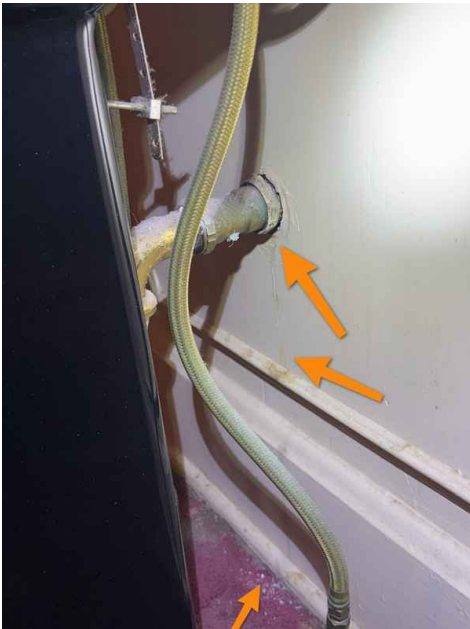
Southeast Attic



North 2nd Floor



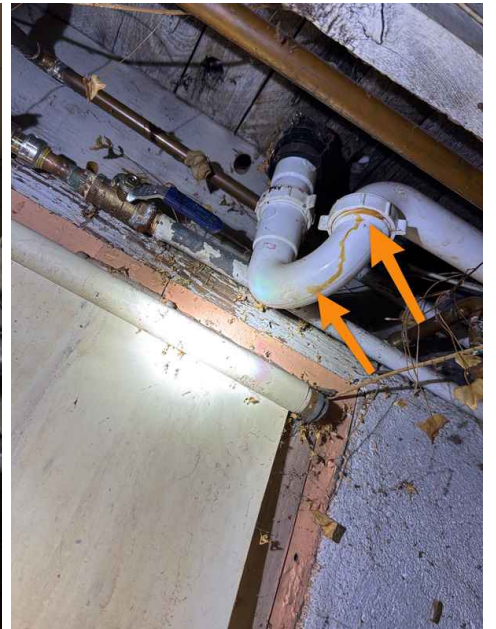
2nd Floor Bathroom



1st Floor South Bathroom



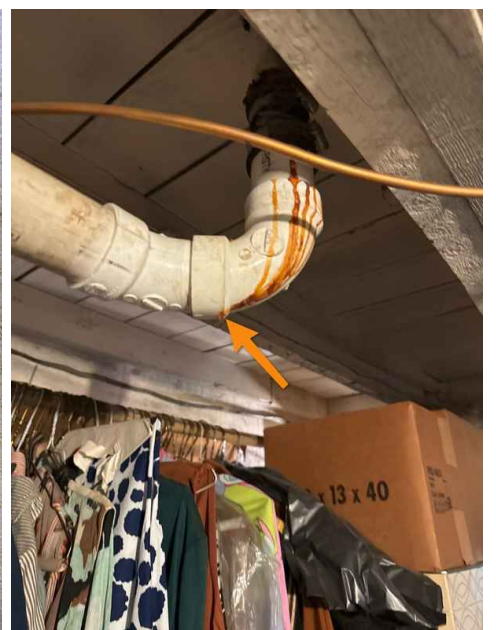
North Basement



South Basement



South Basement



Basement Laundry Room



Basement Laundry Room



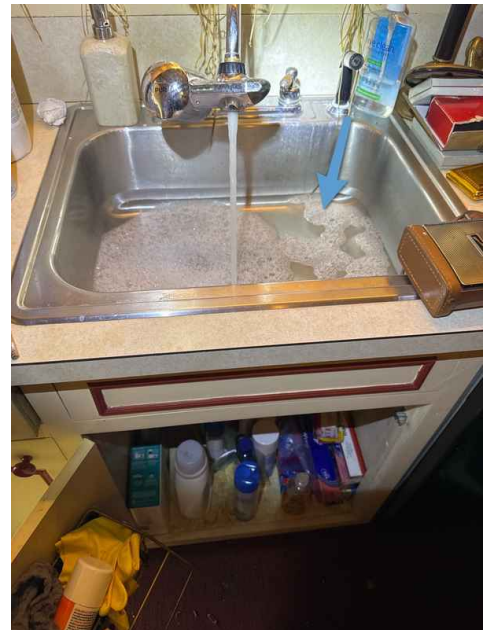
Basement Laundry Room

7.3.2 Drain, Waste, & Vent Systems

SINK - POOR DRAINAGE

 Maintenance Item

Sink had slow/poor drainage during the inspection. One option is to clean drain of possible obstructions. Recommend further evaluation by a qualified plumber.



Kitchen

7.3.3 Drain, Waste, & Vent Systems

AIR ADMITTANCE VALVE INSTALATION TOO LOW

 Maintenance Item

At the time of inspection, one or more air admittance valves were Observed to be installed below the 4 inch minimum required above the horizontal branch drain. One option would be to raise the location of the air admittance valve so that it is above the 4 inch required minimum. Recommend further evaluation by a licensed plumber.

Recommendation
Contact a qualified professional.



Basement Laundry Room

7.4.1 Water Supply, Distribution Systems & Fixtures

DISTRIBUTION PIPE LEAKING

 Recommendation

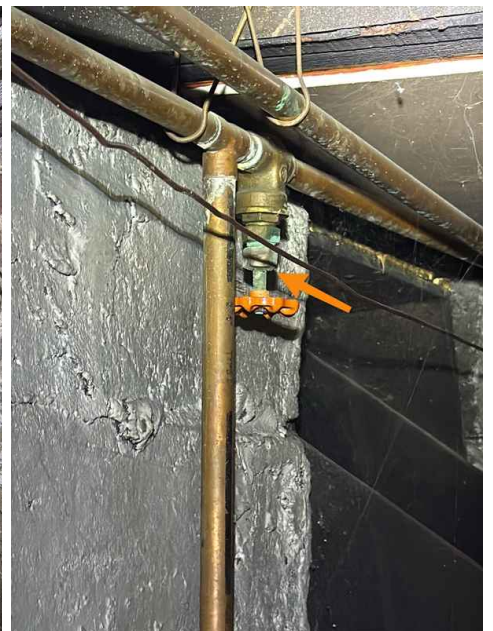
Distribution pipe leak observed during the inspection. One option is to repair damaged connections and/or pipe material. Recommend further evaluation by a qualified plumber.



2nd Floor Bathroom



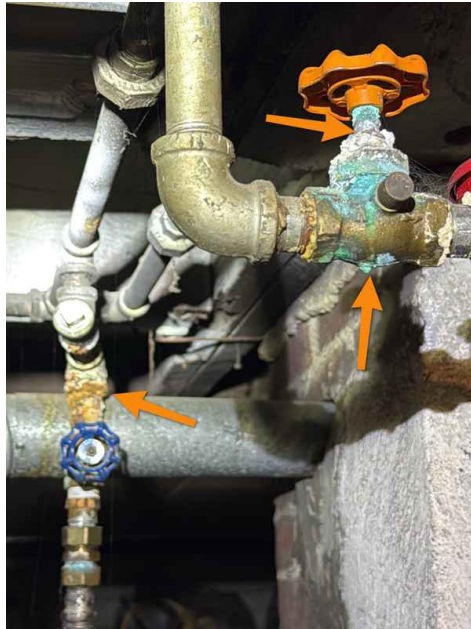
Basement West



West Basement



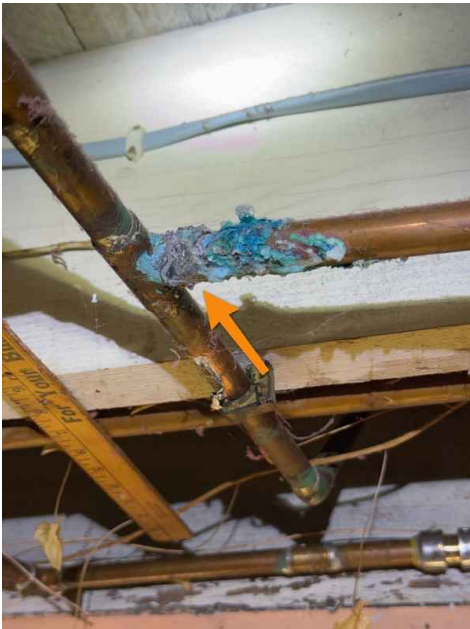
West Basement



West Basement



West Basement



South Basement



West Basement



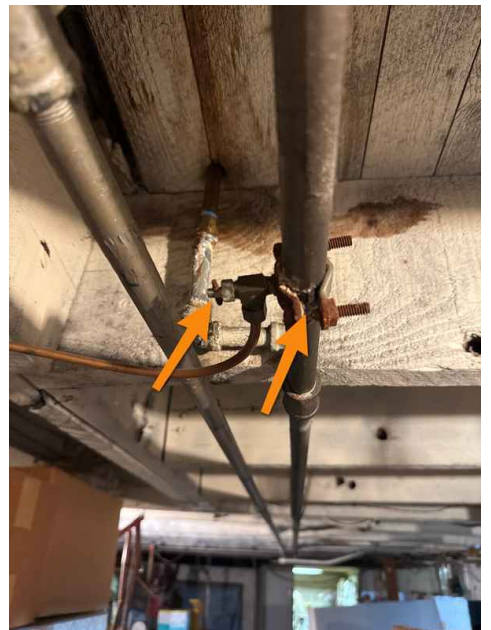
Northwest Basement hosebib



Northwest Basement



West Basement



Basement Laundry Room

7.4.2 Water Supply, Distribution Systems & Fixtures

Recommendation

TOILET LOOSE

Toilet is loose and/or leaking at the base. One option is to tighten anchor points and monitor. Recommend a qualified plumber evaluate and repair.



2nd Floor Bathroom

7.4.3 Water Supply, Distribution Systems & Fixtures

Recommendation

LOOSE/DAMAGED FIXTURE

Loose/damaged fixture components noted during the inspection. Recommend further evaluation by a qualified plumber.

Recommendation

Contact a qualified professional.



7.4.4 Water Supply, Distribution Systems & Fixtures

Recommendation

FIXTURE LEAKING

Fixture leaking at the time of inspection. One option would be to properly mount and secure the fixture connections. Recommend further evaluation by a qualified plumber.

Recommendation

Contact a qualified professional.



1st Floor South Bathroom

7.4.5 Water Supply, Distribution Systems & Fixtures

LOW WATER PRESSURE

 Recommendation

Low water pressure noted for during inspection. One option is to have the local water company check the pressure at the meter. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



2nd Floor Bathroom



South Bathroom

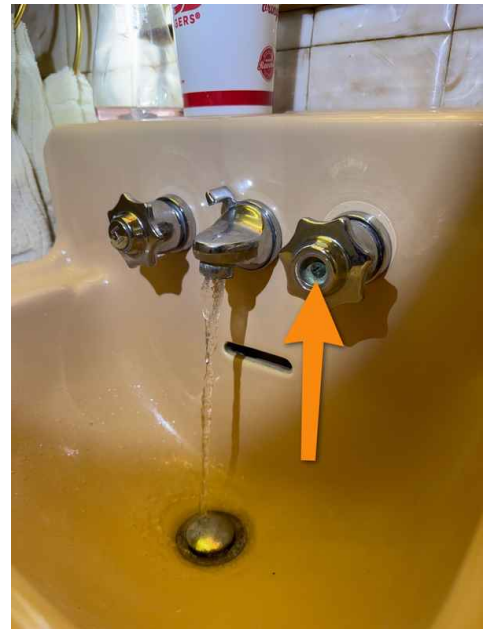
7.4.6 Water Supply, Distribution Systems & Fixtures

FIXTURE CONTROLS INOPERABLE

 Recommendation

Fixture controls inoperable at time of inspection. Recommend further evaluation by qualified plumber.

Recommendation
Contact a qualified professional.



2nd Floor Bathroom

7.5.1 Hot Water Systems, Controls, Flues & Vents

NEAR END OF LIFE EXPECTANCY

Water heater showed normal signs of wear and tear. Though the hot water heater is properly working under normal operating conditions, hot water heaters have a life expectancy between 20 and 25 years. Recommend monitoring it's effectiveness and replacing in the future.

 Recommendation



22 yrs. Old.

7.5.2 Hot Water Systems, Controls, Flues & Vents

WATER HEATER TEMPERATURE TURNED DOWN

The temperature on the water heater was turned down at the time of the inspection. Though it was producing hot water it was on the low range of what the water heater is capable of.

Recommendation
Contact a qualified professional.

 Maintenance Item



2nd Floor Bathroom

7.5.3 Hot Water Systems, Controls, Flues & Vents

MISSING STATE (AHJ) INSPECTION STICKER

Missing inspection tag from Authorities Having Jurisdiction(AHJ) providing documentation the unit was inspected by local code enforcement. One option is to inquire with current owner for past documentation of inspection/installation. Recommend further evaluation by a qualified professional.

Recommendation
Contact a qualified professional.

 Maintenance Item



Basement

7.6.1 Fuel Storage & Distribution Systems
UNPROTECTED FUEL PIPING

 Safety Hazard

Copper gas line exposed and susceptible to damage by yard maintenance equipment. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



Northeast



Northeast



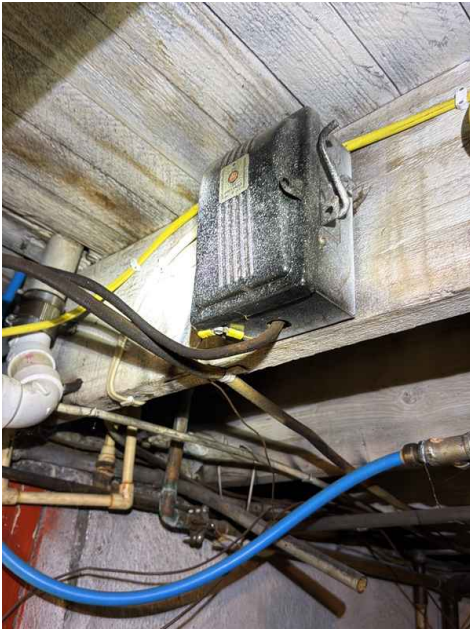
East

8.3.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device **FUSE PANEL**

 Maintenance Item

Fuse panel observed during inspection. As you perform upgrades to the electrical system, consider upgrading fuse panel to circuit breakers. Recommend further evaluation by a qualified electrician.

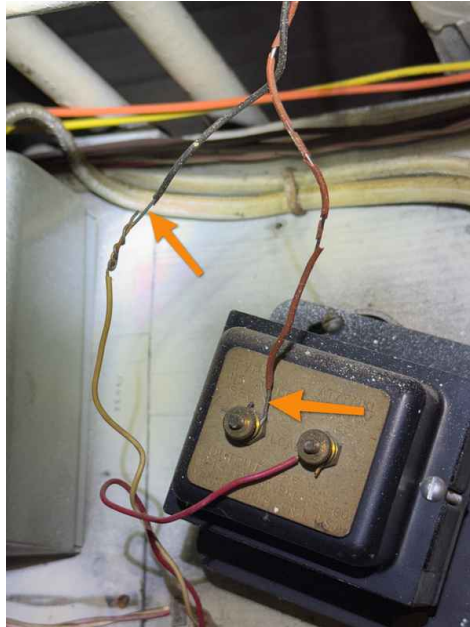
Recommendation
Contact a qualified professional.



8.4.1 Branch Wiring Circuits, Breakers & Fuses **ALUMINUM BRANCH CIRCUITS**

 Recommendation

Aluminum wire appears to be installed on branch electrical circuits in the subject premises. These single strand, branch circuit aluminum wires were used widely in houses during the mid 1960s and 1970s. According to the U.S. Consumer Product Safety Commission, problems due to expansion can cause overheating at connections between the wire and devices (switches and outlets) or at splices. For further information on aluminum wiring contact the U.S. Consumer Product Safety Commission via the Internet at <http://www.cpsc.gov/> . One option is to update wiring when performing upgrades within the structure. It is recommended that the electrical system be evaluated by a licensed electrician.



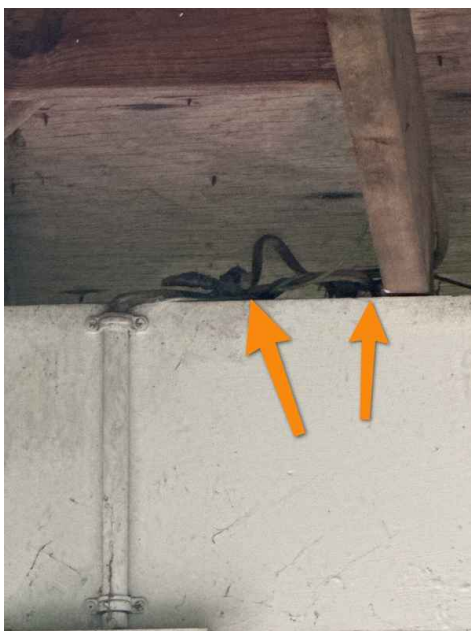
Basement

8.4.2 Branch Wiring Circuits, Breakers & Fuses **SPLICE/TERMINATION OUTSIDE JUNCTION BOX**

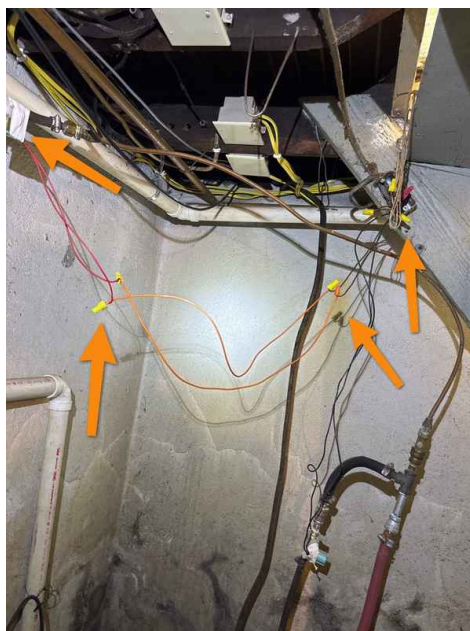
 Recommendation

Branch wiring splice/termination observed outside of junction box in one, or more locations. One option is to properly secure and terminate branch wiring inside a readily accessible junction box. Recommend further evaluation by a qualified electrical contractor.

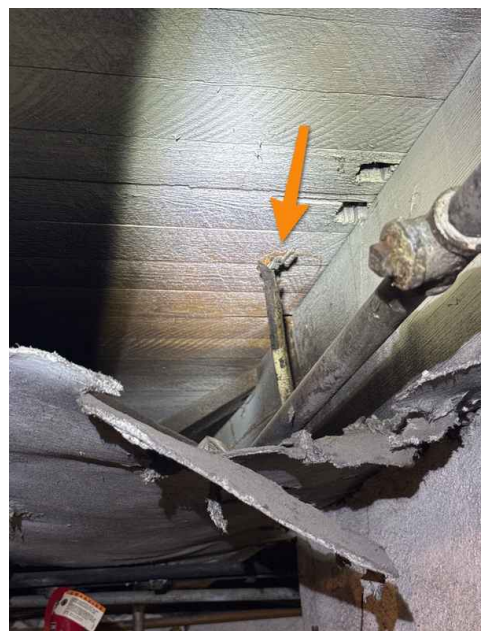
Recommendation
Contact a qualified professional.



Garage



South Basement



8.4.3 Branch Wiring Circuits, Breakers & Fuses

KNOB AND TUBE

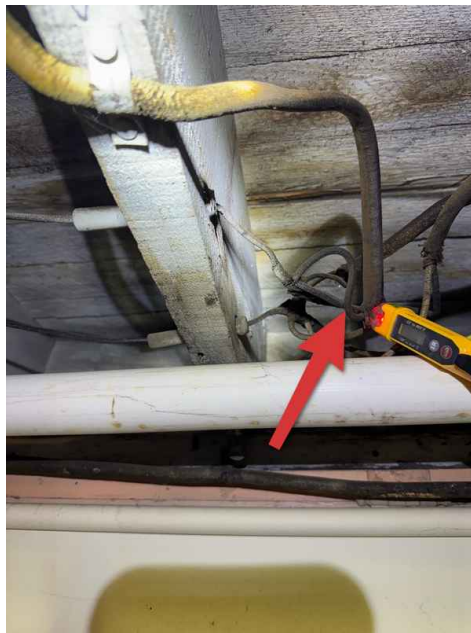


"Knob and Tube" (K&T) wiring observed during the inspection in one or more locations. K&T wiring is designed to dissipate heat into free air, and insulation will disturb this process. Insulation around K&T wires will cause heat to build up, preventing heat dissipation. K&T wiring also utilizes a cloth material as wire sheathing. Cloth sheathing generally is nearing the end of its life expectancy and can cause live wiring exposure. The 2008 National Electrical Code (NEC) requires that this wiring system not be covered by insulation. Specifically, it states that this wiring system should not be in hollow spaces of walls, ceilings and attics where such spaces are insulated by loose, rolled, or foamed-in-place insulating material that envelops the conductors. One option is to upgrade wiring. Recommend further evaluation by a licensed electrician.

Recommendation
Contact a qualified professional.



Basement



Basement



East Crawlspace



East Basement



8.5.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES/HARDWARE MISSING

One or more receptacles/junction boxes are missing a cover plate/hardware. This promotes an electrical short and /or shock risk. One option is to install the correct cover plates. Recommend further evaluation by a qualified contractor.



Maintenance Item



8.5.2 Lighting Fixtures, Switches & Receptacles

LIGHT INOPERABLE

One or more lights are not operating. New bulb/diode possibly needed. Recommend further evaluation by a qualified contractor.



Maintenance Item



East



East

8.5.3 Lighting Fixtures, Switches & Receptacles

UNGROUND RECEPTACLE(S)

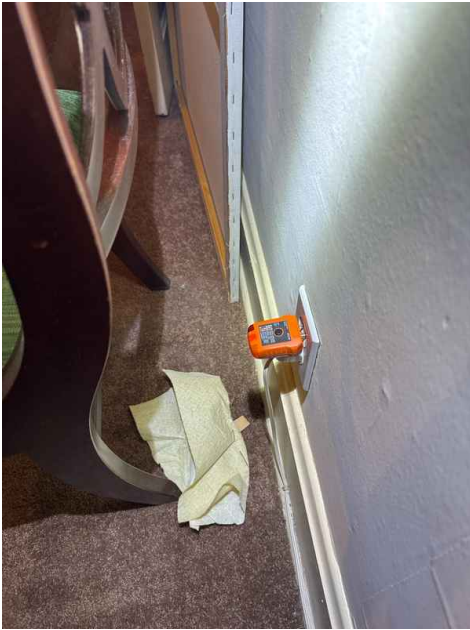
Ungrounded receptacle(s) observed during the inspection. As you perform upgrades, consider installing GFCI receptacles and/or ground connections. Recommend further evaluation by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.



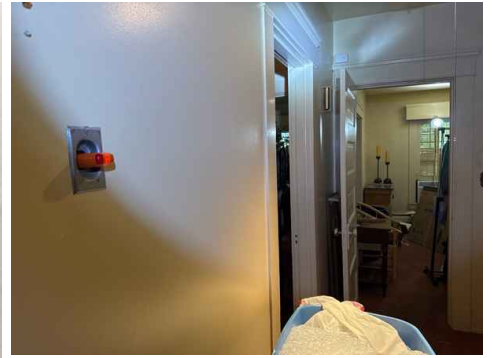
Maintenance Item



1st Floor 2nd Floor Basement



1st Floor 2nd Floor Basement

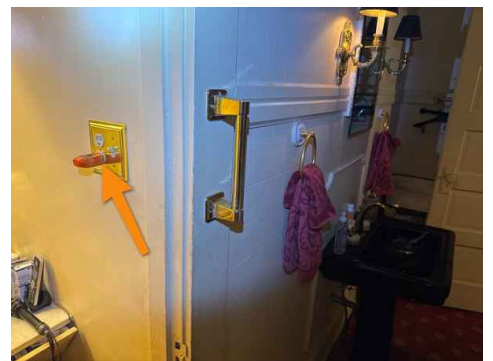


8.6.1 GFCI & AFCI
GFCI PROTECTION

GFCI protection not present in all locations. Recommend a qualified contractor upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

 Recommendation

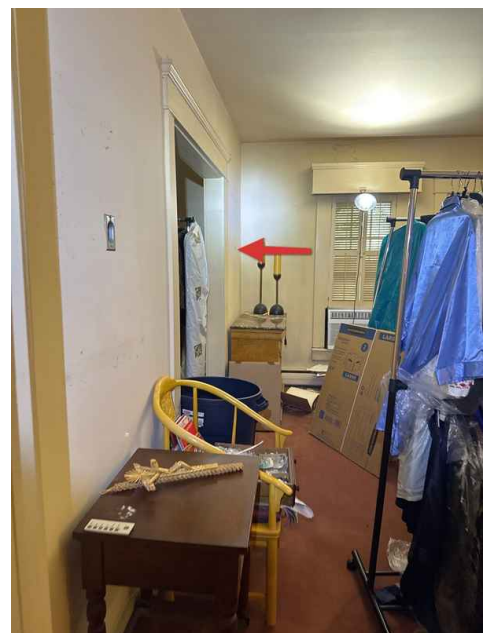


8.8.1 Carbon Monoxide Detectors
MISSING

Carbon Monoxide detector missing at time of inspection. One option is to install a new carbon monoxide detector. Recommend further evaluation by qualified contractor.

Recommendation
Contact a qualified professional.

 Safety Hazard



9.2.1 Attic Insulation

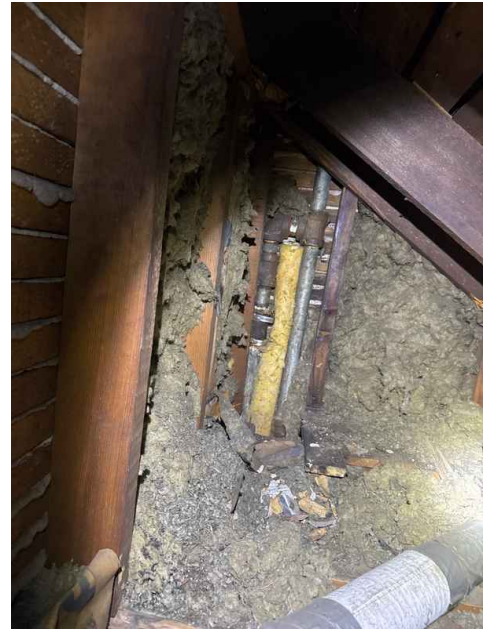
INSUFFICIENT INSULATION

Maintenance Item

Insufficient insulation observed during the inspection. One option is to install additional insulation when performing upgrades. Recommend further evaluation by a qualified insulation contractor.

Recommendation

Contact a qualified insulation contractor.



9.3.1 Vapor Retarders (Crawlspace or Basement)

NO VAPOR BARRIER

Maintenance Item

There is no vapor barrier beneath the flooring in one or more areas of the crawlspace. This can result in unwanted moisture.

Recommend further evaluation by a qualified professional.



9.5.1 Exhaust Systems

IMPROPER COMBUSTION EXHAUST TERMINATION

Safety Hazard

Combustion exhaust flue does not terminate to the exterior. This can cause over exposure to combustion exhaust fumes. One option is to terminate combustion exhaust flue to the exterior with the proper clearance. Recommend further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



Basement



West Basement



Basement

10.2.1 Doors

DOOR ADJUSTMENT

 Maintenance Item

One or more interior doors need adjustments to close and function properly. Recommend further evaluation by a qualified carpenter.

Recommendation
Contact a qualified professional.



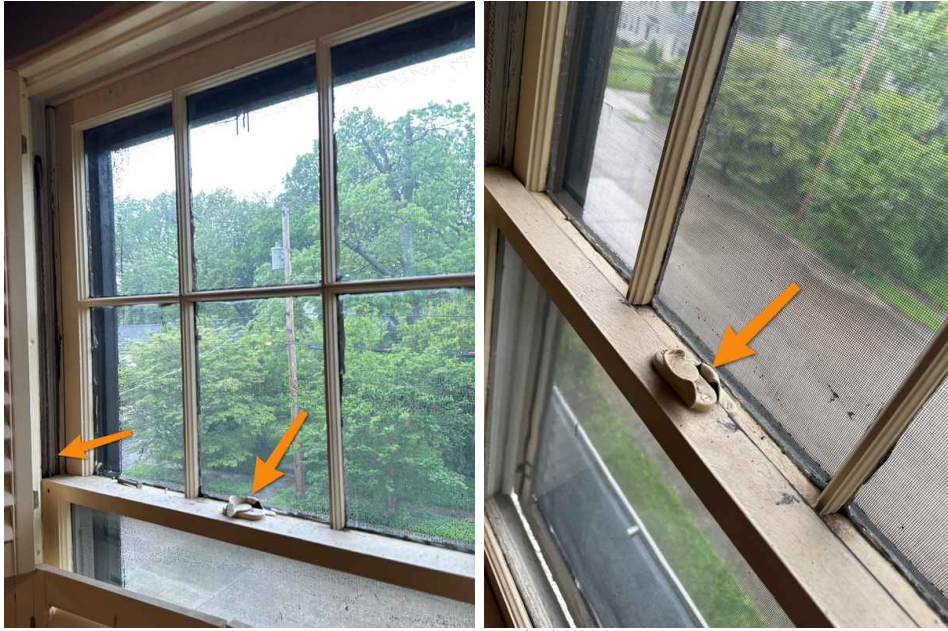
10.3.1 Windows

WILL NOT LOCK

 Recommendation

One or more of the windows will not lock. One option would be to repair window lock. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



2nd Floor

10.3.2 Windows
UNABLE TO OPEN

 Recommendation

Unable to open window under normal operating conditions. Recommend further evaluation by a qualified carpenter.

Recommendation
Contact a qualified professional.



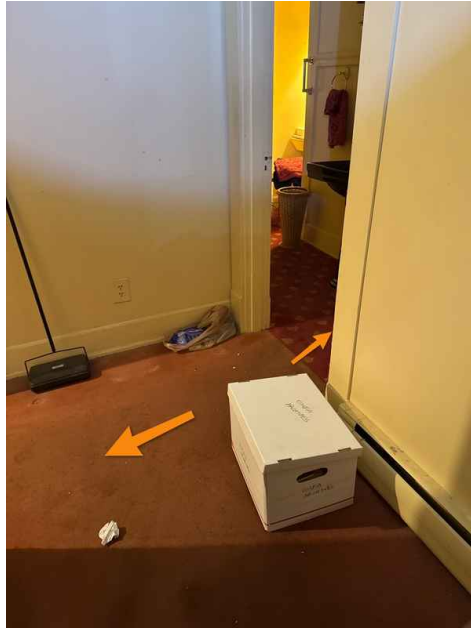
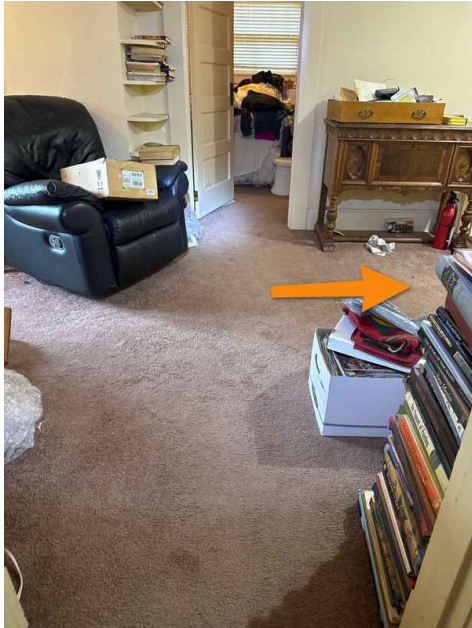
2nd Floor

10.4.1 Floors
FLOOR DEFLECTION

 Recommendation

Floor deflection noted during inspection. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



2nd Floor

10.5.1 Walls

MAJOR CORNER CRACKS

 Recommendation

Cracking visible at the corners of doors and windows. Recommend further evaluation by a qualified contractor.



2nd Floor



2nd Floor

10.5.2 Walls

MOISTURE INTRUSION EVIDENCE

 Recommendation

Moisture intrusion observed at time of inspection along one or more locations. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



2nd Floor Bathroom

10.6.1 Ceilings

ROOF/EXTERIOR/PLUMBING LEAK DAMAGE

 Recommendation

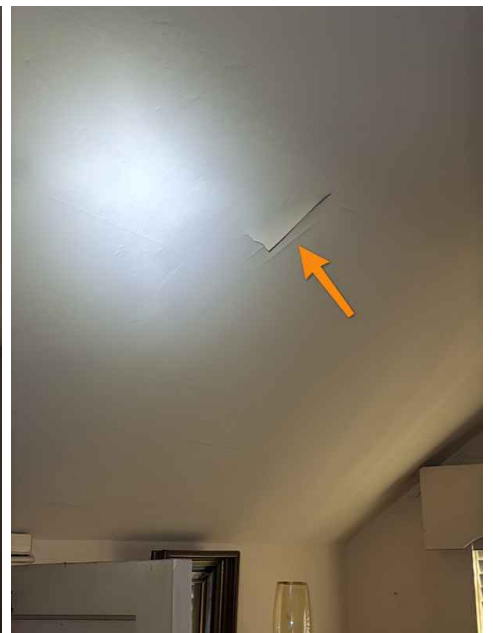
Stains on the interior appear to be the result of roof/exterior/plumbing leaks. The source of leakage should be identified and corrected. Recommend further evaluation by a qualified contractor.



2nd Floor



South 2nd Floor



South 2nd Floor



South 2nd Floor



South 2nd Floor Closet



Bedroom Closet

10.6.2 Ceilings

EXPOSED TAPE JOINT/CORNER BEAD

 Maintenance Item

Exposed tape joint/corner bead noted during inspection. This is not abnormal to see in a structure of this age. Recommend further evaluation by a qualified contractor.

Recommendation
Contact a qualified professional.



2nd Floor

10.7.1 Steps, Stairways & Railings

MISSING/DAMAGED RISERS

 Recommendation

Missing/Damaged risers observed during inspection. One option would be to install missing or damaged risers. Recommend further evaluation by a qualified carpenter.

Recommendation
Contact a qualified professional.

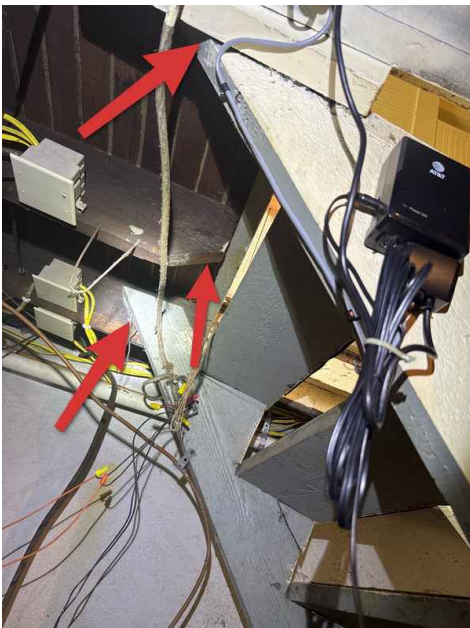


10.7.2 Steps, Stairways & Railings
DAMAGED STAIR SUPPORTS

 Safety Hazard

Damaged stair supports/components observed during inspection. One option is to correct damaged areas. Recommend further evaluation by qualified Carpenter.

Recommendation
Contact a qualified professional.



Basement



Basement

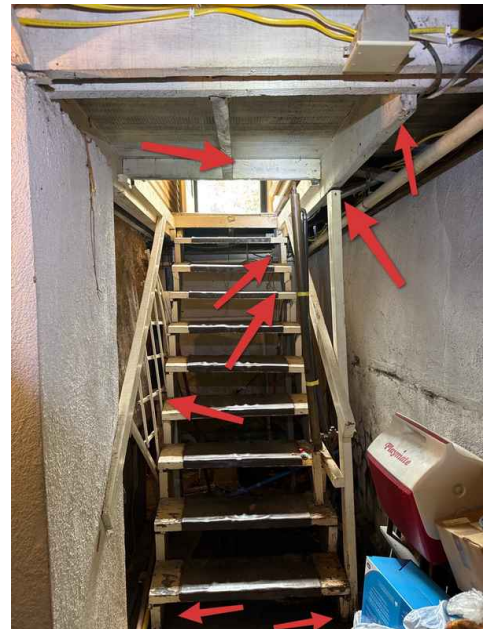


10.7.3 Steps, Stairways & Railings
UNSAFE STAIRWAY

 Safety Hazard

A stairway was observed to have many general defects leading to it being unsafe for use. Recommend further evaluation by a qualified carpenter.

Recommendation
Contact a qualified professional.



Basement

12.2.1 Deficiencies

EVIDENCE WDI

 Recommendation

Evidence of wood destroying insects observed during the inspection. One option is to seek past history from current owner, and/or inquire with a Pest Management Company about an effective treatment plan for wood destroying insects. Recommend further evaluation by a qualified pest management/treatment contractor.

Recommendation
Contact a qualified pest control specialist.



Garage



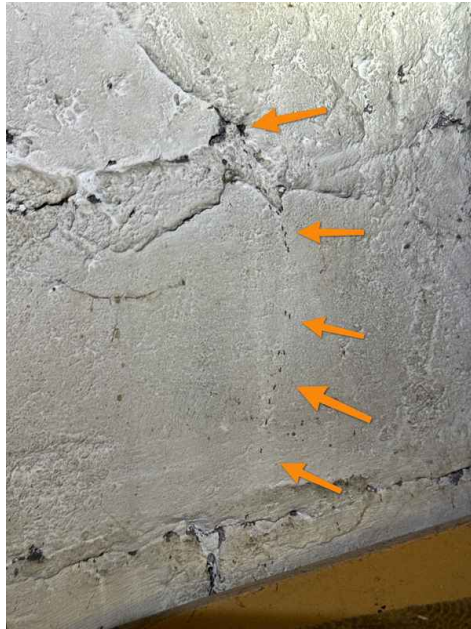
Southeast Crawlspace



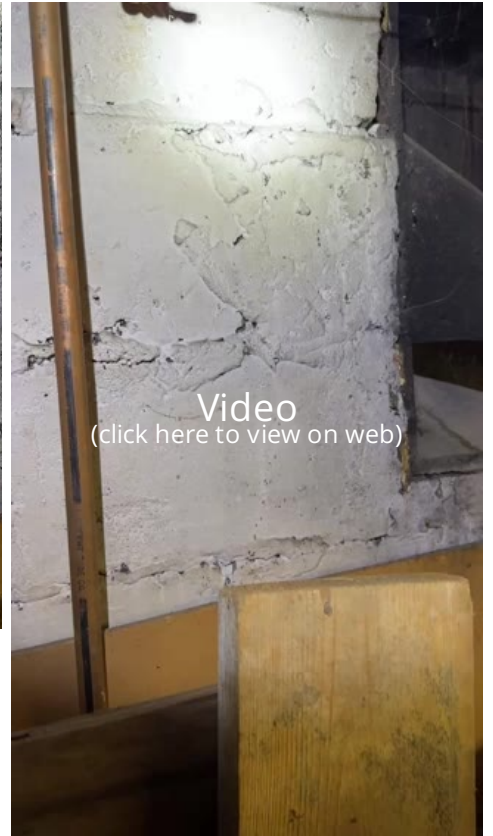
Southwest Basement



West Basement



West Basement



West Basement

13.2.1 Deficiencies

EVIDENCE OF INSECTS



In one or more locations of the house evidence of insects were found. Recommend further evaluation by a pest management company.

Recommendation
Contact a qualified professional.



13.2.2 Deficiencies

ANIMAL INTRUSION

 Recommendation

Evidence of current/past animal presence observed during inspection. Recommend further evaluation by pest management company.

Recommendation
Contact a qualified professional.



Southeast Attic

13.2.3 Deficiencies

WASP(S) NEST

 Maintenance Item

Wasp nest observed during inspection. One option is to remove wasp nest. Recommend further evaluation by a qualified pest management company.

Recommendation
Contact a qualified professional.



North 2nd Floor