

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-34**

SUBJECT: Map Amendment Requested By Florence County To Change The Zoning Designation For Properties In Group Six Of The Highway 76 Gateway Study From Unzoned. This Amendment Shall Apply To The Following Properties As They Are Reflected On The Tax Maps As:

LOCATION: The Highway 76 Gateway Study

TAX MAP NUMBERS: 01012-01-079, 01012-01-080, 01012-01-081, 01012-01-083, 01012-01-149, 01012-01-194

COUNCIL DISTRICT(S): 3; County Council

APPLICANT: County of Florence

ZONING/LAND AREA: Unzoned

STAFF ANALYSIS:

1. Existing Land Use and Zoning:
The subject properties are currently unzoned with varying current uses consisting of vacant, residential, and commercial.
2. Proposed Land Use and Zoning:
The proposed zoning recommendation for the subject properties is **B-3, General Commercial District**.
3. Surrounding Land Use and Zoning:
All surrounding properties are either unzoned, B-3, or subject to City of Florence zoning.
4. Florence County Comprehensive Plan:
The recommended zoning district is compatible with the subject properties future land use designation.

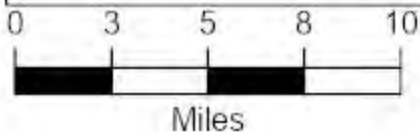
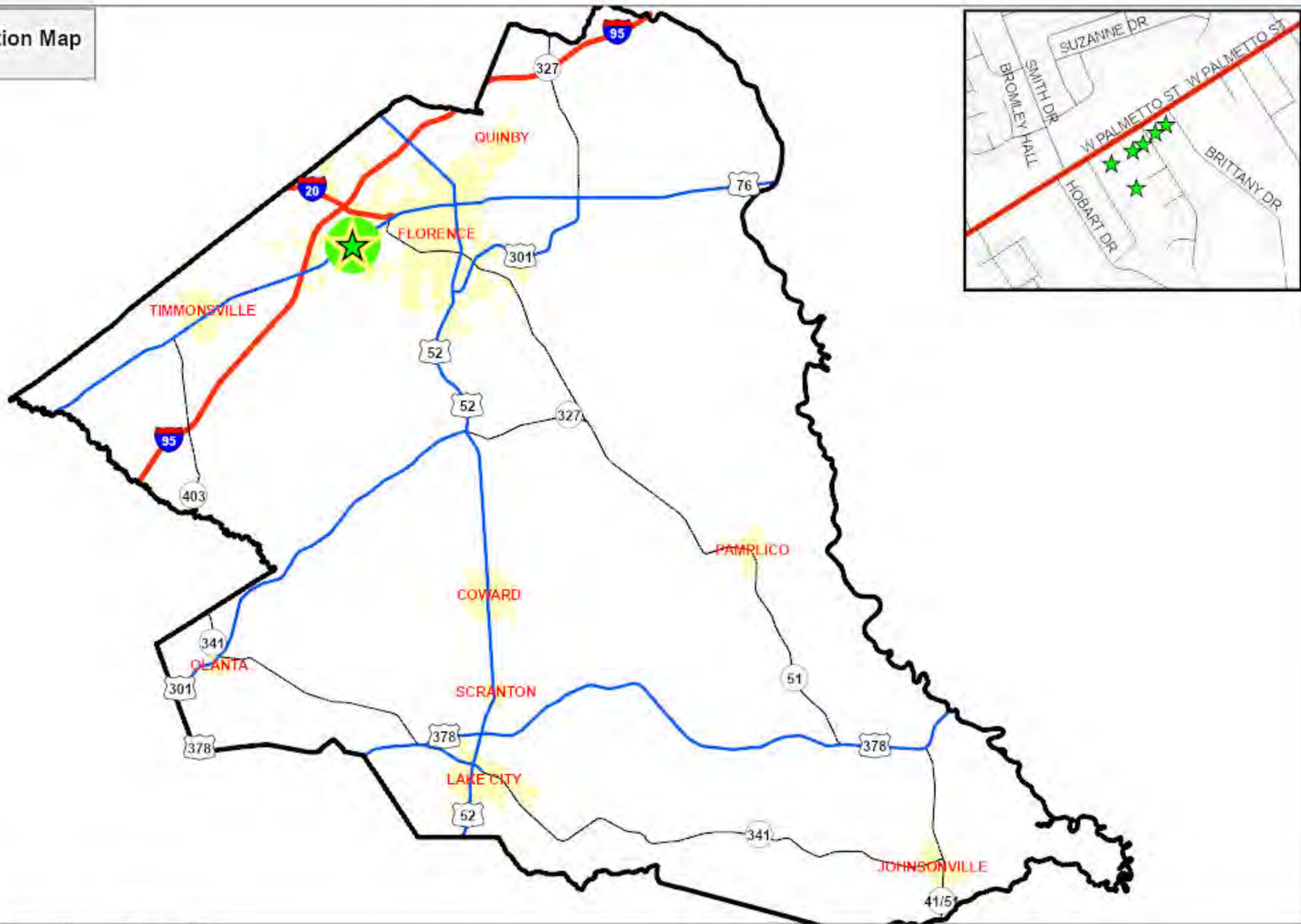
FLORENCE COUNTY COUNCIL MEETING:

This item is tentatively scheduled to appear on the agenda on Thursday, November 20, 2025 at 9:00 a.m. in Room 803 of the County Complex, 180 North Irby Street, Florence.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map

Location Map



Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-34

Florence County Zoning Map

The map displays the following zoning districts and features:

- Zoning Districts:**
 - R-2:** Yellow background.
 - R-3A:** Orange background.
 - B-3:** Red background.
 - CA:** Light blue background with diagonal lines.
 - C6:** Pink background with a diamond pattern.
 - PD:** Green background.
 - UNZONED:** White background.
- Property of Interest:** A large, irregularly shaped property in the center is outlined in blue.
- Major Roads:**
 - US Highway 76:** Labeled with a shield icon.
 - W. PALMETTO ST.**
 - CELEBRATION BLVD.**
 - FESTIVAL DR.**
 - BRITANNY DR.**
 - SKYLARK DR.**
 - MANORWAY DR.**
 - HOBART DR.**
 - SMITH DR.**
 - SMITHS FIELD DR.**
 - ENCHER DR.**
 - ABBINGTON HALL.**
 - BROMLEY HALL.**
 - EDGEHURST HALL.**
 - VIA PONTICELLO.**
 - STRADAGIANNA.**
- Other Labels:**
 - CITY ZONING:** Located near the top right.
 - UNZONED:** Located at the bottom center.

B-3 GENERAL
 PD, PLANNED DEVELOPMENT
 R-1, SINGLE-FAMILY, LARGE LOTS
 R-2, SINGLE-FAMILY, MEDIUM LOTS
 R-3A
 UNZONED

Council District 3
PC#2025-34

14



Council District 3
PC#2025-34

2024 Aerial



0 260 520
Feet

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-34

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-35**

SUBJECT: Map Amendment Requested By Florence County To Change The Zoning Designation For The Property In Group Six Of The Highway 76 Gateway Study From Unzoned. This Amendment Shall Apply To The Following Property As It Is Reflected On The Tax Maps As:

LOCATION: The Highway 76 Gateway Study

TAX MAP NUMBERS: 90159-02-015

COUNCIL DISTRICT(S): 7; County Council

APPLICANT: County of Florence

ZONING/LAND AREA: Unzoned

STAFF ANALYSIS:

1. Existing Land Use and Zoning:
The subject property is currently unzoned with current use consisting of commercial.
2. Proposed Land Use and Zoning:
The proposed zoning recommendation for the subject property is **CMU Commercial Mixed-Use District**.
3. Surrounding Land Use and Zoning:
All surrounding properties are either unzoned or zoned CMU Commercial Mixed-Use District.
4. Florence County Comprehensive Plan:
The recommended zoning district is compatible with the subject property future land use designation.

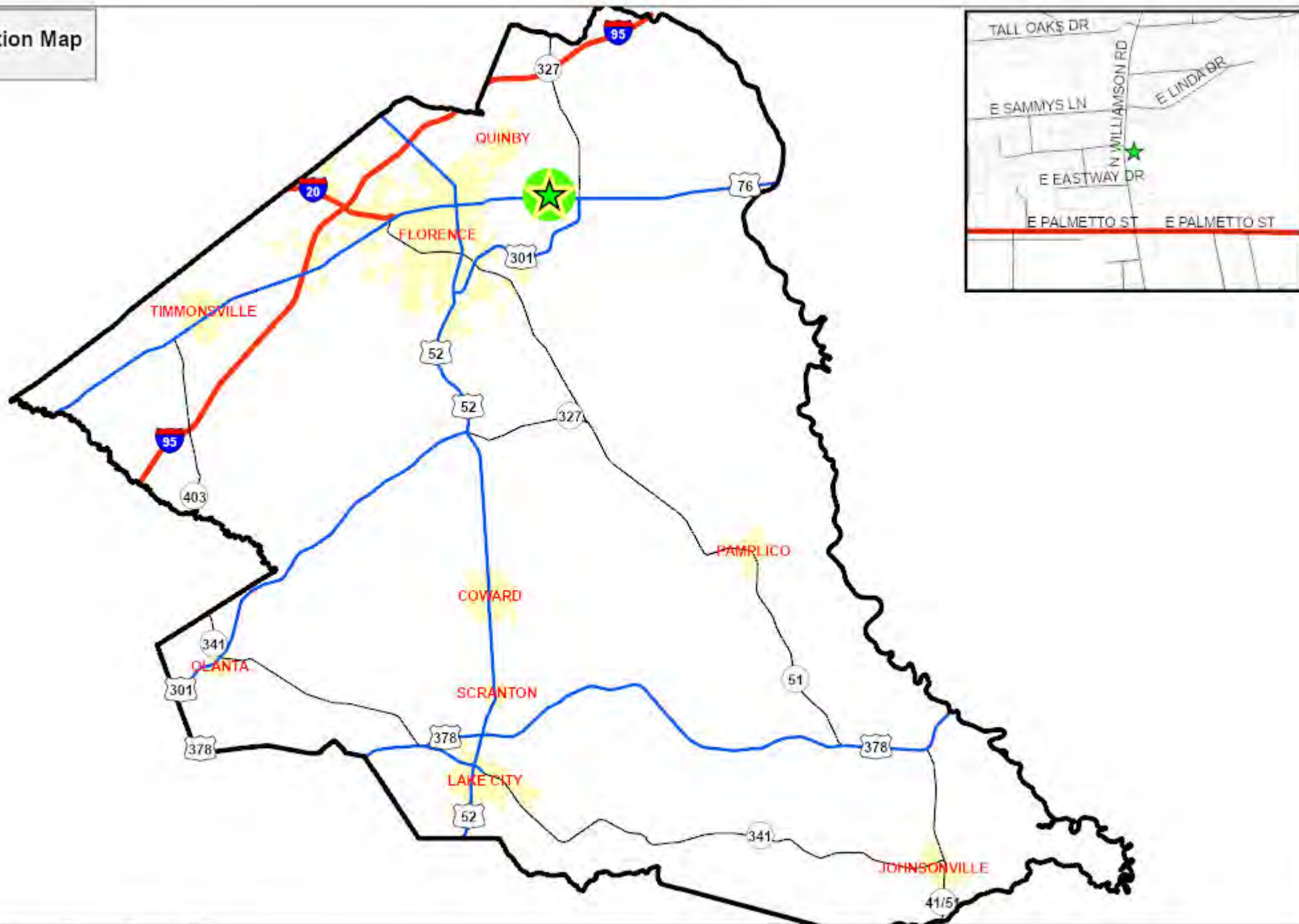
FLORENCE COUNTY COUNCIL MEETING:

This item is tentatively scheduled to appear on the agenda on Thursday, November 20, 2025 at 9:00 a.m. in Room 803 of the County Complex, 180 North Irby Street, Florence, SC 29501.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map

Location Map



Florence County
Planning Department
Meeting Date:
10/28/2025

Council District 7
PC#2025-35

Florence County
Zoning Map

N WILLIAMSON RD

GLENCOVE DR

UNZONED

CMU

Current County Zoning

CMU, COMMERCIAL MIXED-USE
UNZONED

Florence County
Planning Department
Meeting Date:
10/28/2025

Council District 7
PC#2025-35

19



0 50 100 Feet

2024 Aerial



0 30 60
Feet

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 7
PC#2025-35

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-36**

SUBJECT: Map Amendment Requested By Florence County To Change The Zoning Designation For Properties In Group Six Of The Highway 76 Gateway Study From Unzoned. This Amendment Shall Apply To The Following Properties As They Are Reflected On The Tax Maps As:

LOCATION: The Highway 76 Gateway Study

TAX MAP NUMBERS: 01012-01-082, 01012-01-102, 01012-01-103, 01012-01-104, 01012-01-105, 01012-01-106, 01012-01-107, 01012-01-108, 01012-01-109, 01012-01-110, 01012-01-112, 01012-01-115, 01012-01-127, 01012-01-129, 01012-01-137, 01012-01-139, 01012-01-142, 01012-01-146, 01012-01-148, 01012-01-150, 01012-01-152, 01012-01-154, 01012-01-173, 01012-01-174, 01012-01-175, 01012-01-176, 01012-01-177, 01012-01-178, 01012-01-179, 01012-01-180, 01012-01-181, 01012-01-182, 01012-01-183, 01012-01-184, 01012-01-185, 01012-01-186, 01012-01-187, 01012-01-188, 01012-01-189, 01012-01-190, 01012-01-191, 01012-01-195

COUNCIL DISTRICT(S): 3; County Council

APPLICANT: County of Florence

ZONING/LAND AREA: Unzoned

STAFF ANALYSIS:

1. Existing Land Use and Zoning:

The subject properties are currently unzoned with varying current uses consisting of vacant and residential.

2. Proposed Land Use and Zoning:

The proposed zoning recommendation for the subject properties is **R-2, Single-Family Residential District**.

3. Surrounding Land Use and Zoning:

All surrounding properties are unzoned.

4. Florence County Comprehensive Plan:

The recommended zoning district is compatible with the subject properties future land use designation.

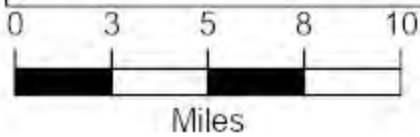
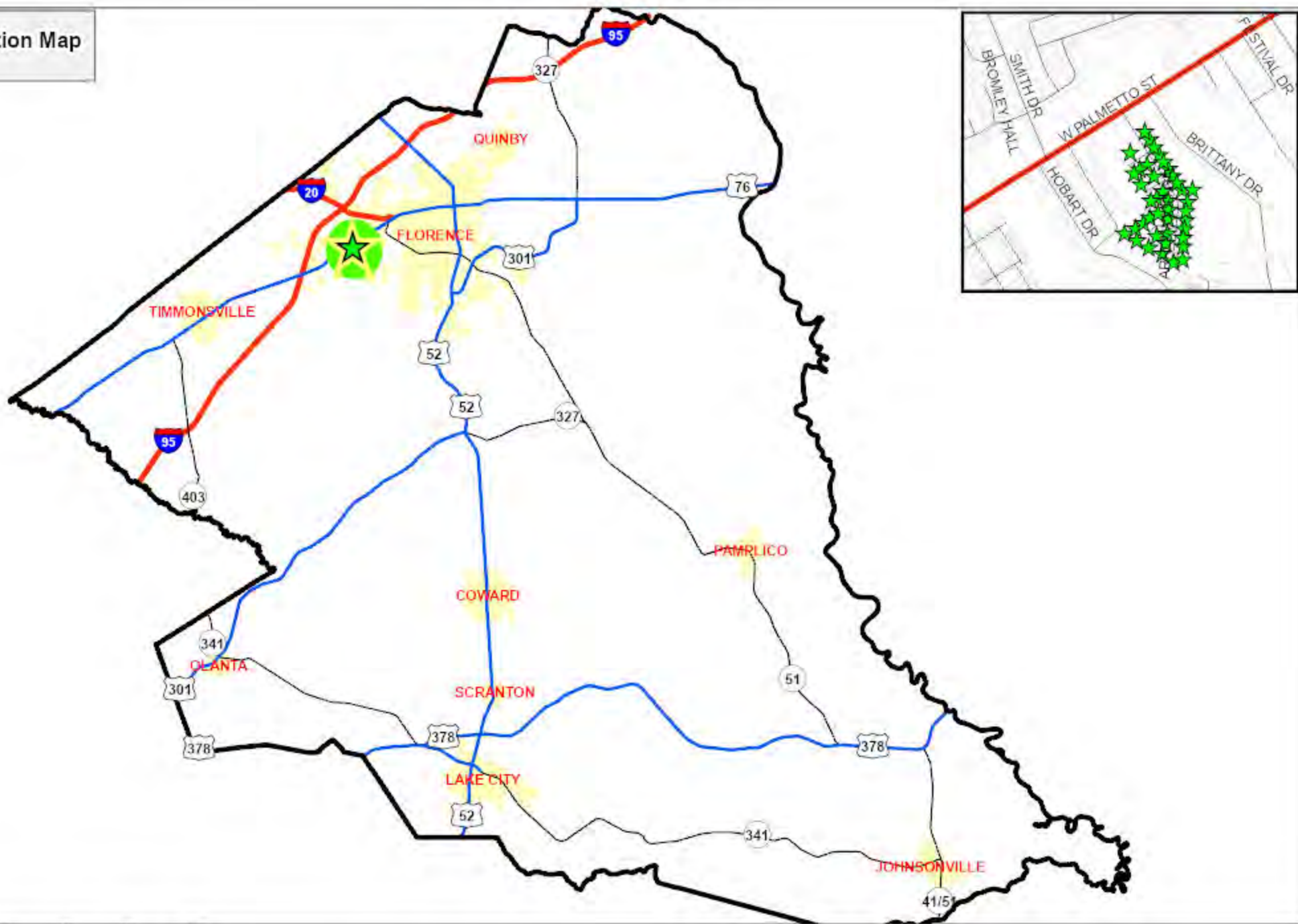
FLORENCE COUNTY COUNCIL MEETING:

This item is tentatively scheduled to appear on the agenda on Thursday, November 20, 2025 at 9:00 a.m. in Room 803 of the County Complex, 180 North Irby Street, Florence.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map

Location Map

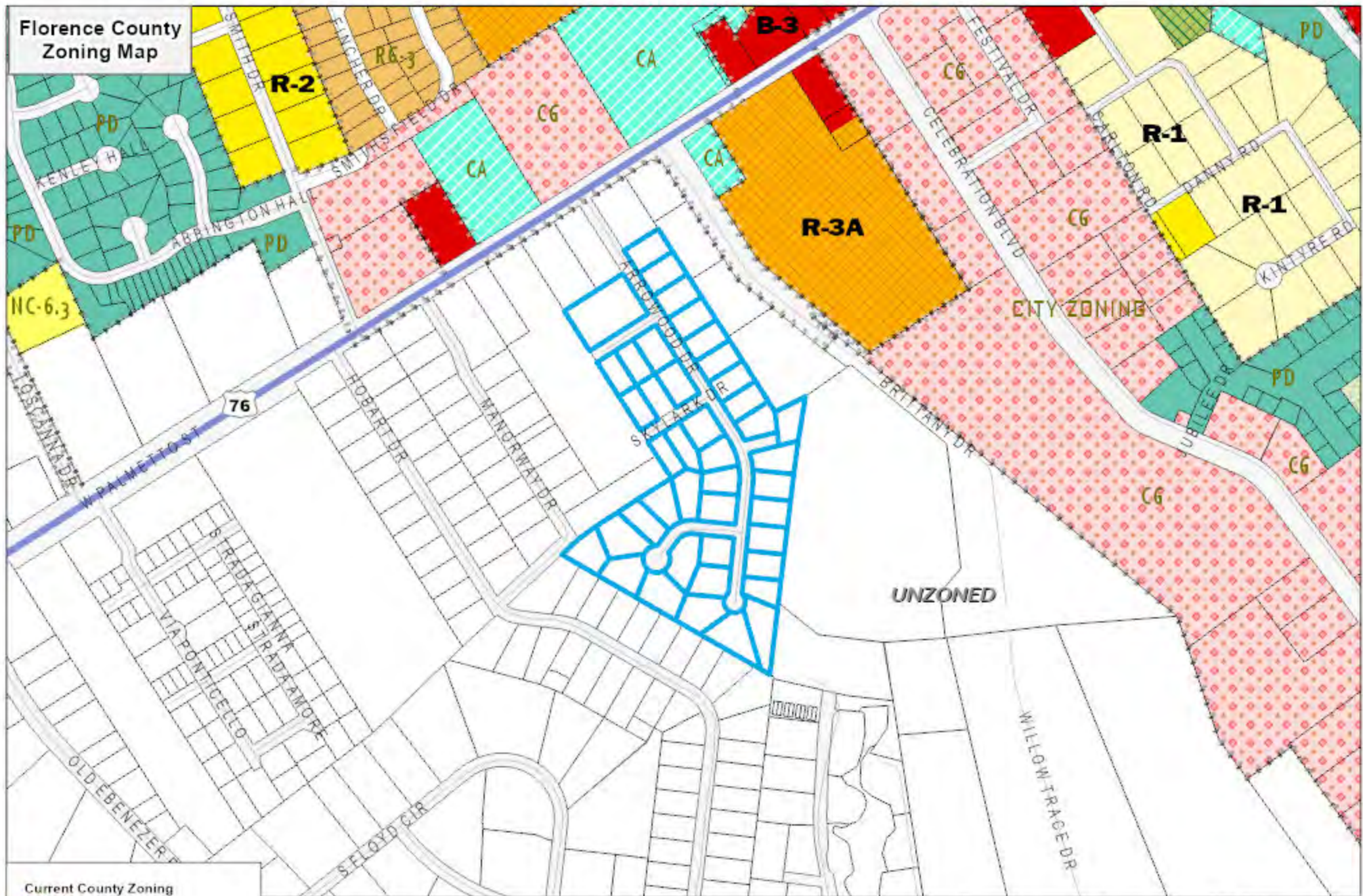


Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-36

Florence County Zoning Map



Current County Zoning

- B-3 GENERAL
- PD, PLANNED DEVELOPMENT
- R-1, SINGLE-FAMILY, LARGE LOTS
- R-2, SINGLE-FAMILY, MEDIUM LOTS
- R-3A
- RU-1A, RURAL COMMUNITY
- UNZONED

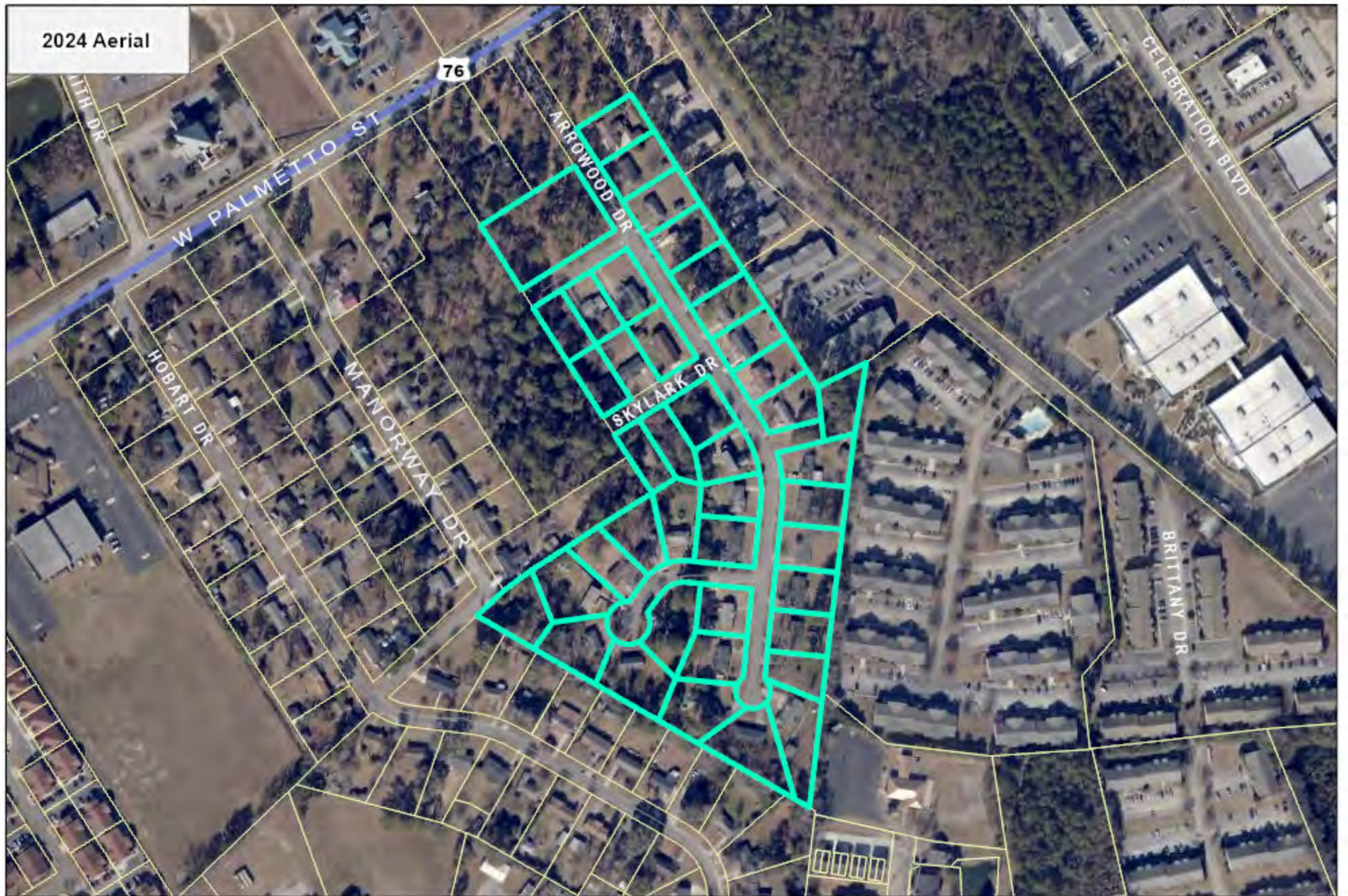
0 480 960 Feet

Florence County
Planning Department
Meeting Date:
10/28/2025

Council District 3
PC#2025-36



2024 Aerial



0 350 700
Feet

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-36

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-37**

SUBJECT: Map Amendment Requested By Florence County To Change The Zoning Designation For Properties In Group Six Of The Highway 76 Gateway Study From Unzoned. This Amendment Shall Apply To The Following Properties As They Are Reflected On The Tax Maps As:

LOCATION: The Highway 76 Gateway Study

TAX MAP NUMBERS: 90158-07-001, 90158-07-002, 90158-07-003, 90158-07-004, 90158-07-005, 90158-07-006, 90158-07-007, 90158-07-008, 90158-07-009, 90158-07-010, 90158-07-011, 90158-07-012, 90158-07-013, 90158-07-015, 90159-01-001, 90159-01-002, 90159-01-003, 90159-01-004, 90159-01-005, 90159-01-006, 90159-01-007, 90159-01-008, 90159-01-009, 90159-01-010, 90159-01-011, 90159-01-012, 90159-01-013, 90159-02-001, 90159-02-002, 90159-02-003, 90159-02-004, 90159-02-005, 90159-02-006, 90159-02-007, 90159-02-008, 90159-02-009, 90159-02-010, 90159-02-011, 90159-02-012, 90159-02-016, 90159-02-017

COUNCIL DISTRICT(S): 7; County Council

APPLICANT: County of Florence

ZONING/LAND AREA: Unzoned

STAFF ANALYSIS:

1. Existing Land Use and Zoning:

The subject properties are currently unzoned with varying current uses consisting of vacant and residential.

2. Proposed Land Use and Zoning:

The proposed zoning recommendation for the subject properties is **R-2, Single-Family Residential District**.

3. Surrounding Land Use and Zoning:

All surrounding properties are unzoned.

4. Florence County Comprehensive Plan:

The recommended zoning district is compatible with the subject properties future land use designation.

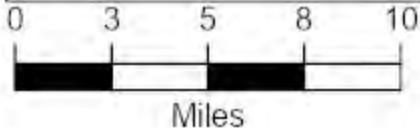
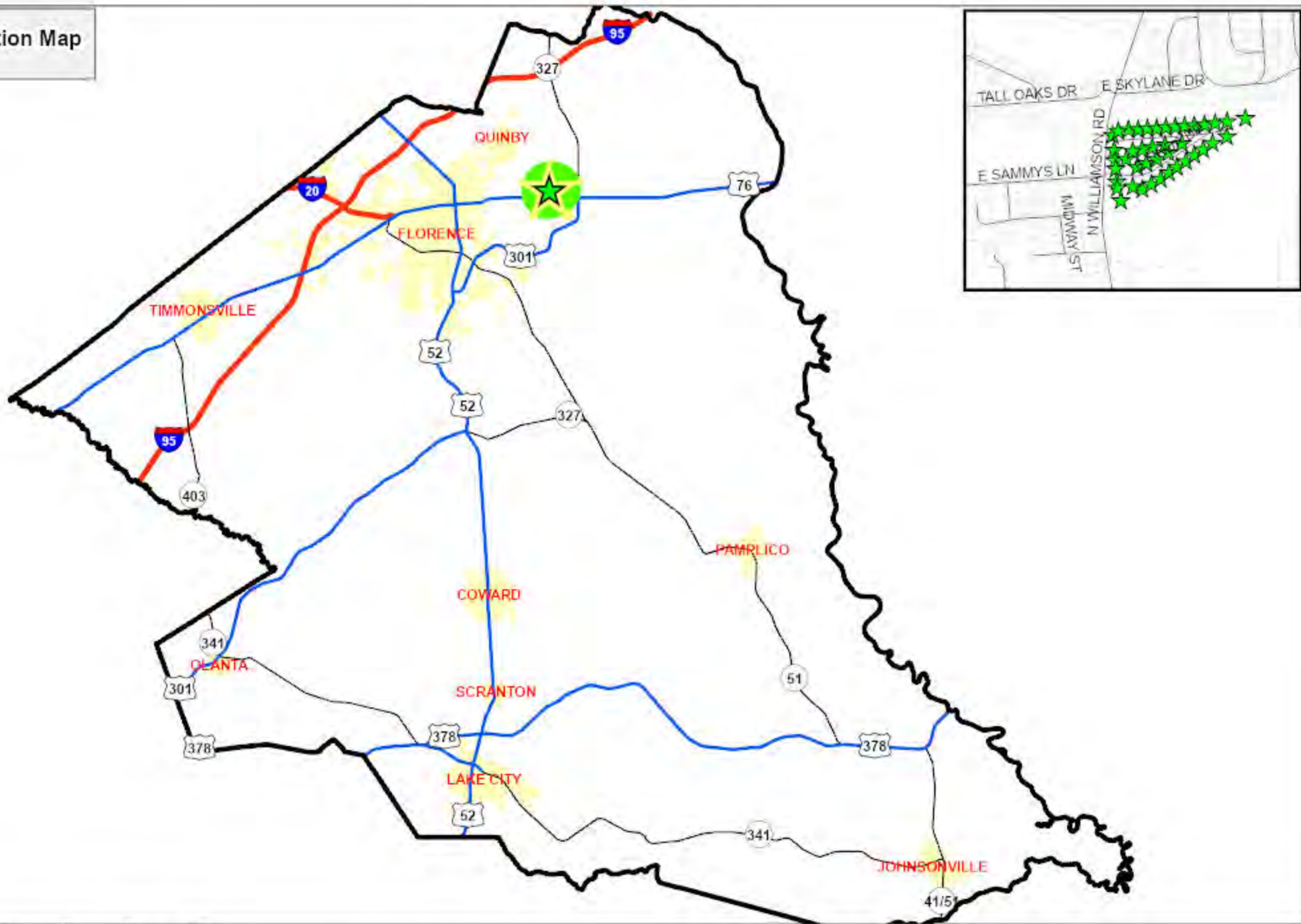
FLORENCE COUNTY COUNCIL MEETING:

This item is tentatively scheduled to appear on the agenda on Thursday, November 20, 2025 at 9:00 a.m. in Room 803 of the County Complex, 180 North Irby Street, Florence.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map

Location Map

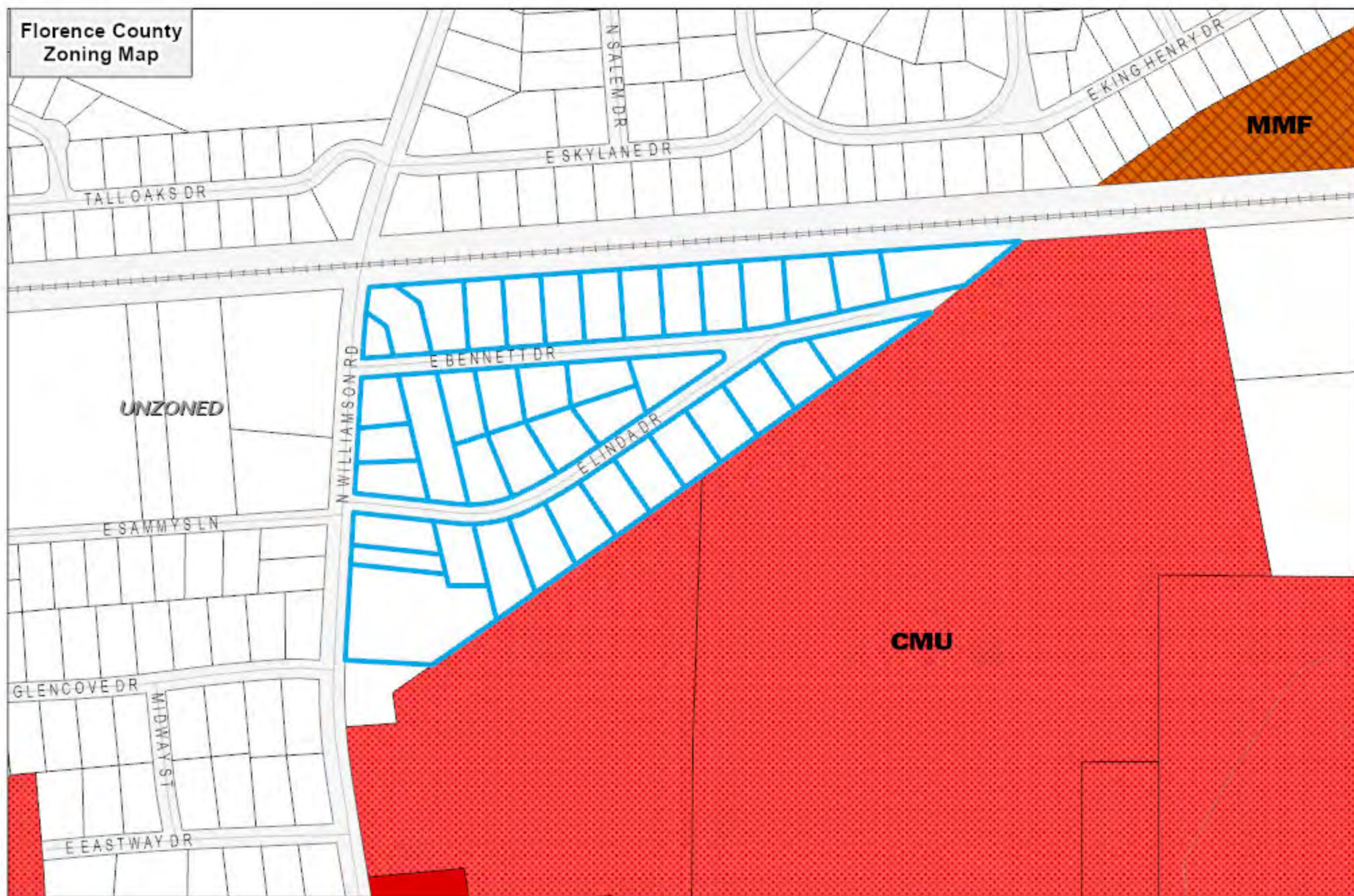


Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 7
PC#2025-37

**Florence County
Zoning Map**



Current County Zoning

- B-3 GENERAL
- CMU, COMMERCIAL MIXED-USE
- MMF, MIXED MULTI-FAMILY
- UNZONED

Florence County
Planning Department
Meeting Date:
10/28/2025

**Council District 7
PC#2025-37**

2024 Aerial



0 250 500
Feet

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 7
PC#2025-37

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-38**

SUBJECT: Map Amendment Requested By Florence County To Change The Zoning Designation For Properties In Group Six Of The Highway 76 Gateway Study From Unzoned. This Amendment Shall Apply To The Following Properties As They Are Reflected On The Tax Maps As:

LOCATION: The Highway 76 Gateway Study

TAX MAP NUMBERS: 01012-01-245, 01012-01-246, 01012-01-247, 01012-01-248, 01012-01-249, 01012-01-250, 01012-01-251, 01012-01-252, 01012-01-253, 01012-01-254, 01012-01-255, 01012-01-256, 01012-01-257, 01012-01-258, 01012-01-259, 01012-01-260, 01012-01-261, 01012-01-262, 01012-01-271

COUNCIL DISTRICT(S): 3; County Council

APPLICANT: County of Florence

ZONING/LAND AREA: Unzoned

STAFF ANALYSIS:

1. Existing Land Use and Zoning:
The subject properties are currently unzoned with current uses consisting of residential.
2. Proposed Land Use and Zoning:
The proposed zoning recommendation for the subject properties is **R-5A, Multi-Family Residential District**.
3. Surrounding Land Use and Zoning:
All surrounding properties are either unzoned, R-3A, or subject to City of Florence zoning.
4. Florence County Comprehensive Plan:
The recommended zoning district is compatible with the subject properties future land use designation.

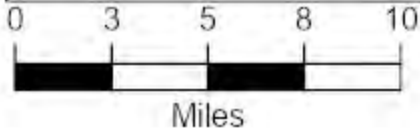
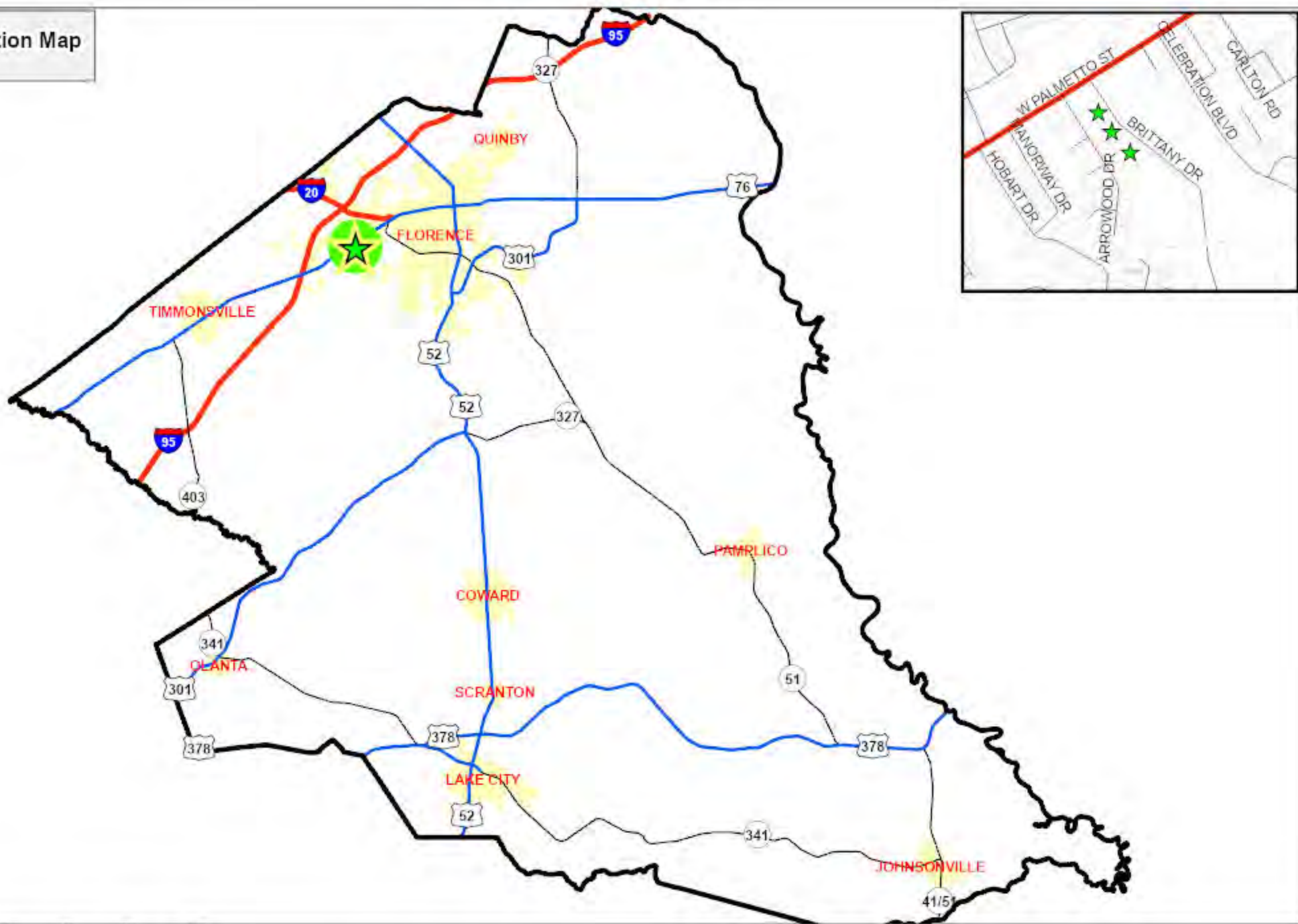
FLORENCE COUNTY COUNCIL MEETING:

This item is tentatively scheduled to appear on the agenda on Thursday, November 20, 2025 at 9:00 a.m. in Room 803 of the County Complex, 180 North Irby Street, Florence, SC 29501.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map

Location Map

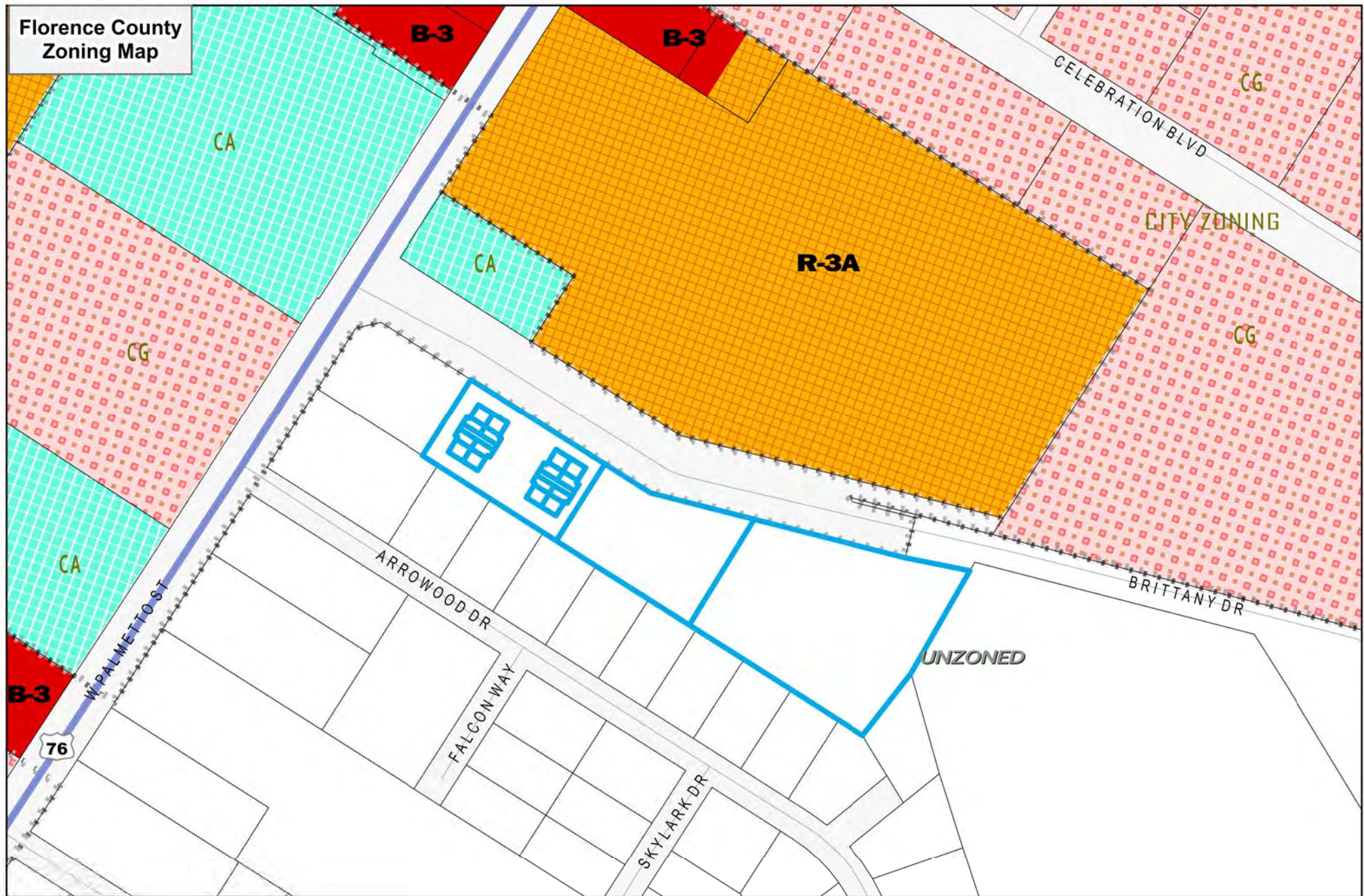


Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-38

**Florence County
Zoning Map**



Current County Zoning

- B-3 GENERAL
- R-3A
- UNZONED

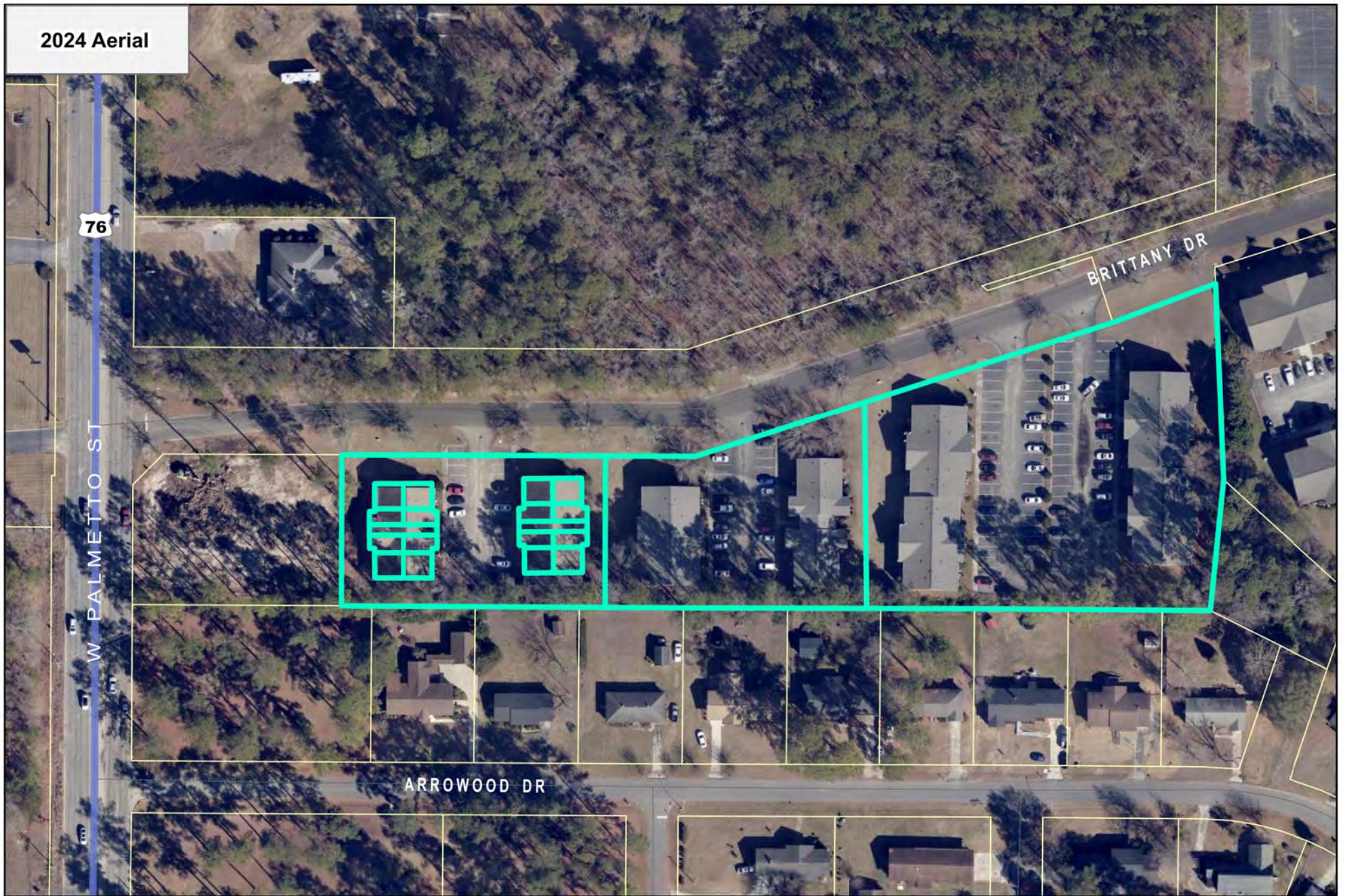
Florence County
Planning Department
Meeting Date:
10/28/25

**Council District 3
PC#2025-38**

0 210 420 Feet



2024 Aerial



Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 3
PC#2025-38

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-39**

SUBJECT: Sketch Plan Requested By Nathan Pound, PE / Thomas & Hutton For Brighton Grove, Located Off Of E. McIver Road, Quinby, SC, As Shown On Florence County Tax Map Number 00175, Block 01, Parcels 037 and 038.

LOCATION: The proposed project site is located off of E. McIver Road, Quinby, SC

TAX MAP NUMBERS: 00175, Block 01, Parcels 037 and 038

COUNCIL DISTRICT(S): 7; County Council

OWNER OF RECORD: Randall Johnson/ Robyn Jones

APPLICANT: Nathan Pound, PE/ Thomas & Hutton

ZONING/LAND AREA: R-3A / approx. 57.57

WATER/SEWER AVAILABILITY: City of Florence Water (Available)
City of Florence Sewer (willing to service)

**ADJACENT WATERWAYS/
BODIES OF WATER:** None

FLOOD ZONE: X

PARCEL ZONING DESIGNATIONS: Unzoned & R-3A

STAFF ANALYSIS:

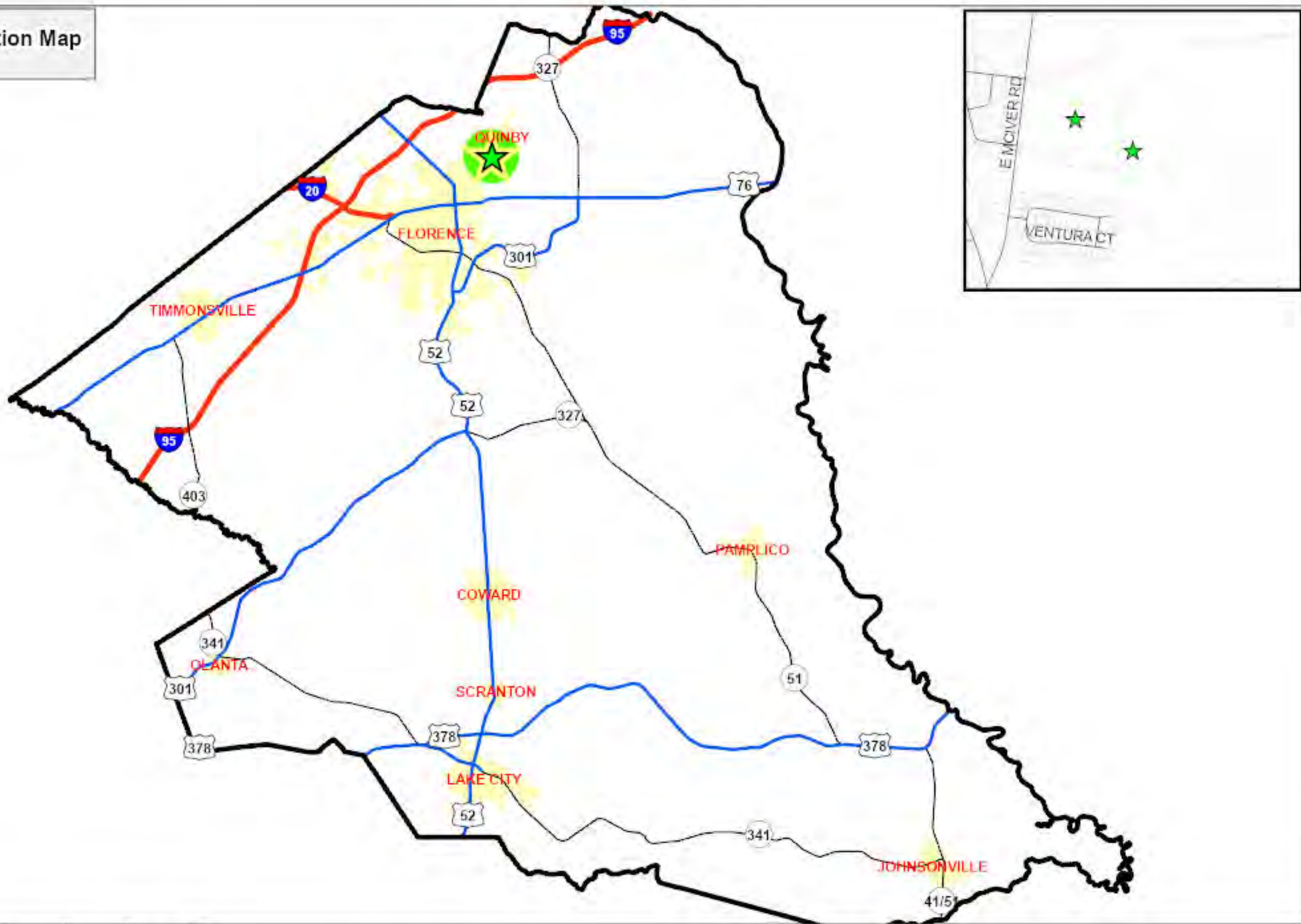
1. Surrounding Land Use and Zoning:
North: Town of Quinby/ Rural, Vacant/ RU-1
South: City of Florence/ Residential
West: Florence County/ Residential/ R-3A
East: Florence County/ Rural, Vacant / RU-2
2. Background
The applicant desires to subdivide the subject properties into 210 residential lots.

3. Transportation Access and Circulation:
Present access to these properties is by the way of E. McIver Road, Quinby SC.
4. Proposed Road Names:
Brighton Grove Lane, Grovewood Drive, Lavender Grove Drive, Brightleaf Trail, Elmstone Park, Rosefield Commons, Hearthstone Meadows
5. Traffic Review:
Based on the applicant's request the additional traffic could have some impact on the current traffic flow.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map
- Sketch Plan

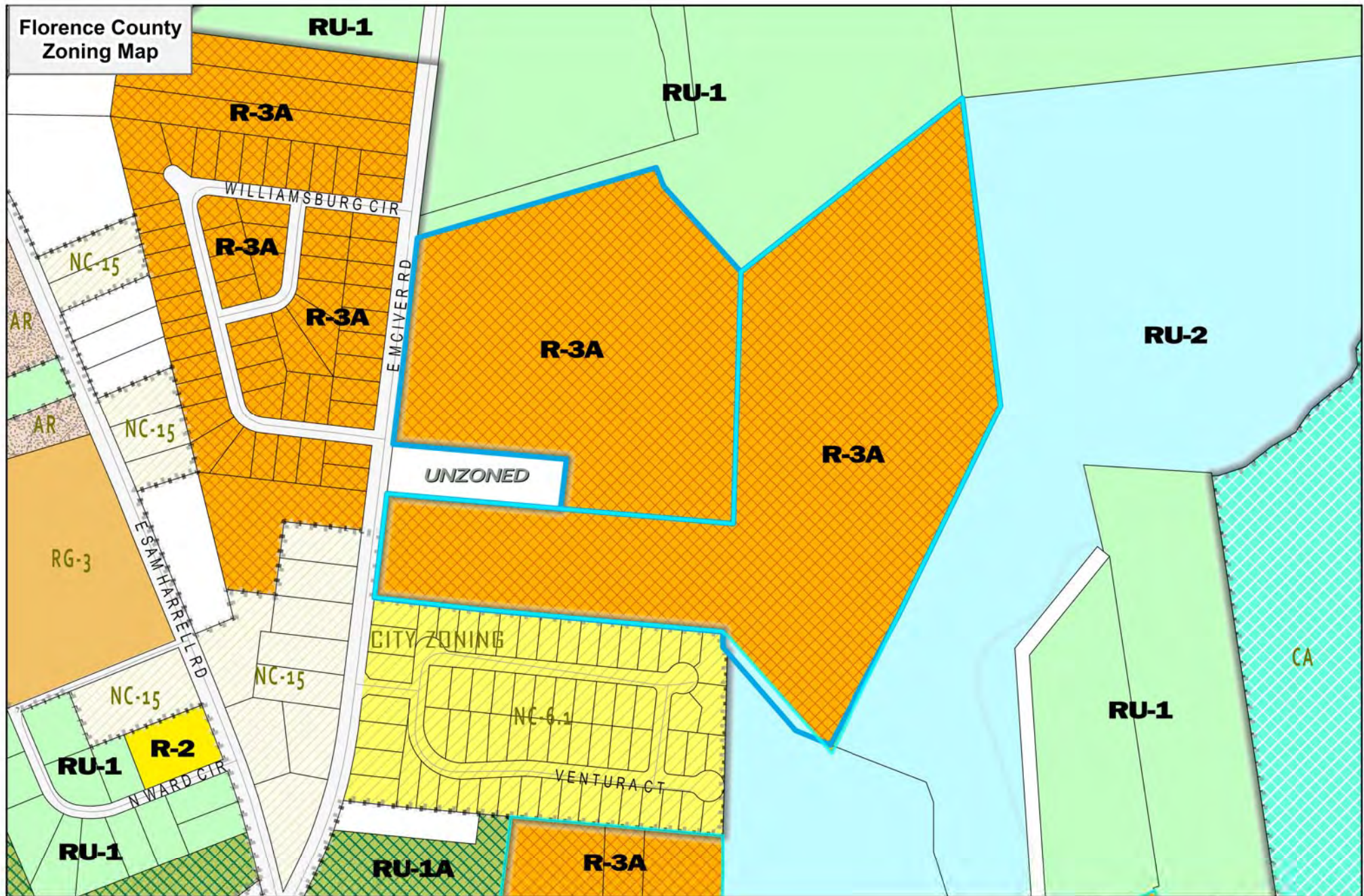
Location Map



Florence County
Planning Department
Meeting Date:
10/28/2025

Council District 7
PC#2025-39

**Florence County
Zoning Map**



Current County Zoning

- | | |
|---------------------------------|------------------------|
| R-2, SINGLE-FAMILY, MEDIUM LOTS | RU-1A, RURAL COMMUNITY |
| R-3A | RU-2, RESOURCE |
| R-4, MULTI-FAMILY, LIMITED | UNZONED |
| R-3, SINGLE-FAMILY, SMALL LOTS | |
| RU-1, COMMUNITY | |

0 420 840 Feet

Florence County
Planning Department
Meeting Date:
10/28/25

**Council District 7
PC#2025-39**



2024 Aerial

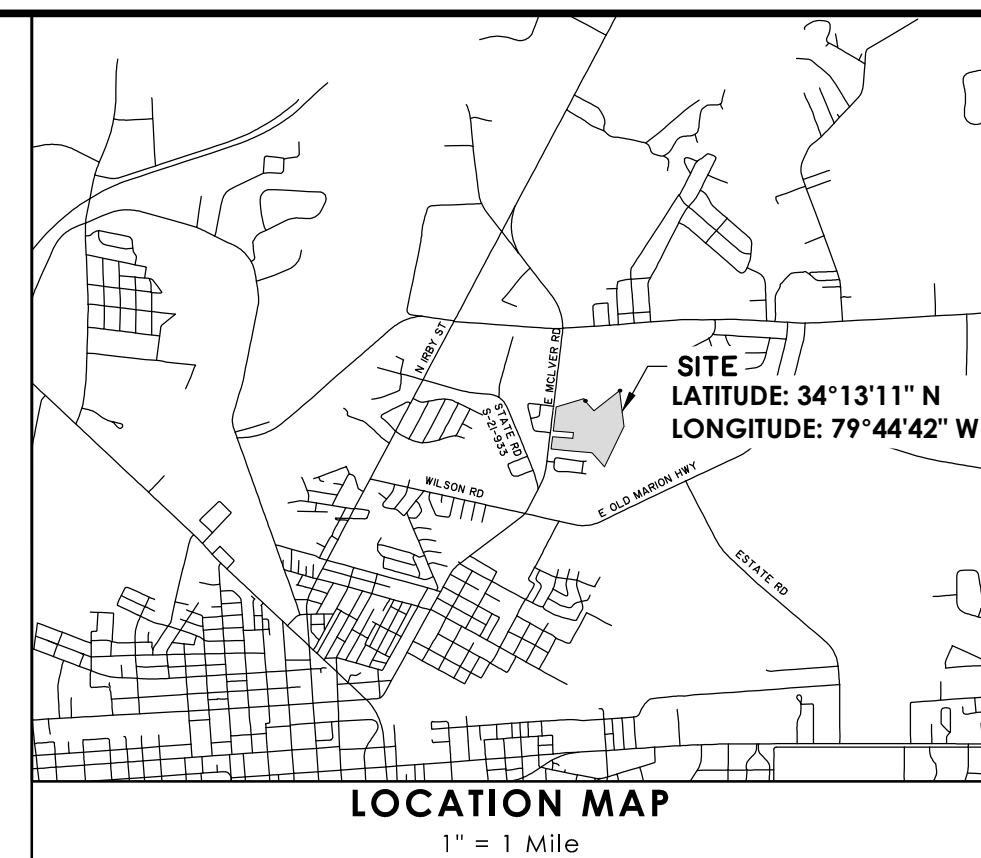


0 440 880
Feet

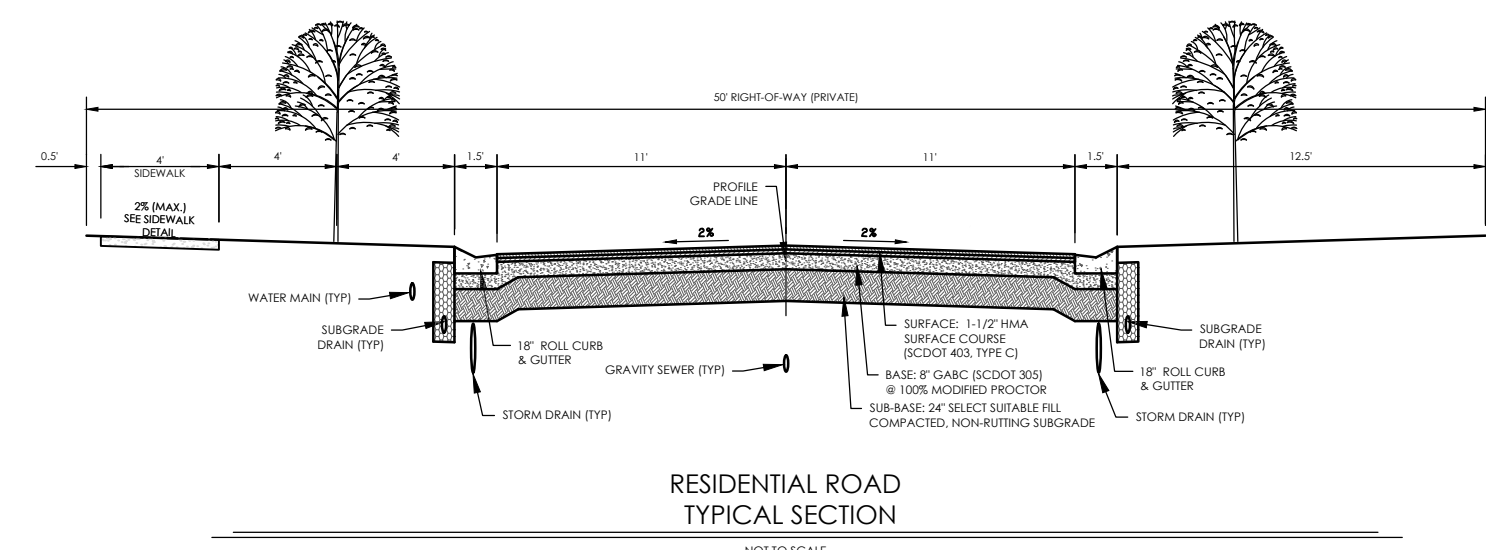
Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 7
PC#2025-39



SITE INFORMATION TABLE	
PARCEL:	
PIN:	00175-01-038
ACREAGE:	24.14 AC.
OWNER:	RANDALL & CHERYL JOHNSON
PIN:	00175-01-037
ACREAGE:	34.07 AC.
OWNER:	ROBYN JONES
EXISTING LAND USE:	UNDEVELOPED
PROPOSED LAND USE:	RESIDENTIAL
ZONING:	
CURRENT:	R-3A
DEVELOPMENT STANDARDS:	
MINIMUM LOT AREA:	6,000 SF
MINIMUM LOT WIDTH:	50 FT
SETBACKS:	
FRONT:	25 FT
SIDE:	5 FT
REAR:	25 FT
SECONDARY FRONT:	12.5 FT
BUILDING SEPARATION:	10 FT
MAX IMPERVIOUS SURFACE RATIO:	40%
DEVELOPMENT SUMMARY:	
LOTS	211
UPLAND AREA:	± 58.2 AC.
WETLAND AREA:	± 0.0 AC.
TOTAL AREA:	± 58.2 AC.
GROSS DENSITY:	3.6
NET DENSITY:	3.6
MAX DENSITY:	7 LOTS/AC
OPEN SPACE:	
TOTAL REQUIRED:	58.2 AC X 15% = 8.73 AC
TOTAL PROVIDED:	16.6 AC
FEMA:	
ZONE:	X
FIRM MAP:	45041C0151E (EFFECTIVE: 12/16/2014) 45041C0153E (EFFECTIVE: 10/16/2014)
UTILITIES:	
WATER:	CITY OF FLORENCE PUBLIC UTILITIES
SEWER:	CITY OF FLORENCE PUBLIC UTILITIES
NOTES:	
1.	WETLANDS DELINEATED BY THE BRIGMAN COMPANY ON 1/15/25. NO WETLANDS WERE PRESENT ON SITE.
2.	AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE UPON COMPLETION OF SURVEY.
3.	COMMON OPEN SPACE CANNOT BE DEVELOPED OR SUBDIVIDED.
4.	STREET TREES TO BE INSTALLED PER SECTION 28-6.70.



PHASE SUMMARY			
PHASE	1	2	3
LOTS	1-74	75-157	158-211
LOT AREA (AC.)	± 11.2	± 12.6	± 8.9
OPEN SPACE (AC.)	± 8.5	± 6.4	± 1.8
ROADS (AC.)	± 3.3	± 3.2	± 2.3
TOTAL ACREAGE	± 23.0	± 22.2	± 13.0

[illegible][illegible]

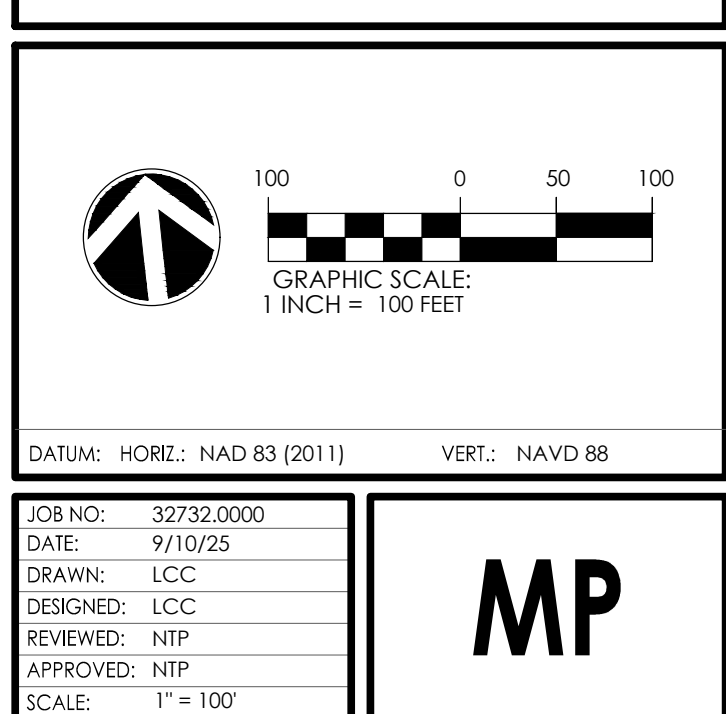
The logo for Thomas & Hutton features a large, stylized 'TH' monogram on the left. To its right, the words 'THOMAS' and 'HUTTON' are stacked vertically in a bold, sans-serif font, separated by an ampersand '&' which is positioned between two horizontal lines. Below the logo, the address '611 Burroughs & Chapin Blvd. • Suite 202' is printed, followed by 'Myrtle Beach, SC 29577 • 843.839.3545'. At the bottom, the website 'www.thomasandhutton.com' is displayed.

MASTER PLAN

BRIGHTON GROVE

PROJECT LOCATION:
QUINBY, SOUTH CAROLINA

CLIENT/OWNER:
LENNAR CAROLINAS, LLC
1359 21ST AVENUE NORTH
SUITE 105
MYRTLE BEACH, SOUTH CAROLINA 29577
(843) 839-3822



MP

**STAFF REPORT
TO THE
FLORENCE COUNTY PLANNING COMMISSION
Tuesday, October 28, 2025
PC#2025-40**

SUBJECT: Sketch Plan Requested By Bluewater Civil Design, LLC For Freedom Reserve, Located Off Of E. National Cemetery Road, Florence SC, As Shown On Florence County Tax Map Number 00208, Block 01, Parcel 057.

LOCATION: The proposed project site is located off of E. National Cemetery Road, Florence SC

TAX MAP NUMBERS: 00208, Block 01, Parcel 057

COUNCIL DISTRICT(S): 6; County Council

OWNER OF RECORD: Freedom Florence SC LLC

APPLICANT: Nathan Pound, PE/ Thomas & Hutton

ZONING/LAND AREA: Unzoned / approx. 70.32 acres

WATER/SEWER AVAILABILITY: City of Florence Water (Available)
City of Florence Sewer (Willing to serve)

**ADJACENT WATERWAYS/
BODIES OF WATER:** None

FLOOD ZONE: X

PARCEL ZONING DESIGNATIONS: Unzoned

STAFF ANALYSIS:

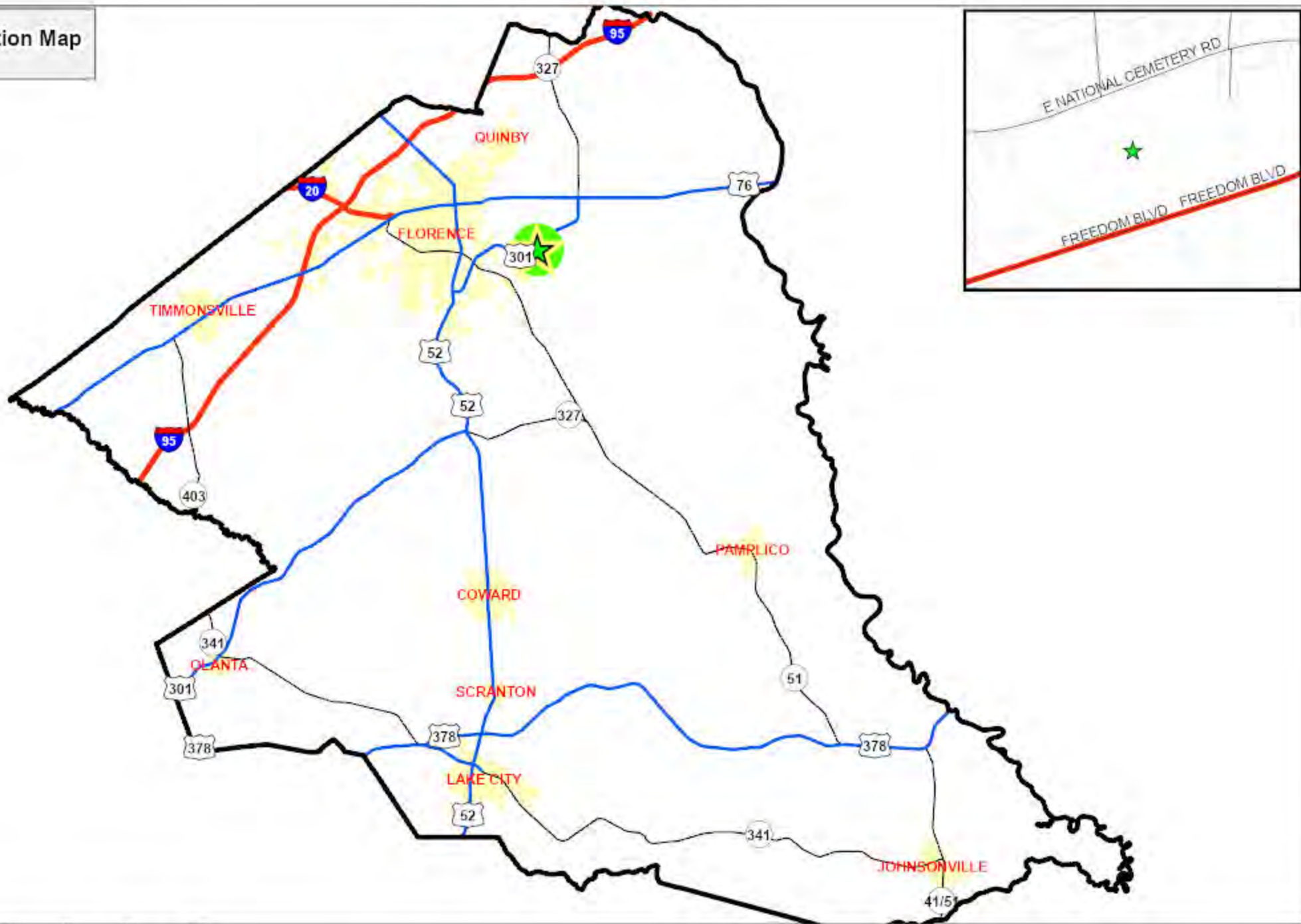
1. Surrounding Land Use and Zoning:
North: Florence County/ Residential, Vacant, Commercial/ Unzoned
South: Florence County/ Residential/ Unzoned
West: Florence County/ Residential, Vacant/ Unzoned
East: Florence County/ Rural, Vacant / Unzoned
2. Background
The applicant desires to subdivide the subject properties into 182 residential lots.

3. Transportation Access and Circulation:
Present access to these properties is by the way of E. National Cemetery Road and Freedom Boulevard, Florence SC.
4. Proposed Road Names:
Cover Lane, Journey Road, Hideaway Drive, Landing Street
5. Traffic Review:
Based on the applicant's request the additional traffic could have some impact on the current traffic flow.

ATTACHMENTS:

- Location Map
- Zoning Map
- Aerial Map
- Sketch Plan

Location Map



0 3 5 8 10
Miles

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 6
PC#2025-40

Florence County
Zoning Map



WV CITY ZONING

Current County Zoning
UNZONED

Florence County
Planning Department
Meeting Date:
10/28/2025

Council District 6
PC#2025-40

2024 Aerial



0 420 840
Feet

Florence County
Planning Department
Meeting Date:
10/28/2025



Council District 6
PC#2025-40

SITE DATA

TAX MAP NO.: 00208-01-057

DEED BOOK/PAGE: 999 / 1585

TOTAL AREA: ±73.3 ACRES

CURRENT USE: AGRICULTURAL - VACANT

PROPOSED USE: RESIDENTIAL

ZONING: UNZONED

TOTAL LOTS: 182 LOTS (52' X 135' TYP.)

DENSITY: 2.48 LOTS/AC

PROPOSED ROADWAY: ±6,407 LF (50' PUBLIC ROW)

OPEN SPACE PROVIDED: ±29.94 AC (±40.8%)

SETBACKS

E. NATIONAL CEMETERY ROAD: 30'

FREEDOM BOULEVARD: 30'

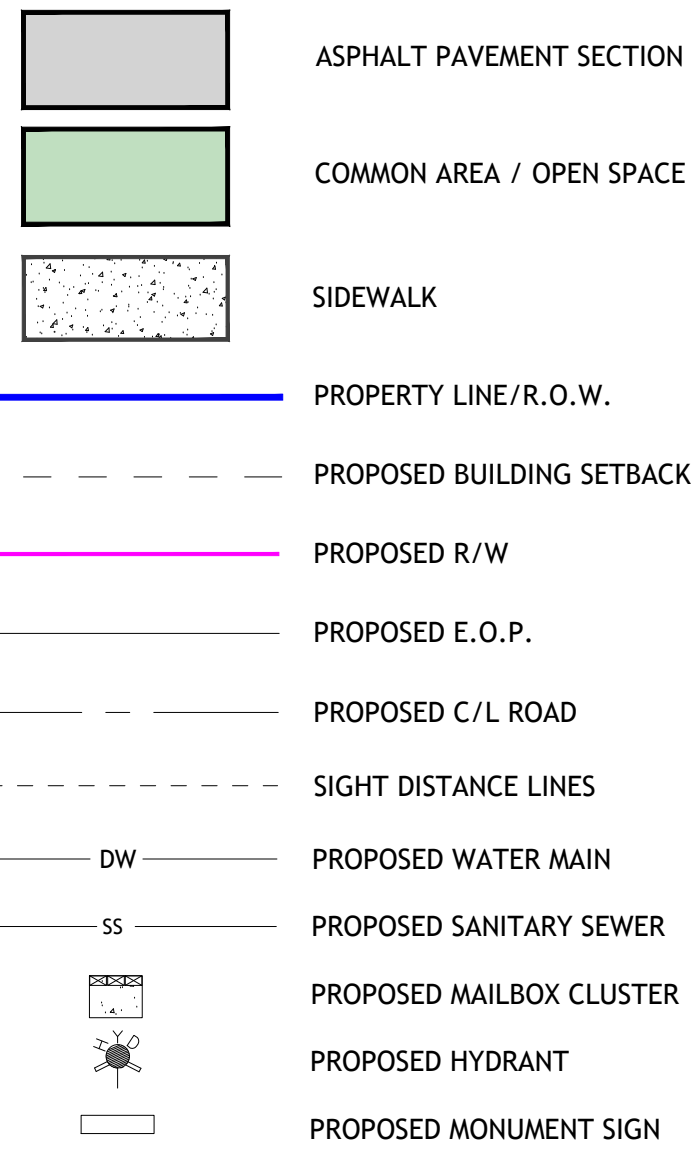
FRONT SETBACK: 25'

SECONDARY FRONT SETBACK: 12.5'

SIDE SETBACK: 5'

REAR SETBACK: 5'

SITE LEGEND



PARKING NOTE (FOR AMENITY):

PROVIDED PARKING CALCULATIONS:

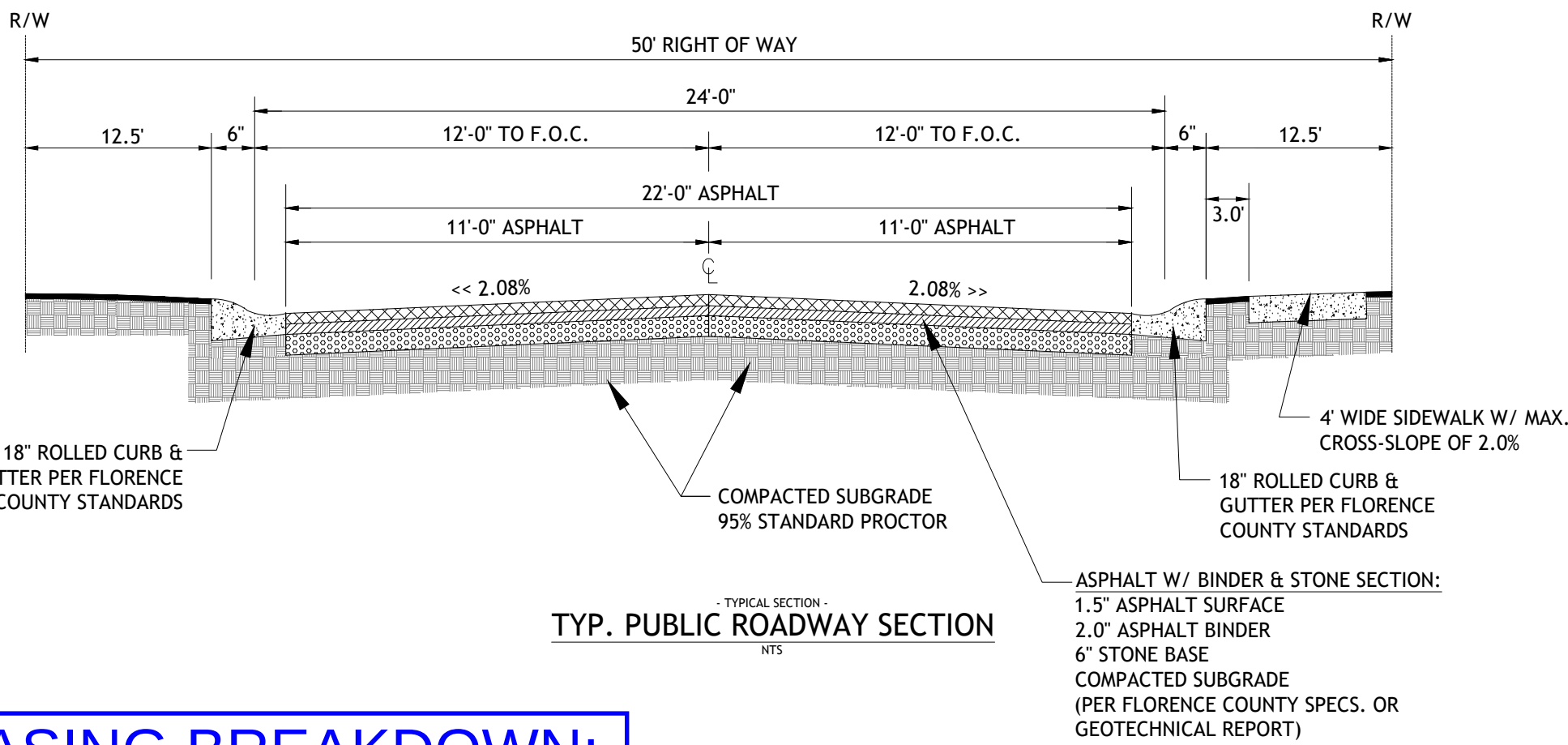
SWIMMING POOL (1.0/300 S.F.): 8

CABANA (1.0/300 S.F. OF G.F.A.): 4

COMMUNITY AREA (1.0/300 S.F.): 21

PARKING SPACES REQUIRED: 33 SPACES

PARKING SPACES PROVIDED: 43 SPACES (2 ADA SPACES)



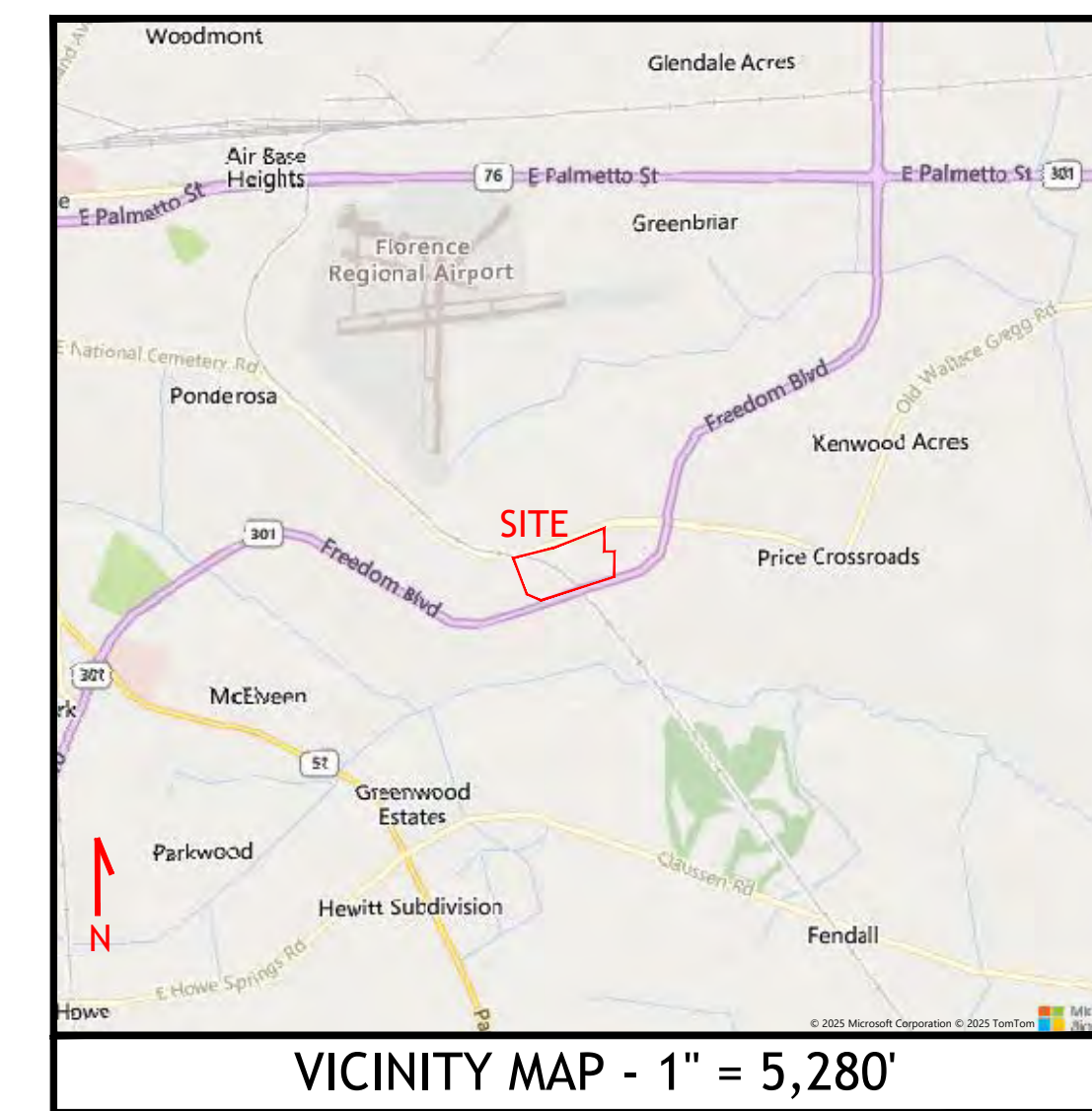
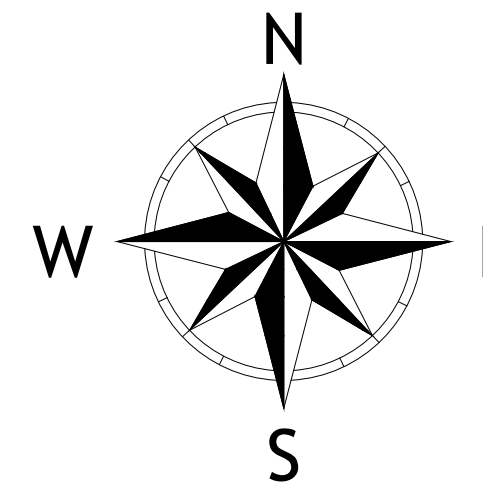
PHASING BREAKDOWN:

PHASE 1 - 100 LOTS

(LOTS 30-105, 126-146, & 180-182)

PHASE 2 - 82 LOTS

(LOTS 1-29, 106-125, & 147-179)



DEVELOPER

COMPANY: CONTENDER AMERICA

ADDRESS: 200 SMITH HINES ROAD
GREENVILLE, SC 29607

PHONE: 864-404-6007

CONTACT: SANDRA GUARDIA

EMAIL: SANDRA.GUARDIA@CONTENDERAMERICA.COM

CIVIL ENGINEER

COMPANY: BLUEWATER CIVIL DESIGN, LLC

ADDRESS: 718 LOWMEDES HILL ROAD
GREENVILLE, SC 29607

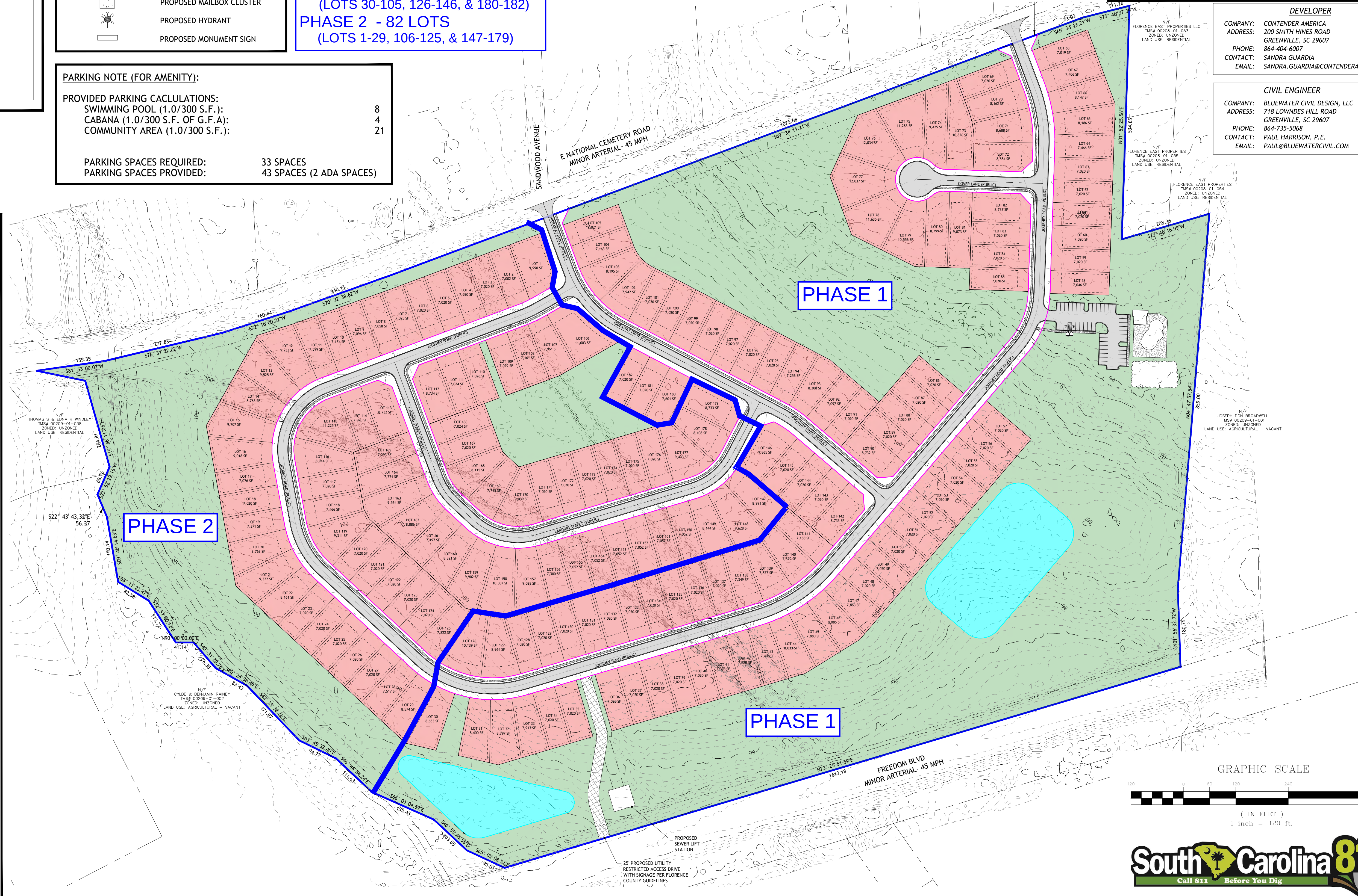
PHONE: 864-735-5068

CONTACT: PAUL HARRISON, P.E.

EMAIL: PAUL@BLUEWATERCIVIL.COM

GENERAL NOTES

- ALL NEW LOTS TO HAVE INTERNAL ACCESS ONLY. PUBLIC WATER IS AVAILABLE ALONG E NATIONAL CEMETERY ROAD ROAD PROVIDED BY CITY OF FLORENCE.
- SANITARY SEWER IS AVAILABLE VIA A PUMP STATION AND WILL BE PROVIDED BY CITY OF FLORENCE.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS BASED UPON INFORMATION PROVIDED BY UTILITY SERVICES.
- 5' DRAINAGE EASEMENTS SHALL BE ESTABLISHED ALONG ALL SIDE AND INTERIOR REAR PROPERTY LINES; 10' EASEMENTS SHALL BE ESTABLISHED ALONG EXTERIOR BOUNDARY OF THE SUBDIVISION UNLESS ADJOINING PROPERTY OWNERS HAVE ESTABLISHED EASEMENTS.
- A "STORM WATER MANAGEMENT AND SEDIMENT REDUCTION PLAN" SHALL BE PREPARED FOR THIS PROPERTY AND SHALL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER SHALL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY.
- FLORENCE COUNTY SHALL NOT BE RESPONSIBLE FOR THE OWNERSHIP & MAINTENANCE OF STORMWATER MANAGEMENT/QUALITY PONDS OR DEVICES.
- ALL NEW ROADWAYS WITHIN DEVELOPMENT SHALL HAVE A 50' MIN. PUBLIC R.O.W.
- ALL WORK WITHIN THE EXISTING R.O.W. (E. NATIONAL CEMETERY ROAD AND FREEDOM BOULEVARD) SHALL BE DONE IN ACCORDANCE WITH APPROVED ENCROACHMENT PERMIT.
- ALL DIMENSIONS SHOWN ON ROADWAY ARE MEASURED FROM E.O.P. TO E.O.P. UNLESS OTHERWISE SPECIFIED.
- LOTS WITH FRONTAGE ON TWO STREETS (CORNER LOTS) MAY ONLY HAVE DRIVEWAY CONNECTION TO ONE STREET.
- ACCORDING TO FEMA PANEL 45041C0162E EFF. 12/15/2014, THIS SITE IS ZONE X, NOT WITHIN A FLOODPLAIN.
- COMMON OPEN SPACE AREAS CANNOT BE SUBDIVIDED OR USED FOR ANY OTHER PURPOSE. PARKING WILL BE PROVIDED AT A RATE OF 2 SPACES PER DWELLING UNIT - ONE GARAGE SPACE AND ONE DRIVEWAY SPACE. ADDITIONAL GUEST PARKING WILL BE PROVIDED AT THE AMENITY CENTER.
- HYDRANT LOCATIONS ARE SUGGESTIONS ONLY.
- STREET TREES AND SIDEWALKS TO BE INSTALLED ON EACH LOT PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- IF DEEMED NECESSARY BASED ON THE TRAFFIC IMPACT STUDY, INFRASTRUCTURE IMPROVEMENT RECOMMENDATIONS SHALL BE DESIGNED, PERMITTED, AND CONSTRUCTED IN ACCORDANCE WITH SCDOT STANDARDS.
- IF THE TRAFFIC IMPACT STUDY RECOMMENDS INTERNAL ROAD CHANGES, THE SKETCH PLAN SHALL BE RESUBMITTED TO PLANNING COMMISSION FOR APPROVAL.



Project Number: 2024-127

DWG Name: Freedom Reserve PP-1.dwg

Drawing Scale: AS NOTED

Date of Project: 09/2025

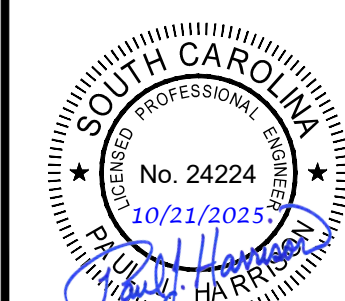
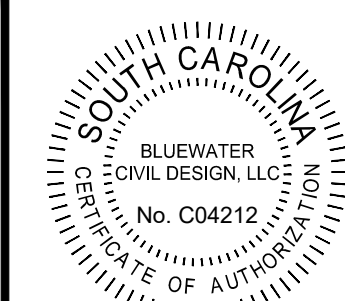
Engineer of Record:

Paul J. Harrison, P.E.
South Carolina PE# 24224
North Carolina PE# 033371

bluewater
civil design
bluewater civil design, llc
718 Lowmedes Hill Road • Greenville, SC 29607
www.bluewatercivil.com • info@bluewatercivil.com

Certificates of Authorization:
SC 004212 - GA PE#005865
NC P0868 - AL CA40656

FREEDOM RESERVE
(SFR Subdivision - Preliminary)
E. National Cemetery Road & Freedom Boulevard
Florence County, SC 29506



PLAN REVISION	ISSUE DATE	ISSUE COMMENT
A	09/05/2025	Issued Preliminary Plat
B	09/24/2025	Issued Revised Preliminary Plat
C	10/21/2025	Issued Revised Preliminary Plat
....		
....		
....		
....		
....		
....		

Preliminary Plat
Overall

PP-1

SITE DATA

TAX MAP NO.: 00208-01-057

DEED BOOK/PAGE: 999 / 1585

TOTAL AREA: ±73.3 ACRES

CURRENT USE: AGRICULTURAL - VACANT

PROPOSED USE: RESIDENTIAL

ZONING: UNZONED

TOTAL LOTS: 182 LOTS (52' X 135' TYP.)

DENSITY: 2.48 LOTS/AC

PROPOSED ROADWAY: ±6,407 LF (50' PUBLIC ROW)

OPEN SPACE PROVIDED: ±29.94 AC (±40.8%)

SETBACKS

E. NATIONAL CEMETERY ROAD: 30'

FREEDOM BOULEVARD: 30'

FRONT SETBACK: 25'

SECONDARY FRONT SETBACK: 12.5'

SIDE SETBACK: 5'

REAR SETBACK: 5'

GENERAL NOTES

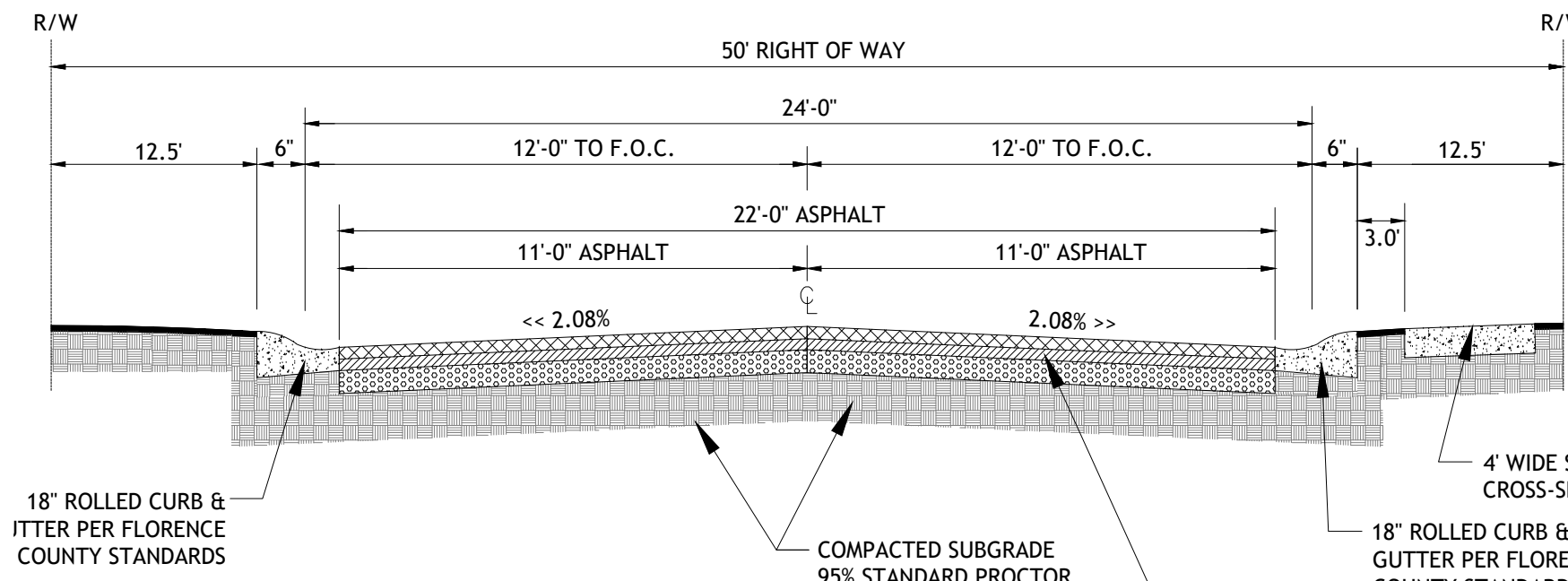
- ALL NEW LOTS TO HAVE INTERNAL ACCESS ONLY. PUBLIC WATER IS AVAILABLE ALONG E NATIONAL CEMETERY ROAD ROAD PROVIDED BY CITY OF FLORENCE.
- SANITARY SEWER IS AVAILABLE VIA A PUMP STATION AND WILL BE PROVIDED BY CITY OF FLORENCE.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS BASED UPON INFORMATION PROVIDED BY UTILITY SERVICES.
- 5' DRAINAGE EASEMENTS SHALL BE ESTABLISHED ALONG ALL SIDE AND INTERIOR REAR PROPERTY LINES; 10' EASEMENTS SHALL BE ESTABLISHED ALONG EXTERIOR BOUNDARY OF THE SUBDIVISION UNLESS ADJOINING PROPERTY OWNERS HAVE ESTABLISHED EASEMENTS.
- A "STORM WATER MANAGEMENT AND SEDIMENT REDUCTION PLAN" SHALL BE PREPARED FOR THIS PROPERTY AND SHALL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER SHALL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY.
- FLORENCE COUNTY SHALL NOT BE RESPONSIBLE FOR THE OWNERSHIP & MAINTENANCE OF STORMWATER MANAGEMENT/QUALITY PONDS OR DEVICES.
- ALL NEW ROADWAYS WITHIN DEVELOPMENT SHALL HAVE A 50' MIN. PUBLIC R.O.W.
- ALL WORK WITHIN THE EXISTING R.O.W. (E. NATIONAL CEMETERY ROAD AND FREEDOM BOULEVARD) SHALL BE DONE IN ACCORDANCE WITH APPROVED ENCROACHMENT PERMIT.
- ALL DIMENSIONS SHOWN ON ROADWAY ARE MEASURED FROM E.O.P. TO E.O.P. UNLESS OTHERWISE SPECIFIED.
- LOTS WITH FRONTAGE ON TWO STREETS (CORNER LOTS) MAY ONLY HAVE DRIVEWAY CONNECTION TO ONE STREET.
- ACCORDING TO FEMA PANEL 45041C0162E EFF. 12/15/2014, THIS SITE IS ZONE X, NOT WITHIN A FLOODPLAIN.
- COMMON OPEN SPACE AREAS CANNOT BE SUBDIVIDED OR USED FOR ANY OTHER PURPOSE. PARKING WILL BE PROVIDED AT A RATE OF 2 SPACES PER DWELLING UNIT - ONE GARAGE SPACE AND ONE DRIVEWAY SPACE. ADDITIONAL GUEST PARKING WILL BE PROVIDED AT THE AMENITY CENTER.
- HYDRANT LOCATIONS ARE SUGGESTIONS ONLY.
- STREET TREES AND SIDEWALKS TO BE INSTALLED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY AND REDUCES THE BOND AMOUNT.
- IF DEEMED NECESSARY BASED ON THE TRAFFIC IMPACT ANALYSIS, INFRASTRUCTURE IMPROVEMENT RECOMMENDATIONS SHALL BE DESIGNED, PERMITTED, AND CONSTRUCTED IN ACCORDANCE WITH SCDOT STANDARDS.
- IF THE TRAFFIC IMPACT STUDY RECOMMENDS INTERNAL ROAD CHANGES, THE SKETCH PLAN SHALL BE RESUBMITTED TO PLANNING COMMISSION FOR APPROVAL.

DEVELOPER

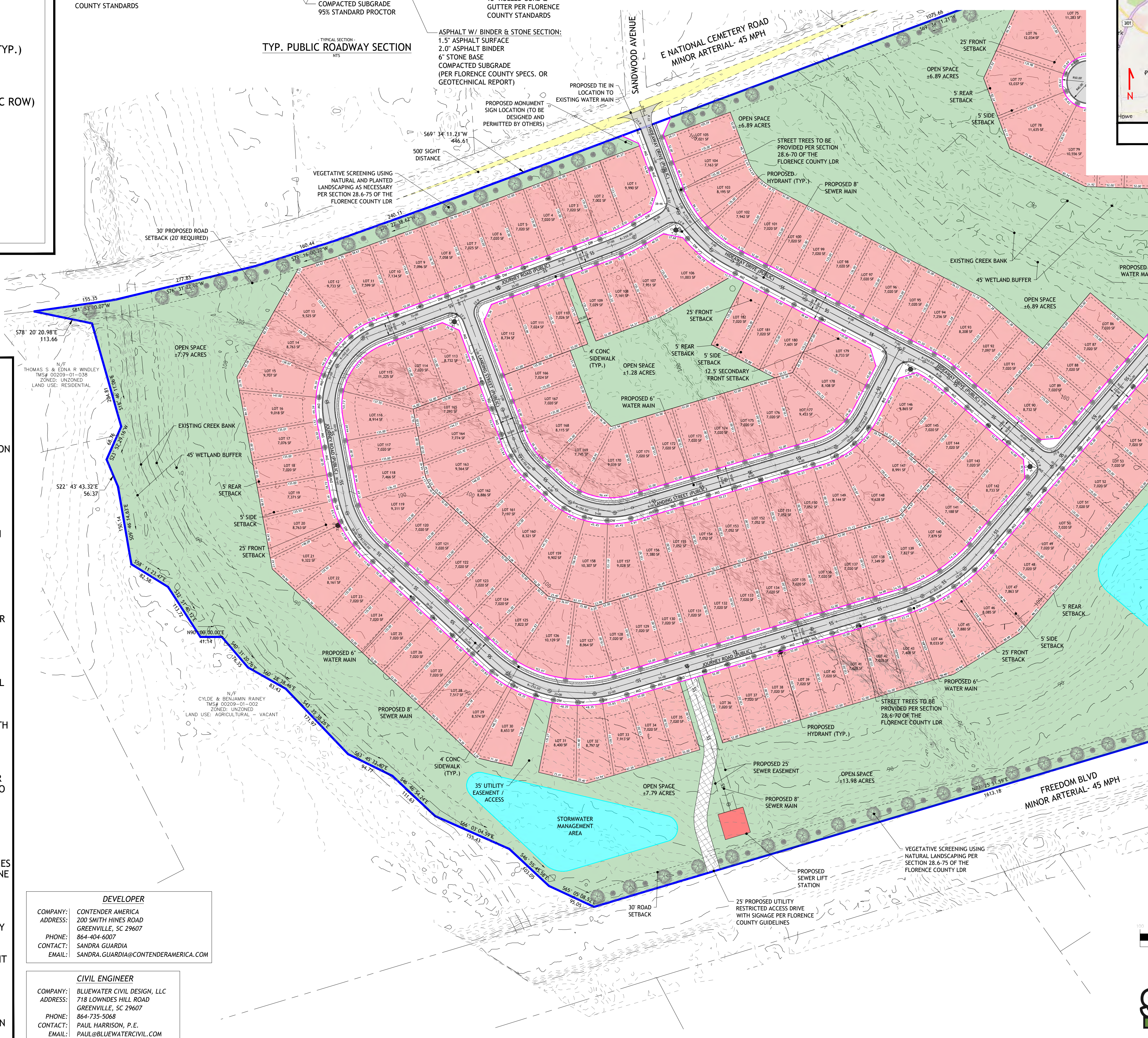
COMPANY: CONTENDER AMERICA
ADDRESS: 200 SMITH HINES ROAD
GREENVILLE, SC 29607
PHONE: 864-404-6007
CONTACT: SANDRA GUARDIA
EMAIL: SANDRA.GUARDIA@CONTENDERAMERICA.COM

CIVIL ENGINEER

COMPANY: BLUEWATER CIVIL DESIGN, LLC
ADDRESS: 718 LOWMEDES HILL ROAD
GREENVILLE, SC 29607
PHONE: 864-735-5068
CONTACT: PAUL HARRISON, P.E.
EMAIL: PAUL@BLUEWATERCIVIL.COM

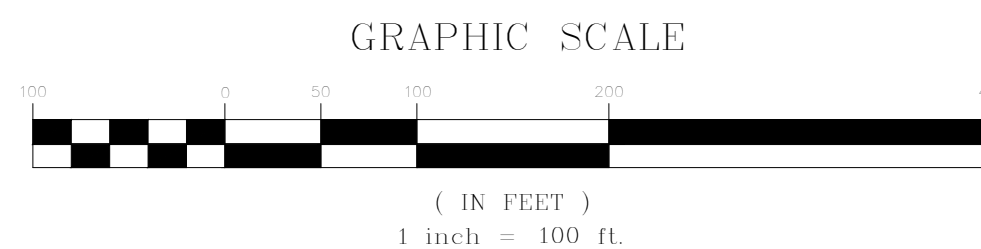


TYP. PUBLIC ROADWAY SECTION



SITE LEGEND

	ASPHALT PAVEMENT SECTION
	COMMON AREA / OPEN SPACE
	SIDEWALK
	PROPERTY LINE/R.O.W.
	PROPOSED BUILDING SETBACK LINE
	PROPOSED R/W
	PROPOSED E.O.P.
	PROPOSED C/L ROAD
	SIGHT DISTANCE LINES
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED MAILBOX CLUSTER
	PROPOSED HYDRANT
	PROPOSED MONUMENT SIGN



THIS DRAWING AND ASSOCIATED .DWG FILES ARE THE PROPERTY OF BLUEWATER CIVIL DESIGN, LLC AND SHALL NOT BE MODIFIED, USED, OR REPRODUCED IN ANY WAY OTHER THAN AUTHORIZED IN WRITING. © 2025 BLUEWATER CIVIL DESIGN, LLC

Project Number: 2024-127
DWG Name: Freedom Reserve PP-1A.dwg
Drawing Scale: AS NOTED
Date of Project: 09/2025
Engineer of Record:
Paul J. Harrison, P.E.
South Carolina PEF 24224
North Carolina PEF 038371

bluewater
civil design
bluewater civil design, llc
718 Lowmedes Hill Road • Greenville, SC 29607
www.bluewatercivil.com • info@bluewatercivil.com

Certificates of Authorization:
SC C04212 - GA PEF005865
NC P0868 - AL CA4065E

FREEDOM RESERVE
(SFR Subdivision - Preliminary)
E. National Cemetery Road & Freedom Boulevard
Florence County, SC 29506



PLAN REVISION	ISSUE DATE	ISSUE COMMENT
A	09/05/2025	Issued Preliminary Plat
B	09/24/2025	Issued Revised Preliminary Plat
C	10/21/2025	Issued Revised Preliminary Plat
....		
....		
....		
....		
....		
....		

Preliminary Plat

PP-1A

SITE DATA

TAX MAP NO.: 00208-01-057

DEED BOOK/PAGE: 999 / 1585

TOTAL AREA: ±73.3 ACRES

CURRENT USE: AGRICULTURAL - VACANT

PROPOSED USE: RESIDENTIAL

ZONING: UNZONED

TOTAL LOTS: 182 LOTS (52' X 135' TYP.)

DENSITY: 2.48 LOTS/AC

PROPOSED ROADWAY: ±6,407 LF (50' PUBLIC ROW)

OPEN SPACE PROVIDED: ±29.94 AC (±40.8%)

SETBACKS

E. NATIONAL CEMETERY ROAD: 30'

FREEDOM BOULEVARD: 30'

FRONT SETBACK: 25'

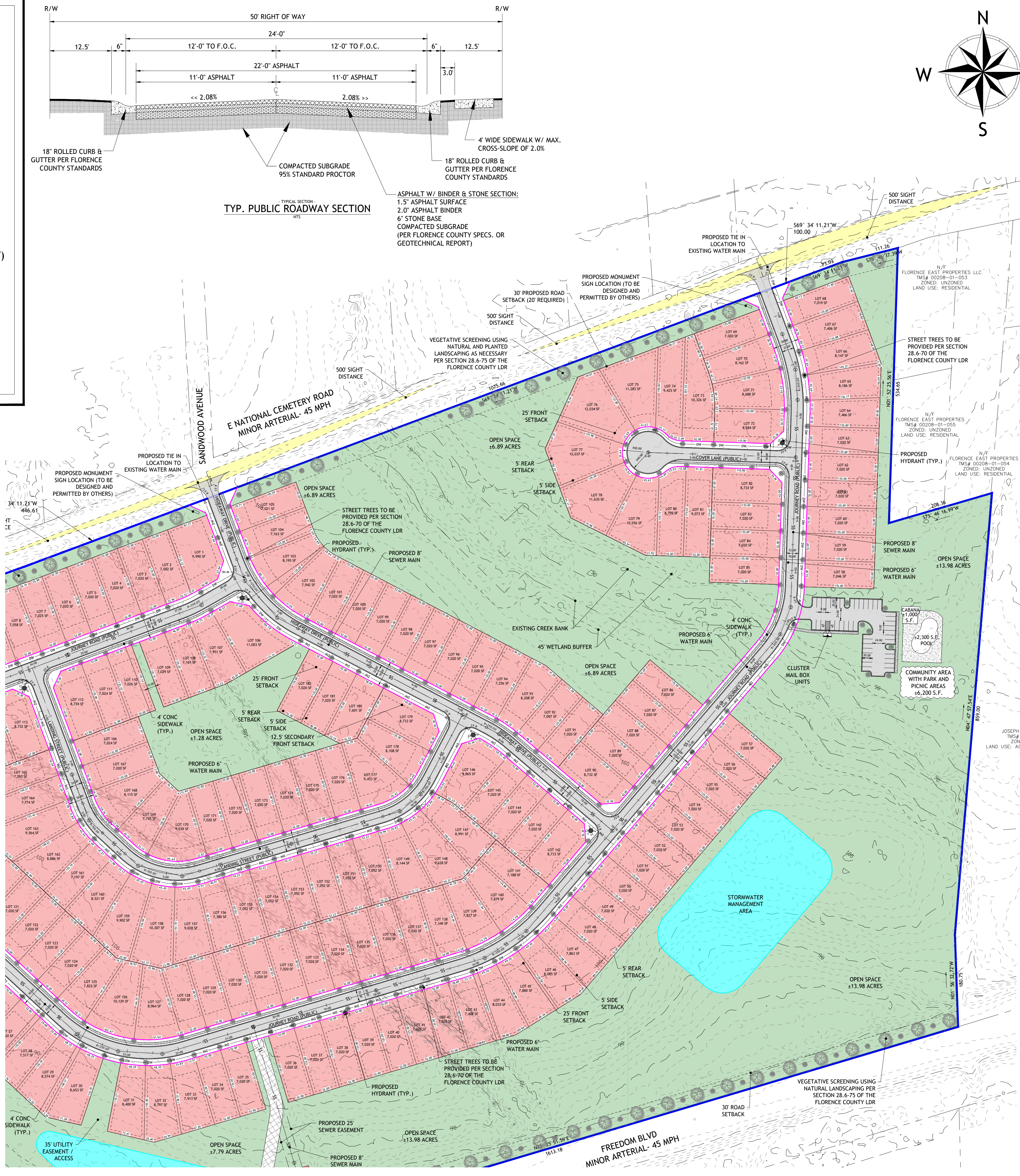
SECONDARY FRONT SETBACK: 12.5'

SIDE SETBACK: 5'

REAR SETBACK: 5'

GENERAL NOTES

- ALL NEW LOTS TO HAVE INTERNAL ACCESS ONLY. PUBLIC WATER IS AVAILABLE ALONG E NATIONAL CEMETERY ROAD ROAD PROVIDED BY CITY OF FLORENCE.
- SANITARY SEWER IS AVAILABLE VIA A PUMP STATION AND WILL BE PROVIDED BY CITY OF FLORENCE.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS BASED UPON INFORMATION PROVIDED BY UTILITY SERVICES.
- 5' DRAINAGE EASEMENTS SHALL BE ESTABLISHED ALONG ALL SIDE AND INTERIOR REAR PROPERTY LINES; 10' EASEMENTS SHALL BE ESTABLISHED ALONG EXTERIOR BOUNDARY OF THE SUBDIVISION UNLESS ADJOINING PROPERTY OWNERS HAVE ESTABLISHED EASEMENTS.
- A "STORM WATER MANAGEMENT AND SEDIMENT REDUCTION PLAN" SHALL BE PREPARED FOR THIS PROPERTY AND SHALL BE APPLIED FOR LAND DISTURBING ACTIVITIES. EACH PROPERTY OWNER SHALL COMPLY WITH THIS PLAN UNLESS AN INDIVIDUAL PLAN IS PREPARED AND APPROVED FOR THAT PROPERTY.
- FLORENCE COUNTY SHALL NOT BE RESPONSIBLE FOR THE OWNERSHIP & MAINTENANCE OF STORMWATER MANAGEMENT/QUALITY PONDS OR DEVICES.
- ALL NEW ROADWAYS WITHIN DEVELOPMENT SHALL HAVE A 50' MIN. PUBLIC R.O.W. (E. NATIONAL CEMETERY ROAD AND FREEDOM BOULEVARD) SHALL BE DONE IN ACCORDANCE WITH APPROVED ENCROACHMENT PERMIT.
- ALL DIMENSIONS SHOWN ON ROADWAY ARE MEASURED FROM E.O.P. TO E.O.P. UNLESS OTHERWISE SPECIFIED.
- LOTS WITH FRONTAGE ON TWO STREETS (CORNER LOTS) MAY ONLY HAVE DRIVEWAY CONNECTION TO ONE STREET.
- ACCORDING TO FEMA PANEL 45041C0162E EFF. 12/15/2014, THIS SITE IS ZONE X, NOT WITHIN A FLOODPLAIN.
- COMMON OPEN SPACE AREAS CANNOT BE SUBDIVIDED OR USED FOR ANY OTHER PURPOSE. PARKING WILL BE PROVIDED AT A RATE OF 2 SPACES PER DWELLING UNIT - ONE GARAGE SPACE AND ONE DRIVEWAY SPACE. ADDITIONAL GUEST PARKING WILL BE PROVIDED AT THE AMENITY CENTER.
- HYDRANT LOCATIONS ARE SUGGESTIONS ONLY.
- STREET TREES AND SIDEWALKS TO BE INSTALLED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY AND REDUCES THE BOND AMOUNT.
- IF DEEMED NECESSARY BASED ON THE TRAFFIC IMPACT ANALYSIS, INFRASTRUCTURE IMPROVEMENT RECOMMENDATIONS SHALL BE DESIGNED, PERMITTED, AND CONSTRUCTED IN ACCORDANCE WITH SCDOT STANDARDS.
- IF THE TRAFFIC IMPACT STUDY RECOMMENDS INTERNAL ROAD CHANGES, THE SKETCH PLAN SHALL BE RESUBMITTED TO PLANNING COMMISSION FOR APPROVAL.



SITE LEGEND

	ASPHALT PAVEMENT SECTION
	COMMON AREA / OPEN SPACE
	SIDEWALK
	PROPERTY LINE/R.O.W.
	PROPOSED BUILDING SETBACK LINE
	PROPOSED R/W
	PROPOSED E.O.P.
	PROPOSED C/L ROAD
	SIGHT DISTANCE LINES
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED MAILBOX CLUSTER
	PROPOSED HYDRANT
	PROPOSED MONUMENT SIGN

DEVELOPER

COMPANY: CONTENDER AMERICA
 ADDRESS: 200 SMITH HINES ROAD GREENVILLE, SC 29607
 PHONE: 864-404-6007
 CONTACT: SANDRA GUARDIA
 EMAIL: SANDRA.GUARDIA@CONTENDERAMERICA.COM

CIVIL ENGINEER

COMPANY: BLUEWATER CIVIL DESIGN, LLC
 ADDRESS: 718 LOWMEDES HILL ROAD GREENVILLE, SC 29607
 PHONE: 864-735-5068
 CONTACT: PAUL HARRISON, P.E.
 EMAIL: PAUL@BLUEWATERCIVIL.COM

PARKING NOTE (FOR AMENITY):

PROVIDED PARKING CALCULATIONS:	
SWIMMING POOL (1.0/300 S.F.):	8
CABANA (1.0/300 S.F. OF G.F.A.):	4
COMMUNITY AREA (1.0/300 S.F.):	21
PARKING SPACES REQUIRED:	33 SPACES
PARKING SPACES PROVIDED:	43 SPACES (2 ADA SPACES)

GRAPHIC SCALE

